



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Oasis Business Park

Project Location: 1201,1203,1205,1235 N. Federal Hwy

Request: Class I Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: May 24, 2017

Board Action:

Class I Site Plan Modification

Approved 4-0 (Shannon Dawson, Linda Purdo, and Roger Cope absent)

Architectural Elevation Modifications

Approved 4-0 (Shannon Dawson, Linda Purdo, and Roger Cope absent)

Project Description:

The subject site consists of three lots totaling approximately 0.75 acres with five mixed use buildings. The subject property is located in the General Commercial (GC) Zoning District.

The proposed Class I Site Plan modification is associated with architectural elevation changes, minor improvements to the site and upgrades to the exterior development illumination levels. The construction of a canopy structure supported by columns will decrease an existing front setback non-conformity. The existing buildings will be refurbished without substantially altering the existing structure and openings. The proposed roof modifications will include the addition of decorative parapet walls, wood frame trellis and mansard roof canopies. The building elevations will introduce ornamental features such as, aluminum louvers, mahogany wood shutters, stacked flagstone accents over the white stucco walls, and black traditional square and belly picket style railing along the two-story building staircase and balcony area.

Board Comments:

At its meeting of March 22, 2017, the Board reviewed and postponed its action associated with this Class I Site Plan Modification as the Board expressed concerns with the proposal. Upon recommendation of the Board, the proposal was revised. At its meeting of May 24, 2017, the Board approved the revised request with the condition that a recorded Canopy Hold Harmless Agreement be submitted to the City prior to issuance of a building permit.

Public Comments:

No public input

Associated Actions:

No actions

Next Action:

The SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: May 24, 2017

ITEM: **Delray Oasis Business Park (File 2017-078):** Class I Site Plan Modification associated with architectural elevation and site plan changes to upgrade the existing architectural elevations.

RECOMMENDATION: Approval of a Class I Site Plan Modification.

GENERAL DATA:

Applicant/ Owner..... Delray Oasis Business Park LLC

Location..... 1201,1203,1205,1235 N. Federal Hwy – Northeast corner of N. Federal Hwy and Bond Way.

Property Size..... 0.75 Acres

Future Land Use Map.... GC(General Commercial)

Current Zoning..... GC

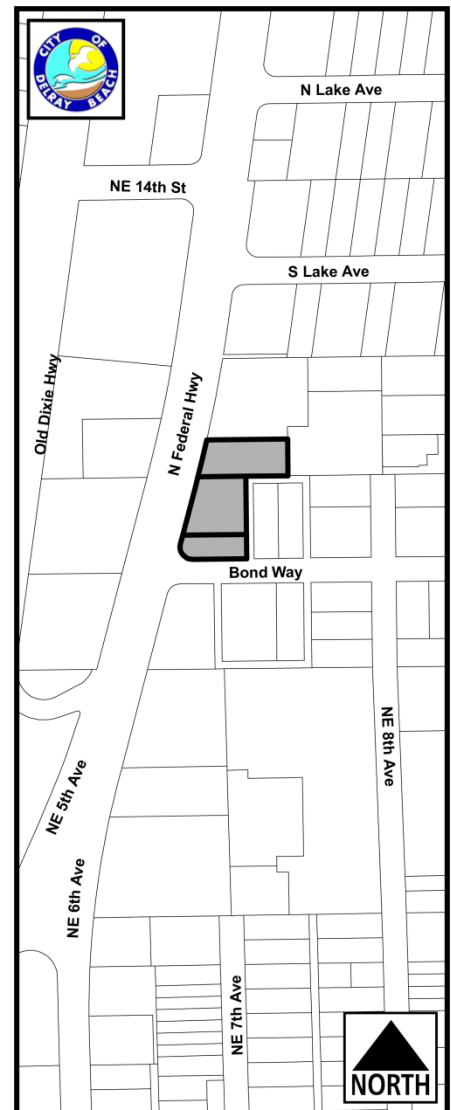
Adjacent Zoning....North: GC
East: GC
South: GC
West: GC

Existing Land Use..... Mixed-Use

Proposed Land Use..... Mixed-Use

Water Service..... Available on site.

Sewer Service..... Available on site.



ITEM BEFORE THE BOARD

The item before the Board is approval of architectural elevation changes associated with a Class I Site Plan Modification for **Delray Oasis Business Park**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a). The subject property is located at the northeast corner of N. Federal Hwy and Bond Way.

BACKGROUND

The subject site consists of three lots totaling approximately 0.75 acres with five mixed use buildings. The subject property is located in the General Commercial (GC) Zoning District. At its meeting of September, 2001, the Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification for the construction of a 1,900 sq.ft. mixed use building, which was never built. There have been no recent modifications associated with the subject site.

At its meeting of March 22, 2017, the Board reviewed and postponed its action associated with a Class I Site Plan Modification as the Board expressed concerns with the proposed architectural elevation changes. The Board advised the applicant to:

- Modify the proposed shutters to be proportionally harmonious with the existing openings;
- Revise the architectural elevations to assure that the proposed roof overhangs are structurally feasible; and,
- Provide more detailed information on the plans with regard to the proposed modifications.

Now, Before the Board for reevaluation is a Class I Site Plan Modification associated with architectural elevation and site plan changes to modify the existing architectural elevations.

PROJECT DESCRIPTION

The Site Plan Modification request incorporates the following changes:

- ☐ Upgrades to the existing architectural elevations and site plan;
- ☐ Removal of the existing awnings;
- ☐ Construction of new parapets, trellis and canopies; and,
- ☐ Installation of a new railing system and light fixtures.

SITE PLAN ANALYSIS

LDR Section 4.4.9(F)(2)(a) – North Federal Highway Area: Parcels which have a frontage on N. Federal Highway (between NE 4th Street and the north City limits), shall have a front building setback between 5' and 15' measured from the ultimate right-of-way-line. The 1205 building is subject to this requirement and currently has a non-conforming setback of 25'-8" measured from the existing property line. This non-conformity will be reduced to 22'-11" with the introduction of a 5' deep mansard canopy structure supported by concrete columns. Thus, the proposed modification will decrease a legal non-conformity.

LDR Section 4.6.8 – Lighting: When new exterior light fixtures are proposed, a photometric plan is required that demonstrates compliance with the minimum acceptable standards for lighting of building entrance. The photometric plan provided demonstrates compliance with this requirement.

ARCHITECTURAL ELEVATIONS ANALYSIS

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The existing buildings will be refurbished without substantially altering the existing structure and openings. The proposed roof modifications will include the addition of decorative parapet walls, wood frame trellis and mansard roof canopies. The building elevations will introduce ornamental features such as, aluminum louvers, mahogany wood, stacked flagstone accents over the white stucco walls, and black traditional square and belly picket style railing along the two-story building staircase and balcony area. The proposed mahogany window shutters have been revised with the intent to be proportionally harmonious with the existing window openings.

The existing awnings will be removed, and barrel tile mansard roof canopies will be introduced above each door opening. Pursuant to LDR Section 4.3.4 (H)(4)(o), canopies, marquees and covered walkways may extend into the public right-of-way when approved by the Chief Building Official through approval of an applicable agreement with the City. The proposed canopies along the southernmost building, 1201 building, will require the approval of a Hold Harmless Agreement as they encroach into the right-of-way. This requirement is noted as a condition of approval.

No modifications are proposed to the existing structure located to the rear of the northernmost building (1235 building). The proposed changes to the architectural elevations will be compatible and harmonious with the surrounding properties. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the request for a Class I Site Plan Modification (2017-078) for **Delray Oasis Business Center** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.
- C. Move denial of the request for a Class I Site Plan Modification (2017-078) for **Delray Oasis Business Center** by adopting the findings of fact and law contained in the staff report, and finding

that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

STAFF RECOMMENDATION

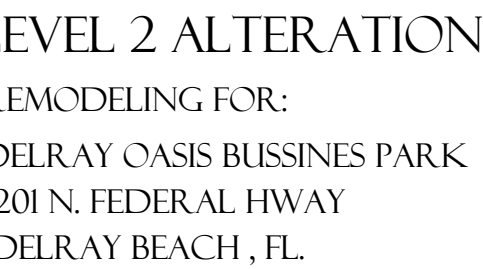
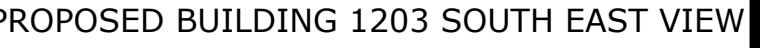
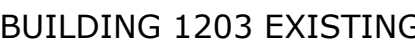
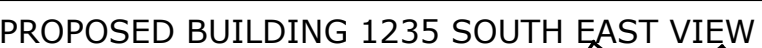
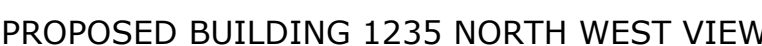
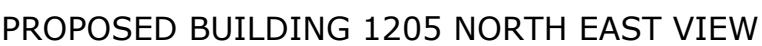
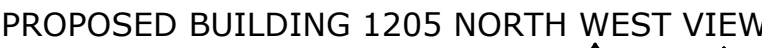
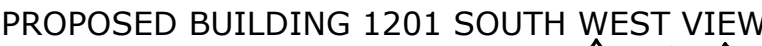
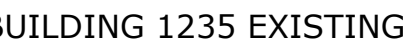
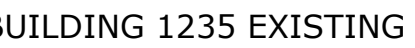
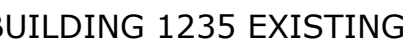
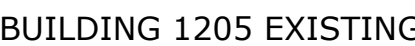
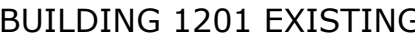
Site Plan:

Move **approval** of the Class I Site Plan Modification for **Delray Oasis Business Park (File no. 2017-078)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with and meets criteria set forth in LDR Sections 2.4.5(F)(5) and 3.1.1 (Required Findings).

Architectural Elevations:

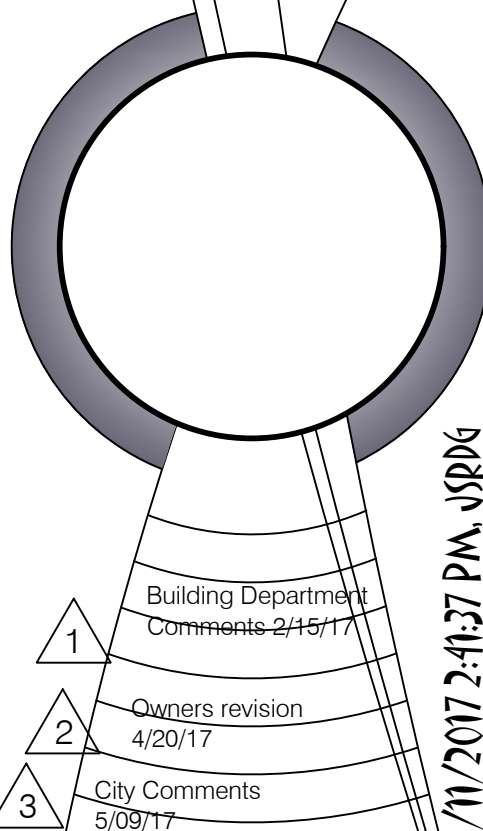
Move approval of the request for a Class I site plan modification for elevation changes for **Delray Oasis Business Center (File no. 2017-078)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations **with the condition that a recorded Hold Harmless agreement be submitted to the City prior to issuance of a building permit.**

Prepared by: Debora Slaski, Assistant Planner
Attachments: Site Plan, Survey, Architectural Elevations.



JOHN SHERMAN REED
ARCHITECT

JSR DESIGN GROUP INC.
J STREET CAMINO REAL, SUITE 117E
DALLAS, TEXAS 75243

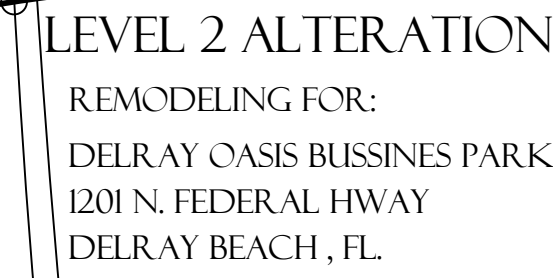


2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.

3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

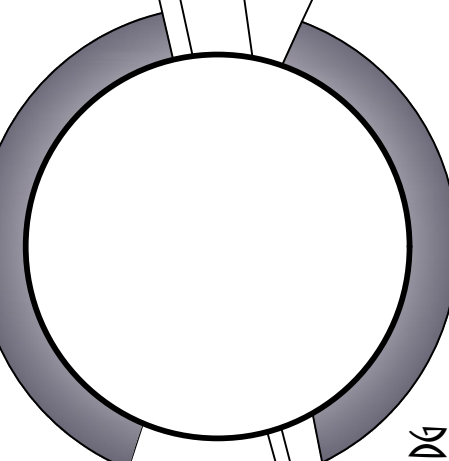
16516

SP1



JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP
1 WEST CAMINO REAL, SUITE 117E
BOCA RATON, FL 33432
PH. 561-362-7203
AA26002033



Owner's revision
4/20/17

2. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.

3. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.

4. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

1 6 5 1 6

SP2



Stucco on wood frame wall notes:

Moisture barrier
Wood shall be covered with 15-pound (9 kg) roofing felt, or other approved equally moisture-resisting layer, and metal reinforcement as set forth herein.

Metal reinforcement
Stucco shall be reinforced with galvanized expanded metal weighing not less than 1.8 pounds per square yard (0.98 kg/m²), or galvanized welded or woven wire-fabric weighing no less than 1 pound per square yard (0.54 kg/m²).

All metal lathing shall be lapped not less than 1 inch (25 mm).

Metal reinforcement shall be furred out from the backing by an approved method.

Fastenings into wood sheathing or wood framing shall be by galvanized nails, with heads not less than 3/8 inch (9.5 mm) in diameter, driven to full penetration, using a minimum of two nails per square foot (0.093 m²), or by approved staples having equal resistance to withdrawal.

The fastening of rib-lath to metal members shall be by #8 galvanized sheet-metal screws, using a minimum of two screws per square foot (0.093 m²).

Water resistive barriers:

Walls (wood frame) with stucco
Tyvek "Home Wrap"

Window/Door Flashing System
Dupont "Straight flash"

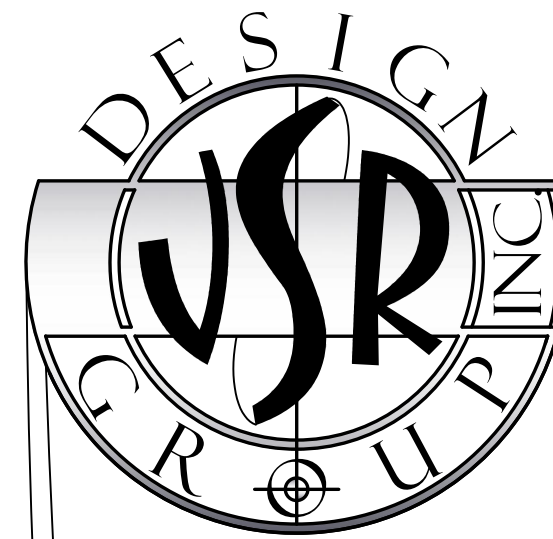
Tapcon Substitution Note:
Anchoring required into existing tie beams can substitute (3) 1/4" Tapcons with a minimum 1-1/4" Embedment in place of nailing required.

All exposed metal fasteners to be hot dipped galvanized or stainless steel.



