



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: CRA Office Building
Project Location: 20 North Swinton Avenue
Request: Certificate of Appropriateness (COA) and Class IV Site Plan Modification
Board: Historic Preservation Board
Meeting Date: July 19, 2017

Board Action:

Approved the COA and Class IV Site Plan modification for a 1,400 square foot addition to the existing CRA Office Building, on a 6 to 0 vote (Harden Absent).

Project Description:

The subject 0.21 acre property is located on the west side of North Swinton Avenue, approximately 140' north of West Atlantic Avenue, consists of Lot 12, Block 60, Town of Delray and is located within the Old School Square Historic Arts District (OSSHAD) zoning district. The property contains a two-story Monterey style structure originally designed as a single-family residence by prominent Palm Beach architect, Belford Shoumate in 1939.

Shoumate (1903-1991) was a graduate of the University of Pennsylvania School of Architecture. He first started practice in New York City, in the office of Joseph Urban. Urban was the architect who designed Mar-A-Largo (a nationally designated site). Shoumate's first commission in south Florida was in the late 1930's when he designed a home in the Art Moderne style at 1221 N. Lake Way in Palm Beach. Shoumate won first prize in architecture for the design of this structure at the 1939 World's Fair and the house was named "The House of the Future". Mr. Shoumate was in active practice in Palm Beach for over 50 years and during that time he designed over 1,500 buildings in south Florida.

The subject structure known as "The Monterey House" was originally located in the Hillcrest neighborhood in West Palm Beach and it was relocated to its current address in 1994, along with two other structures (presently located at 24 and 516 N Swinton Avenue) by way of the Intracoastal Waterway. Prior to the move, this building was considered eligible for listing in the National Register of Historic Places. The move provided an alternative to demolition, which would have occurred due to the Palm Beach International Airport expansion. At the time of relocation, the structure contained 2,300 square feet and following its move in 1995, a 600 square foot addition was approved and constructed. The structure was then listed on the City of Delray Beach Local Register of Historic Places.

The building is presently occupied by the Delray Beach Community Redevelopment Agency (CRA) and the subject Class IV Site Plan request consists of a 1,400 sq. ft. one-story building addition to the rear of the existing 2,920 sq. ft. two-story structure. The proposed addition will add additional floor area to accommodate the existing CRA offices. Site improvements are limited to installation of a new walkway, lighting and minor landscape improvements. Parking exists within the CRA parking lot to the west of the structure, no improvements are proposed in this area.

Staff supported the Certificate of Appropriateness and Class IV Site Plan Modification, subject to conditions of approval.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions: All required actions were taken.

Next Action: HPB action is final.

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: July 19, 2017

ITEM: 20 North Swinton Avenue, Old School Square Historic District-Certificate of Appropriateness, (2017-092) for a 1,400 square foot addition to the existing 2,920 square foot office building.

RECOMMENDATION: Approve the Certificate of Appropriateness and Class IV Site Plan Modification

GENERAL DATA:

Owner/ Applicant..... Delray Beach Community
Redevelopment Agency

Agent:..... Song + Associates

Location:..... 20 North Swinton Avenue

Property Size:..... 0.21 Acres

Historic District:..... Old School Square Historic
District

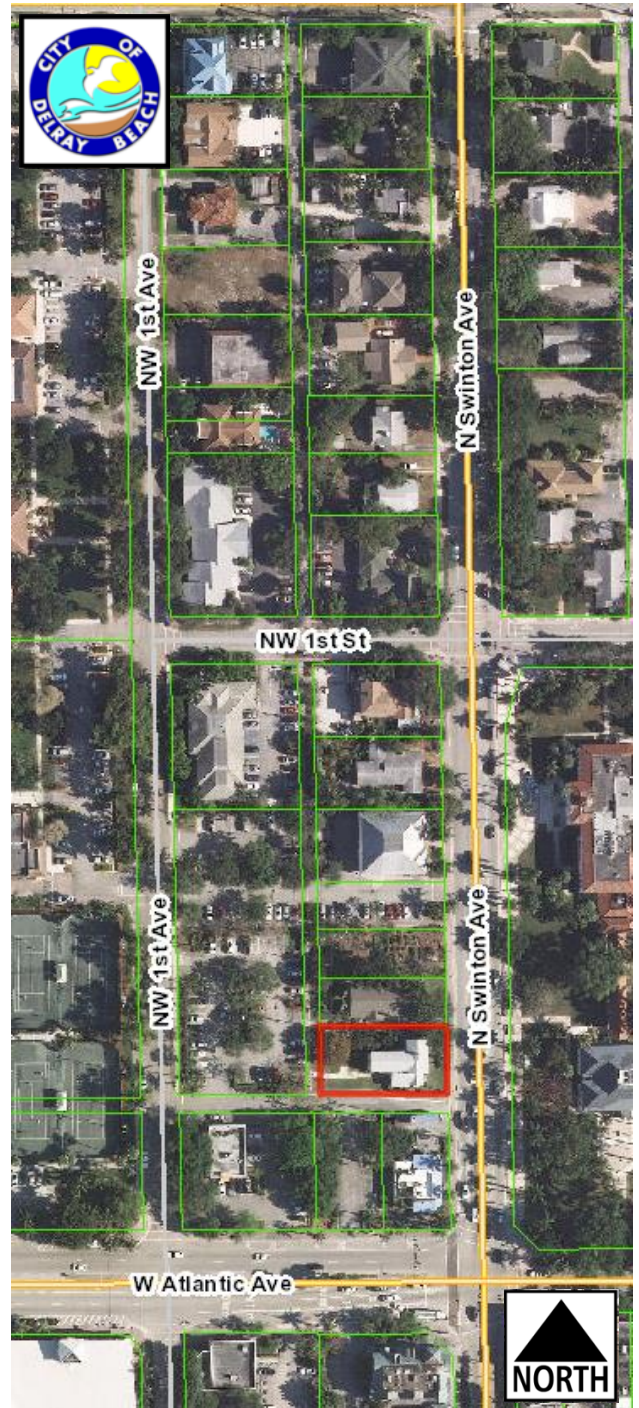
Current Zoning:..... OSSHAD

Adjacent Zoning:.....
North: OSSHAD
South: OSSHAD
East: OSSHAD
West: OSSHAD

Existing Future Land Use Designation:..... Other Mixed Use (OMU)

Water Service:..... Public water service is
provided on site.

Sewer Service:..... Public sewer service is
provided on site.



ITEM BEFORE THE BOARD

The item before the Board is consideration of Class IV Site Plan Modification and Certificate of Appropriateness (COA) (2017-092) requests associated with a 1,400 square foot addition to an existing 2,920 square foot structure occupied by the Community Redevelopment Agency's office on property located at **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(5) and 2.4.6(H).

BACKGROUND & PROJECT DESCRIPTION

The subject 0.21 acre property is located on the west side of North Swinton Avenue, approximately 140' north of West Atlantic Avenue, consists of Lot 12, Block 60, Town of Delray and is located within the Old School Square Historic Arts District (OSSHAD) zoning district. The property contains a two-story Monterey style structure originally designed as a single-family residence by prominent Palm Beach architect, Belford Shoumate in 1939.

Shoumate (1903-1991) was a graduate of the University of Pennsylvania School of Architecture. He first started practice in New York City, in the office of Joseph Urban. Urban was the architect who designed Mar-A-Largo (a nationally designated site). Shoumate's first commission in south Florida was in the late 1930's when he designed a home in the Art Moderne style at 1221 N. Lake Way in Palm Beach. Shoumate won first prize in architecture for the design of this structure at the 1939 World's Fair and the house was named "The House of the Future". Mr. Shoumate was in active practice in Palm Beach for over 50 years and during that time he designed over 1,500 buildings in south Florida.

The subject structure known as "The Monterey House" was originally located in the Hillcrest neighborhood in West Palm Beach and it was relocated to its current address in 1994, along with two other structures (presently located at 24 and 516 N Swinton Avenue) by way of the Intracoastal Waterway. Prior to the move, this building was considered eligible for listing in the National Register of Historic Places. The move provided an alternative to demolition, which would have occurred due to the Palm Beach International Airport expansion. At the time of relocation, the structure contained 2,300 square feet and following its move in 1995, a 600 square foot addition was approved and constructed. The structure was then listed on the City of Delray Beach Local Register of Historic Places.

The building is presently occupied by the Delray Beach Community Redevelopment Agency (CRA) and the subject request is for a Class IV Site Plan request consisting of a 1,400 sq. ft. one-story building addition to the rear of the existing 2,920 sq. ft. two-story structure. The proposed addition will add additional floor area to accommodate the existing CRA offices. Site improvements are limited to installation of a new walkway, lighting and minor landscape improvements. Parking exists within the CRA parking lot to the west of the structure, no improvements are proposed for this area. The Class IV Site Plan and COA are now before the Board for consideration.

