



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Medical Center
Project Location: 5352 Linton Blvd
Request: Class II Site Plan Modification
Board: Site Plan Review and Appearance Board
Meeting Date: May 10, 2017

Board Action:

Approved 4-0 (Shannon Dawson, Fred Kaub, and Laura Sullivan Absent) for the Class II Site Plan Modification, Architectural Elevations and Landscape Plans with the conditions that provide revised engineering drawings which satisfy the preliminary engineering technical comments prior to site plan certification.

Project Description:

The subject property is an unplatted parcel of land located in Township 46 South, Range 42 East, Section 26 and measures 36.179 acres and is zoned CF (Community Facilities).

At its meeting of May 24, 2006, the Site Plan Review and Appearance Board approved a site plan modification to construct an emergency room addition.

At its meeting of April 10, 2013, the Site Plan Review and Appearance Board approved the Class IV site plan modification for the new 140-bed hospital wing. The new hospital wing is now under construction.

The proposed modification to the previously approved site plan includes the sidewalk located west of parking garage #1 to increase the existing 5 foot sidewalk with an additional 5 foot width, adding an 8 foot sidewalk west of the oxygen tank storage as it extends south and adding a fourteen foot wide loading zone area near the oxygen tank storage. The previously approved Architectural Elevations Plans includes the reduction of the Porte-Cochere near the main drop-off area by 590 square feet, the perpendicular canopy for the ER drop-off is reduced by 1,749 square feet and the northern portion of the canopy of the ER drop-off drive isle is to be eliminated. The proposed modifications to the Landscape Plans includes replacement of the Live Oaks with more appropriately sized Orange Geiger, the Royal Palms approved along west side of garage have been replaced with double trunk Montgomery Palms and within the interior courtyard, single trunk Solitaire Palms are to be replaced with double trunk Montgomery Palms.

Staff Recommendation:

Approve

Board Comments:

The Board was supportive of the modifications.

Public Comments:

No public input

Next Action:

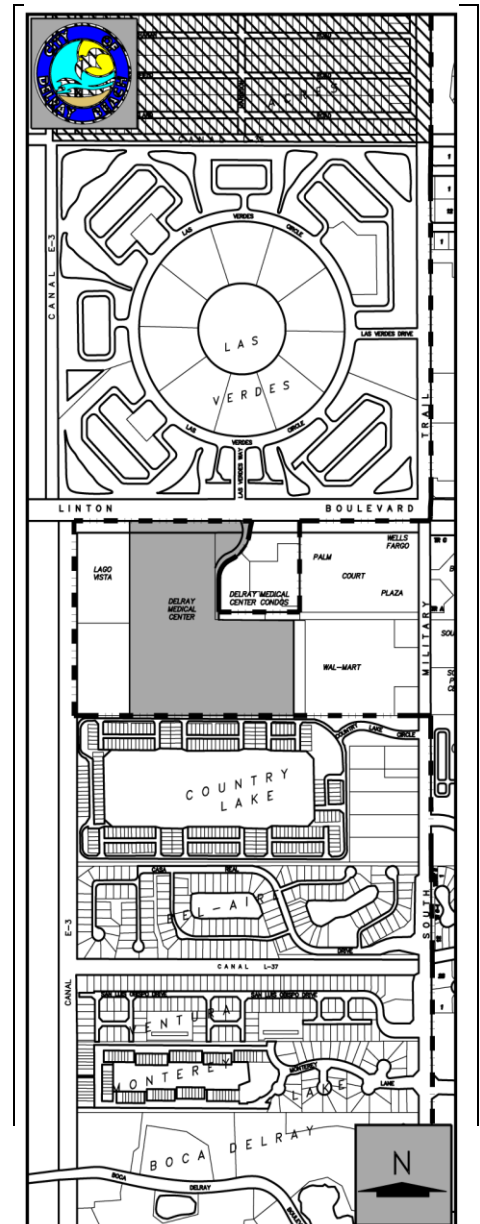
The SPRAB action is final unless appealed by the City Commission.

---STAFF REPORT---

ITEM: Delray Medical Center – Class II Site Plan Modification, Landscape Plan, and Architectural Elevations Associated with the previously approved Bed Towers and Parking Garage. (File 2017-137)

GENERAL DATA:

Sewer Service..... Existing on site.



ITEM BEFORE THE BOARD

The action before the Board is approval of the following aspects of a Class II site plan modification for **Delray Medical Center**, pursuant to LDR Section 2.4.5(G)(1)(d):

- ☐ Site Plan Modification;
- ☐ Landscape Plan; and
- ☐ Architectural Elevations

The property is located on the south side of Linton Boulevard, approximately 1,230 feet west of Military Trail (5270 Linton Boulevard).

BACKGROUND

The subject property is an unplatted parcel of land located in Township 46 South, Range 42 East, Section 26 and measures 36.179 acres. The property contains 301,773 square feet of floor area within the existing Delray Medical Center, Pinecrest Rehabilitation Hospital, and the Fairoaks Pavilion. The hospital was constructed in 1982 under Palm Beach County's jurisdiction and City water and sewer facilities were extended to the development at that time. The hospital has been expanded over the years.

At its meeting of September 20, 2005, the City Commission approved the annexation of the hospital and assigned the CF (Community Facilities) zoning designation to the subject property. A master plan was approved under the County's jurisdiction that indicates that a total of 559,407 square feet was approved for the hospital. Future expansions of the Emergency Department and Radiology Department were noted on this master plan.

At its meeting of May 24, 2006, the Site Plan Review and Appearance Board approved a site plan modification to construct an emergency room addition.

At its meeting of March 5, 2013, the City Commission approved the ordinance to amend the Land Development Regulations to add the hospital property to the list of areas that allow an increase in height up to 60 feet subject to conditional use approval.

At its meeting of March 19, 2013, the City Commission approved the conditional use to allow an increase in height of up to 60 feet for the new hospital wing. An extension request for building height conditional use has been submitted and is currently being processed.

At its meeting of April 10, 2013, the Site Plan Review and Appearance Board approved the Class IV site plan modification for the new 140-bed hospital wing. The new hospital wing was never constructed.

A site plan modification application has been submitted for minor changes to the previously approved Bed Tower, landscape, sidewalk expansion, and canopy reductions and is now before the Board for consideration.

PROJECT DESCRIPTION

The development proposal incorporates the following:

- ☐ Reducing the main drop-off canopy square footage from 3,880 to 3,290 square feet, as provided during permit.
- ☐ Reducing the ER drop-off canopy from 2,888 to 1,139 square feet and eliminating the ER drop-off canopy over the drive isle.
- ☐ Adding an additional 5 feet of width to the existing 5 foot walk located on the west side parking garage #1, as it extends south.
- ☐ Adding a new 8 foot sidewalk west of the Oxygen storage area, located south of the garage to provide sidewalk connection to parking garage #1.
- ☐ Adding a 14 foot wide loading zone west of the Oxygen storage area.
- ☐ Adding detail for proposed sidewalk showing a thickened edge for the condition that occurs where the decorative concrete walk meets the asphalt paved drop off area.
- ☐ Replacing Live Oaks with Orange Geiger.
- ☐ The Interior courtyard, single trunk Solitaire Palms to be replaced with double trunk Montgomery Palms
- ☐ Replacing Royal Palms along west side of garage with double trunk Montgomery Palms

SITE PLAN MODIFICATION ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K) as it pertains to the CF zoning district:

	Required	Provided
Building Height (max.)	48'	37' 4.5"
Minimum Perimeter Setback (North)	10'	148'
(East)	10'	74'
(South)	10'	120'
Minimum Open Space	25%	25%

LANDSCAPE ANALYSIS

A landscape plan has been submitted, evaluated and recommended for approval by the City Senior Landscape Planner. The development plan identifies numerous trees that will be replaced. The previously approved Live Oaks along the south side of the lake did not survive the relocation. The applicant is proposing to replace the Live Oaks with more appropriately sized Orange Geiger, the Royal Palms approved along west side of garage have been replaced with double trunk Montgomery Palms and within the interior courtyard, single trunk Solitaire

Palms to be replaced with double trunk Montgomery Palms. The new landscaping consists of Hong Kong Orchid trees, Gumbo Limbo trees, Montgomery Palms, Orange Geiger and Mexican Fan Palms. The landscape areas will be under planted with Pitch Apple, Auntie Lou Ti Plant, Queen Emma Crinum, Red Tip Cocoplum, Croton, Green Island Ficus, Dwarf Podocarpus, Pink Muhly, Blueberry Flax Lily, and Dwarf Schillings Holly. The proposed landscape plan complies with the City's Land Development Regulations (Section 4.6.16).