ELEVATION KEYNOTES BUILDING 1201	
①	STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
②	4" WIDE SMOOTH STUCCO BAND FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
③	BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4. CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
④	PROPOSED BRACKET. FINISH: CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑤	LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL.
⑥	S TILE: INTEGRA BAYSIDE BLEND BELLA COLLECTION
⑦	RECESSED ALUMINUM LOUNGE
⑧	PROPOSED MANSARD ROOF
⑨	FAUX SOUTHERN YELLOW PINE CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑩	STACKED FLAGSTONE

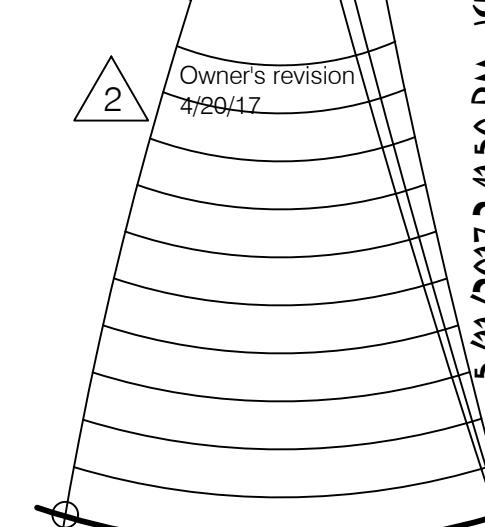
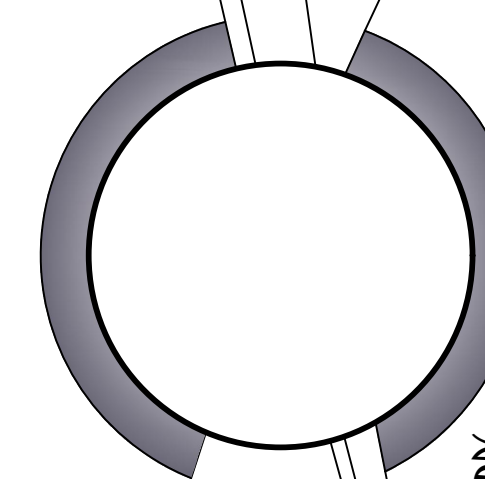




LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1201 N. FEDERAL HWAY
DELRAY BEACH, FL.

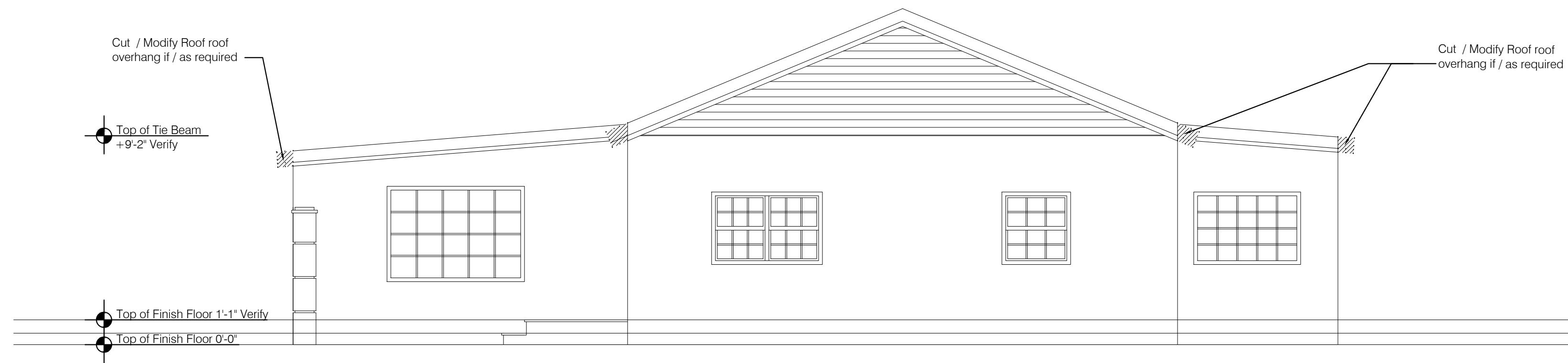
JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AA26002033

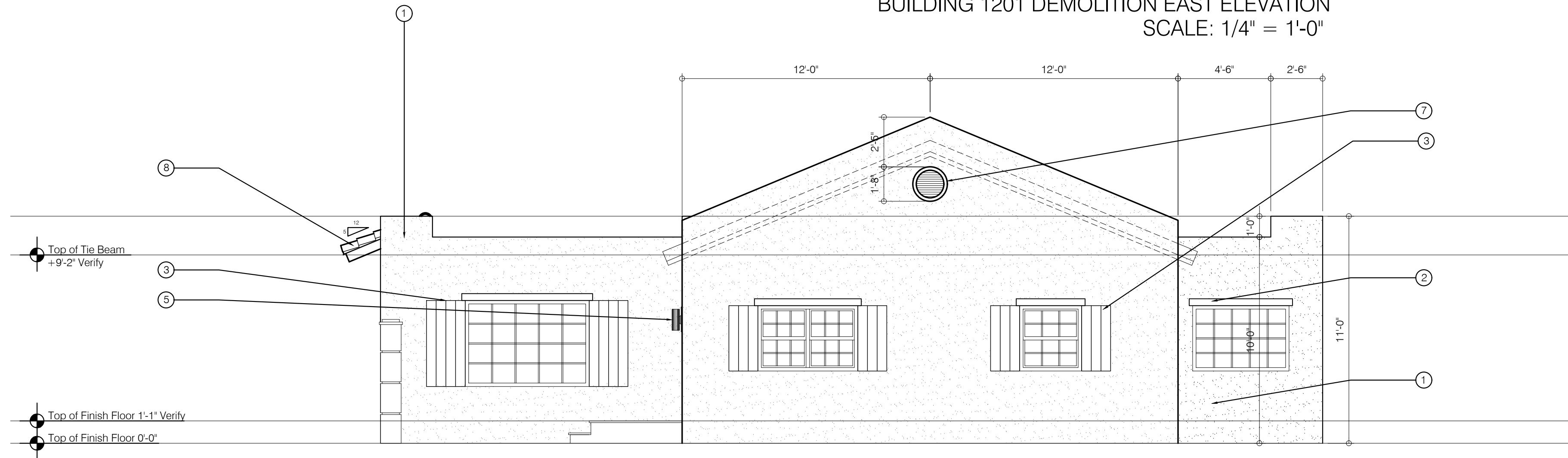


1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

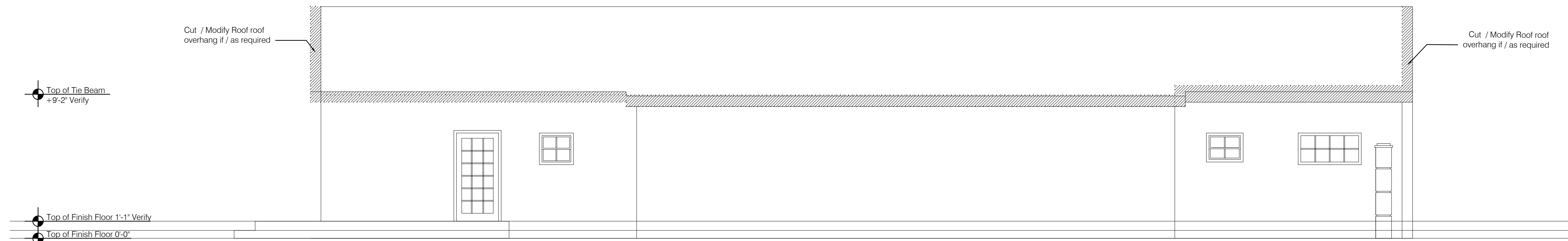
16516
SP3



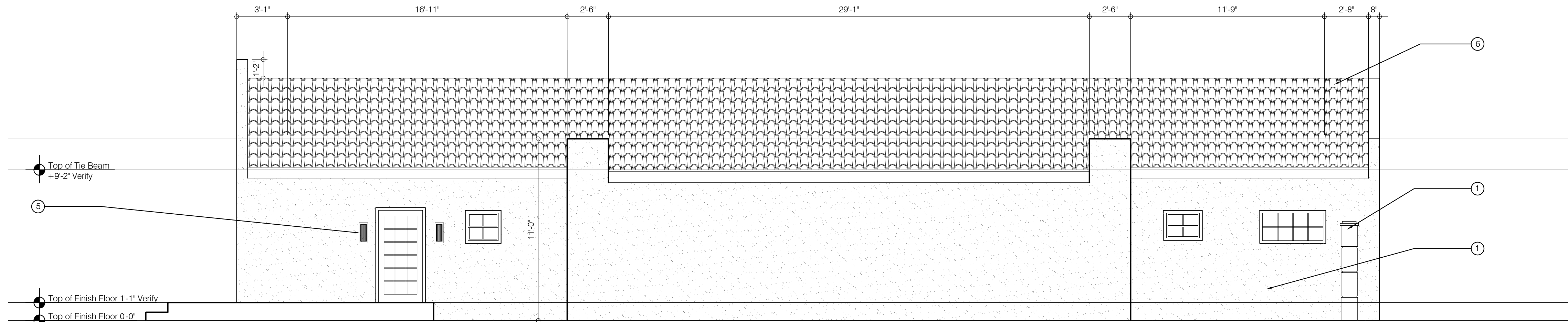
BUILDING 1201 DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1201 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



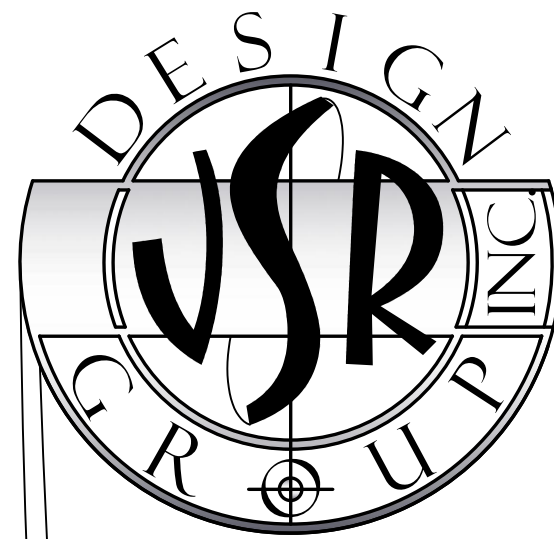
BUILDING 1201 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1201 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES BUILDING 1201

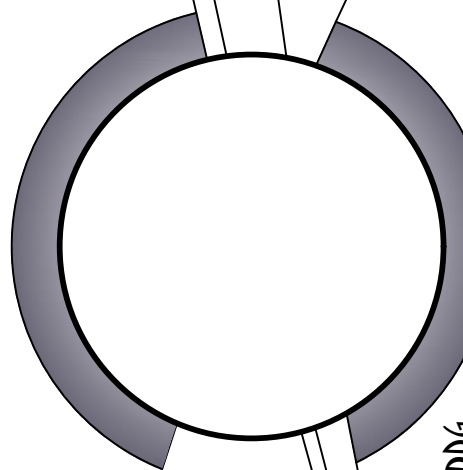
- ① STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
- ② 4" WIDE SMOOTH STUCCO BAND FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
- ③ BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4 CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
- ④ PROPOSED BRACKET, FINISH: CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
- ⑤ LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL
- ⑥ S TILE: INTEGRA BAYSIDE BLEND BELLA COLLECTION
- ⑦ RECESSED ALUMINUM LOUVRE
- ⑧ PROPOSED MANSARD ROOF
- ⑨ FAUX SOUTHERN YELLOW PINE CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
- ⑩ STACKED FLAGSTONE



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1203 N. FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH. 561-362-7203
AA26002033

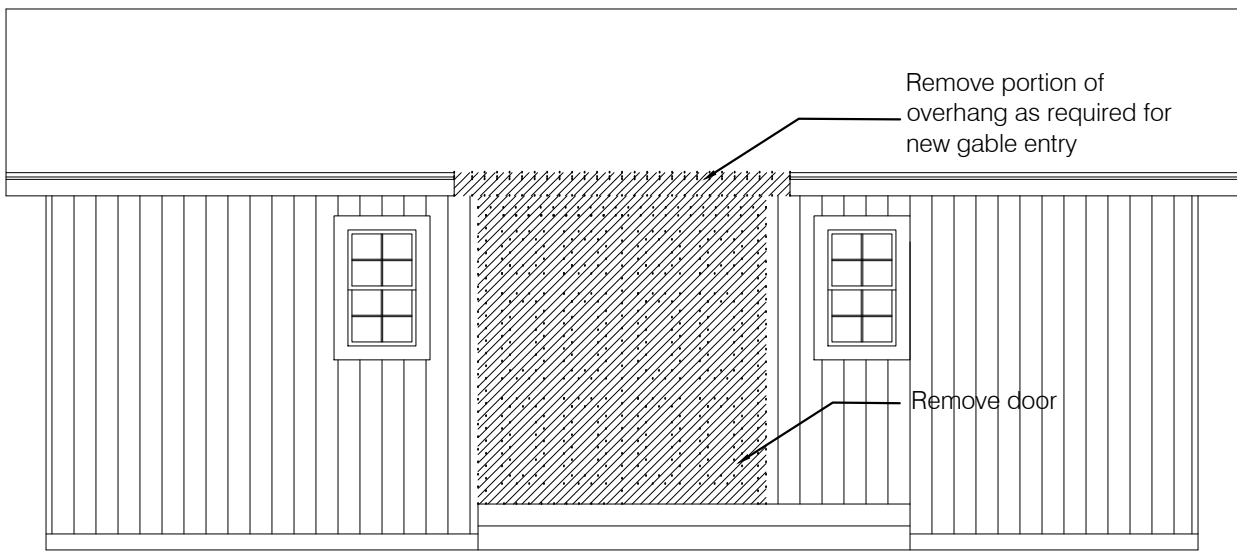


5/11/2017 2:41:55 PM US006

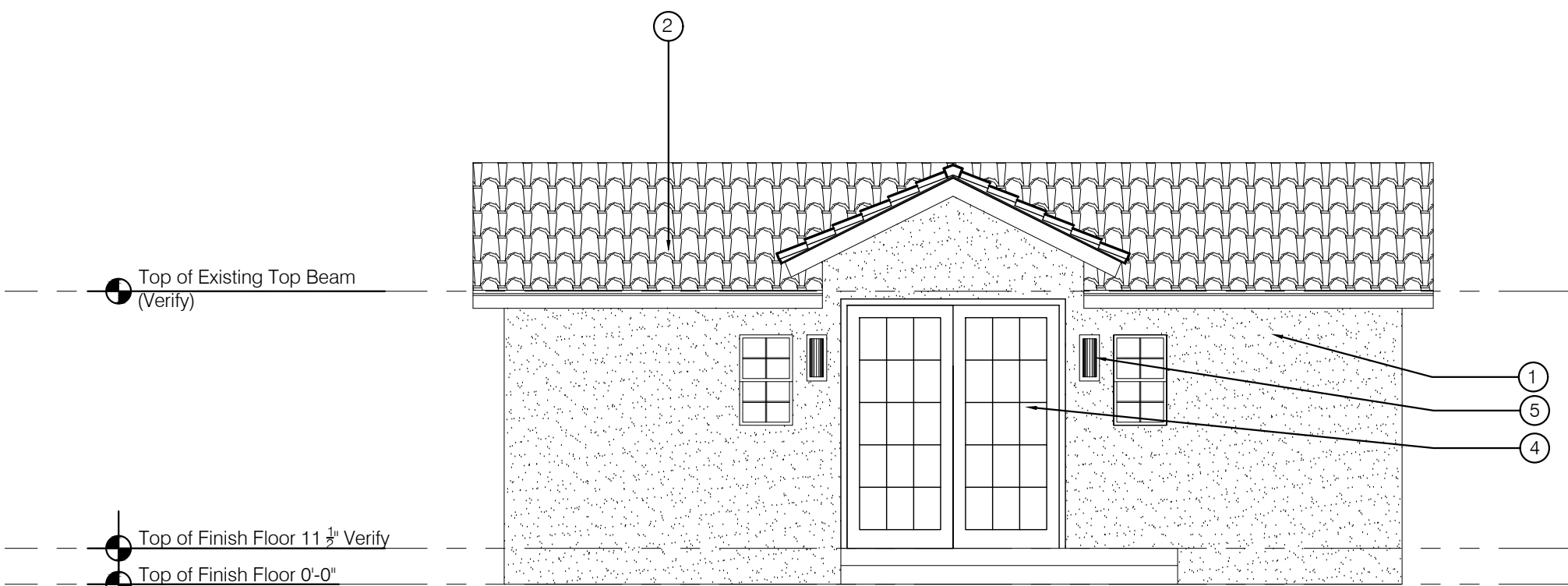
- All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
- Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
- Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516