SITE PLAN ANALYSIS

Items identified in the Land Development Regulations shall be specifically addressed by the body taking final action on the site and development proposal.

LDR Section 4.4.24 – Old School Square Historic Arts District (OSSHAD)

Pursuant to LDR Section 4.4.24(B)(3) – Principal Uses and Structures: Within the OSSHAD zoning district, Business, Professional, and Medical offices are listed as a Permitted Use.

The existing and expanded use of a business office is permitted within the OSSHAD zoning district.

Pursuant to LDR Section 4.3.4.(K) – Property Development Standards: The standards as set forth in Section 4.3.4 shall apply:

	Required	Proposed/Existing
Lot Coverage (Max)	40%	35%
Setbacks		
Front (East)	25'	25'(Existing/No Change)
Side Interior (North)	7'6"	28'
Side Interior (South)	7'6"	7'6"
Rear (West)	10'	15'
Open Space (Min)	25%	65%

The chart above illustrates compliance with the required development standards; therefore, positive findings with this code requirement can be made. It is noted that the site plan needs to be updated to ensure the correct proposed square foot calculations are noted as in some places 4,147 square feet is noted where 4,320 square feet should be noted. This item is attached as a condition of approval.

Pursuant to LDR Section 4.4.24(G)(4)(d) – Parking Requirements: Business and professional offices shall provide one (1) space per 300 sq. ft. of total new or existing net floor area being converted to office use.

Based upon the above, the 4,320 sq. ft. building requires 14 parking spaces and ample parking exists within the 92 space parking lot to the west of the structure, of which 51 spaces are dedicated to the CRA; therefore, this requirement has been met.

Pursuant to LDR Section 4.4.24(G)(2), The perimeter landscaping requirements of Section 4.6.16(H)(3)(e) shall not apply.

Based upon the above, perimeter landscaping is not proposed.

Article 4.6, Supplemental District Regulations

Pursuant to LDR Section 4.6.8 – Lighting: All developments/redevelopments are encouraged to utilize energy efficiency lighting. The maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot. All perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

Pursuant to LDR Section 4.6.8(A)(3) – Illumination Standards: The applicable illumination standards are as follows:

	FOOT CANDLES		
	Maximum Permitted	Minimum Permitted	Provided
Building Entrances	10	1.0	1.3 - 9.7

There are 2 freestanding bollard style light fixtures proposed adjacent to the sidewalk on the north side of the structure. Additionally, wall mounted flood-light fixtures exist on the north side of the structure and a new wall mounted carriage light fixture is proposed adjacent to the new entrance door. The photometric plan depicts a modern style wall mounted fixture on the north side of the building rather than the carriage style fixture; thus the plan needs to be revised to reflect the correct fixture. This item has been attached as a condition of approval. Once the correct fixture is depicted on the photometric plan, it is anticipated that compliance with the Illumination Standards listed above will be achieved.

LANDSCAPING

Pursuant to LDR Section 4.6.16(A) – Landscape Regulations – The objective of this article is to improve the appearance of setback and yard areas in conjunction with the development of commercial, industrial, and residential properties, including off-street vehicular parking and open-lot sales and service areas in the City, and to protect and preserve the appearance, character and value of the surrounding neighborhoods and thereby promote the general welfare by providing minimum standards for the installation and maintenance of landscaping.

The site is minimally landscaped presently and the proposal includes the installation of new landscaping adjacent to the new addition to meet the requirements of LDR Section 4.6.16; thus, technical review of the landscaping adjacent to the new addition has been found to be compliant the subject Landscape Regulations.

Pursuant to LDR Section 4.6.16(I), Minimum Maintenance Requirements: – The owner or his agent shall be responsible for the maintenance of all landscaping required by ordinance or made a condition for approval for a building permit. Landscaping shall be maintained in a good condition so as to present a healthy, neat, and orderly appearance at least equal to that which was required for the original installation, and shall be kept free from refuse and debris. Maintenance is to include mowing, edging, weeding, shrub pruning, fertilization and inspection and repair of irrigation systems to ensure their proper functioning.

It is noted that upon of issuance of a Certificate of Occupancy for the new addition, that the existing landscaping on the subject property be found to be in compliance with LDR Section 4.6.16(I), relating to Minimum Maintenance Requirements. This item has been attached as a condition of approval.

SECTION 4.5.1 HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to LDR Section 2.4.6(H)(5), Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior’s Standards for Rehabilitation, and the Development Standards of this Section.

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

Pursuant to LDR Section 4.5.1(E)(2)(b)2 – Major and Minor development: The subject proposal is classified as Major Development as it is “the construction, reconstruction, or alteration of a building in excess of twenty-five percent (25%) of the existing floor area.”

In accordance with the above, the subject proposal has been reviewed as a Major Development.

Pursuant to LDR Section 4.5.1(E)(3)(b)1 – Buildings, Structures, Appurtenances and Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.

- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.**
- c. Utilize existing alleys to provide vehicular access to sites.**
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.**
- e. Use appropriate materials for driveways.**
- f. Driveway type and design should convey the historic character of the district and the property.**

The subject proposal complies with the intent of this subject regulation, as all parking is existing and is situated to the rear of the subject property.

Pursuant to LDR Section 4.5.1(E)(5) – Standards and Guidelines: A historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

In consideration of the applicable Standards noted above, the proposal meets their intent by providing an appropriate addition to the rear of the existing individually listed historic structure. The structure was previously converted from a single-family residence to office use and the new 1,400 square foot one-story addition is an expansion of the existing office.

The applicant focused the proposed 1,400 sq. ft. one-story addition to the rear of the structure paying close attention to massing and scale in an effort to protect the historic integrity of the property and the surrounding area. The new work will be differentiated from the old as the new one-story addition includes: simulated stucco siding, window profiles that are differentiated from the original through the use of mullions and a varied divided lite pattern, and a different roof profile. The one-story addition will be compatible with the massing, size, scale and architectural features, protecting the historic integrity of the property and its environment.

Additionally, the new addition has been designed to ensure that should it be removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Pursuant to LDR Section 4.5.1(E)(8)(a-m) – Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated

property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below.

The proposed one-story addition has been designed to ensure the Visual Compatibility Standards listed in this Section have been addressed. The addition is situated to the rear of the existing Monterey style structure and can be considered appropriate and compatible.

The designation report from 1995 notes the following regarding the subject Monterey style structure:

“It is an excellent example of the style and presents all of the defining features of a Monterey building. With its clapboard siding, front second story balcony, horizontal gable and exposed rafter tails and simple entrance, it is true to the style. An interesting feature is the original one story portion of the front façade with a bay window and secondary gable roof running parallel to the primary roof. Originally the structure was rectangular in form, an addition to the rear of the building was added to adapt the building for use as the headquarters for the HPBCPB [Historic Palm Beach County Preservation Board]. This sensitive addition was granted a Certificate of Appropriateness by the Delray Beach Historic Preservation Board. It provides space for a display gallery, handicapped access to the building, handicapped rest room facilities and an exterior stairway to the second floor.”

The proposed one-story addition has been carefully designed to ensure the original defining features of the existing Monterey style structure will be respected and not affected. As previously noted, the new addition includes stucco simulated siding, which to the untrained eye is similar in material to the existing clapboard siding. The proposed windows will be similar in material, yet different in profile, ensuring for compatibility with respect to openings and rhythm between the addition and the existing structure. The proposed roof shape and asphalt shingle material can also be considered to be compatible to that of the existing roof.

The 1995 designation report notes the following with respect to the Statement of Significance for the structure:

“This house is an excellent example of the Monterey style of architecture which was popular throughout South Florida during the 1930s and 40s. It was designed by one of Palm Beach County’s most renowned and prolific architects. In its original location it was considered eligible for listing in the National Register of Historic Places. In its present location it is an asset to the built inventory of historic structures in the Old School Square Historic District. It is a visual compliment to an important historic corridor and serves as a constant reminder that beautiful buildings do not have to suffer the fate of demolition, but can indeed, with imagination and ingenuity, be useful to a community.”

The addition has been designed to ensure the visual compatibility as it relates to height, width, mass, scale and façade of the original structure will be minimally affected, safeguarding the structures contribution as an asset to the Old School Square Historic District. The addition allows for the continued use of the structure as an office as modern day requirements for commercial office space change.

REQUIRED FINDINGS

Pursuant to LDR Section 2.4.5(G)(1)(d), Class IV Site Plan Modification, A modification to a site plan which represents either a significant change in the intensity of use or significant changes which affect the spatial relationship among improvements on the land, requiring full review of Performance Standards found in Section 3.1.1, and 3.2.3, as well as required findings of LDR Section 2.4.5(G)(5).