ARCHITECTURAL ELEVATIONS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- (1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- (2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- (3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The Porte-Cochere near the main drop-off area will be reduced by 590 square feet and the ER drop-off area will be reduced by 1,749 square feet. The canopy over the ER drop-off drive isle has been eliminated. The proposed reduction will be consistent with contemporary architecture of the existing hospital. Based on the above, a positive finding with respect to LDR Section 4.6.18(E) can be made.

ASSESSMENT AND CONCLUSION

The development proposal consists of minor modifications to the sidewalk, loading zone, landscaping and canopy drop-off area. Particularly, an additional five foot width to an existing walk located west of the parking garage, a new eight foot sidewalk west of the Oxygen storage area as it extends south and adding a fourteen foot wide loading zone. The proposal includes reducing the canopy square footage to the main drop-off and ER drop-off area.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Class II site plan modification, landscape plan, and architectural elevations for **Delray Medical Center**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations, subject to a condition of approval.
- C. Move denial of the Class II site plan modification, landscape plan, and architectural elevations for **Delray Medical Center**, by adopting the findings of fact and law contained in

the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move approval of the Class II site plan modification for **Delray Medical Center** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations, subject to the following condition:

1. Provide revised engineering drawings which satisfy the preliminary engineering technical comments identified in the attached "Appendix A", prior to site plan certification.

Landscape Plan:

Move approval of the landscape plan for the **Delray Medical Center** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 4.6.16 of the Land Development Regulations.

Elevations:

Move approval of the architectural elevations for **Delray Medical Center** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Attachments:

- Appendix A
- Site Plan, Landscape Plan, and Architectural Elevations

Report prepared by: Alexia Howald, Planner In Training

<p style="text-align: center;">APPENDIX "A" SITE PLAN TECHNICAL CONDITIONS</p>
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1. Please consider making the proposed concrete loading zone on the west side of the building 6" thick.
2. At the north entrance to the Bed Tower Addition, the callouts for the 6' curb transitions and curb ramps do not point to the 6' curb transitions and curb ramps, it appears that these items moved perhaps 5' and the callouts for them did not get adjusted.
3. Please call out the limits of thickened edge concrete sidewalk.
4. The thickened edge concrete sidewalk detail calls out a 12" x 2" thickened edge. It appears that it was intended for this to be 12" x 12". Revise accordingly.
5. Please note, a Financial Guarantee in accordance with LDR Section 2.4.10 may be required to ensure the timely and proper installation of public improvements which are required to support the proposed development. Refer to LDR Section 2.4.10 (A) for items which require a Financial Guarantee.

**DELRAY MEDICAL CENTER
BED TOWER EXPANSION
CLASS II SITE PLAN REVIEW
April 6, 2017**



PROPOSED PLAN MODIFICATIONS

Plans submitted are being amended as a result of field adjustments during construction of the previously approved Bed Tower Addition. Plans include the Site Plan, Architecture, Landscape, and Engineering. Plans have been amended as necessary to reflect the following changes.

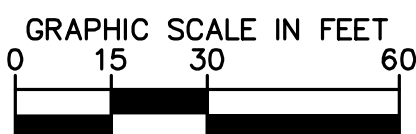
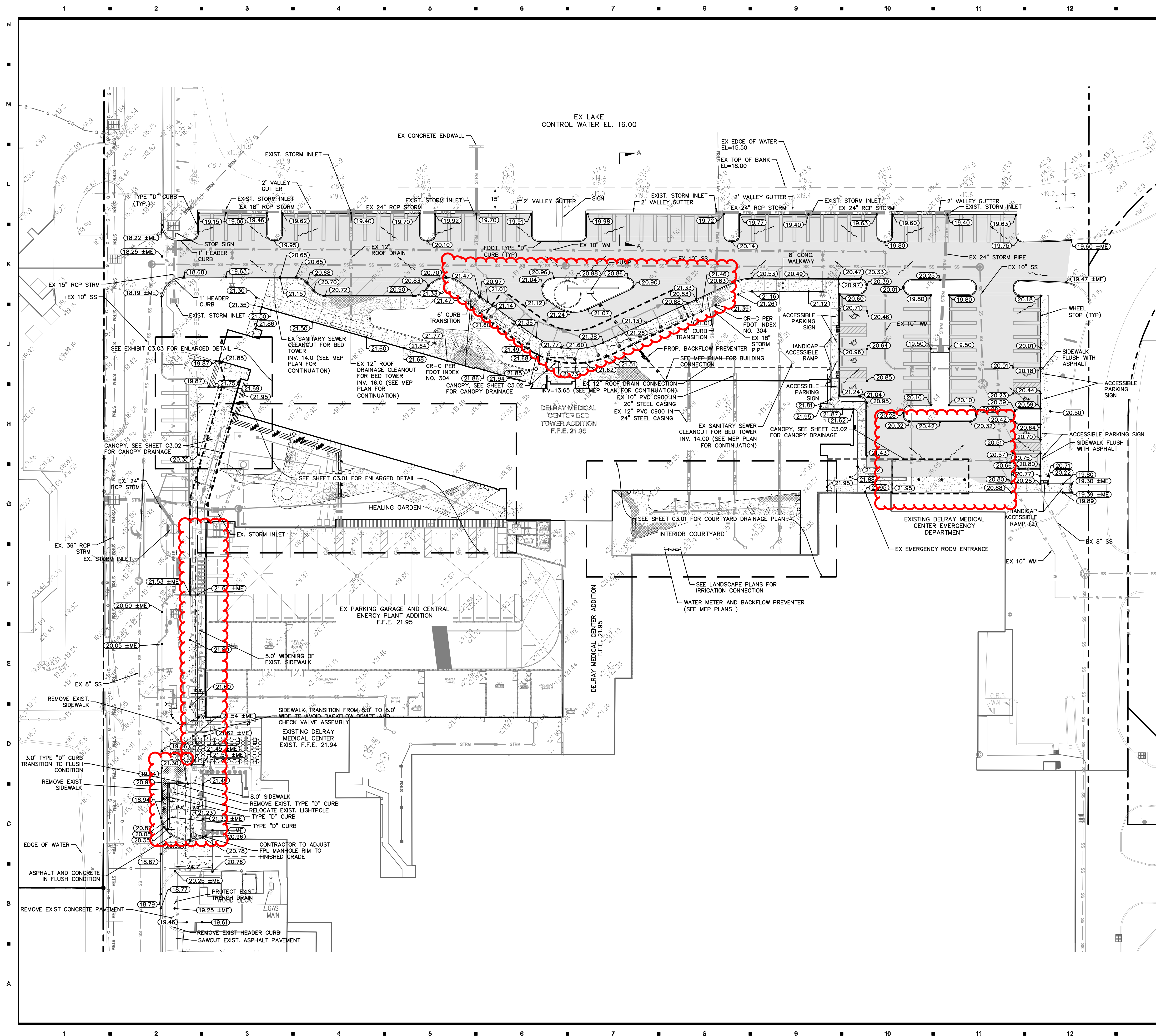
Urban Planning and Design
Landscape Architecture
Communication Graphics

1. Amend plans to reflect asphalt pavement at the new Bed Tower drop-off drive. Plans previously called for decorative pavers. (*Engineering Plan C3.00, Hardscape Plan L3.00 and L3.01*)
2. Amend plans to reflect asphalt pavement at the Emergency Room drop-off drive. Plans previously called for concrete. (*Engineering Plan C3.00*)
3. Reduced the Main Drop-off canopy square footage area by 590 square feet, as provided during permit. (*Site Plan SP-1*)
4. Reduced the ER Drop-off canopy area by 1,749 square feet. Canopy has been eliminated over the ER drop-off drive isle.
(*Site Plan SP-1, Engineering Plan C3.00, Exterior Elevation A203, Floor Plan A120*)
5. Add an additional 5-foot of width to the existing 5-foot walk located on the west side of garage, as it extends south.
(*Site plan SP-1, Engineering Plan C3.00, Hardscape Plan L3.00 and L3.01*)
6. Add a new 8-foot sidewalk west of the Oxygen storage area, located south of the garage. Sidewalk to provide connection to the parking garage.
(*Site Plan SP-1, Engineering Plan C3.00, Hardscape Plan L3.00 and L3.01*)
7. Add a 14-foot wide loading zone west of the Oxygen storage area.
(*Site Plan SP-1, Engineering Plan C3.00, Hardscape Plan L3.00 and L3.01*)
8. Add sidewalk detail for proposed sidewalk showing a thickened edge for the condition that occurs where the decorative concrete walk meets the asphalt paved drop off area. (*Hardscape Plan L3.10*)

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LCC000035

9. Landscape modifications include:
(*Landscape Plan L1.00*)

- The previously approved Live Oaks that were to be relocated along the south side of the lake did not survive the relocation. Per conversations with Peter Anuar the Live Oaks were replaced with the more appropriately sized Orange Geiger. This has been reflected on the updated Landscape Plan.
- Within the interior courtyard, single trunk Solitaire Palms have been replaced with double trunk Montgomery Palms provide additional clearance from the building, which then lead to minor changes in species and specifications.
- Royal Palms approved along west side of garage have been replaced with double trunk Montgomery Palms due to utility easement conflicts.
- Plant Schedules have been updated accordingly.



1. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF HEAD WALLS UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPES.
3. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0% THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0% THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 (8.3%).
4. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
5. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW UTILITIES.
6. CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
7. ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALK SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H=20 TRAFFIC RATED.
8. ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2.
9. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER, OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
10. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER, OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.

 ASPHALT PAVEMENT

 STAMPED CONCRETE (SEE LANDSCAPE PLAN FOR MORE INFORMATION)

 EXISTING GRADE

 FINISHED GRADE

 MATCH EXISTING GRADE

 DRAINAGE FLOW ARROW

 W — W EXISTING WATER MAIN

 STRM EXISTING STORM PIPE

 SS — SS EXISTING SANITARY SEWER

 EXISTING FIRE HYDRANT ASSEMBLY

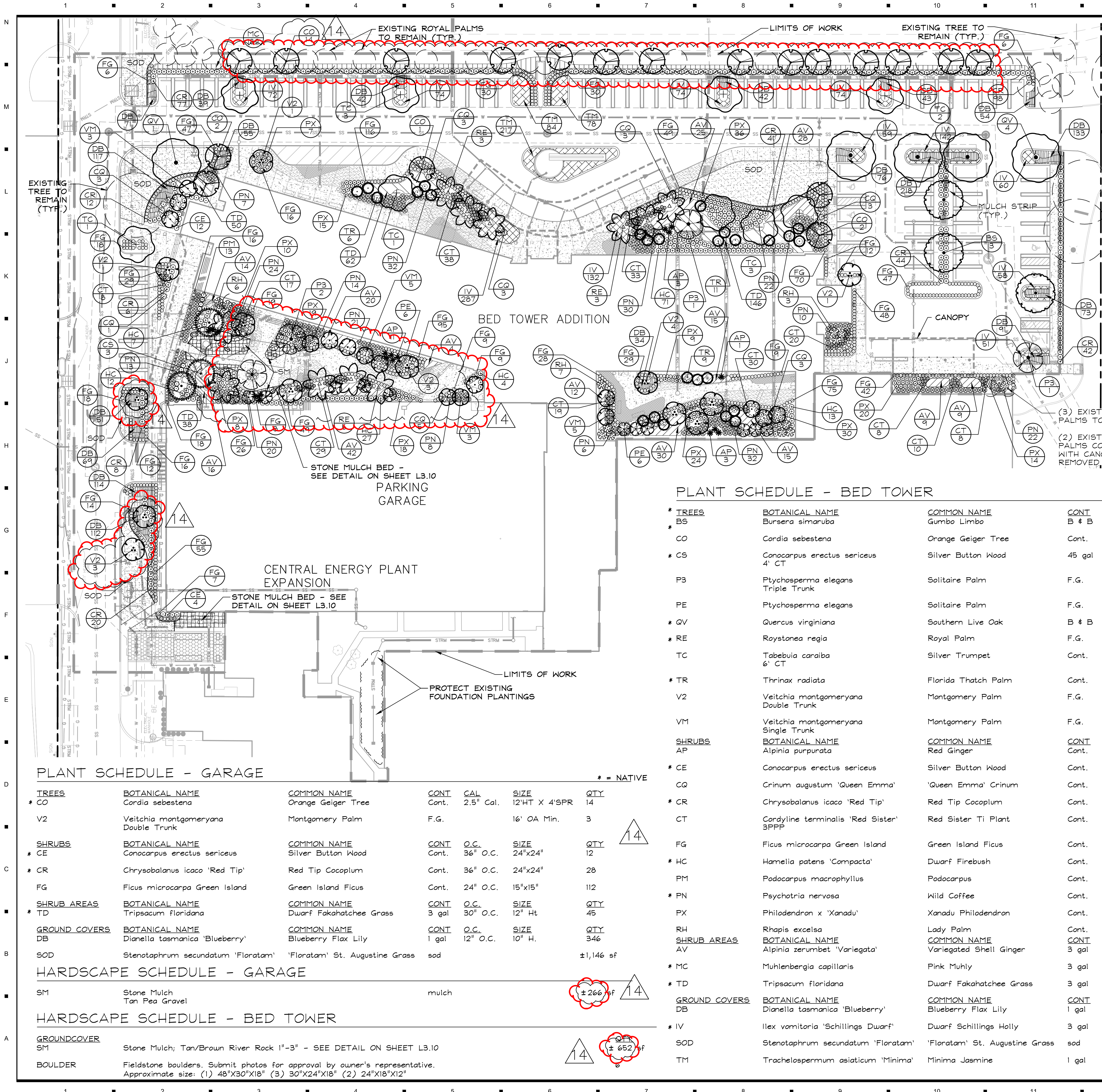
BOT	BOTTOM OF PIPE
DIP	DUCTILE IRON PIPE
EL	ELEVATION
EX	EXISTING
FH	FIRE HYDRANT
FL	FLANGE
INV	INVERT
MH	MANHOLE
PH	PHASE
RCP	REINFORCED CONCRETE PIPE
SAN	SANITARY SEWER
STM	STORM SEWER
TOP	TOP OF PIPE
WM	WATER MAIN

DELRAY
Medical Center
PATIENT TOWER & PARKING
GARAGE ADDITION -
PHASE II

Hunton Brady
ARCHITECTS

DATE	SUBMISSION	NO.
03.30.15	CONSTRUCTION DOCUMENTS	
09.04.15	ADDENDUM NO. 1	1
02.18.16	CCD NO. 4	5
0X.XX.16	CCD NO. 6	7
03.14.17	CCD NO. 13	14

PROJ. NO. 144446004	SHEET
DRAWN RMM	
CHECKED SES	C3.00



CITY OF DELRAY BEACH CODE REQUIREMENTS: * ALL CALCULATIONS BASED ON LIMITS OF WORK.	
Total paved area used for parking and accessways:	58,022 sf
Interior green space REQUIRED: 10% of total paved area used for parking and accessways	5,802 sf
Interior green space PROVIDED:	39,710 sf
Total number of shade trees REQUIRED: 1/125 sf of required interior green space (5,802/125 = 47)	47
Total Number of shade trees PROVIDED:	35
Perimeter green space REQUIRED: depth of buffer (5') x length (1,000) = 4,800	5,000 sf
Perimeter green space PROVIDED:	5,100 sf
Total number of perimeter trees REQUIRED: 1/30 if (1,000/30 = 34)	34
Total number of perimeter trees PROVIDED:	14 + 20 (Existing)
Maximum sod allowance: (10,802 x 70% = 7,561)	7,561 sf
Sod area PROVIDED:	5,806 sf
Shrubs and ground cover REQUIRED: (10,802 x 30% = 3,241)	3,241 sf
30% of required interior and perimeter green space	
Shrubs and ground cover PROVIDED:	32,960 sf
Native plant material REQUIRED: (5,982 x 25% = 1,496)	1,496
25% of provided shrubs and groundcovers to be native	
Native shrubs/groundcovers PROVIDED:	2,523
Native trees REQUIRED: (81 x 50% = 41)	41
(50% of required trees (interior and perimeter) to be native)	
Native trees PROVIDED:	44