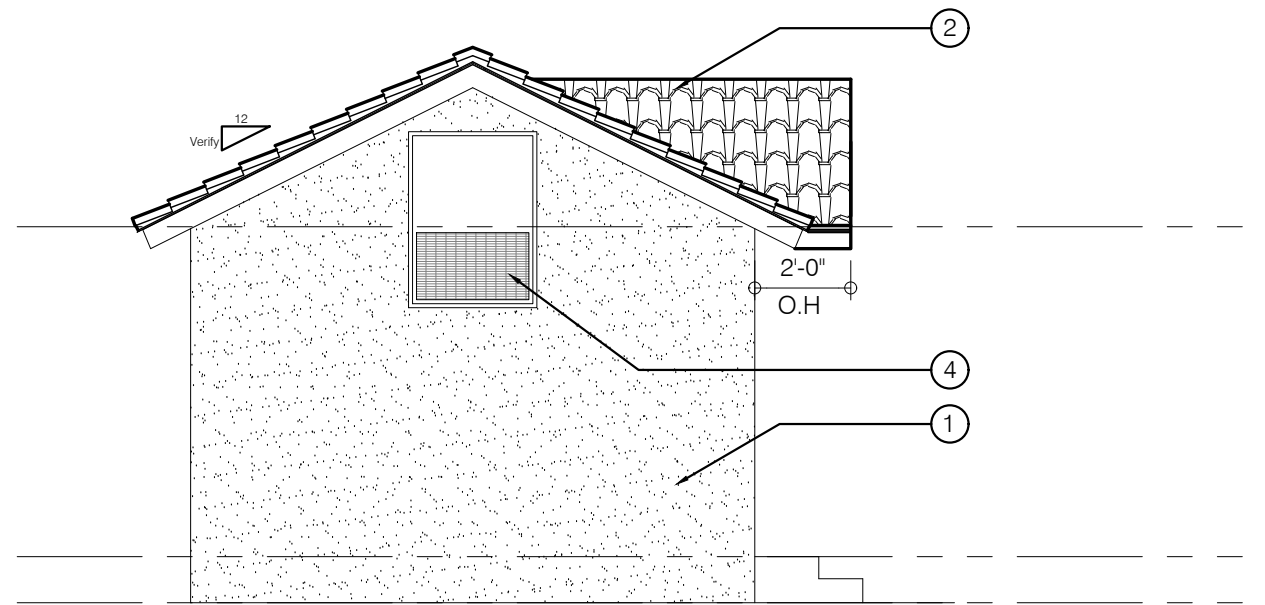
SP4



EXISTING/DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Stucco on wood frame wall notes:

Moisture barrier

Wood shall be covered with 15-pound (9 kg) roofing felt, or other approved equally moisture-resisting layer, and metal reinforcement as set forth herein.

Metal reinforcement

Stucco shall be reinforced with galvanized expanded metal weighing no less than 1.8 pounds per square yard (0.98 kg/m²), or galvanized welded or woven wire-fabric weighing no less than 1 pound per square yard (0.54 kg/m²).

All metal lathing shall be lapped not less than 1 inch (25 mm).

Metal reinforcement shall be furred out from the backing by an approved method.

Fastenings into wood sheathing or wood framing shall be by galvanized nails, with heads not less than 3/8 inch (9.5 mm) in diameter, driven to full penetration, using a minimum of two nails per square foot (0.093 m²), or by approved staples having equal resistance to withdrawal.

The fastening of rib-lath to metal members shall be by #8 galvanized sheet-metal screws, using a minimum of two screws per square foot (0.093 m²).

Water resistive barriers:

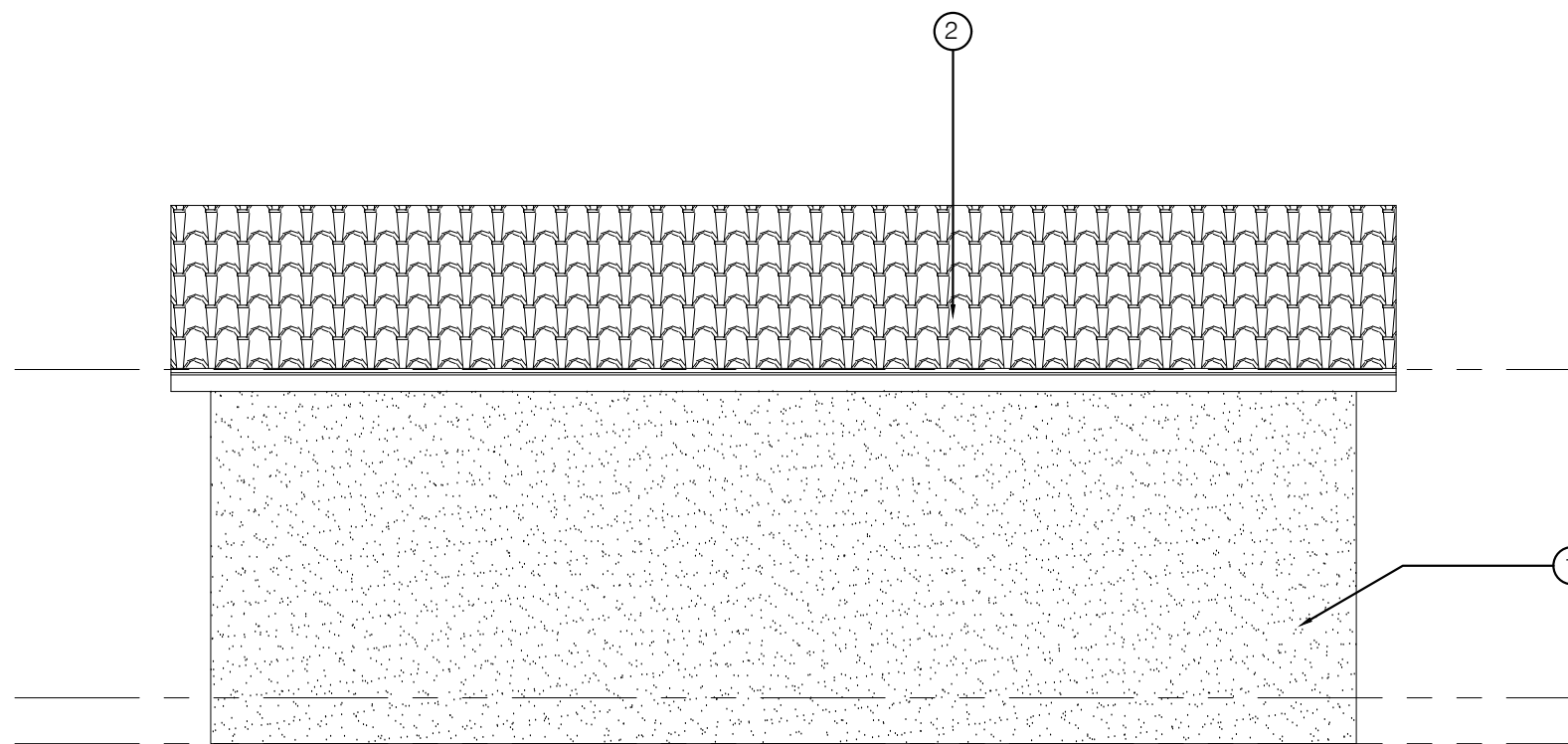
Walls (wood frame) with stucco
Tyvek® Home Wrap®

Window/Door Flashing System
Dupont® Straight flash®

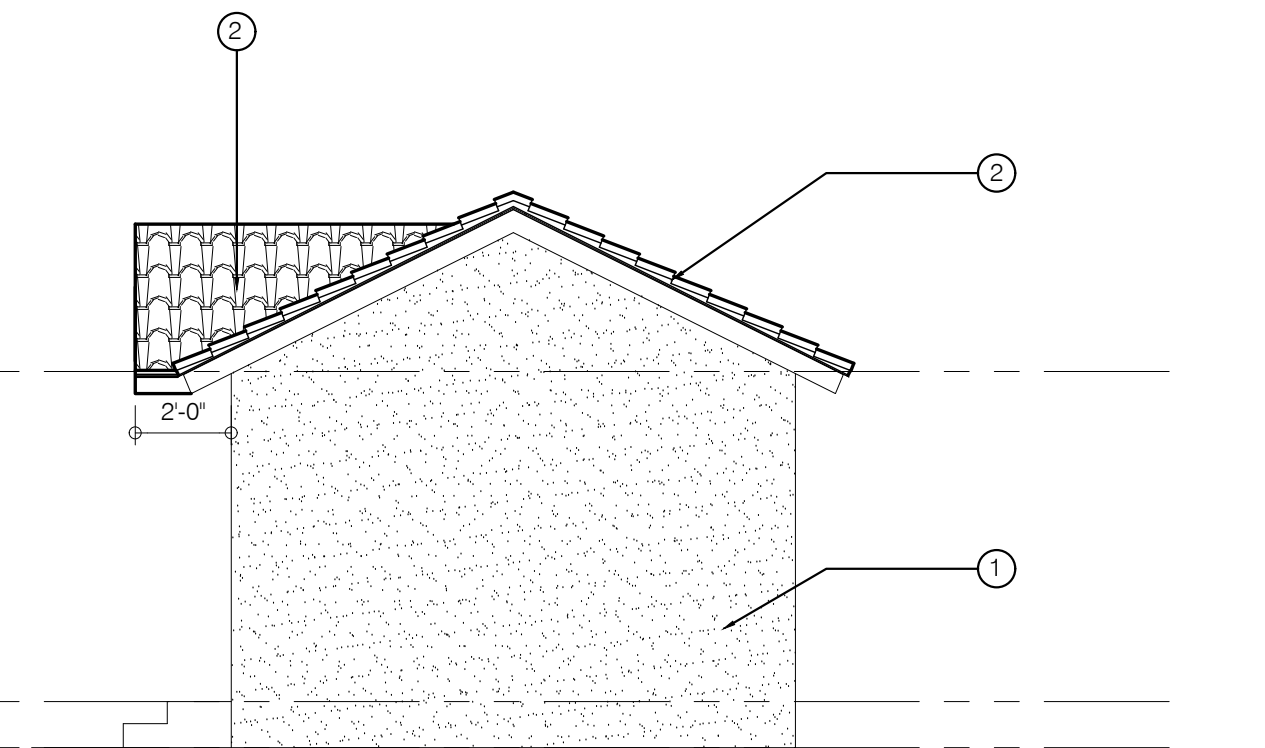
Tapcon Substitution Note:

Anchoring required into existing tie beams can substitute (3) 1/4" Tapcons with a minimum 1-1/4" Embedment in place of nailing required.

All exposed metal fasteners to be hot dipped galvanized or stainless steel.