Pursuant to LDR Section 2.4.5(G)(5), a finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class IV modification.

The development proposal involves a one-story 1,400 sq. ft. addition to the existing 2,920 sq. ft. two-story office building for an overall building size of 4,320 sq. ft. Pursuant to LDR Section 2.4.5(G)(5), this Class IV modification does not significantly impact the previous findings; however, the applicable Future Land Use Map (FLUM) and Concurrency items as they relate to this development proposal are discussed below.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a zoning designation of Old School Square Historic Arts District (OSSHAD) and a Other Mixed Use (OMU) Future Land Use Map designation. Office is allowed pursuant to LDR Section 4.4.24(B)(7). Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map (FLUM) designation.

LDR Section 3.1.1(B) - Concurrency

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

LDR Section 3.1.1(C) - Consistency

As described in Appendix "B", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made provided the attached conditions of approval are addressed.

Comprehensive Plan Policies

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies are noted:

Future Land Use Objective A-1 Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The development proposal involves a one-story addition of 1,400 sq. ft. to the existing two-story 2,920 sq. ft. office and is consistent with the subject Objective. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is surrounded by a mix of uses and the property is in a mixed-use area zoned for both residential and office, as well as retail, restaurant, and other commercial uses. Several of the surrounding uses are located within a contributing structure or individually designated structures. Said uses include the Old School Square complex to the east (nationally designated structures and property that house cultural and institutional facilities), the historic bungalow to the north (an individually designated structure which houses a residence), Doc's restaurant and Dunkin Donuts to the south, the City of Delray Beach City Hall Complex and the Delray Beach Tennis Center to the west. The proposal is appropriate and thereby consistent with the subject Objective.

Future Land Use Objective A-4 The redevelopment of land and buildings shall provide for the preservation of historic resources. The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

Future Land Use Policy A-4.1 Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the "Delray Beach Design Guidelines".

The proposal inherently provides for the continued preservation of an individually listed historic resource in the Old School Square Historic District; it's commercial use is appropriate and assists in the maintenance and protection of the historic district. As indicated in this report, positive findings with respect to the LDRs have been made, more specifically to LDR Section 4.5.1, which provides the review criteria for properties within historic districts. As a result, the proposal can be deemed to be consistent with the subject Objective and Policy.

REVIEW BY OTHERS

The subject property is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS).

The request was reviewed and approved by the Downtown Development Authority (DDA) at its meeting on July 10, 2017.

The request is scheduled for the West Atlantic Redevelopment Coalition (WARC) meeting on July 13, 2017. As the WARC meeting occurs after the distribution of this report, the board's input will be conveyed at the HPB meeting.

The request was originally scheduled for the Community Redevelopment Agency (CRA) meeting of July 13, 2017; however, that meeting was rescheduled to July 27, 2017. The plans were sent to the CRA and any comments will be presented at the HPB meeting.

ASSESSMENT & CONCLUSION

The proposed site plan, improvements and one-story building addition for 20 North Swinton Avenue, an individually designated historic structure and property, is appropriate and compatible, which will have a positive impact on the surrounding area and Old School Square Historic District. The property is surrounded by a variety of established commercial and institutional type uses, many of which are located within a contributing structure or individually designated structures, including the Old School Square complex (nationally designated structures and property), the Historic Bungalow (an individually

designated structure), Doc's restaurant, the City of Delray Beach City Hall Complex and the Delray Beach Tennis Center. The site improvements have been designed to have minimal impacts upon the surrounding area, with the 1,400 square foot one-story addition being situated to the rear of the existing structure and property. Based on the above, positive findings can be made with respect to the Land Development Regulations.

ALTERNATIVE ACTIONS

- A. Continue with direction.

- B. Move approval of the Class IV Site Plan Modification, Landscape Plan, Architectural Elevations and Certificate of Appropriateness (2017-092) for **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations Sections 2.4.5(G)(5), 2.4.6(H)(6), 2.4.5(H)(5), 2.4.5(I)(5) and 4.5.1(E).

- C. Move denial of the Class IV Site Plan Modification, Landscape Plan, Architectural Elevations and Certificate of Appropriateness (2017-092) for **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations Sections 2.4.5(G)(5), 2.4.6(H)(6), 2.4.5(H)(5), 2.4.5(I)(5) and 4.5.1(E).

RECOMMENDATION

By Separate Motions:

Site Plan and COA

Approve the Class IV Site Plan Modification and Certificate of Appropriateness (2017-092) for **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(G)(5) and 2.4.6(H)(6), subject to the following conditions:

- 1. That the site plan needs to be updated to ensure the correct proposed square foot calculations;
- 2. That the photometric plan be updated to reflect the carriage style fixture rather than the modern style light fixture; and,
- 3. That the applicant provide a letter from Palm Beach County Traffic Engineering Division that indicates Traffic Performance Standards have been met.

Landscape Plan

Approve the Landscape Plan for **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in LDR Section 2.4.5(H)(5), subject to the following conditions:

- 1. That upon of issuance of a Certificate of Occupancy for the new addition, the existing landscaping on the subject property be found to be in compliance with LDR Section 4.6.16(I), relating to Minimum Maintenance Requirements.

Architectural Elevations

Approve the Architectural Elevations for **20 North Swinton Avenue, Old School Square Historic District**, an individually designated historic structure and property, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 4.5.1(E)(8).

Attachments:

- Appendix "A" – Concurrency Findings
- Appendix "B" – Consistency Findings & Standards for Site Plan Actions
- Proposed Site Plans, Landscape Plan and Elevations

Report prepared by: Michelle Hoyland, Historic Preservation Planner

APPENDIX "A"
CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

Water and sewer services are existing on site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage:

Drainage and water run-off will be addressed through the use an exfiltration trench system which connects the gutters to the below ground system. There should be no impact on drainage as it relates to this level of service standard.

Traffic:

The applicant has provided a traffic statement from Chen Moore & Associates, and the site is located within the Delray Beach Transportation Concurrency Exception Area (TCEA); thus, the 1,400 square foot addition is not anticipated to significantly affect traffic circulation nor cause negative impacts upon the surrounding area. A condition of approval is attached requiring the applicant provide a letter from the Palm Beach County Traffic Engineering Division that indicates Traffic Performance Standards have been met.

Parks and Recreation:

Non-residential uses are not considered to have an impact on the City's Parks and Recreation facilities.

Solid Waste:

The proposed 1,400 sq. ft. office use will generate 3.78 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2046, thus a positive finding with respect to this level of service standard can be made.

Schools:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

APPENDIX "B"
CONSISTENCY FINDINGS & STANDARDS FOR SITE PLAN ACTIONS

A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

Not applicable _____
Meets intent of standard X
Does not meet intent _____

J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

Not applicable X
Meets intent of standard _____
Does not meet intent _____

DELRAY BEACH CRA OFFICE RENOVATION

20 N. SWINTON AVE., DELRAY BEACH, FL 33483



S + A Project No. 14015

CONSULTANTS

CIVIL ENGINEER

ENVIRODESIGN
208 PINEAPPLE GROVE WAY
DELRAY BEACH, FL 33444

TEL 561-274-6500
FAX 561-274-8558

LANDSCAPE ARCHITECT

DAVE BODNER LANDSCAPE ARCHITECTURE /
PLANNING INC.
601 N. CONGRESS AVE, SUITE 105-A
DELRAY BEACH, FL 33445

TEL 561-276-6311
FAX

STRUCTURAL ENGINEER

ANDREW MORGAN SERVICES
6113 US HIGHWAY ONE, SUITE 109
NORTH PALM BEACH, FL 33408

TEL 561-881-8999
FAX

MEP ENGINEERS

BACH DESIGN ENGINEERS
381 SE 10TH ST
POMPANO BEACH, FL 33060

TEL 954-782-2036
FAX



Song + Associates

Architecture • Planning • Interior Design

SITE PLAN APPROVAL

05/01/17



DELRAY BEACH CRA
COMMUNITY REDEVELOPMENT AGENCY

BOARD MEMBERS

REGINALD A. COX
CHAIR

DEDRICK D. STRAGHN

JOSEPH BERNADEL
VICE CHAIR

DANIEL ROSE

CATHY BALESTRIERE
FIRST VICE CHAIR

PAUL ZACKS

HERMAN STEVENS
TREASURER

TO THE BEST OF MY KNOWLEDGE, THESE
DRAWINGS AND THE PROJECT MANUAL ARE
COMPLETE AND COMPLY WITH "THE FLORIDA
BUILDING CODE", THE "FLORIDA FIRE
PREVENTION CODE", AND OTHER APPLICABLE
CODES AND REGULATIONS, AS DETERMINED
BY THE LOCAL AUTHORITY IN ACCORDANCE
WITH FBC CH. 105 AND 633 FLORIDA
STATUTES.

SET NO.