SEE SHEET L1.01 FOR PLANTING NOTES

PLANT SCHEDULE - BED TOWER

* TREES	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	QTY.	* = NATIVE
BS	Bursera simaruba	Gumbo Limbo	B # B	4" Cal.	16' HT x 7' SPR	3	
CO	Cordia sebestena	Orange Geiger Tree	Cont.	2.5" Cal.	12' HT X 4' SPR	5	
CS	Conocarpus erectus sericeus	Silver Button Wood	45 gal	MULTI	12' HT X 5' SPR	3	
P3	Ptychosperma elegans	Solitaire Palm	F.G.		16' OA Min.	4	
PE	Ptychosperma elegans	Solitaire Palm	F.G.		16' OA Min.	12	
QV	Quercus virginiana	Southern Live Oak	B # B	4" Cal.	16' HT x 7' SPR	5	
RE	Roystonea regia	Royal Palm	F.G.		16' GW	11	
TC	Tabebuia caraiba	Silver Trumpet	Cont.	4" Cal.	16' HT x 7' SPR	10	
TR	Thrinax radiata	Florida Thatch Palm	Cont.		8' OA	26	
V2	Veitchia montgomeryana	Montgomery Palm	F.G.		16' OA Min.	10	
VM	Veitchia montgomeryana	Montgomery Palm	F.G.		18' - 20' OA	16	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
AP	Alpinia purpurata	Red Ginger	Cont.	As Shown	30"x30"	18	
CE	Conocarpus erectus sericeus	Silver Button Wood	Cont.	36" O.C.	24"x24"	12	
CQ	Crinum augustum 'Queen Emma'	'Queen Emma' Crinum	Cont.	As Shown	36"x24"	24	
CR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Cont.	36" O.C.	24"x24"	320	
CT	Cordyline terminalis 'Red Sister'	Red Sister Ti Plant	Cont.	24" O.C.	18" Ht	220	
FG	Ficus microcarpa Green Island	Green Island Ficus	Cont.	24" O.C.	15"x15"	985	
HC	Hamelia patens 'Compacta'	Dwarf Firebush	Cont.	36" O.C.	24"x24"	134	
PM	Podocarpus macrophyllus	Podocarpus	Cont.	36" O.C.	60" Min.	13	
PN	Psychotria nervosa	Wild Coffee	Cont.	36" O.C.	24"x24"	261	
PX	Philodendron x 'Xanadu'	Xanadu Philodendron	Cont.	30" O.C.	15"x15"	210	
RH	Rhapis excelsa	Lady Palm	Cont.	As Shown	4' OA	314	
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
AV	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	36" O.C.	18"x18"	239	
MC	Muhlenbergia capillaris	Pink Muhly	3 gal	36" O.C.	18"x15"	102	
TD	Tripsacum floridana	Dwarf Fakahatchee Grass	3 gal	30" O.C.	12" Ht	296	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
DB	Dianella tasmanica 'Blueberry'	Blueberry Flax Lily	1 gal	12" O.C.	10" H.	1,088	
IV	Ilex vomitoria 'Schillings Dwarf'	Dwarf Schillings Holly	3 gal	12" O.C.	10" x 10"	1,083	
SOD	Stenotaphrum secundatum 'Floratam'	'Floratam' St. Augustine Grass	sod			±3,650 sf	
TM	Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal	18" O.C.	12" Sprd	379	

PLANT SCHEDULE - GARAGE

* TREES	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	QTY.	* = NATIVE
CO	Cordia sebestena	Orange Geiger Tree	Cont.	2.5" Cal.	12' HT X 4' SPR	14	
V2	Veitchia montgomeryana	Montgomery Palm	F.G.		16' OA Min.	3	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
CE	Conocarpus erectus sericeus	Silver Button Wood	Cont.	36" O.C.	24"x24"	12	
CR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	Cont.	36" O.C.	24"x24"	28	
FG	Ficus microcarpa Green Island	Green Island Ficus	Cont.	24" O.C.	15"x15"	112	
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
TD	Tripsacum floridana	Dwarf Fakahatchee Grass	3 gal	30" O.C.	12" Ht	45	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT.	O.C.	SIZE	QTY.	
DB	Dianella tasmanica 'Blueberry'	Blueberry Flax Lily	1 gal	12" O.C.	10" H.	346	
SOD	Stenotaphrum secundatum 'Floratam'	'Floratam' St. Augustine Grass	sod			±1,146 sf	

HARDSCAPE SCHEDULE - GARAGE

SM	Stone Mulch	mulch	±266 sf
SM	Tan Pea Gravel		

HARDSCAPE SCHEDULE - BED TOWER

GROUND COVER	Stone Mulch; Tan/Brown River Rock 1"-3" - SEE DETAIL ON SHEET L3.10	
SM		
BOULDER	Fieldstone boulders. Submit photos for approval by owner's representative. Approximate size: (1) 48"x30"x18" (3) 30"x24"x18" (2) 24"x18"x12"	

Kimley»Horn

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SEAL
JONATHAN D. HAIGH
FLORIDA LICENSE NUMBER
LA#6666795

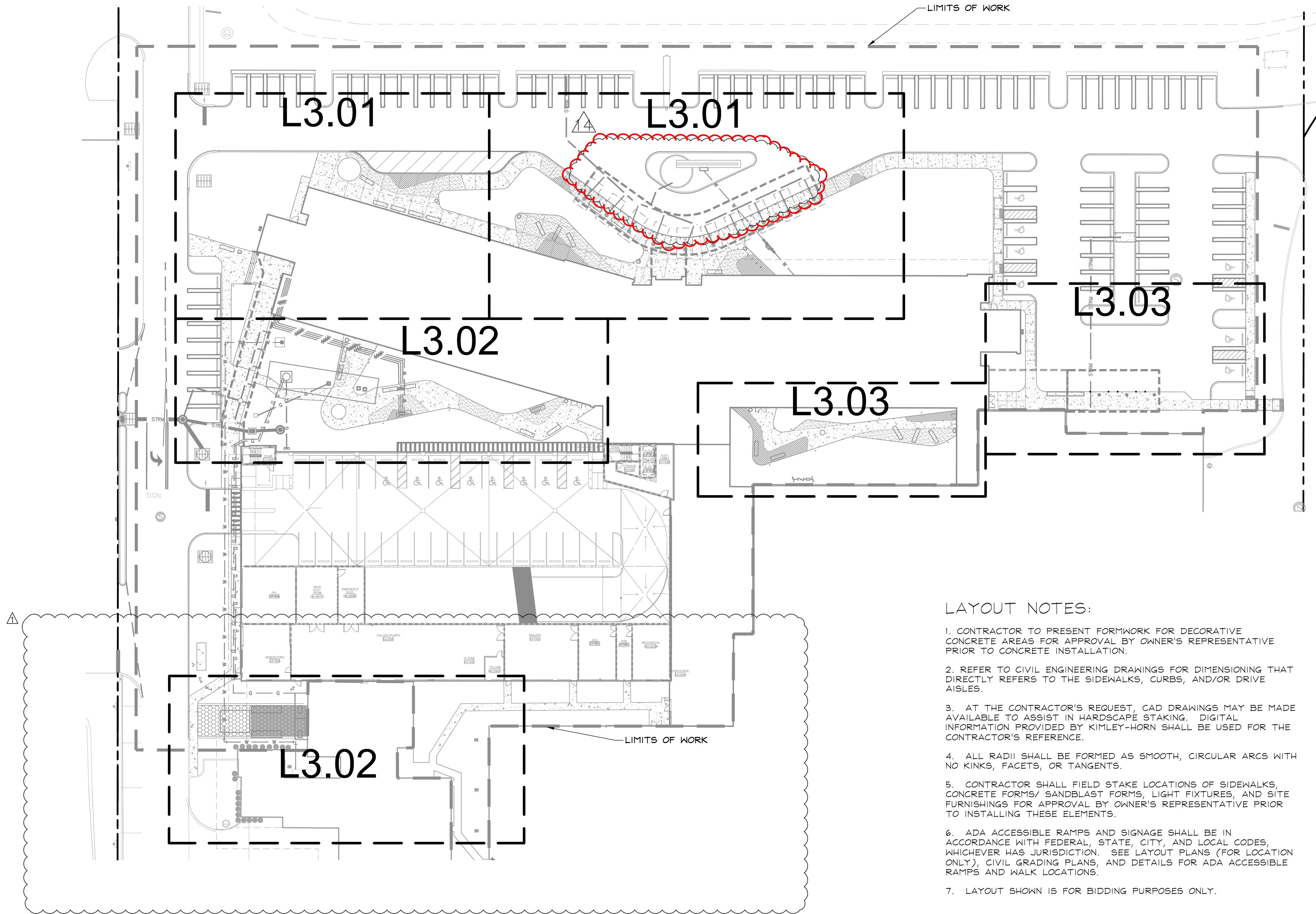
DELRAY
Medical Center
PATIENT TOWER & PARKING
GARAGE ADDITION
PHASE II