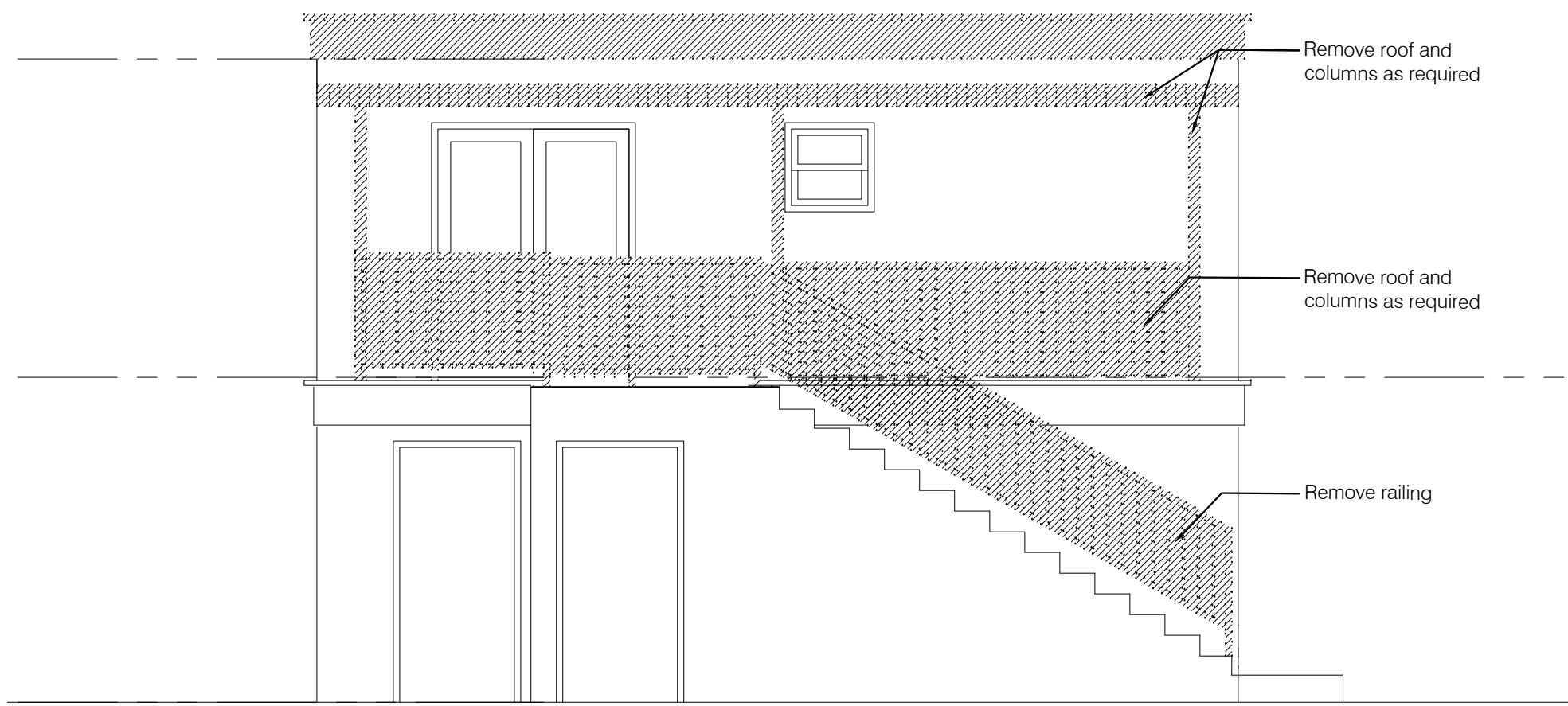


BUILDING PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

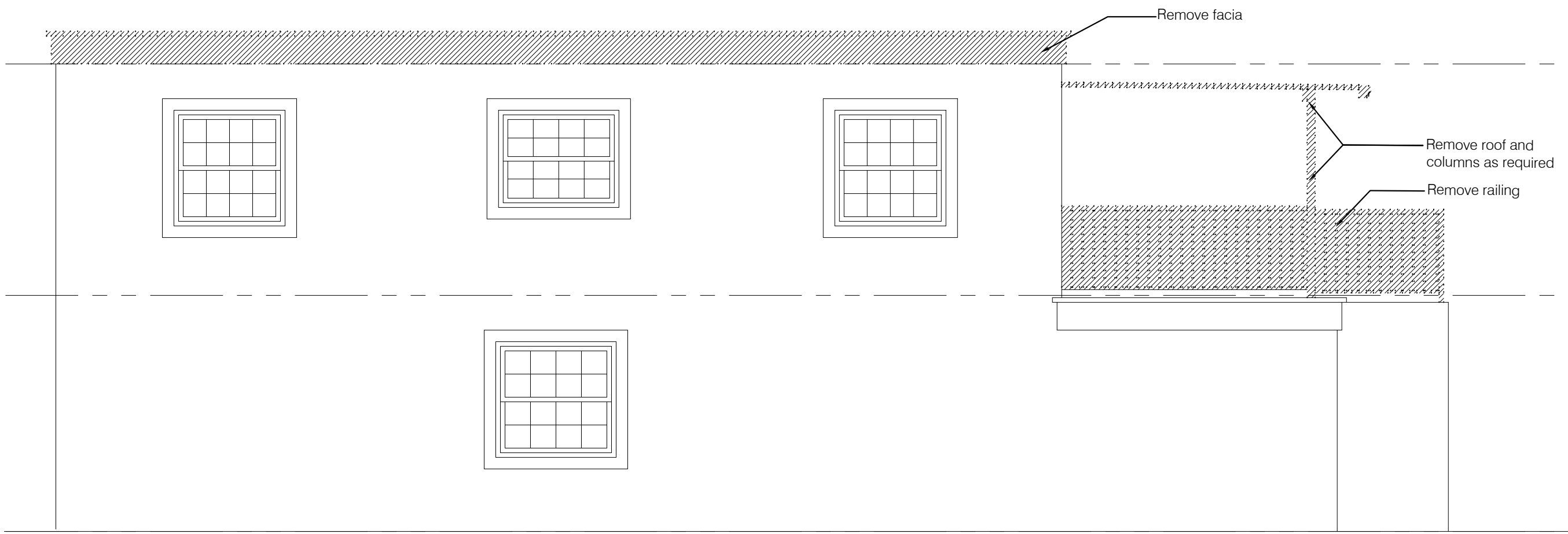


BUILDING PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

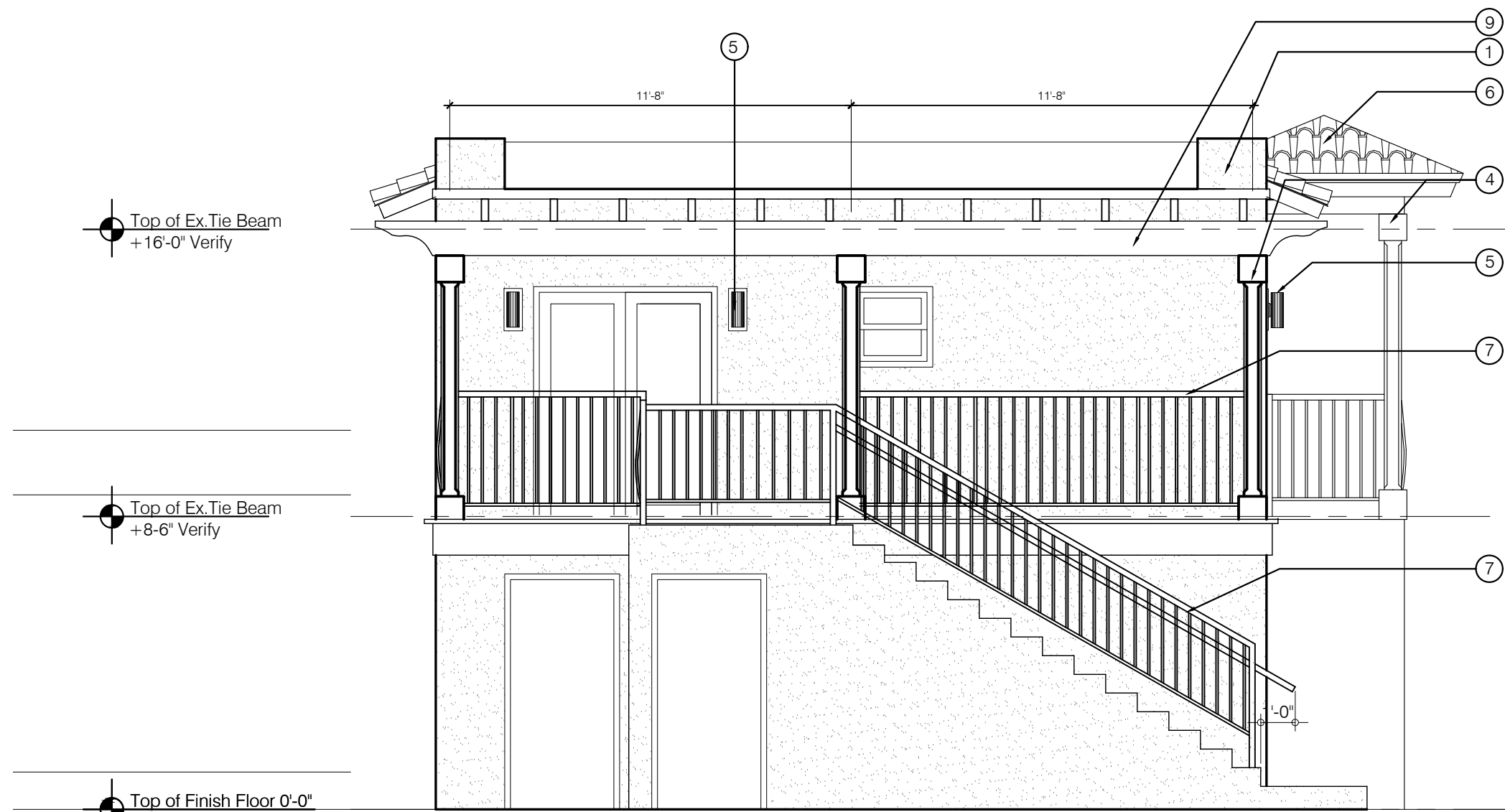
ELEVATION KEYNOTES BUILDING 1203	
①	STUCCO TO MATCH EXISTING BUILDINGS FINISH REFERENCE COLOR EIDER WHITE SW 7014
②	ENTEGRA S TILE BAYSIDE BLEND BELLA COLLECTION
③	DOUBLE FRENCH DOOR
④	EXISTING AC
⑤	LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL



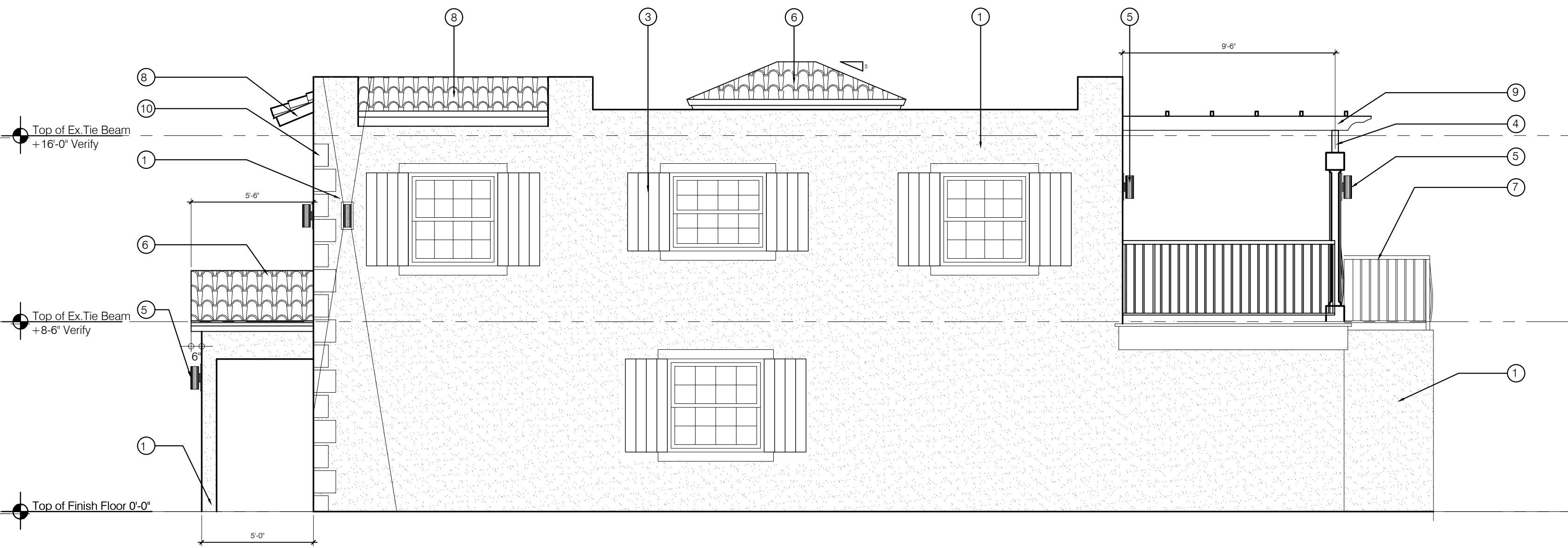
BUILDING 1205 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1205 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1205 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1205 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES BUILDING 1205

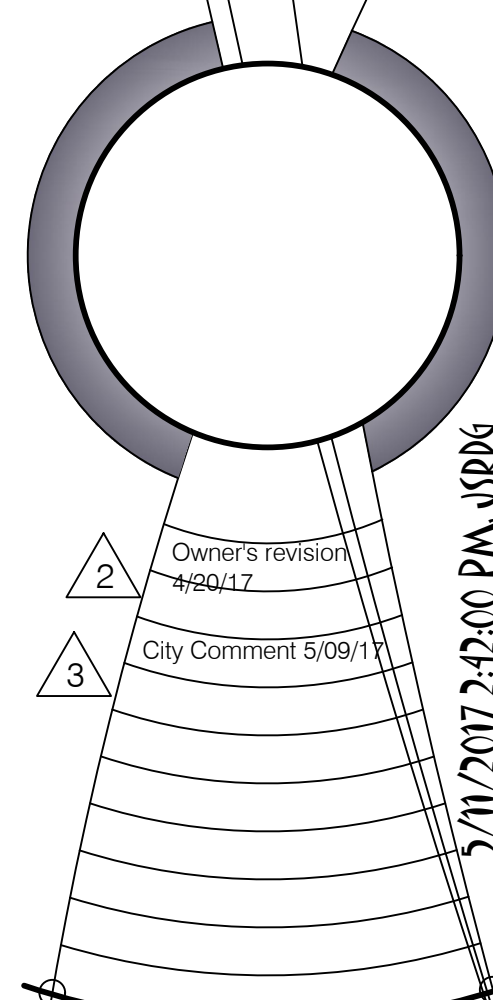
- 1 STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
- 2 4" WIDE SMOOTH STUCCO BAND FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
- 3 BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4 CABOT-MOONLIT MAHOGANY STAIN WOOD FINISH
- 4 COLUMNS: CABOT-MOONLIT MAHOGANY STAIN WOOD FINISH
- 5 LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION SHEET FOR MORE DETAIL
- 6 ENTEGRA S TILE BAYSIDE BLEND BELLA COLLECTION
- 7 36" HIGH STAIR RAILING & 42" HIGH GUARDRAIL. FINISH COLOR BLACK. REFER TO SHOP DRAWINGS BY NEXAN RAILING COMPANY FOR MORE DETAILS
- 8 PROPOSE MANSARD ROOF
- 9 PROPOSE TRELLIS: CABOT-MOONLIT MAHOGANY STAIN WOOD FINISH
- 10 EXISTING DECORATIVE QUOINS COLOR FINISH REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINESS PARK
1205 N FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

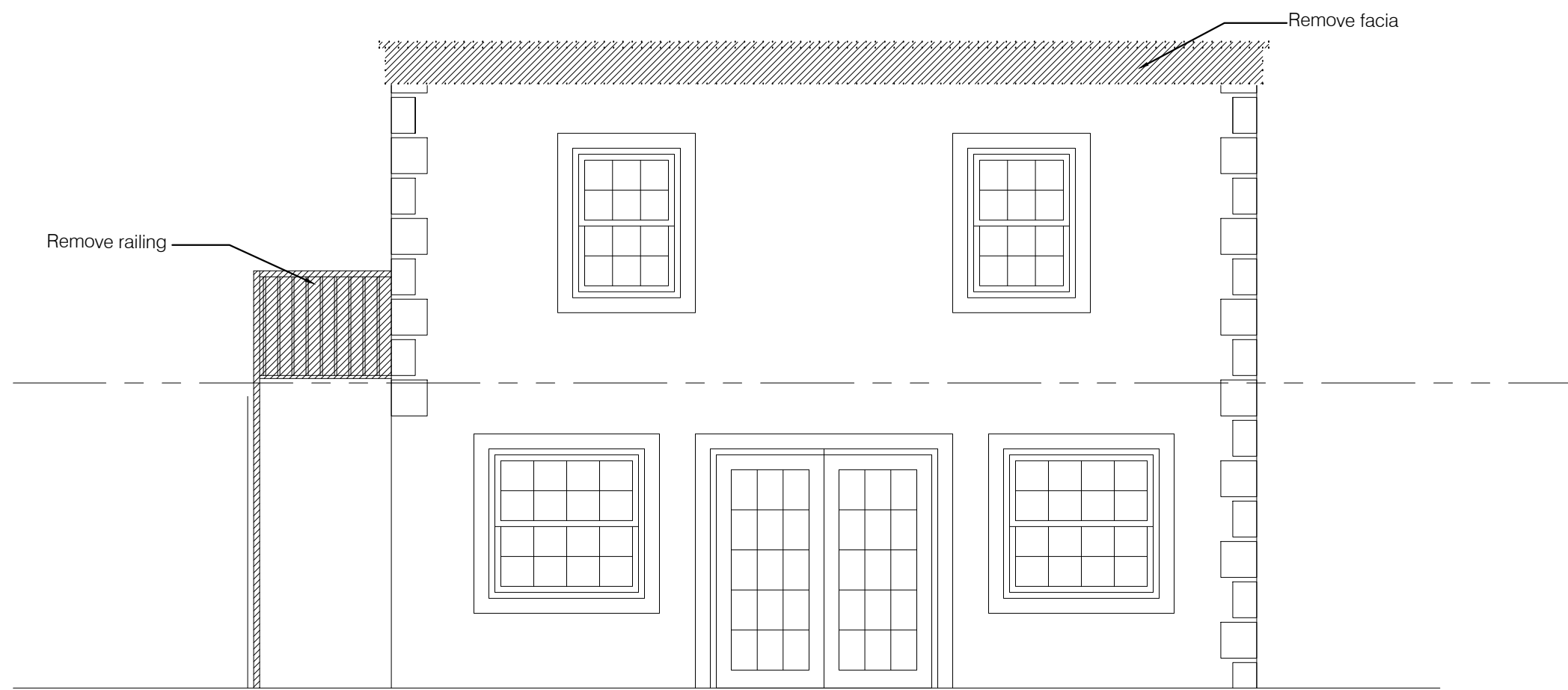
JSR DESIGN GROUP, INC.
1 WEST CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AA26002033