Name: PERRY DOUGLASS
License #: AB0176



Architecture • Planning • Interior Design
 1545 Centpark Drive North
 West Palm Beach, Florida 33409
 Telephone: 561-855-3423
 Fax: 561-855-1482

AA - 0003165 IB - 0001095
 Seal:

Name: PERRY DOUGLASS
 License #: AR97112
 Consultants:

COMMITTEE REPORT SONG & ASSOCIATES, INC. HAS REVIEWED THE PROPOSED SITE PLAN AND SPECIFICATIONS AND IS OPINIONATED THAT THE PROPOSED CONSTRUCTION SHALL COMPLY WITH THE DELRAY BEACH CRA OFFICE RENOVATION. THE CONSULTANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DELRAY BEACH CRA OFFICE RENOVATION. THE CONSULTANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DELRAY BEACH CRA OFFICE RENOVATION.



DELRAY BEACH CRA
 OFFICE RENOVATION

20 N. SWINTON AVE.,
 DELRAY BEACH, FL
 33483

Key Plan:

DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS
5-26-17	REVIEW COMMENTS

Date: 05/01/17
 S-A Project No.: 14015
 Owner Project No.:
 Drawn By: WA
 Checked By: PD
 Phase: SITE PLAN APPROVAL

Sheet Title:
 OVERALL SITE PLAN

Sheet #:

A-100

SITE TABULAR DATA

PARKING CALCULATIONS

REQUIRED PARKING:	
EXISTING:	2,920 SF
PROPOSED:	4,920 SF
TOTAL BUILDING AREA ADDED:	+1,400 SF
4,147 SF @ 4,392,300 SF = 14 SPACES REQUIRED	
+31 TOTAL PARKING SPACES AVAILABLE	

SITE DATA

LEGAL DESCRIPTION:
 TOWN OF DELRAY N 250 FT OF BK 20 (LESS S 100 FT. E 139FT & W 135 FT)

PROPOSED USE: OFFICE
 FUTURE LAND USE DESIGNATION: OTHER MIXED USE

ZONING DISTRICT: OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT
 SECTION/TOWNSHIP/RANGE: DELRAY BEACH
 PROPERTY CONTROL NUMBER: 12-43-46-16-01-020-040
 PROJECT BOUNDARY GROSS SF: 9303 SF

A. NEW CONSTRUCTION CONSISTS OF: 1 BUILDING OF 1 STORIES
 1. PRIMARY OCCUPANCY: B-BUSINESS
 B. CONSTRUCTION TYPE: I-V-B
 C. NON-SPRINKLERED

SITE DATA FOR EXISTING BUILDING CALCULATIONS

ALLOWABLE HT:	35'-0"
PROPOSED BUILDING HEIGHT:	
EXISTING:	22'-6"
ADDITION:	14'-6"
AREA OF EXISTING BUILDING:	
FIRST FLOOR:	1800 SF
SECOND FLOOR:	1120 SF
AREA OF PROPOSED ADDITION:	1400 SF
TOTAL AREA OF EXISTING & PROPOSED BUILDING:	4320 SF

	REQUIRED	PROVIDED
TOTAL SITE ACREAGE:	8,000 SF MIN	9302 SF 0.2135 ACRES
TOTAL BUILDING COVERAGE:	40% MAX	3200 SF = 35%
OPEN SPACE:	60% MIN	6103 SF = 65%
PERVIOUS SURFACE AREA:	N/A	4782 S.F. = 51%
IMPERVIOUS SURFACE AREA:	N/A	4521 S.F. = 49%

REQUIRED SETBACKS

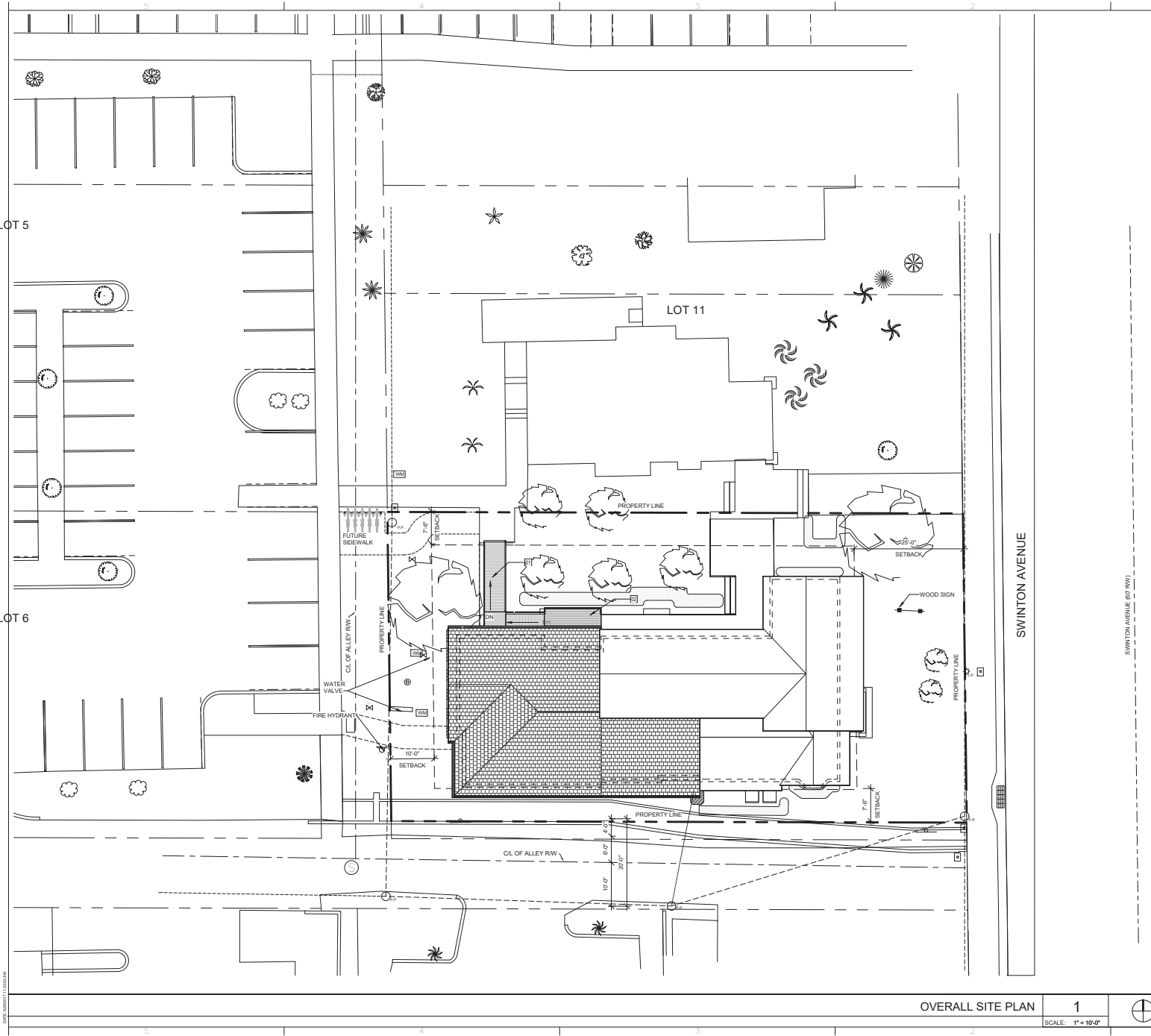
FRONT	25'-0"	FRONT	25'-0"
SIDE ALLEY	7'-6"	SIDE ALLEY	7'-0"
SIDE INT.	7'-0"	SIDE INT.	25'-0"
REAR	10'-0"	REAR	15'-0"

GENERAL NOTE

- LANDSCAPING SHALL COMPLY WITH DELRAY BEACH LDR ARTICLE 4.6

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
	PROPOSED NEW ADA COMPLIANT RAMP
	PROPOSED NEW COMPOSITE DECK



OVERALL SITE PLAN 1
 SCALE: 1" = 10'-0"



DATE: 05/01/17 11:58 AM

COMPOSITE OVERLAY PLAN SHEETNOTES

- PROPOSED ADDITION
- EXISTING BUILDING TO REMAIN

- [1] WATER METER
- [2] SEWER CLEANOUT
- [3] LIGHT POLE
- [4] POWER POLE
- [5] ELECTRICAL METER WITH UNDERGROUND SERVICE
- [6] FIRE HYDRANTS
- [7] CATV BOX
- [8] ELECTRIC BOX
- [9] SEWER MANHOLE
- [10] PROPOSED LANDSCAPE
- [11] EXISTING LANDSCAPE
- [12] OVERHEAD COMMUNICATION LINES
- [13] OVERHEAD POWER LINES
- [14] BACKFLOW PREVENTER VALVE ASSEMBLY
- [15] CATCH BASIN DRAIN
- [16] WATER VALVE
- [17] WOOD SIGN
- [18] FUTURE SIDEWALK AND 5 BICYCLE RACK
- [19] CENTER LINE OF ALLEY RW
- [20] CENTER LINE OF SWINTON AVENUE (60' RW)
- [21] REMOVE CONCRETE WALKWAY AS REQUIRED FOR NEW CONSTRUCTION. SEE SITE DRAWINGS FOR MORE INFO.
- [22] REMOVE WOOD DECK AND REPLACE WITH COMPOSITE DECKING.