Hunton Brady
ARCHITECTS

DATE	SUBMISSION	NO.
08.10.16	CLASS 1 SITE PLAN MOD.	1
03.14.17	CCD NO. 13	14

LANDSCAPE PLAN
PROJ. NO. SHEET
DRAWN
CHECKED
L1.00

Copyright (c) HuntonBrady Architects, 2014
Plotted By:Hoizer, Jeffrey Sheet Set:DRMC Bed Tower Addition Layout:L3.00 OVERALL HARDSCAPE PLAN March 09, 2017 03:53:13pm K:\bcd_civil\14446004 - drmc bed tower addition\CAAD\plansheets\L3.00 HARDSCAPE PLAN.dwg
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LAYOUT NOTES:

1. CONTRACTOR TO PRESENT FORMWORK FOR DECORATIVE CONCRETE AREAS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONCRETE INSTALLATION.
2. REFER TO CIVIL ENGINEERING DRAWINGS FOR DIMENSIONING THAT DIRECTLY REFERS TO THE SIDEWALKS, CURBS, AND/OR DRIVE AISLES.
3. AT THE CONTRACTOR'S REQUEST, CAD DRAWINGS MAY BE MADE AVAILABLE TO ASSIST IN HARDSCAPE STAKING. DIGITAL INFORMATION PROVIDED BY KIMLEY-HORN SHALL BE USED FOR THE CONTRACTOR'S REFERENCE.
4. ALL RADII SHALL BE FORMED AS SMOOTH, CIRCULAR ARCS WITH NO KINKS, FACETS, OR TANGENTS.
5. CONTRACTOR SHALL FIELD STAKE LOCATIONS OF SIDEWALKS, CONCRETE FORMS/ SANDBLAST FORMS, LIGHT FIXTURES, AND SITE FURNISHINGS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLING THESE ELEMENTS.
6. ADA ACCESSIBLE RAMPS AND SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODES, WHICHEVER HAS JURISDICTION. SEE LAYOUT PLANS (FOR LOCATION ONLY), CIVIL GRADING PLANS, AND DETAILS FOR ADA ACCESSIBLE RAMPS AND WALK LOCATIONS.
7. LAYOUT SHOWN IS FOR BIDDING PURPOSES ONLY.

SEAL
JONATHAN D. HAIGH
FLORIDA LICENSE NUMBER
LA#6666795

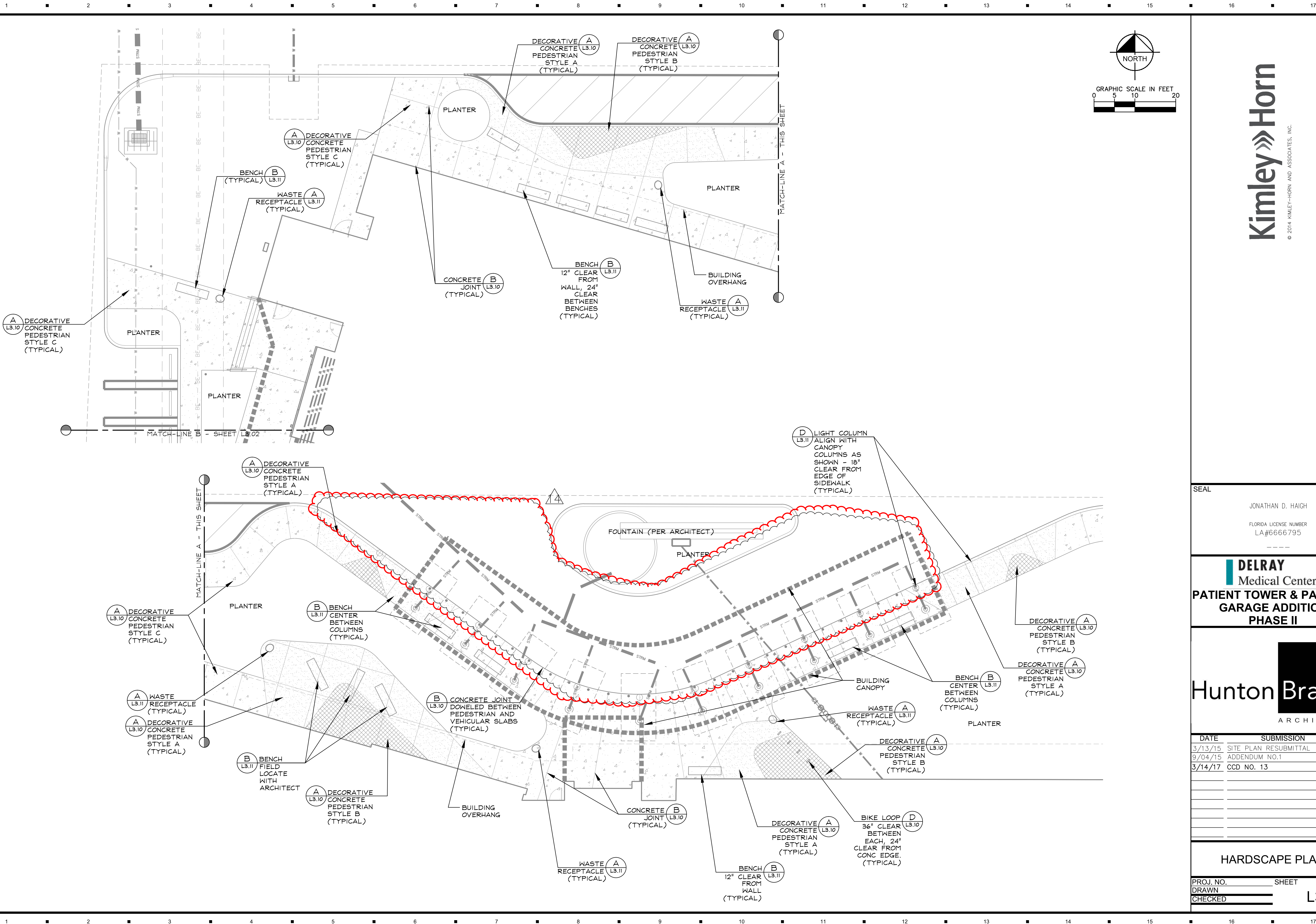
DELRAY
Medical Center
**PATIENT TOWER & PARKING
GARAGE ADDITION
PHASE II**