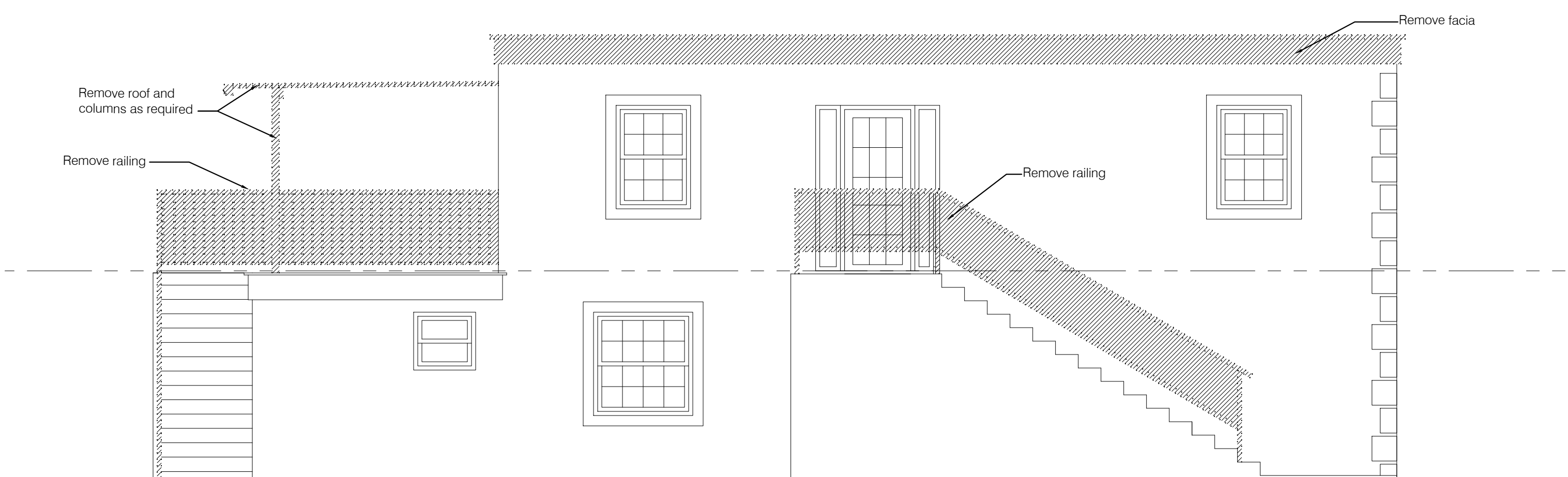
1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516

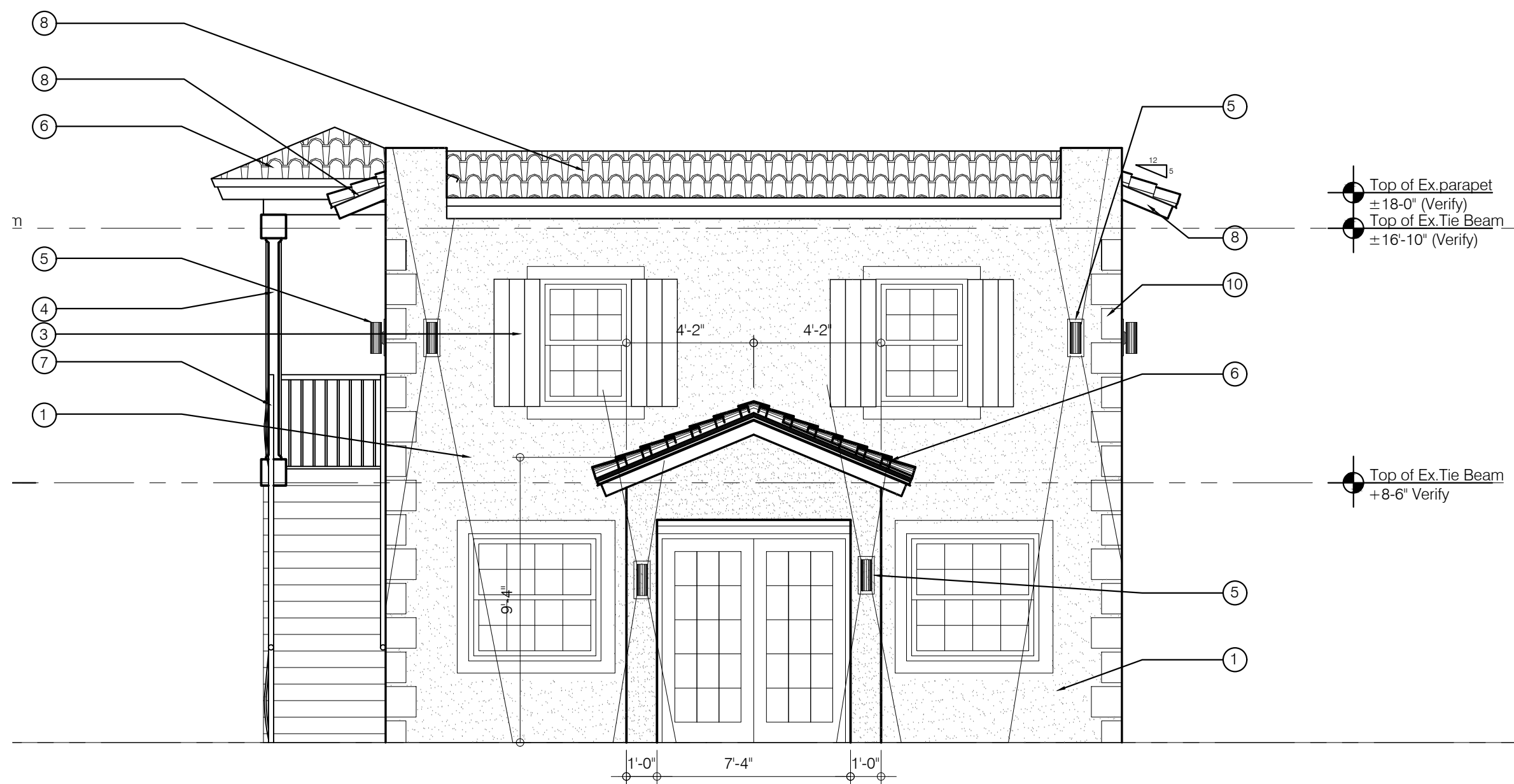
SP5



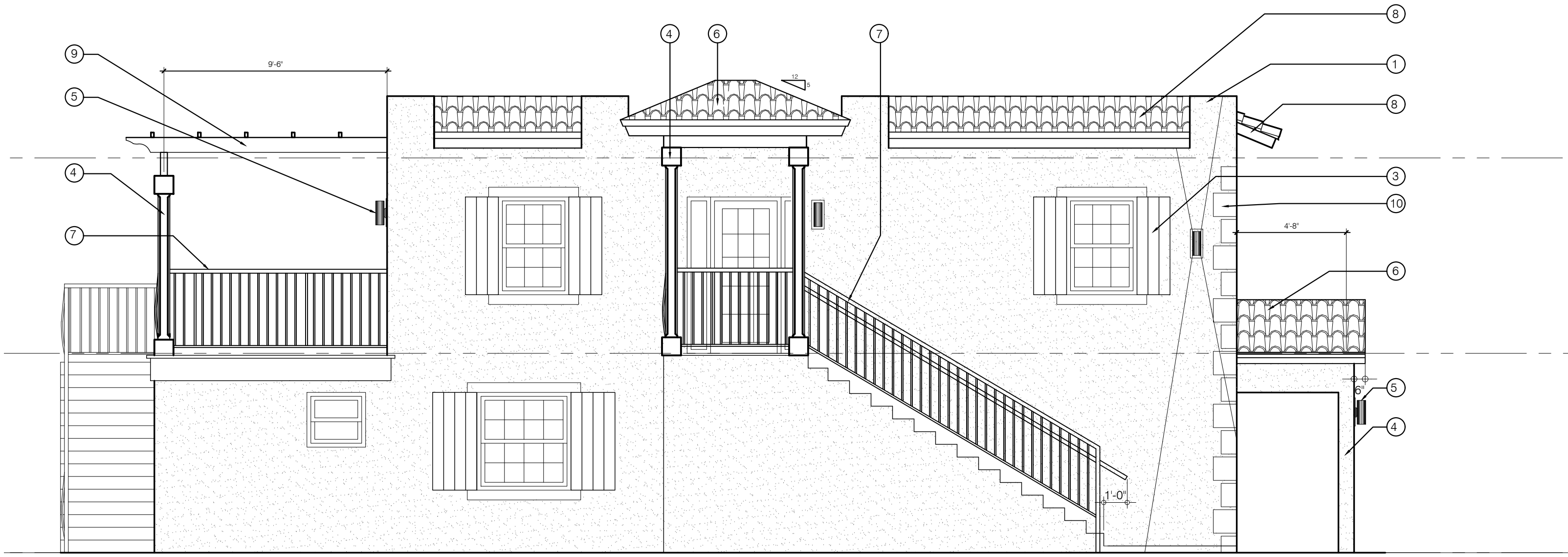
BUILDING 1205 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1205 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1205 PROPOSED WEST ELEVATION



BUILDING 1205 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES BUILDING 1205	
①	STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR:EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
②	4" WIDE SMOOTH STUCCO BAND FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
③	BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4 CABOT-MOONLIT MAHOGANY STAIN WOOD FINISH
④	COLUMNS: CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑤	LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION SHEET FOR MORE DETAIL
⑥	ENTEGRA S TILE BAYSIDE BLEND BELLA COLLECTION
⑦	36" HIGH STAIR RAILING & 42" HIGH GUARDRAIL. FINISH COLOR BLACK. REFER TO SHOP DRAWINGS BY NEXAN RAILING COMPANY FOR MORE DETAILS
⑧	PROPOSE MANSARD ROOF
⑨	PROPOSE TRELLIS: CABOT-MOONLIT MAHOGANY STAIN WOOD FINISH
⑩	EXISTING DECORATIVE QUOINS COLOR FINISH REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS

Stucco on wood frame wall notes:

Moisture barrier
Wood shall be covered with 15-pound (9 kg) roofing felt, or other approved equally moisture-resisting layer, and metal reinforcement as set forth herein.

Metal reinforcement
Stucco shall be reinforced with galvanized expanded metal weighing no less than 1.8 pounds per square yard (0.98 kg/m²), or galvanized welded or woven wire-fabric weighing no less than 1 pound per square yard (0.54 kg/m²).

All metal lathing shall be lapped not less than 1 inch (25 mm).

Metal reinforcement shall be furred out from the backing by an approved method.

Fastenings into wood sheathing or wood framing shall be by galvanized nails, with heads not less than 3/8 inch (9.5 mm) in diameter, driven to full penetration, using a minimum of two nails per square foot (0.093 m²), or by approved staples having equal resistance to withdrawal.

The fastening of rib-lath to metal members shall be by #8 galvanized sheet-metal screws, using a minimum of two screws per square foot (0.093 m²).

Water resistive barriers:

Walls (wood frame) with stucco
Tyvek "Home Wrap"

Window/Door Flashing System
Dupont "Straight flash"

Tapcon Substitution Note:
Anchoring required into existing tie beams can substitute (3) 1/4" Tapcons with a minimum 1-1/4" Embedment in place of railing required.

All exposed metal fasteners to be hot dipped galvanized or stainless steel.



RAILING DESIGN
BY NEXAN BUILDING PRODUCTS.



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1205 N FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
PH. 561-362-7203
AZ26002033

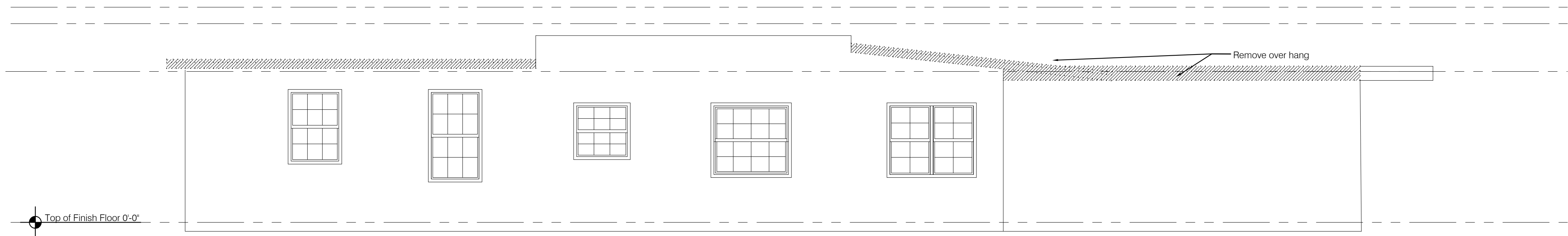
2 Owners revision
4/20/17
3 City Comment 5/09/17

5/11/2017 2:42:04 PM JSRdg

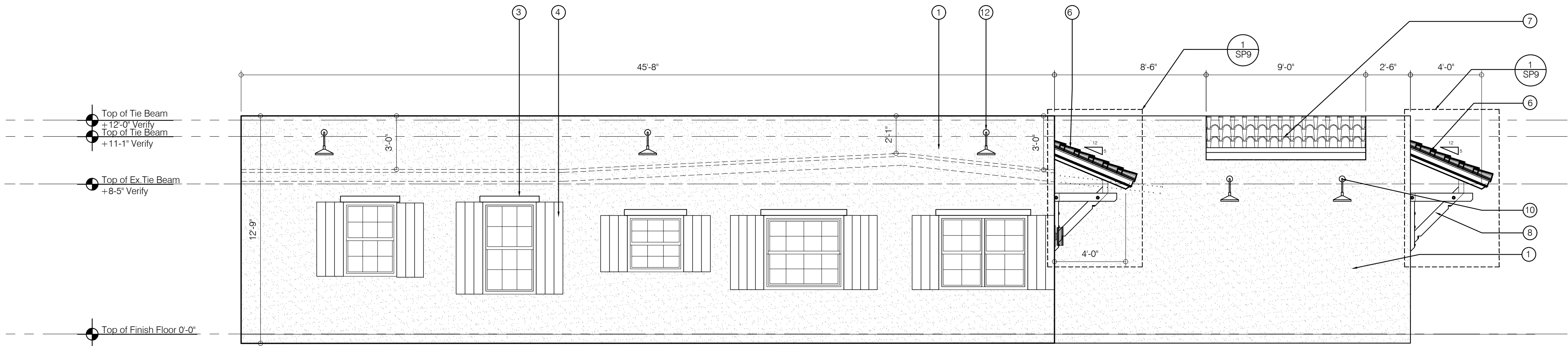
1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516