N.W. 1ST AVENUE

LEGEND

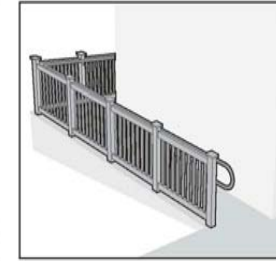
- DENOTES CRA 20 N SWINTON AVE. PARKING SPACES

TREX ALUMINUM ADA COMPLIANT HANDRAIL

STAIR APPLICATION



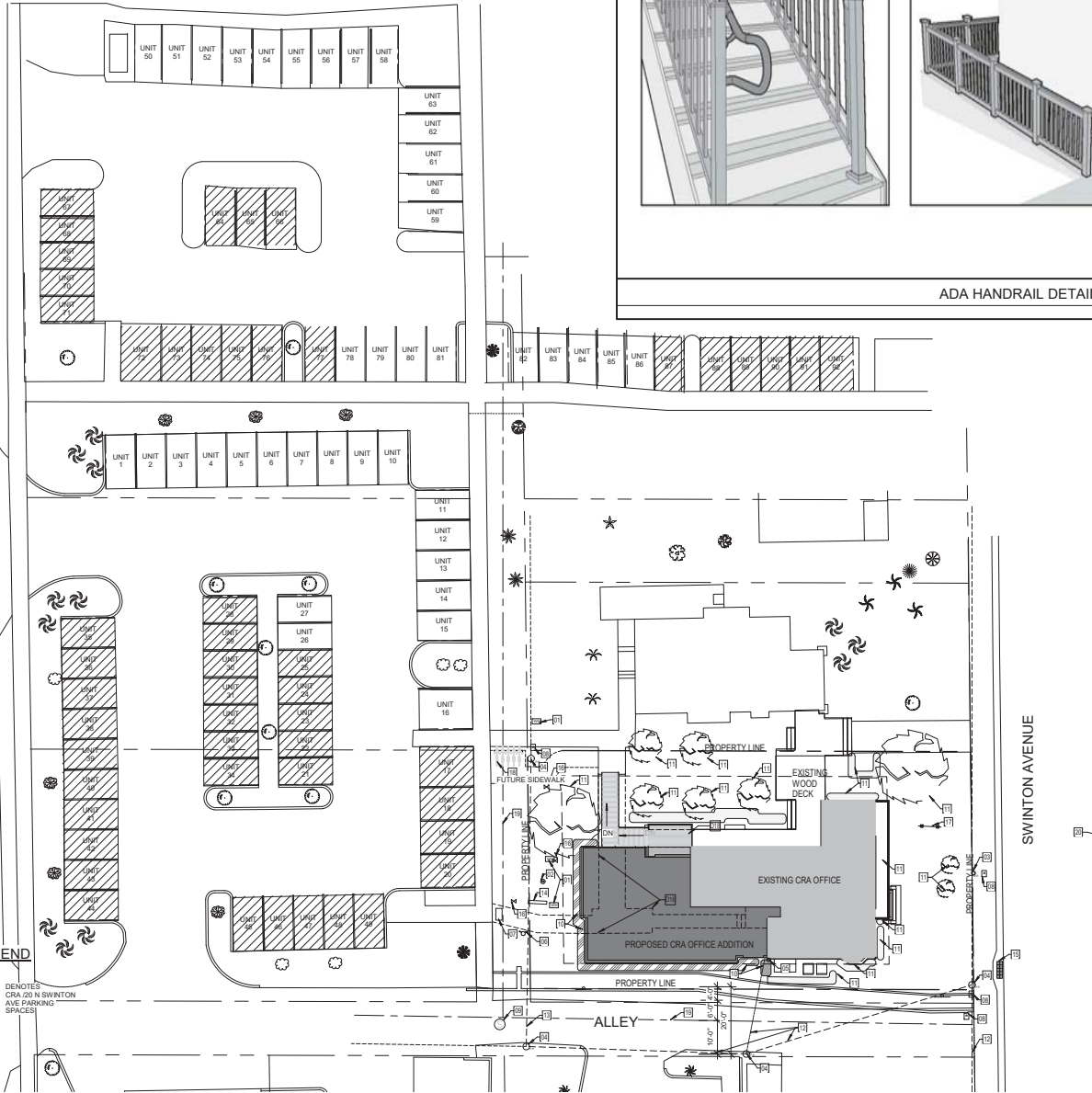
RAMP APPLICATION



ADA HANDRAIL DETAIL

2

SCALE: 1/2" = 1'-0"



SITE TABULAR DATA	
PARKING CALCULATIONS	
REQUIRED PARKING:	
EXISTING:	2,920 SF
PROPOSED:	4,920 SF
TOTAL BUILDING AREA ADDED:	+1,400 SF
4,947 SF @ 1:500 SF = 18 SPACES REQUIRED	
+ 51 TOTAL PARKING SPACES AVAILABLE	
SITE DATA	
LEGAL DESCRIPTION:	
TOWN OF DELRAY N 250 FT OF BK 20 (LESS S 100 FT, E 135FT & W 135 FT)	
PROPOSED USE: OFFICE	
FUTURE LAND USE DESIGNATION: OTHER MIXED USE	
ZONING DISTRICT: OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT	
SECTION/TOWNSHIP/RANGE: DELRAY BEACH	
PROPERTY CONTROL NUMBER: 12-43-46-16-01-020-0240	
PROJECT BOUNDARY GROSS SF: 9303 SF	
A. NEW CONSTRUCTION CONSISTS OF: 1 BUILDING OF 1 STORIES	
B. CONSTRUCTION TYPE: B-BUSINESS	
C. NON-SPRINKLERED	
SITE DATA FOR EXISTING BUILDING CALCULATIONS	
ALLOWABLE HT:	38'-0"
PROPOSED BUILDING HEIGHT:	
EXISTING:	22'-8"
ADDITION:	14'-8"
AREA OF EXISTING BUILDING:	
FIRST FLOOR:	1800 SF
SECOND FLOOR:	1120 SF
AREA OF PROPOSED ADDITION:	
TOTAL AREA OF EXISTING & PROPOSED BUILDING:	4320 SF
REQUIRED SETBACKS	
FRONT:	25'-0"
SIDE ALLEY:	7'-6"
SIDE INT.:	7'-6"
REAR:	10'-0"
PROVIDED SETBACKS	
FRONT:	25'-0"
SIDE ALLEY:	7'-6"
SIDE INT.:	28'-0"
REAR:	15'-0"
PARKING SPACES SCHEDULE	
MARK:	
42 N SWINTON	UNIT 73
UNIT 83	UNIT 74
UNIT 84	UNIT 75
UNIT 85	UNIT 76
UNIT 86	UNIT 77
5	UNIT 78
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	UNIT 80
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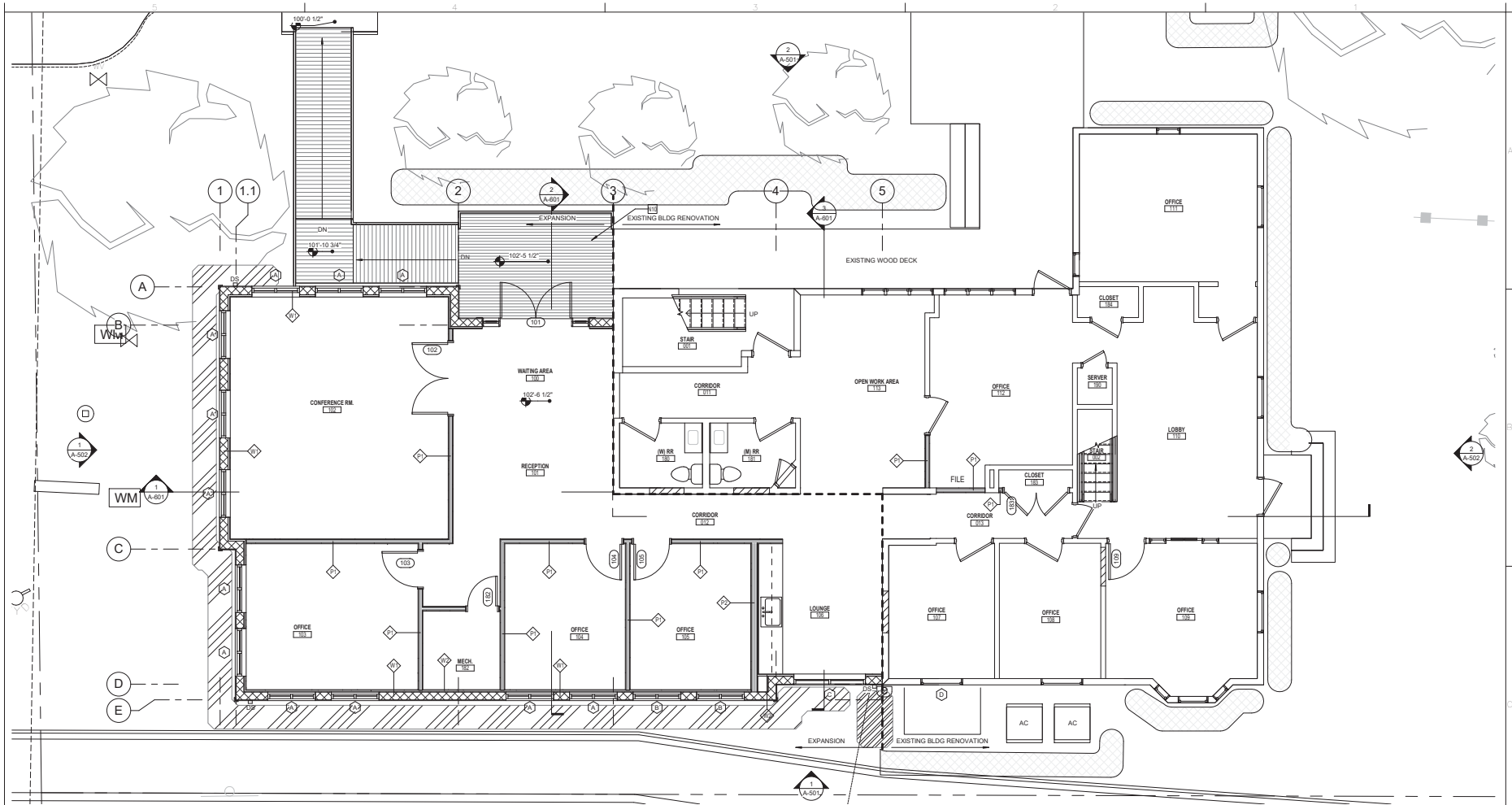
DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