Hunton Brady
ARCHITECTS

DATE	SUBMISSION	NO.
3/13/15	SITE PLAN RESUBMITTAL	1
9/04/15	ADDENDUM NO.1	1
3/14/17	CCD NO. 13	14

**OVERALL HARDSCAPE
PLAN**

PROJ. NO. _____ SHEET
DRAWN _____
CHECKED _____ **L3.00**



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JONATHAN D. HAIGH
FLORIDA LICENSE NUMBER
LA#6666795

DELRAY
Medical Center

Brady

DATE	SUBMISSION	NO.
3/13/15	SITE PLAN RESUBMITTAL	
9/04/15	ADDENDUM NO.1	1
3/14/17	CCD NO. 13	14

L3.01

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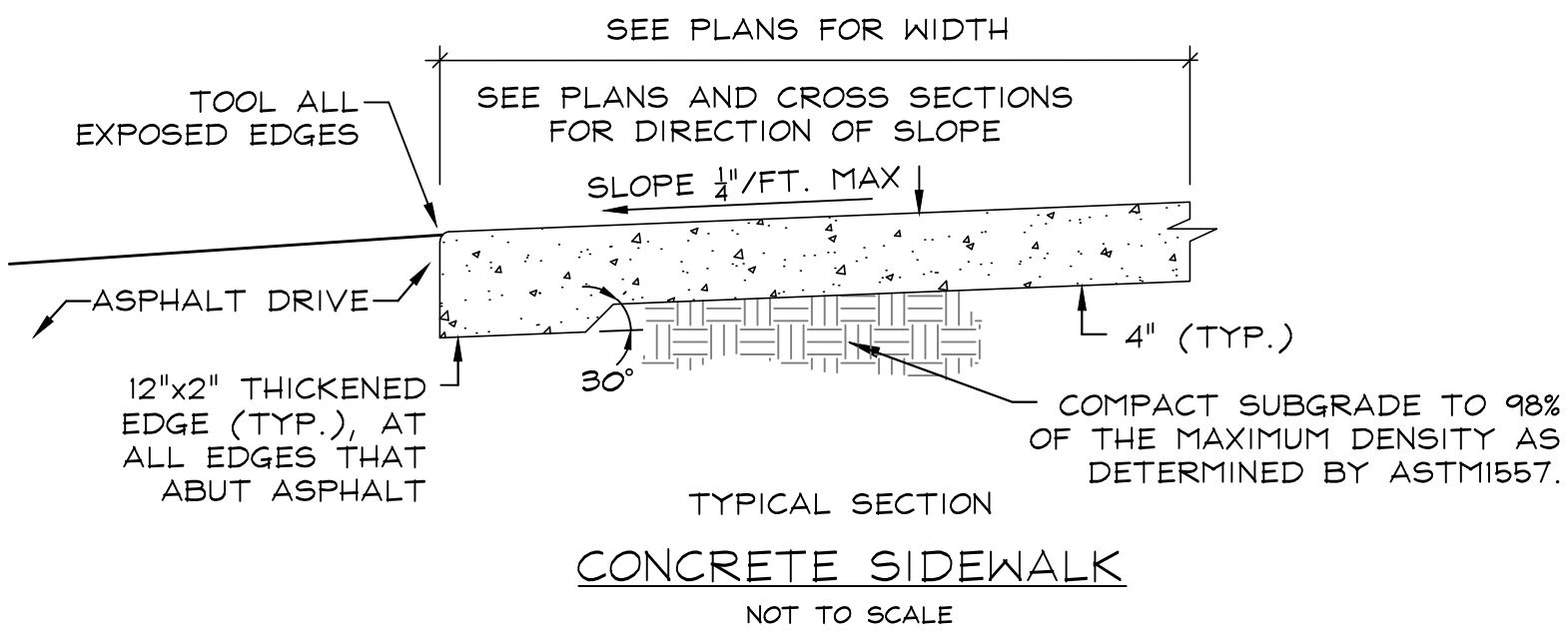
CEMENT: GRAY
SAND: LOCALLY AVAILABLE SAND
AGGREGATE: 50-50 MIX OF BLACK GRANITE AND #57 LIMESTONE
COLORED CONCRETE (STYLES A AND B):
COLOR ADMIXTURE: C-24 CHARCOAL (OR AS SELECTED BY OWNER)
CHROMIX ADMIXTURE BY SCOFIELD SYSTEMS
(1-800-800-9900)
MIX INTEGRAL COLOR PER MANUFACTURER'S SPECIFICATION.

CURING COMPOUND: COLOR TO MATCH INTEGRALLY COLORED CONCRETE. CURING COMPOUND IS LITHOCHROME COLORWAX BY SCOFIELD SYSTEMS, COLOR MATCHED TO C-24 CHARCOAL

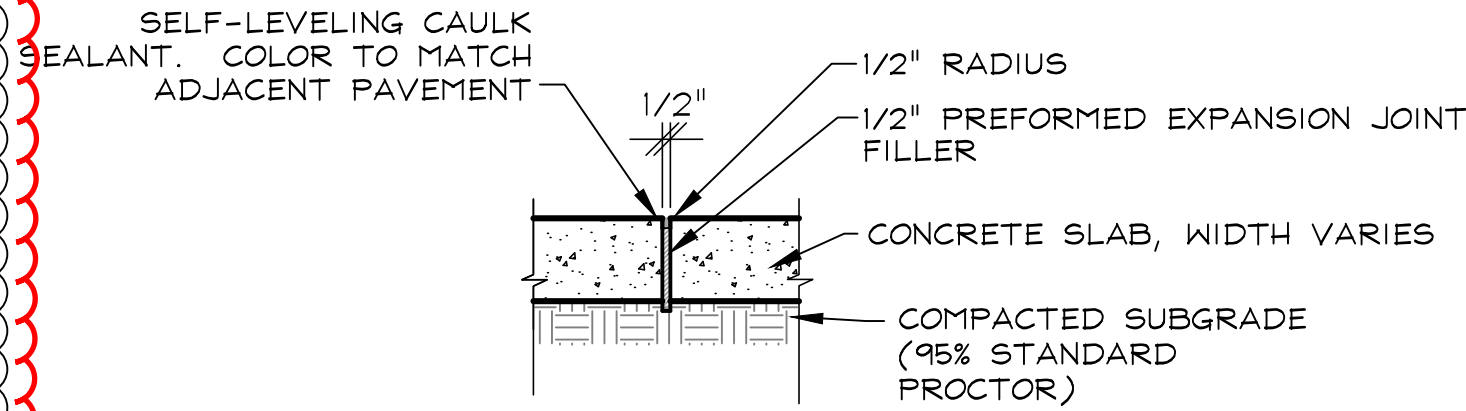
1. A PRE-JOB CONFERENCE IS RECOMMENDED BETWEEN OWNER, ENGINEER, LANDSCAPE ARCHITECT, READY-MIX REPRESENTATIVE, AND MANUFACTURER'S REPRESENTATIVE TO DISCUSS PROJECT APPLICATION AND REVIEW SUBMITTALS.
2. ALL CONCRETE MUST BE BATCHED FROM THE SAME LOCATION
3. A 10'X10' MOCKUP MUST BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE, SHOWING SPONGE FLOAT FINISH, MEDIUM SANDBLAST FINISH, AND COLOR STAIN - ALL TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. MOCKUP LOCATION TO BE OFF-SITE, AT A LOCATION MUTUALLY AGREED-UPON BY THE CONTRACTOR AND OWNER.
4. PRECAUTIONS MUST BE TAKEN IN HOT WEATHER TO PREVENT PLASTIC CRACKING RESULTING FROM EXCESSIVELY RAPID DRYING AT SURFACE AS DESCRIBED IN CIP 5 "PLASTIC SHRINKAGE CRACKING" PUBLISHED BY THE NATIONAL READY MIXED CONCRETE ASSOCIATION.
5. EXPANSION JOINT 30', CONTROL JOINT 10' O.C. MAX. SEE PLAN AND DETAILS, THIS SHEET

UNCOLORED CONCRETE (STYLE C): LIGHT BROOM FINISH
PARALLEL WITH CONCRETE JOINTS

FINISH:
STYLE A: FLOAT FINISH, COLORED STYLE B: SANDBLAST FINISH, COLORED STYLE C: LIGHT BROOM, UNCOLORED
PATTERN LAYOUT:
1. CONTRACTOR TO LAYOUT PATTERN FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SANDBLAST OPERATIONS. 2. MASKING FOR SANDBLASTING MAY BE ACCOMPLISHED WITH CUT SHEET METAL, WOOD, OR OTHER METHODS NECESSARY TO PROVIDE A CLEAN, HARD EDGE TO THE PATTERN. SAMPLE 10'X10' MOCKUP PANEL WILL BE USED TO ESTABLISH AN ACCEPTABLE SANDBLAST EDGE.



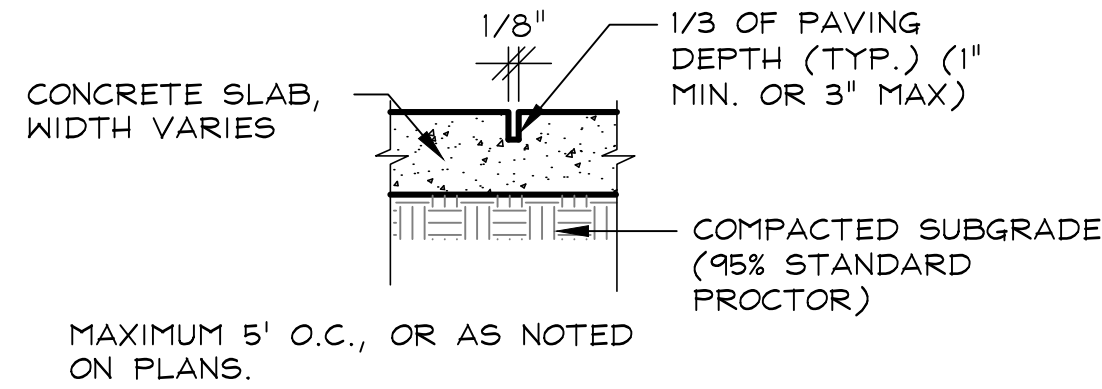
- NOTES:
1. PROVIDE EXPANSION JOINTS BETWEEN NEW SIDEWALK AND EXISTING SIDEWALK, CURB, OR AT ANY OTHER RIGID STRUCTURE. EXPANSION JOINTS ALONG SIDEWALK SHALL BE PROVIDED AT 120 FT. MAXIMUM SPACING, AS SHOWN ON PLAN.
 2. ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE COLORED AND CONTAIN AGGREGATE AS SPECIFIED IN THIS DETAIL, 3,000 P.S.I. @ 28 DAYS, FIBER REINFORCED, PER SPECS.
 3. MINIMUM THICKNESS OF SIDEWALK SHALL BE AS SHOWN BELOW (WITH THICKENED EDGE AS SHOWN).
 4. COMPACT SUBGRADE TO 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM1557.
 5. TOOLED CONTRACTION JOINT SHALL BE PROVIDED AS SHOWN ON PLAN. SAWED CONTRACTION JOINT MAY BE SUBSTITUTED IF CUT WITHIN 12 HOURS AFTER CONCRETE HAS SET.