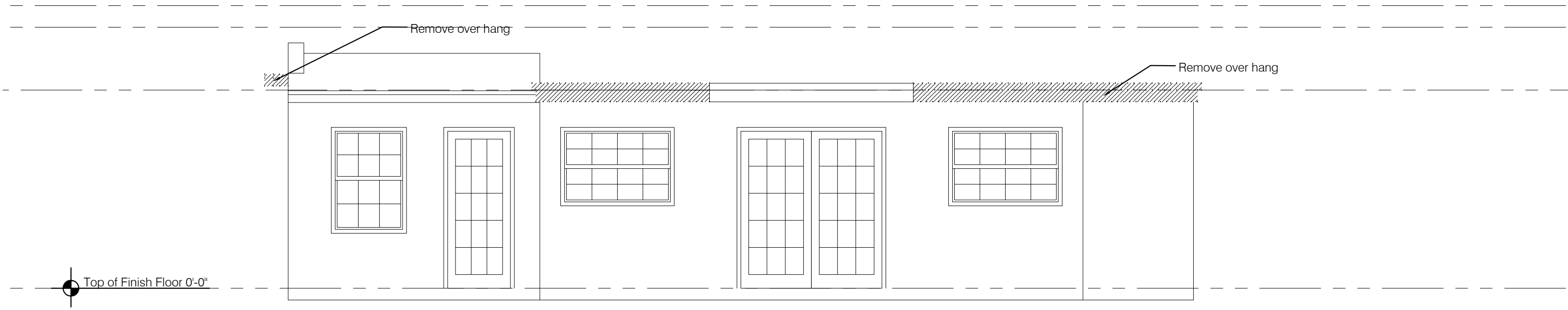
SP6



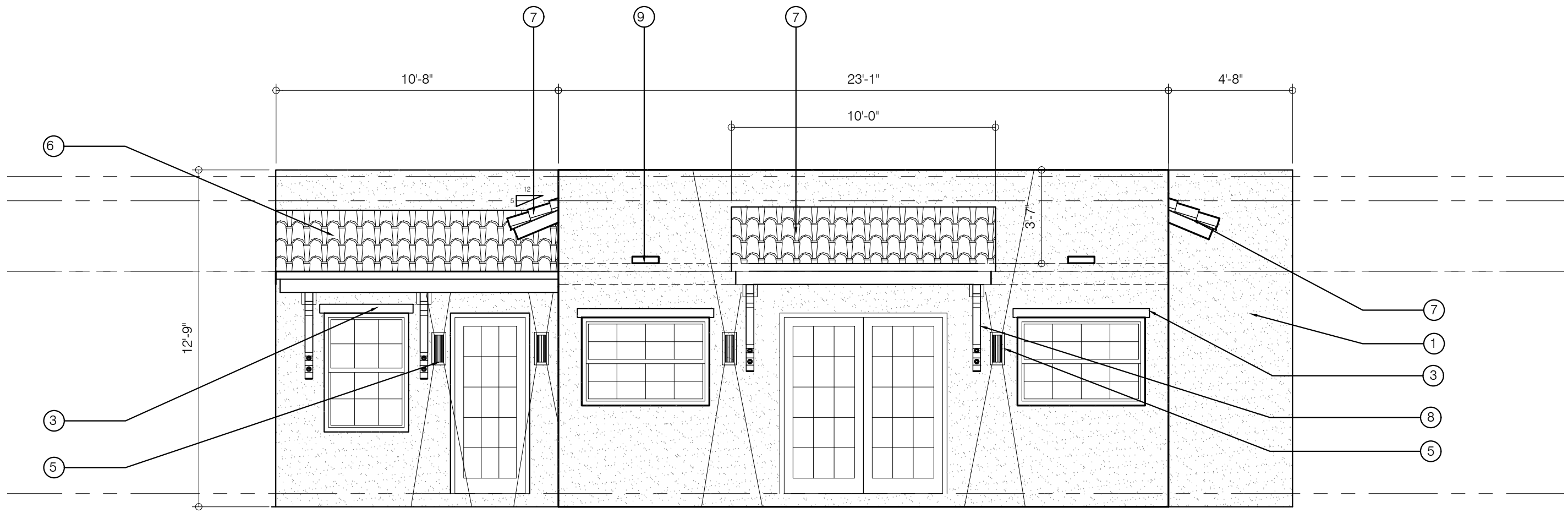
BUILDING 1235 DEMOLITION NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1235 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

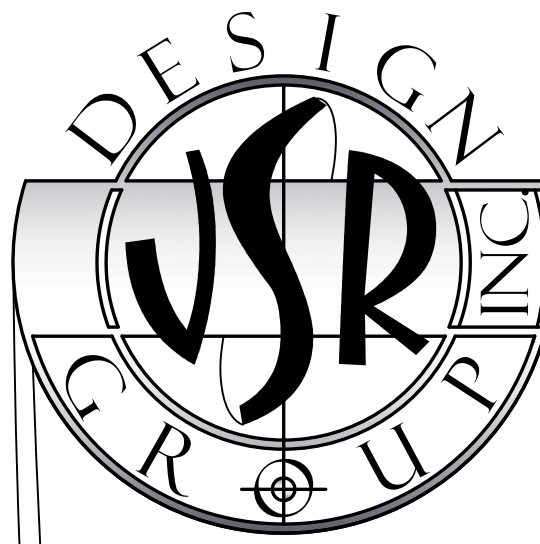


BUILDING 1235 DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1235 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES BUILDING 1235	
①	STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
②	SMOOTH STUCCO WAINSCOTING FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
③	4" WIDE SMOOTH STUCCO BAND REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
④	BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4 CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑤	LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL
⑥	ENTEGRA S TILE BAYSIDE BLEND BELLA COLLECTION
⑦	PROPOSED MANSARD ROOF.
⑧	PROPOSED BRACKET. FINISH: CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑨	12" X 3" SCUPPER
⑩	AR 14 LED SERIES ALUMILITE LIGHT SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1235 N FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH. 561-362-7203
AZ26002033

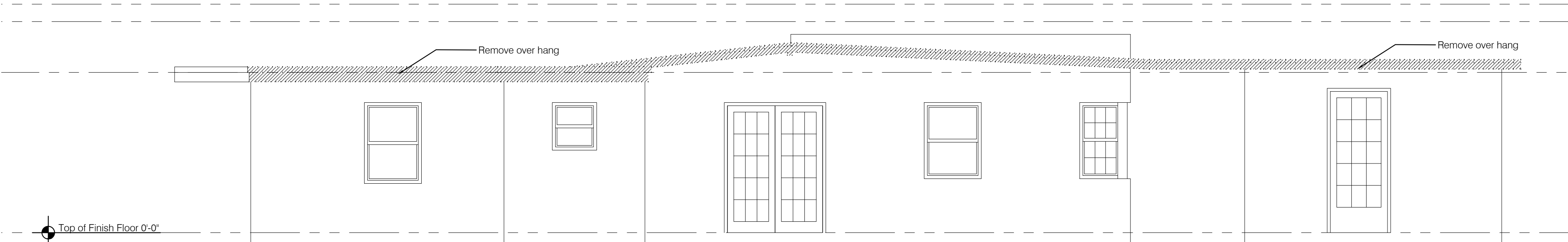
Owner's revision
4/20/17
Lighting consultant
revision 5/08/17

1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

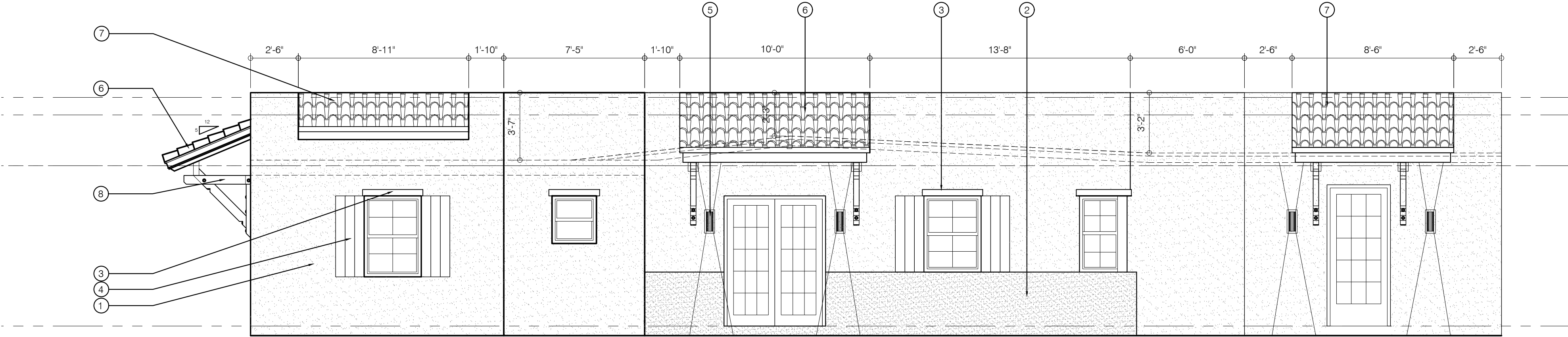
16516
SP7

Nailing Schedule		
Connection	Fastener	Number or Spacing
Band joist to sill or top plate, toe nail	8d	6 in. O.C.
Joist to band joist, face nail	16d common	3
Joist to sill or girder, toe nail	8d common	3
Bridging to joist, toe nail each end	8d common	2
Ledger strip	16d common	3 @ each joist
1x 6 or less subfloor to each joist, face nail	8d common	2
Over 1 x 6 subfloor to each joist, face nail	8d common	3
2-inch subfloor to joist or blocking, face nail	16d common	
Sole plate to joist or blocking, face nail	16d common	16 in. O.C.
Top or sole plate to stud, end nail	16d common	2
Stud to sole plate, toe nail	8d common	4
Doubled studs face nail	10d common	24 in. O.C.
Doubled top plates, face nail	10d common	16 in. O.C.
Top plates, lap and intersections face nail	-	2-16d or 3-10d common
Continuous header, two pieces	16d common	16 in. O.C. along each edge
Ceiling joists to plate, toe nail	8d common	3
Continuous header to stud, toe nail	8d common	3
Ceiling joists, laps over partitions, face nail	-	3-16d or 4-10d common
Ceiling joists to parallel rafters, face nail	-	3-16d or 4-10d common
Rafter to plate, toe nail	8d common	3
1-inch brace to each stud and plate, face nail	8d common	2
1 x 8 or less sheathing to each bearing, face nail	8d common	2
Over 1 x 8 sheathing to each bearing, face nail	8d common	3
Built-up corner studs	16d common	24 in. O.C.
Built-up girders and beams, of three members	20d common	32 in. O.C. @ top and bottom and staggered 2 ends and @ each splice.
2-inch planks	16d common	2 Each bearing
Studs to sole plate, end nail	16d common	2 Each end
Wood structural panel subflooring		
15/32 in., 1/2in., 7/16 in.	6d common, annular or spiral thread	6 in. O.C. edges & 12 in. O.C. intermediate
19/32 in., 3/4 in.	8d common, 6d annular or spiral thread	6 in. O.C. edges & 12 in. O.C. intermediate
1 in., 1 1/8 in.	10d common, 8d annular or spiral thread	6 in. O.C. edges & 6 in. O.C. intermediate
15/32 in., 1/2 in., 7/16 in.	16 ga galvanized wire staples, 3/8 in. minimum crown 1 5/8 in. length	4 in. O.C. edges & 7 in. O.C. intermediate
19/32 in., 5/8 in.	16 ga galvanized wire staples, 3/8 in. minimum crown 1 5/8 in. length	2 1/2 in. O.C. edges & 4 in. O.C. intermediate
Wood structural panel roof & wall sheathing & particleboard wall sheathing 1/2 in., or less	6d common (wall), 8d common (roof)	6 in. O.C. edges & 12 in. O.C. intermediate
19/32 in., or greater	8d common	4 in. O.C. edges & 6 in. O.C. intermediate
5/16 in., 1/2 in.	16 ga galvanized wire staples, 3/8 in. min. crown. Length of 1 in. plus wood structural panel or particleboard thickness	4 in. O.C. edges & 7 in. O.C. intermediate
19/32 in., 3/4 in.	16 ga galvanized wire staples, 3/8 in. min. crown. Length of 1 in. plus wood structural panel or particleboard thickness	4 in. O.C. edges & 5 in. O.C. intermediate
Fiberboard sheathing 1/2 in. regular	16 d common nail or 11 ga. gal. roofing nail 1 1/2 in. long with 7/16 in. head	6 in. O.C. edges & 12 in. O.C. intermediate @ other bearing areas
1/2 in. Structural	8 d common nail or 11 ga. gal. roofing nail 1 1/2 in. long with 7/16 in. head	3 in. O.C. edges & 6 in. O.C. intermediate @ other bearing areas
25/32 in. Structural	8 d common nail or 11 ga. gal. roofing nail 1 1/2 in. long with 7/16 in. head	3 in. O.C. edges & 6 in. O.C. intermediate @ other bearing areas
Gypsum sheathing 1/2 in.	11 ga 1 1/2 in. galvanized 7/16 in. head	4 in. O.C. edges & 8 in. O.C. @ other bearings
5/8 in.	11 ga 1 3/4 in. galvanized 7/16 in. head	4 in. O.C. edges & 8 in. O.C. @ other bearings
Gypsum wallboard 1/2 in.	1 3/8 drywall nail 2	7 in. O.C. on ceiling & 8 in. O.C. on walls
5/8 in.	1 1/2 drywall nail 2	7 in. O.C. on ceiling & 8 in. O.C. on walls
Particleboard siding 5/16 in.-1/2 in. 3 5/8 in. 5 3/4 in. 6	6d4 8d4 8d4	
Hardboard lap siding Direct to studs	8d8 Corrosion-resistant with minimum shank diameter of 0.099 in. and minimum head diameter of 0.240	16 in. O.C. @ top & bottom edges
Hardboard lap siding Over sheathing	10d6 Corrosion-resistant with minimum shank diameter of 0.099 in. and minimum head diameter of 0.240	16 in. O.C. @ top & bottom edges
Hardboard lap siding Direct to studs	6d6 Corrosion-resistant with minimum shank diameter of 0.092 in. and minimum head diameter of 0.255 in.	16 in. O.C. @ edges & 12 in. O.C. @ intermediate supports
Hardboard lap siding Over sheathing	8d6 Corrosion-resistant with minimum shank diameter of 0.092 in. and minimum head diameter of 0.225	16 in. O.C. @ edges & 12 in. O.C. 1@ intermediate supports