Date: 05/01/17
 S-A Project No.: 14015
 Owner Project No.:
 Drawn By: XX
 Checked By: XX
 Phase: SITE PLAN APPROVAL

Sheet Title:
FIRST FLOOR PLAN

Sheet #:

A-201



FIRST FLOOR PLAN 1
 SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

<p>NEW FILLED WALL / PARTITION</p> <p>CONCRETE MASONRY UNIT</p> <p>DRYWALL / STUD PARTITION</p> <p>ROOM / SPACE TAG</p> <p>DOOR TAG</p> <p>NORTH ARROW</p>	<p>WALL PARTITION TAG</p> <p>POINT ELEVATION TAG</p> <p>WINDOW TAG</p> <p>DETAIL TAG</p>	<p>BUILDING SECTION TAG</p> <p>WALL SECTION / DETAIL TAG</p> <p>EXTERIOR ELEVATION TAG</p> <p>INTERIOR ELEVATION TAG</p>	<p>WALL TAG</p> <p>REVISION TAG</p> <p>SHEETNOTE TAG</p> <p>KEYNOTE TAG</p> <p>COLUMN GRID</p>
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GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY INCONSISTENCIES.
- ALL DIMENSIONS FOR NEW WORK ARE TO FACE OF STUDS, FACE OF CMU OR CONC. AND CENTERLINES OF COLUMNS, UNLESS OTHERWISE INDICATED. ALL DIMENSIONS TO EXISTING ARE TO FACE OF FINISH UNLESS OTHERWISE INDICATED. DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
- INSTALL TYPICAL PARTITION TYPE P1 (REFER TO SHEET A-650) FOR ALL NEW PARTITIONS UNLESS OTHERWISE INDICATED.
- ALL WOOD IN DIRECT CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- PROVIDE ALL REQUIRED BLOCKING AS NEEDED FOR BUILT IN CASEWORK, EQUIPMENT SUPPORTS, TOILET ACCESSORIES, ETC. COORDINATE WITH ALL TRADES AS REQUIRED. PROVIDE G-185 COATING FOR PT WOOD ANCHORS.
- VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT AND COORDINATE ALL OPENINGS, CLEARANCES, ELECTRICAL AND MECHANICAL REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION.
- UPON COMPLETION OF THE WORK, PROPERTY AND ADJACENT AREAS SHALL BE LEFT CLEAN AND SATISFACTORY TO THE OWNER AND THE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING INFORMATION.
- REFER TO SHEETS A-701 TO A-720 FOR TYPICAL MOUNTING HEIGHTS, ENLARGED EQUIPMENT FLOOR PLAN DRAWINGS, FURNITURE AND EQUIPMENT SCHEDULES, LEGENDS AND ADDITIONAL DIMENSION AND NOTES.
- REFER TO SHEETS ID-100 TO ID-210 FOR ENLARGED INTERIOR DESIGN FLOOR PLAN DRAWINGS, FINISH LEGENDS, FINISH SCHEDULES, DETAILS AND LOCATIONS.

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
N10	NEW COMPOSITE WOOD DECK / RAMP

DATA FOR EXISTING BUILDING CALCULATIONS	
ALLOWABLE HT.	38'-0"
PROPOSED BUILDING HEIGHT:	
EXISTING:	22'-6"
ADDITION:	14'-6"
AREA OF EXISTING BUILDING:	
FIRST FLOOR:	1800 SF
SECOND FLOOR:	1120 SF
AREA OF PROPOSED ADDITION:	1400 SF
TOTAL AREA OF EXISTING & PROPOSED BUILDING:	4320 SF



Song + Associates

Architecture • Planning • Interior Design
1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-855-2423
Fax: 561-855-1482

AA - 0003165 IB - 0001095
Seal:

Name: PERRY DOUGLASS
License #: AR97112
Consultants:

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DELRAY BEACH CRA
OFFICE RENOVATION

20 N. SWINTON AVE.
DELRAY BEACH, FL
33483

Key Plan:

DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS
5-26-17	REVIEW COMMENTS

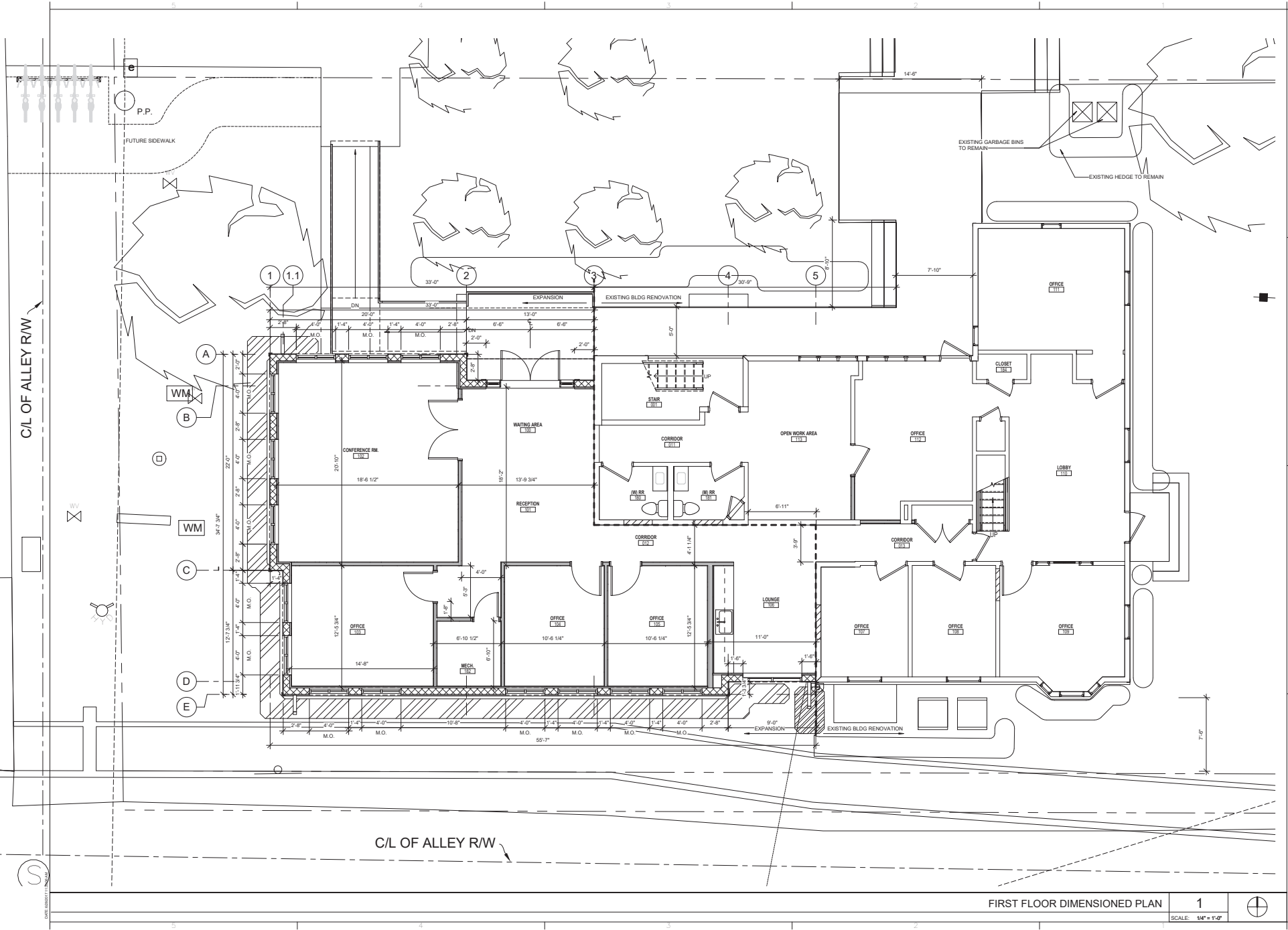
Date: 05/01/17
S-A Project No.: 14015
Owner Project No.:
Drawn By: PD
Checked By: WA