1/2" EXPANSION JOINT AT MAXIMUM 30' O.C., AT COLD JOINTS AND AT BEGINNING AND END OF MAJOR JOINTS, OR AS NOTED ON PLANS

EXPANSION JOINT DETAIL

1/4" = 1'-0"



MAXIMUM 5' O.C., OR AS NOTED ON PLANS.

CONTROL JOINT

1/4" = 1'-0"

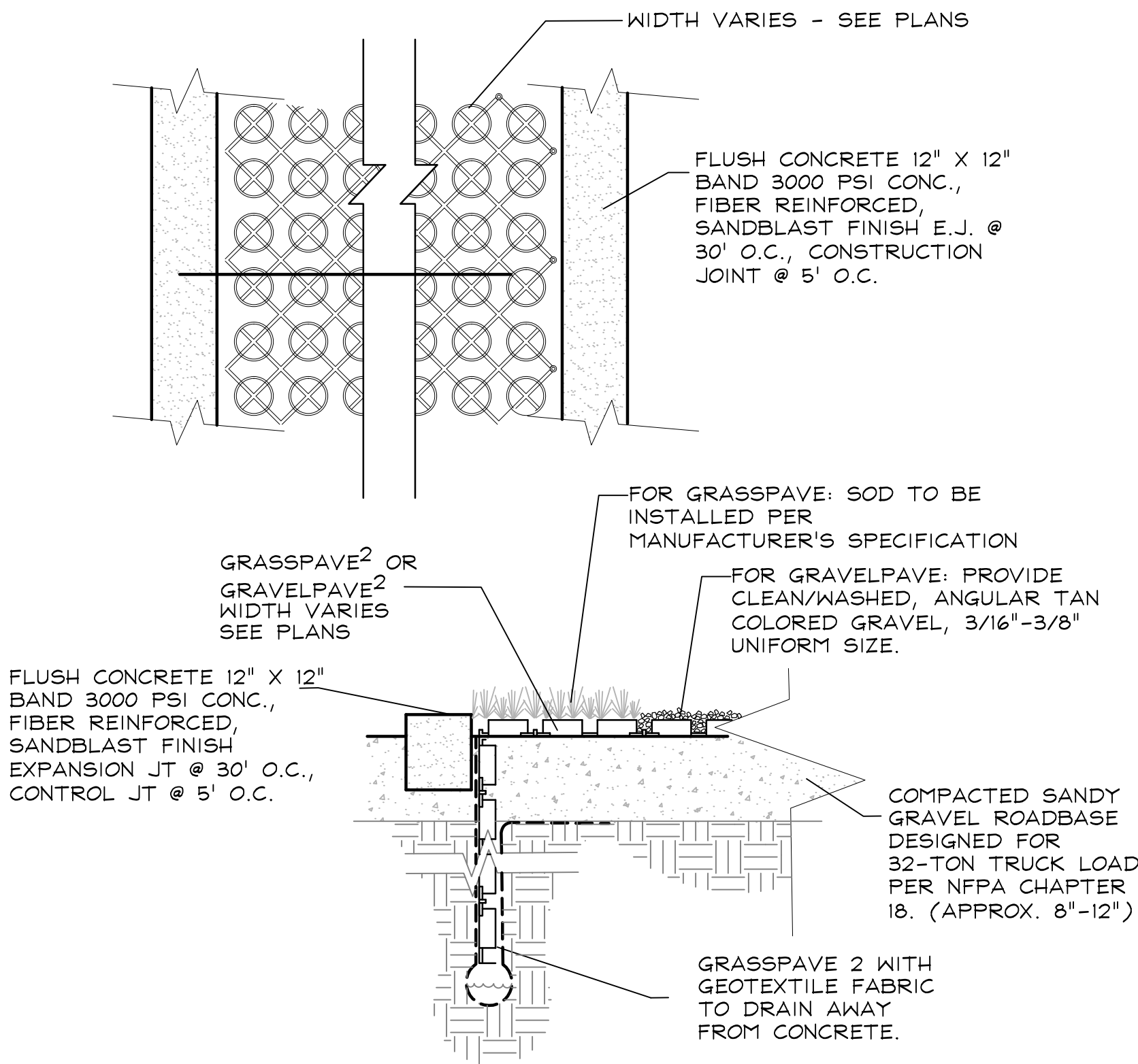
A DECORATIVE CONCRETE TREATMENTS

ELEVATION/SECTION

SCALE: NOT TO SCALE

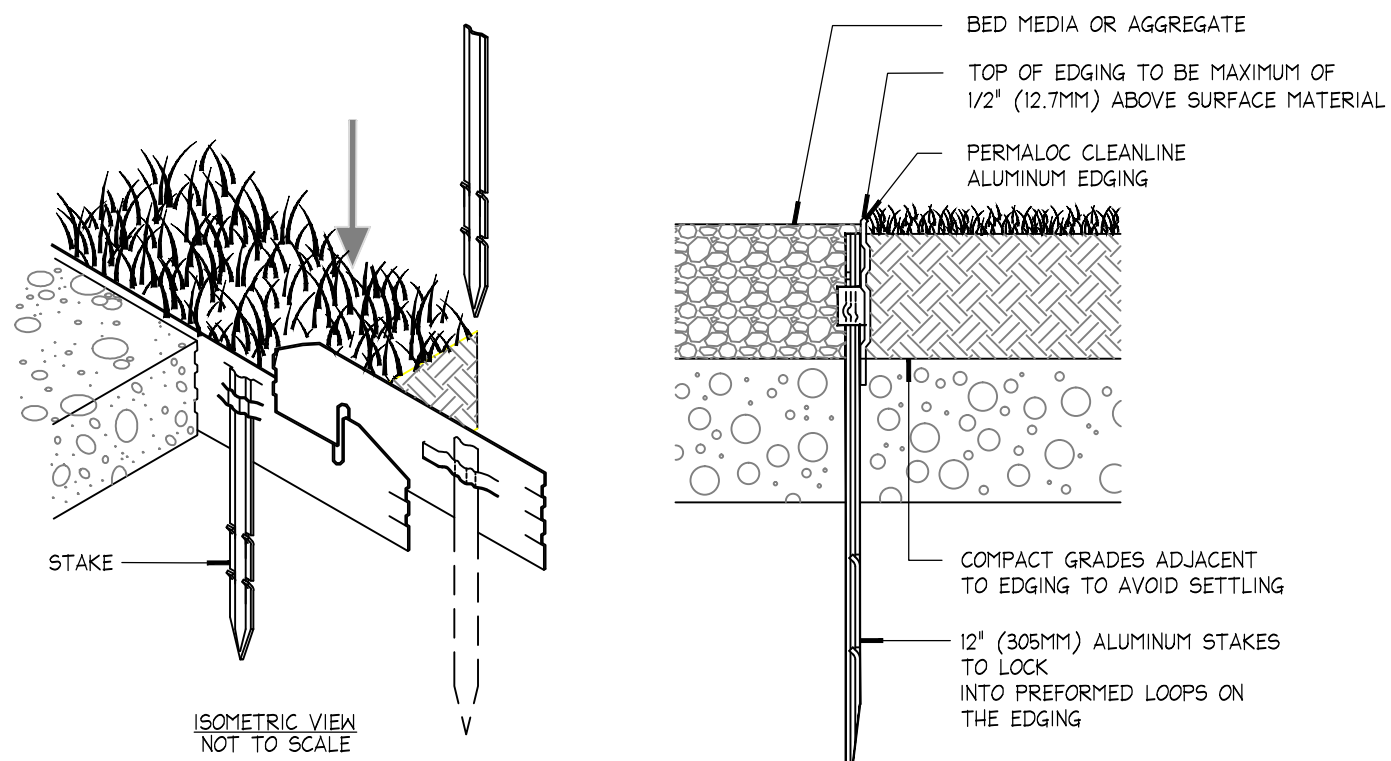
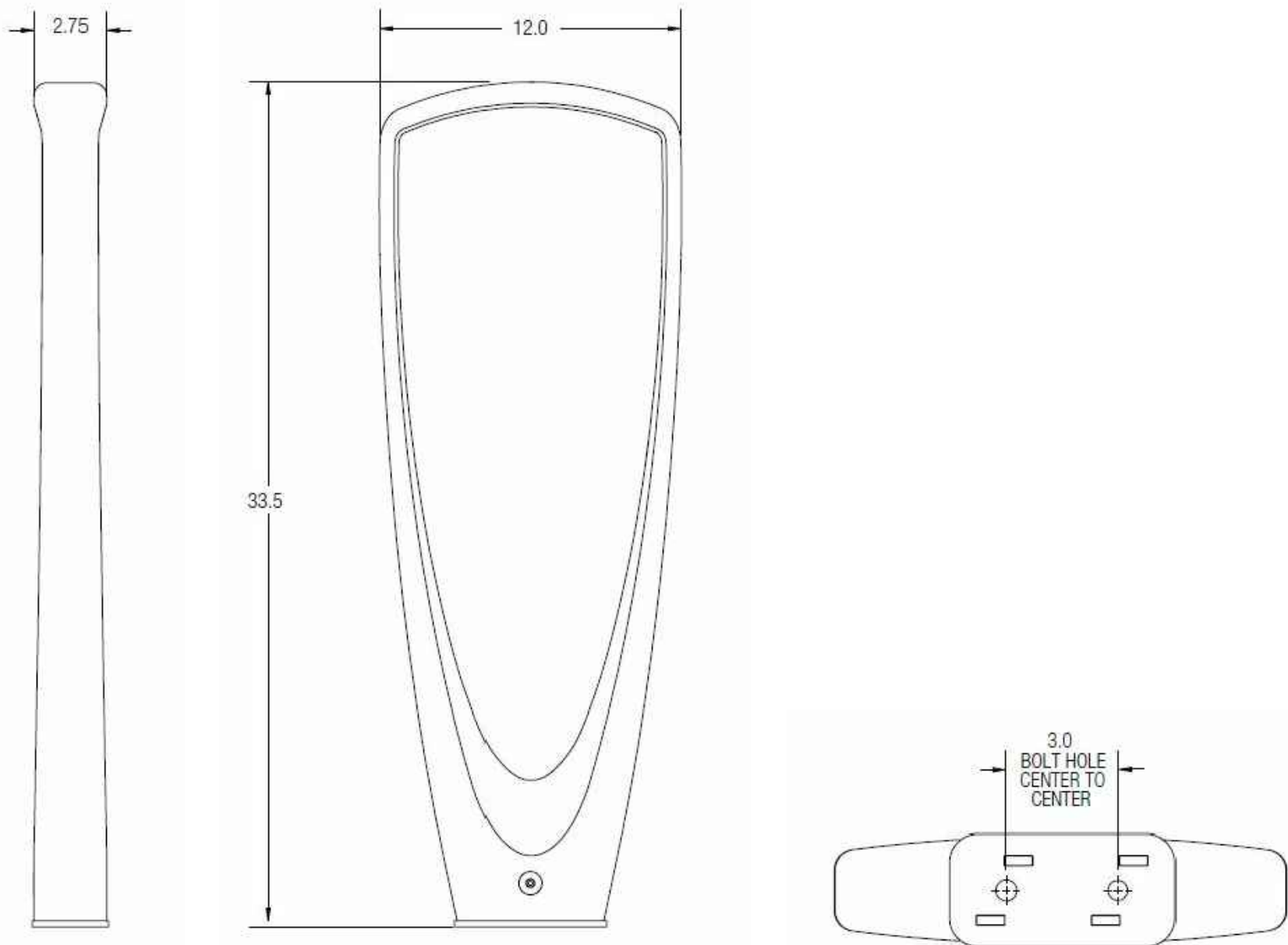
B CONCRETE JOINTS

1/4" = 1'-0"



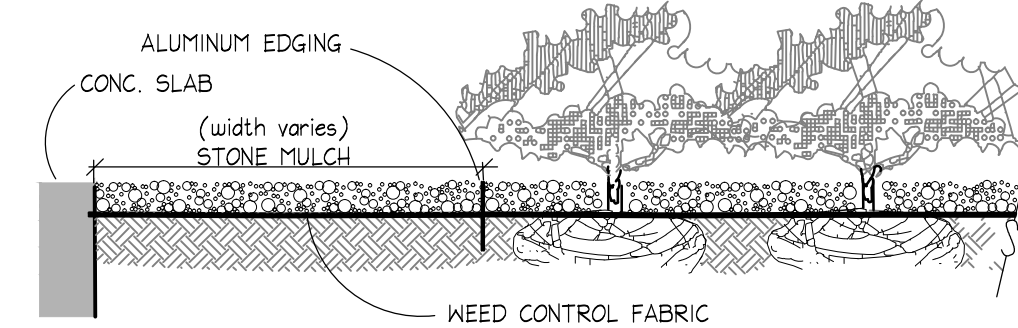
- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATION AND PER DETAIL ABOVE AT LOCATIONS SHOWN ON PLANS.
 2. CONTRACTOR TO FURNISH SHOP DRAWINGS/ PRODUCT CUT SHEETS DEPICTING ITEM AND INSTALLATION SECTION FOR APPROVAL PRIOR TO INSTALLATION.
 3. CONTRACTOR TO PROVIDE GRAVEL SAMPLE FOR OWNER'S REP APPROVAL PRIOR TO INSTALLATION.
 4. PRODUCT DATA:
GRASSPAVE 2 (BLACK) AND GRAVELPAVE 2 (TAN) BY INVISIBLE STRUCTURES, INC.
1-800-233-1510

- BIKE LOOP:
1. **MANUFACTURER:**
FORMS+SURFACES (800)451-0410
 2. **MODEL:**
SKTRO - TRIO BIKE RACK
CAST ALUMINUM BODY
 3. **FINISH:**
STANDARD POWDERCOAT, ALUMINUM TEXTURE.
 4. **INSTALLATION:**
SURFACE MOUNT USING STAINLESS STEEL ANCHOR BOLTS PER MANUFACTURER'S SPECIFICATION. SPACING AS SHOWN ON PLAN.
 5. SUBMIT SHOP DRAWING AND COLOR SAMPLE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO CONSTRUCTION.
 6. ESTIMATED QUANTITY: 4