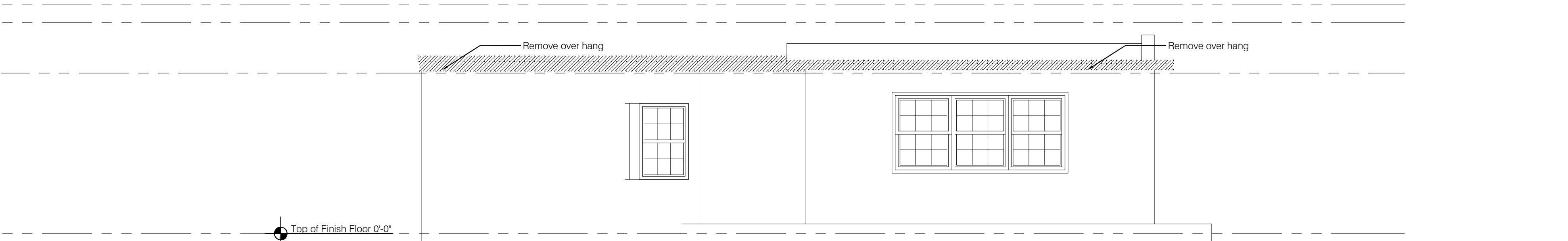
ELEVATION KEYNOTES BUILDING 1235	
①	STUCCO TO MATCH EXISTING. FINISH REFERENCE COLOR: EIDER WHITE SW 7014 BY SHERWIN WILLIAMS
②	SMOOTH STUCCO WAINSCOTING FINISH REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
③	4" WIDE SMOOTH STUCCO BAND REFERENCE COLOR REPOSE GRAY SW 7015 BY SHERWIN WILLIAMS
④	BOARD AND BATTEN SHUTTERS SEE DETAIL ON SHEET SP-4 CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑤	LUMINAIRE LIGHT FIXTURES SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL
⑥	INTEGRA S TILE BAYSIDE BLEND BELLA COLLECTION
⑦	PROPOSED MANSARD ROOF.
⑧	PROPOSED BRACKET. FINISH: CABOT-MOONLIGHT MAHOGANY STAIN WOOD FINISH
⑨	12" X 3" SCUPPER
⑩	AR 14 LED SERIES ALUMILITE LIGHT SEE SPECIFICATION AND PHOTOMETRIC SHEET FOR MORE DETAIL



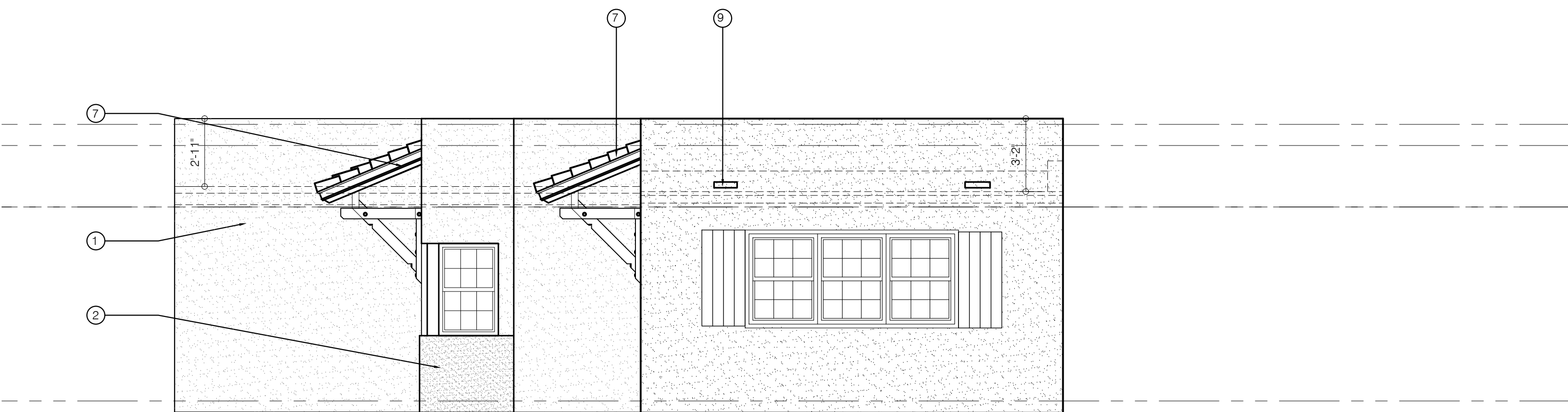
BUILDING 1235 DEMOLITION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



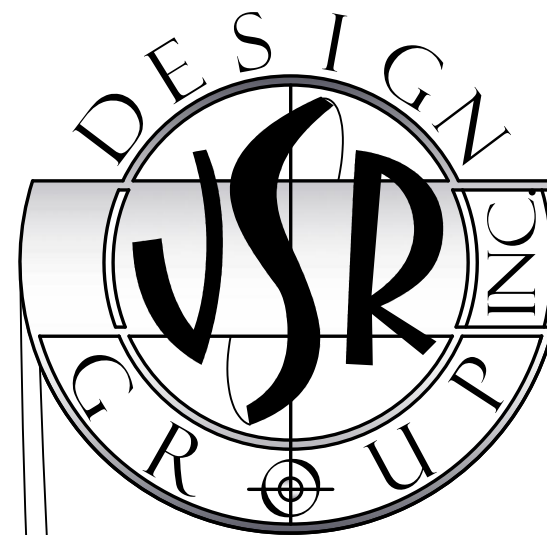
BUILDING 1235 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 1235 DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"



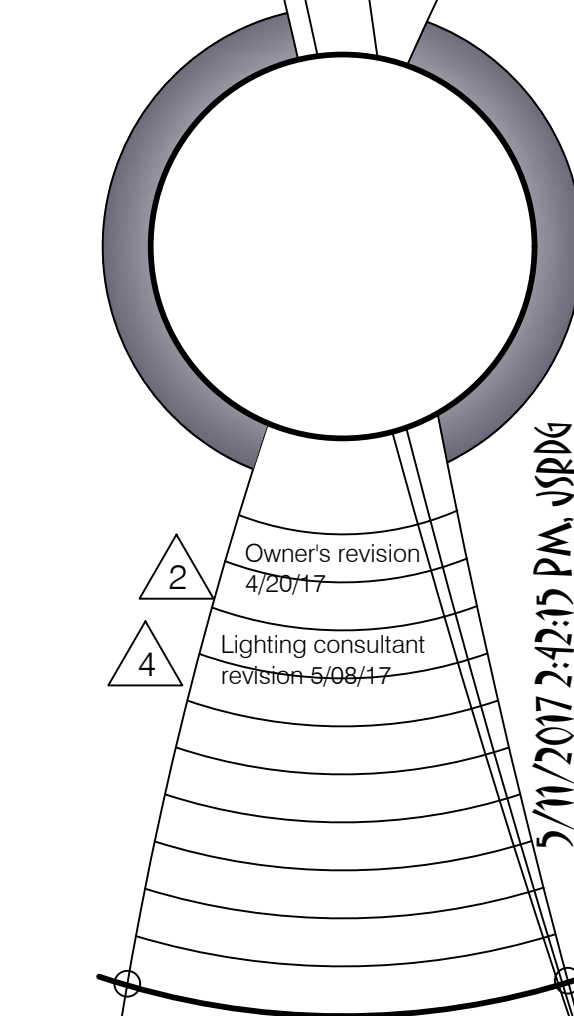
BUILDING 1235 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1235 N FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP, INC.
1 WEST CAMINO REAL, SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AZ26002033



1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

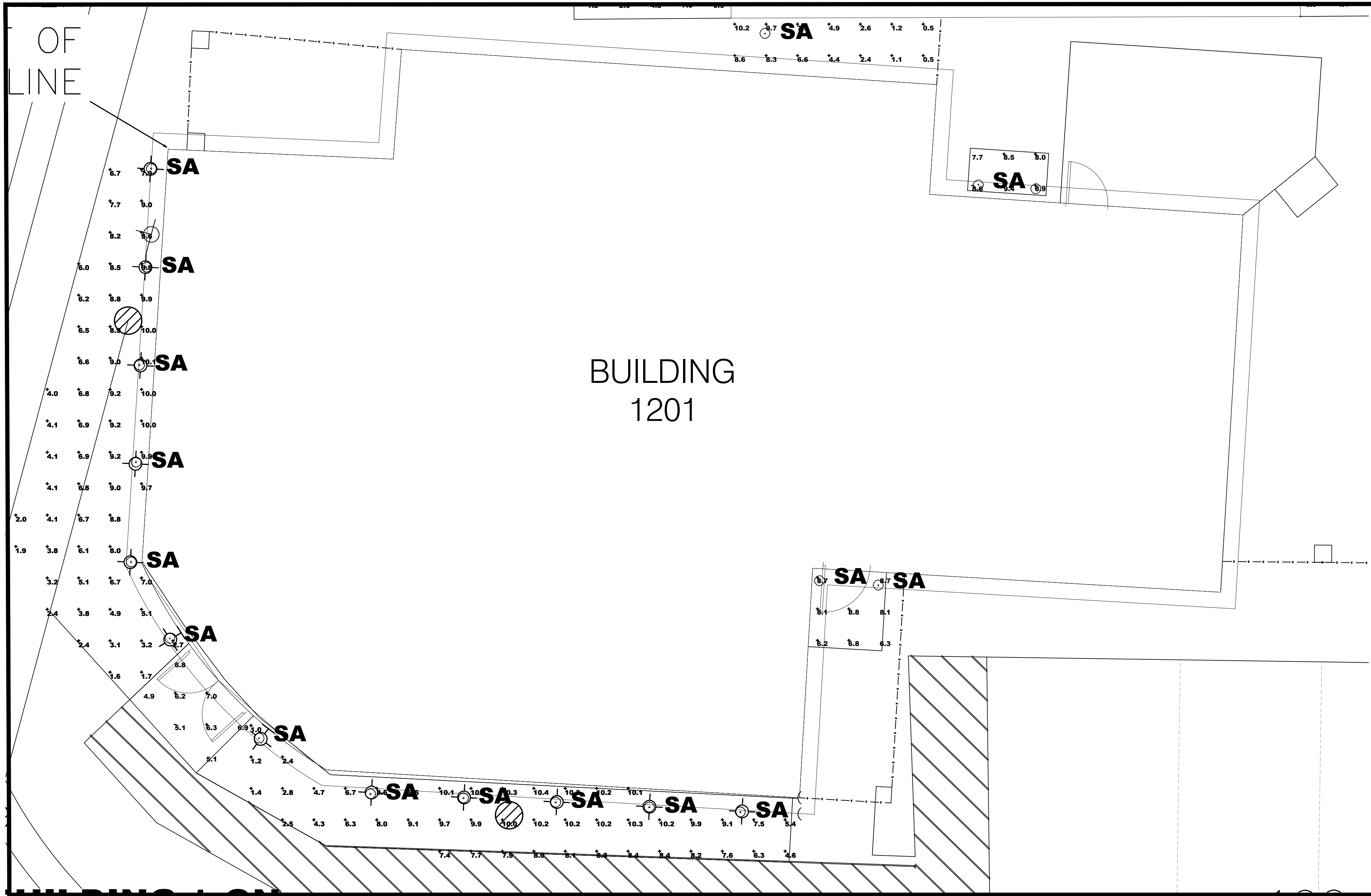
16 516
SP8



1 Board and batten typical shutters detail
SP9 1/2" Scale

$$\frac{3}{4}'' = 1' - 0''$$

1/2" Scale



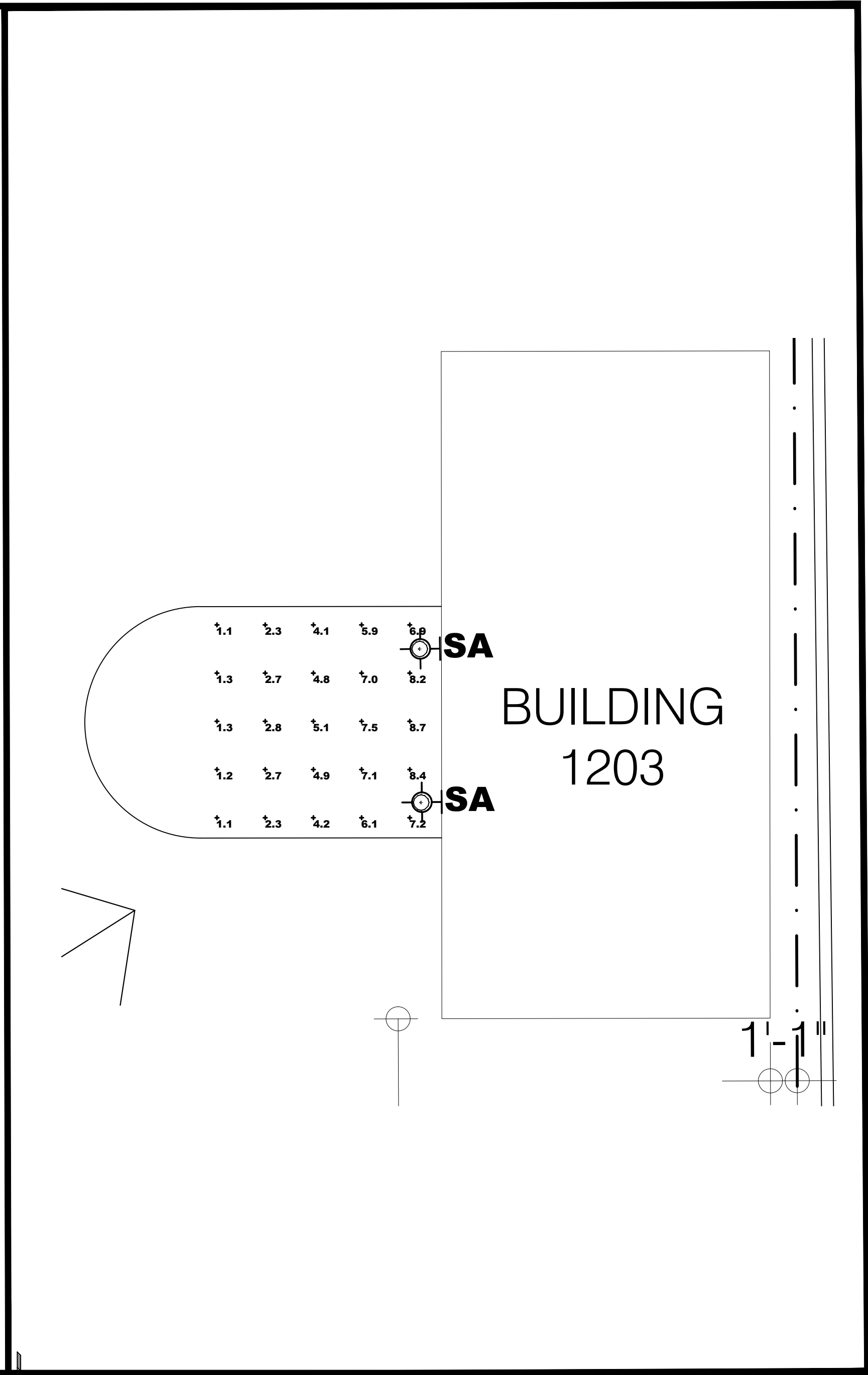
Proposed Photometric Entrance Lighting
Building 1201 1/4" Sc.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
○	34	SA	SINGLE	N.A.	0.900	DMF DCC2WWM7730BZ
○	9	SA1	SINGLE	N.A.	0.900	DMF DCC2WWM0730BZ
●	5	SB	SINGLE	N.A.	0.750	ALUMALITE AR14-9W-120V-BZ

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BLDG 1201 MAIN ENTRY	Illuminance	Fc	6.04	7.0	4.9	1.23	1.43
BLDG 1201 SMALL ENTRY 1	Illuminance	Fc	7.89	9.3	6.2	1.27	1.50
BLDG 1201 SMALL ENTRY 2	Illuminance	Fc	8.52	9.4	7.7	1.11	1.22
BLDG 1205 MAIN ENTRY	Illuminance	Fc	3.93	7.1	0.9	4.37	7.89
BLDG 1205 REAR BALCONY ENTRANCE	Illuminance	Fc	7.37	9.5	3.9	1.89	2.44
BLDG 1205 REAR STAIR LANDING	Illuminance	Fc	8.93	9.6	8.2	1.09	1.17
BLDG 1205 STAIR 2	Illuminance	Fc	6.11	9.3	4.1	1.49	2.27
bldg 1205 STAIR Planar	Illuminance	Fc	5.54	9.5	2.1	2.64	4.52
BLDG 1235 MAIN ENTRY	Illuminance	Fc	6.15	8.7	3.4	1.81	2.56
BLDG 1235 MAIN SIDE ENTRY 1	Illuminance	Fc	6.18	8.8	3.2	1.93	2.75
BLDG 1235 MAIN SIDE ENTRY 2	Illuminance	Fc	6.07	8.8	3.0	2.02	2.93
BLDG 1235 MAIN SIDE ENTRY 3	Illuminance	Fc	7.20	9.7	4.2	1.71	2.31
SMALL BLDG ENTRY	Illuminance	Fc	4.60	8.7	1.1	4.18	7.91

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
WALKWAY	Illuminance	Fc	2.01	3.1	0.8	2.51
WALKWAY_1	Illuminance	Fc	3.56	5.2	1.0	3.56
WALKWAY_2	Illuminance	Fc	6.80	9.9	3.3	2.06
WALKWAY_3	Illuminance	Fc	2.81	9.7	0.3	9.37
WALKWAY_4	Illuminance	Fc	4.89	10.2	0.5	9.78
WALKWAY_5	Illuminance	Fc	6.49	10.1	1.6	4.06
WALKWAY_6	Illuminance	Fc	7.64	10.4	1.0	7.64

Proposed Photometric Entrance Lighting
Building 1203 1/4" Sc.