Phase: SITE PLAN APPROVAL

Sheet Title:
FIRST FLOOR DIMENSIONED PLAN

Sheet #:

A-201.1



FIRST FLOOR DIMENSIONED PLAN 1
SCALE: 1/4" = 1'-0"



Song + Associates

Architecture • Planning • Interior Design
1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

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Seal:

Name: PERRY DOUGLASS
License #: AR97112

Consultants:

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DELRAY BEACH CRA
OFFICE RENOVATION

20 N. SWINTON AVE.
DELRAY BEACH, FL
33483

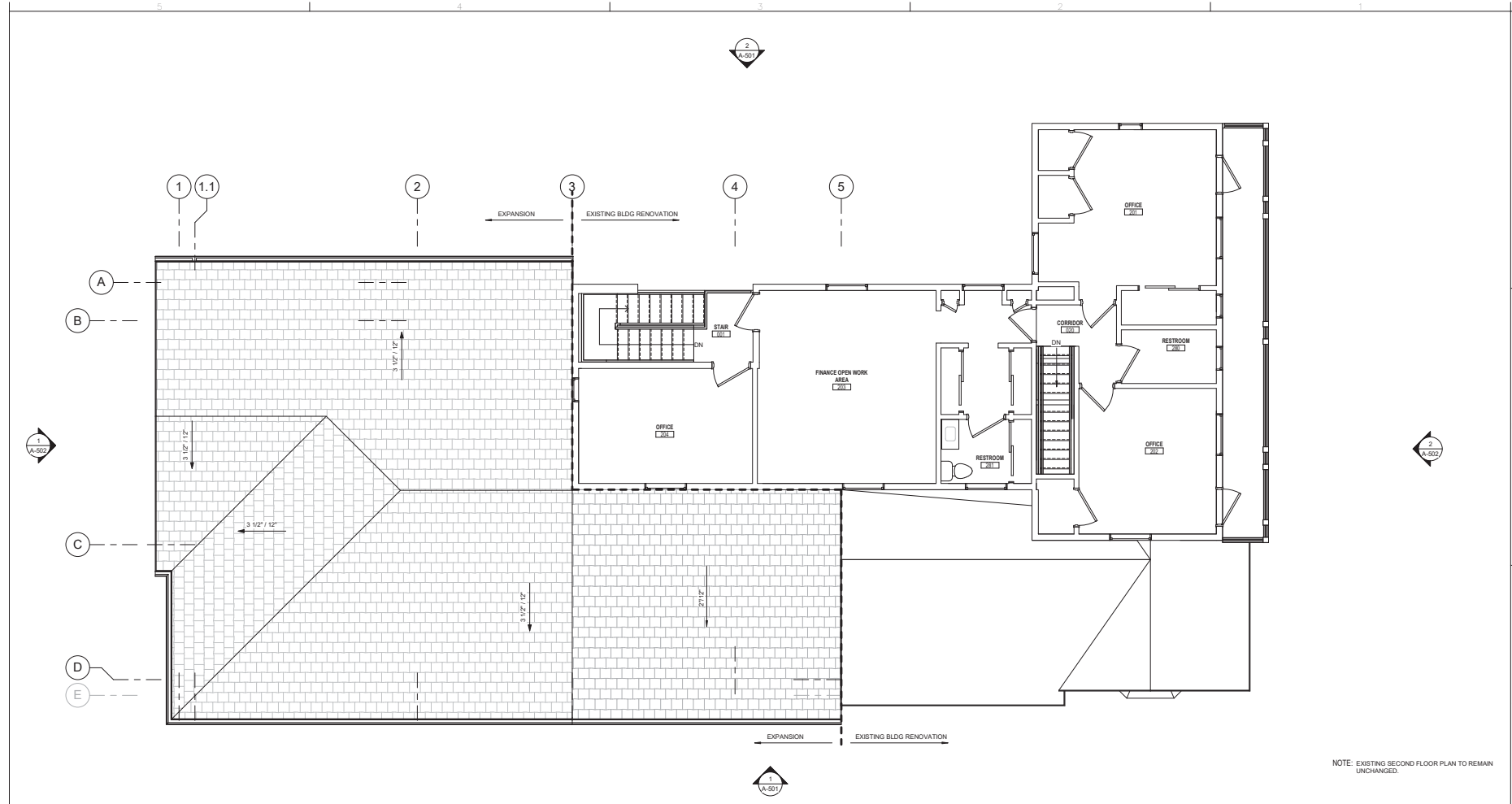
Key Plan:

DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

Date: 05/01/17
 S-A Project No.: 14015
 Owner Project No.:
 Drawn By: PD
 Checked By: PD
 Phase: SITE PLAN APPROVAL

Sheet Title: SECOND FLOOR PLAN

Sheet #: A-202



NOTE: EXISTING SECOND FLOOR PLAN TO REMAIN UNCHANGED.

SECOND FLOOR PLAN - EXISTING TO REMAIN

1
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

<p>NEW FILLED WALL / PARTITION</p> <p>CONCRETE MASONRY UNIT</p> <p>DRYWALL / STUD PARTITION</p> <p>ROOM SPACE TAG</p> <p>DOOR TAG</p> <p>NORTH ARROW</p>	<p>WALL PARTITION TAG</p> <p>POINT ELEVATION TAG</p> <p>WINDOW TAG</p> <p>DETAIL TAG</p>	<p>BUILDING SECTION TAG</p> <p>WALL SECTION / DETAIL TAG</p> <p>EXTERIOR ELEVATION TAG</p> <p>INTERIOR ELEVATION TAG</p>	<p>WALL TAG</p> <p>REVISION TAG</p> <p>SHEETNOTE TAG</p> <p>KEYNOTE TAG</p> <p>COLUMN GRID</p>
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GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY INCONSISTENCIES.
- ALL DIMENSIONS FOR NEW WORK ARE TO FACE OF STUDS, FACE OF CMU OR CONC. AND CENTERLINE OF COLUMNS, UNLESS OTHERWISE INDICATED. ALL DIMENSIONS TO EXISTING ARE TO FACE OF FINISH UNLESS OTHERWISE INDICATED. DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
- INSTALL TYPICAL PARTITION TYPE P1 (REFER TO SHEET A-650) FOR ALL NEW PARTITIONS UNLESS OTHERWISE INDICATED.
- ALL WOOD IN DIRECT CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- PROVIDE ALL REQUIRED BLOCKING AS NEEDED FOR BUILT IN CASEWORK, EQUIPMENT SUPPORTS, TOILET ACCESSORIES, ETC. COORDINATE WITH ALL TRADES AS REQUIRED. PROVIDE G-185 COATING FOR PT WOOD ANCHORS.
- VERIFY SIZES OF ALL OWNER PROVIDED EQUIPMENT AND COORDINATE ALL OPENINGS, CLEARANCES, ELECTRICAL AND MECHANICAL REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION.
- UPON COMPLETION OF THE WORK, PROPERTY AND ADJACENT AREAS SHALL BE LEFT CLEAN AND SATISFACTORY TO THE OWNER AND THE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING INFORMATION.
- REFER TO SHEETS A-701 TO A-720 FOR TYPICAL MOUNTING HEIGHTS, ENLARGED EQUIPMENT FLOOR PLAN DRAWINGS, FURNITURE AND EQUIPMENT SCHEDULES, LEGENDS AND ADDITIONAL DIMENSION AND NOTES.
- REFER TO SHEETS ID-100 TO ID-210 FOR ENLARGED INTERIOR DESIGN FLOOR PLAN DRAWINGS, FINISH LEGENDS, FINISH SCHEDULES, DETAILS AND LOCATIONS.