SIZE & FINISH:
3/16" X 5-1/2" (BR) BROZE DURAFLEX-MEETS AAMA 2603

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. INSTALL PER MANUFACTURER'S 'INSTALLATION GUIDELINES'.
 4. 8'-0" SECTIONS TO INCLUDE (3) 12" ALUMINUM STAKES.
 5. 16'-0" SECTIONS TO INCLUDE (5) 12" ALUMINUM STAKES.
 6. CORNERS: CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER.
 7. PERMALOC PERMASTIC AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND, MI. 1-800-356-9660, (616)-399-9600



- NOTES
- * EDGING: ALUMINUM EDGING, SEE EDGING DETAIL
 - * STONE MULCH: MULCH TYPE TO BE TAN-COLORED RIVER ROCK 1" MIN, 3" MAX OR OWNER'S REPRESENTATIVE APPROVED EQUAL. STONE MULCH TO BE INSTALLED TO A DEPTH OF 2" (MIN.) SUBMIT SAMPLE FOR APPROVAL.
 - * WEED CONTROL FABRIC: INSTALL OVER COMPACTED EARTH, PIN IN PLACE PER MANUFACTURER'S RECOMMENDATION.

C GRASSPAVE/GRAVELPAVE W/ 12" CONCRETE BANDING

OR LANDSCAPE ARCHITECT - APPROVED EQUAL

1/2" = 1'-0"

D BIKE LOOP

SCALE: 2"=1'-0"

E STONE MULCH BED

Kimley»Horn

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SEAL

JONATHAN D. HAIGH
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DELRAY
Medical Center
**PATIENT TOWER & PARKING
GARAGE ADDITION
PHASE II**

Hunton Brady
ARCHITECTS

DATE	SUBMISSION	NO.
3/13/15	SITE PLAN RESUBMITTAL	
9/04/15	ADDENDUM NO.1	1
3/14/17	CCD NO. 13	14

HARDSCAPE DETAILS

PROJ. NO.	SHEET
DRAWN	
CHECKED	L3.10