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1201 N. FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AA26002033

1 Building Department Comments 2/15/17
2 Owner's revision 4/20/17
4 Lighting consultant revision 5/09/17

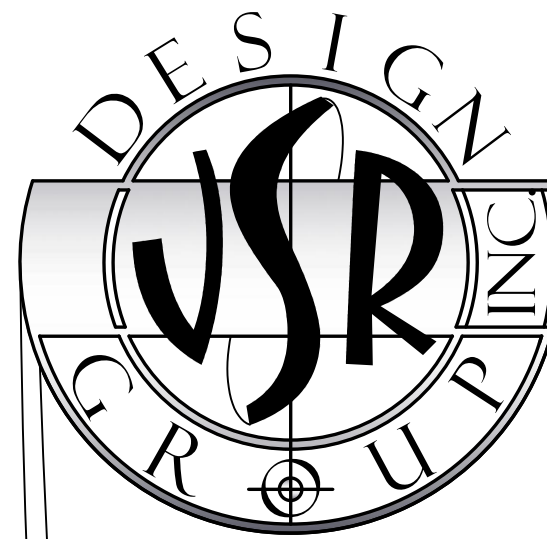
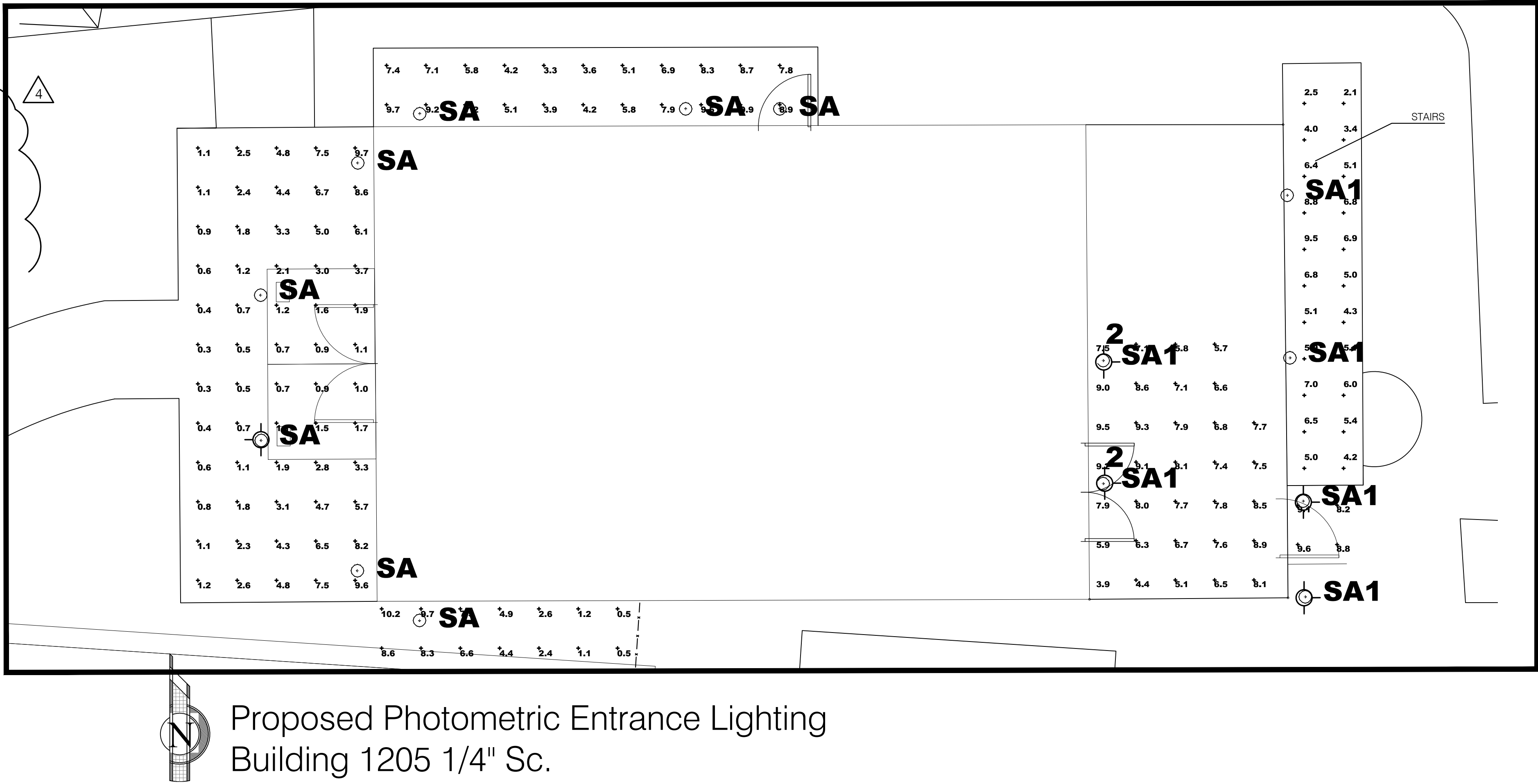
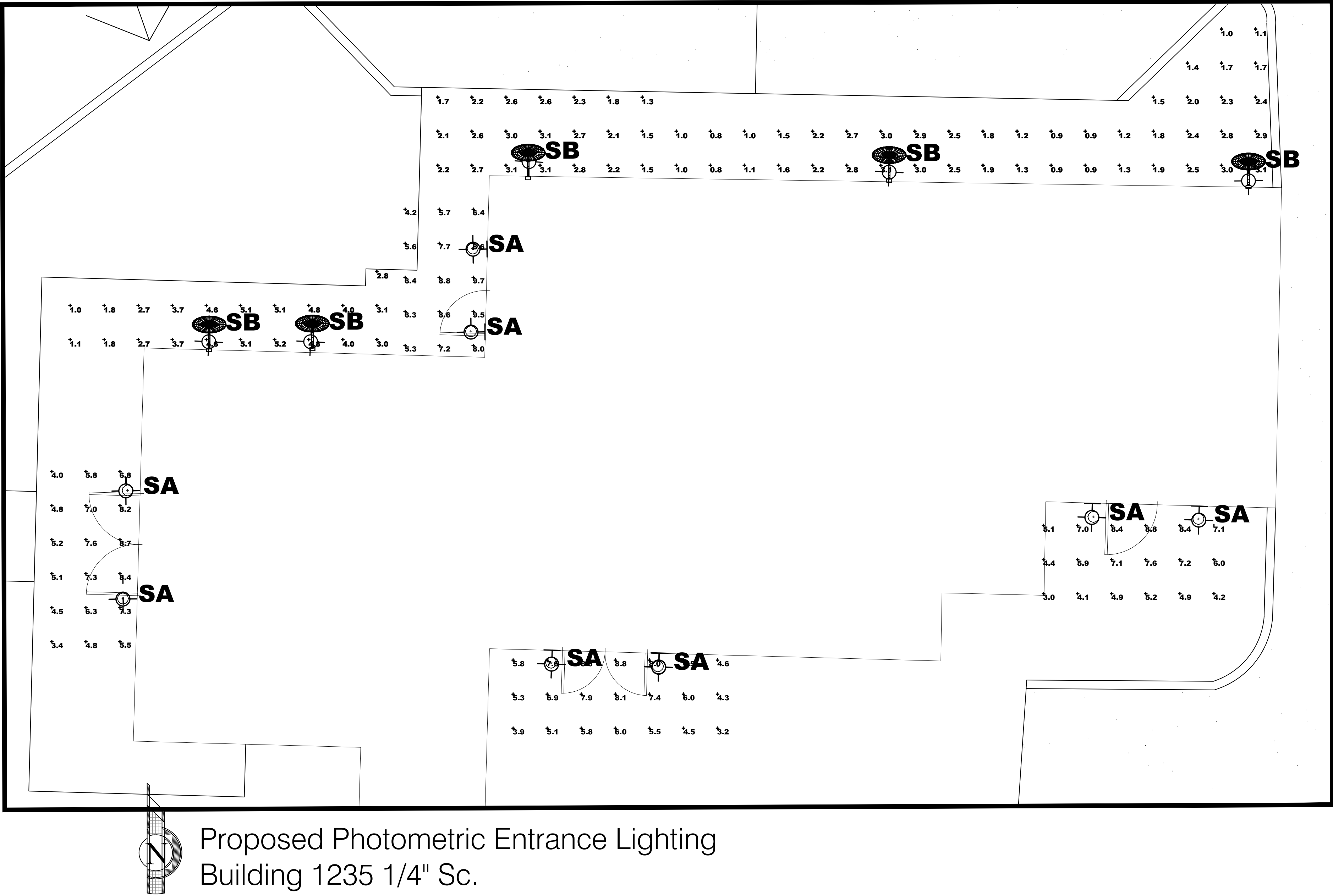
1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516
PHOTOMETRIC 1

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
⊙	34	SA	SINGLE	N.A.	0.900	DMF DCC2WWM7730BZ	11.6
⊙	9	SA1	SINGLE	N.A.	0.900	DMF DCC2WWM0730BZ	11.6
⊙	5	SB	SINGLE	N.A.	0.750	ALUMALITE AR14-9W-120V-BZ	11

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BLDG 1201 MAIN ENTRY	Illuminance	Fc	6.04	7.0	4.9	1.23	1.43
BLDG 1201 SMALL ENTRY 1	Illuminance	Fc	7.89	9.3	6.2	1.27	1.50
BLDG 1201 SMALL ENTRY 2	Illuminance	Fc	8.52	9.4	7.7	1.11	1.22
BLDG 1205 MAIN ENTRY	Illuminance	Fc	3.93	7.1	0.9	4.37	7.89
BLDG 1205 REAR BALCONY ENTRANCE	Illuminance	Fc	7.37	9.5	3.9	1.89	2.44
BLDG 1205 REAR STAIR LANDING	Illuminance	Fc	8.93	9.6	8.2	1.09	1.17
BLDG 1205 STAIR 2	Illuminance	Fc	6.11	9.3	4.1	1.49	2.27
bldg 1205 STAIR Planar	Illuminance	Fc	5.54	9.5	2.1	2.64	4.52
BLDG 1235 MAIN ENTRY	Illuminance	Fc	6.15	8.7	3.4	1.81	2.56
BLDG 1235 MAIN SIDE ENTRY 1	Illuminance	Fc	6.18	8.8	3.2	1.93	2.75
BLDG 1235 MAIN SIDE ENTRY 2	Illuminance	Fc	6.07	8.8	3.0	2.02	2.93
BLDG 1235 MAIN SIDE ENTRY 3	Illuminance	Fc	7.20	9.7	4.2	1.71	2.31
SMALL BLDG ENTRY	Illuminance	Fc	4.60	8.7	1.1	4.18	7.91

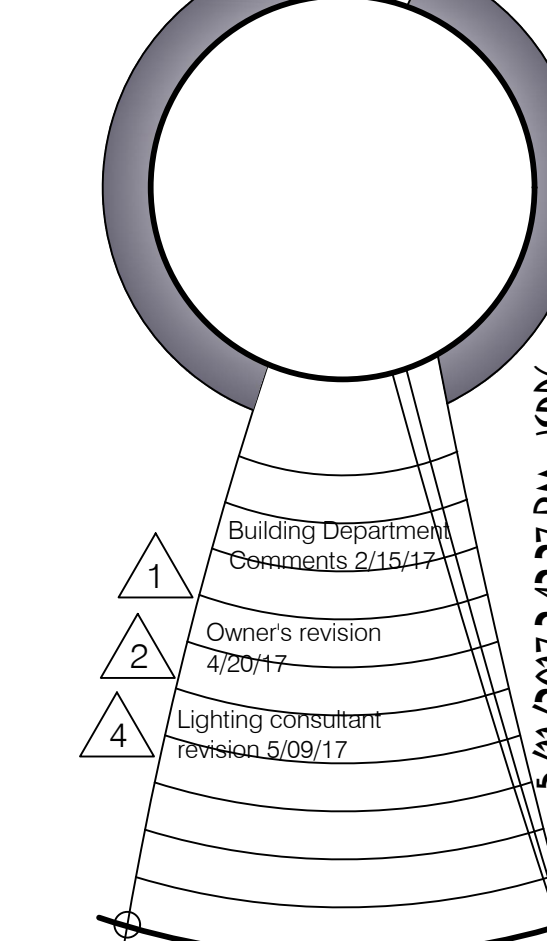
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
WALKWAY	Illuminance	Fc	2.01	3.1	0.8	2.51	3.88
WALKWAY_1	Illuminance	Fc	3.56	5.2	1.0	3.56	5.20
WALKWAY_2	Illuminance	Fc	6.80	9.9	3.3	2.06	3.00
WALKWAY_3	Illuminance	Fc	2.81	9.7	0.3	9.37	32.33
WALKWAY_4	Illuminance	Fc	4.89	10.2	0.5	9.78	20.40
WALKWAY_5	Illuminance	Fc	6.49	10.1	1.6	4.06	6.31
WALKWAY_6	Illuminance	Fc	7.64	10.4	1.0	7.64	10.40



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1201 N. FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR95171

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
FL LICENSE# AA26002033



1. All designs and concepts are the property of JSR Design Group Inc., and may not be modified or copied without written permission by the architect.
2. Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
3. Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516

PHOTOMETRIC 2