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
DATA FOR EXISTING BUILDING CALCULATIONS	
ALLOWABLE HT.	38'-0"
PROPOSED BUILDING HEIGHT:	
EXISTING:	22'-6"
ADDITION:	14'-6"
AREA OF EXISTING BUILDING:	
FIRST FLOOR:	1800 SF
SECOND FLOOR:	1120 SF
AREA OF PROPOSED ADDITION:	1400 SF
TOTAL AREA OF EXISTING & PROPOSED BUILDING:	4320 SF



Song + Associates

Architecture • Planning • Interior Design
1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

AA - 0003165 IB - 0001095
Seal:

Name: PERRY DOUGLASS
License #: AR97112

Consultants:

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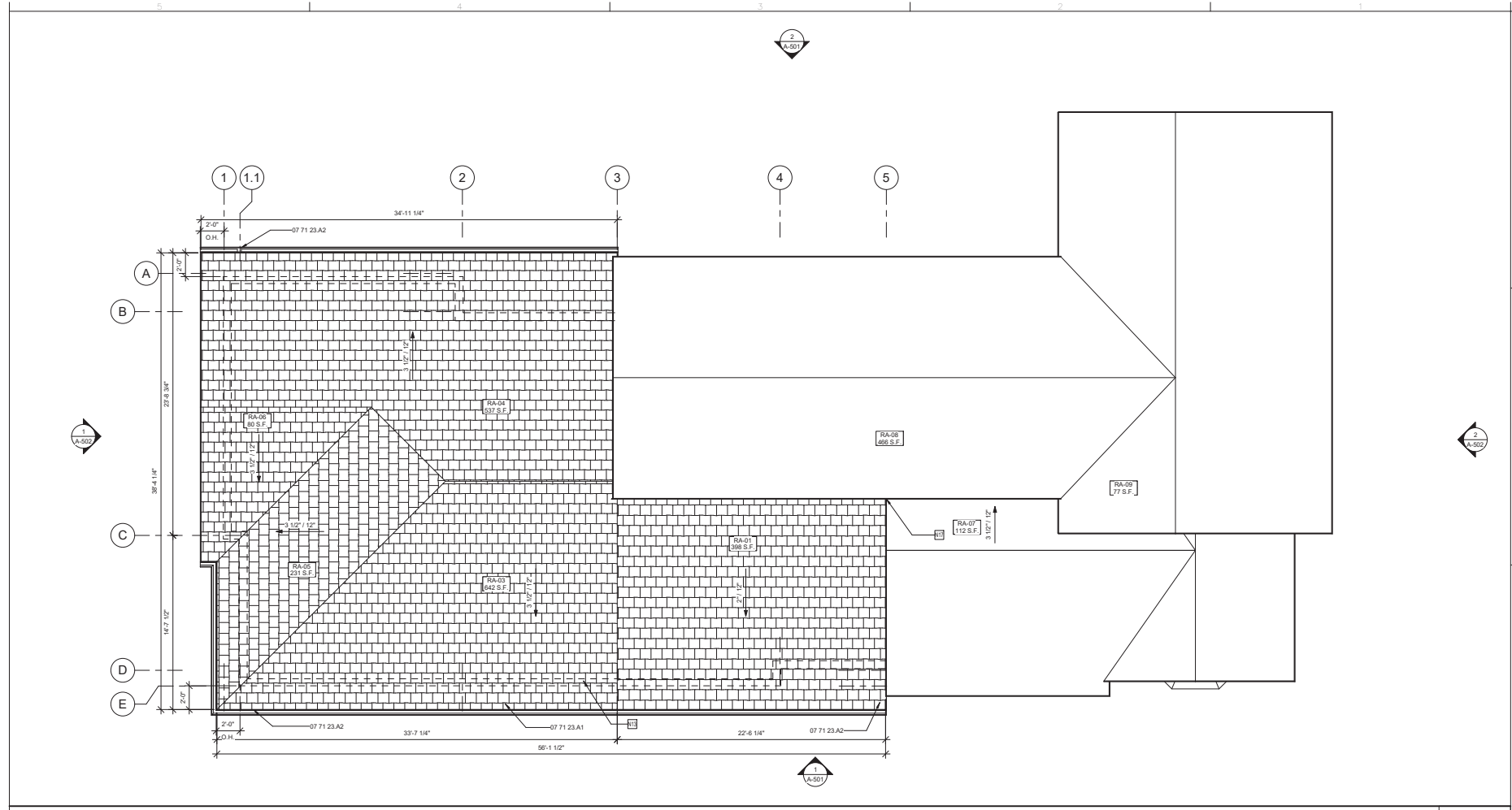
DELRAY BEACH CRA
OFFICE RENOVATION

20 N. SWINTON AVE.,
DELRAY BEACH, FL
33483

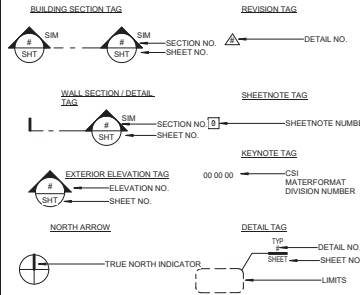
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DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

ROOF PLAN 1
SCALE: 1/4" = 1'-0"



ROOF PLAN LEGEND



ROOF DRAINAGE CALCULATIONS

ROOF DRAIN PROJECTED AREA		SLOPED ROOF RUN OFF		TOTAL PROJECTED AREA		PRIMARY DRAIN CALCULATIONS		GUTTER AND DOWNSPOUT CALCULATIONS		
ROOF AREA NO.	ROOF AREA SF	WALL (1/2 VERTICAL WALL)	112 SF	86 SF	510 SF	DIAMETER OF DRAIN	ROOF AREA PROVIDED FOR	SIZE OF DOWNSPOUT	NUMBER OF DOWNSPOUTS	ROOF AREA PROVIDED FOR
RA-01	388 SF	0 SF	112 SF	86 SF	510 SF	-	0 SF	4" X 4"	-	0 SF
RA-02	86 SF	0 SF	0 SF	86 SF	86 SF	-	0 SF	-	-	0 SF
RA-03	642 SF	0 SF	0 SF	642 SF	642 SF	4"	0 SF	4" X 4"	-	0 SF
RA-04	537 SF	0 SF	0 SF	537 SF	537 SF	4"	0 SF	4" X 4"	-	0 SF
RA-05	231 SF	0 SF	0 SF	231 SF	231 SF	-	-	-	-	0 SF
RA-06	80 SF	0 SF	0 SF	80 SF	80 SF	4"	0 SF	4" X 4"	-	0 SF
RA-07	112 SF	0 SF	0 SF	112 SF	112 SF	4"	0 SF	-	-	0 SF
RA-08	466 SF	0 SF	0 SF	466 SF	466 SF	4"	0 SF	4" X 4"	-	0 SF
RA-09	77 SF	0 SF	0 SF	77 SF	77 SF	4"	0 SF	4" X 4"	-	0 SF

NOTES: (1) PER FBC TABLES 1106.2, 1106.6 AND 1106.7
(2) BASED ON 2-PERCENT ROOF SLOPE
(3) BASED ON 5" RAINFALL PER HOUR

GENERAL NOTES

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
N17	ROOF HEIGHT AT THIS POINT TO MATCH EXISTING ROOF AREA 07 TO ALLOW FOR DRAINAGE TO ROOF AREA 01

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
---------	-------------

Date: 05/01/17
S/A Project No.: 14015

Owner Project No.:
Drawn By: WA
Checked By: PD

Phase: SITE PLAN APPROVAL

Sheet Title: ROOF PLAN

Sheet #:

A-401



EXTERIOR ELEVATION - SOUTH FACADE



EXTERIOR ELEVATION - NORTH FACADE



EXTERIOR ELEVATION - WEST FACADE



EXTERIOR ELEVATION - EAST FACADE

宋

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Architecture • Planning • Interior Design
1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

AA - 0003165 IB - 0001095

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License # AR97112

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Key Plan :

DATE	REVISION

Date: 05/01/17
S+A Project No.: 14015
Owner Project No.:
Drawn By: WABIAS
Checked By: PDOUGLASS

Phase: SITE PLAN APPROVAL

Sheet Title:
EXISTING
ELEVATION
PHOTOS

Sheet #:

A-500



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1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

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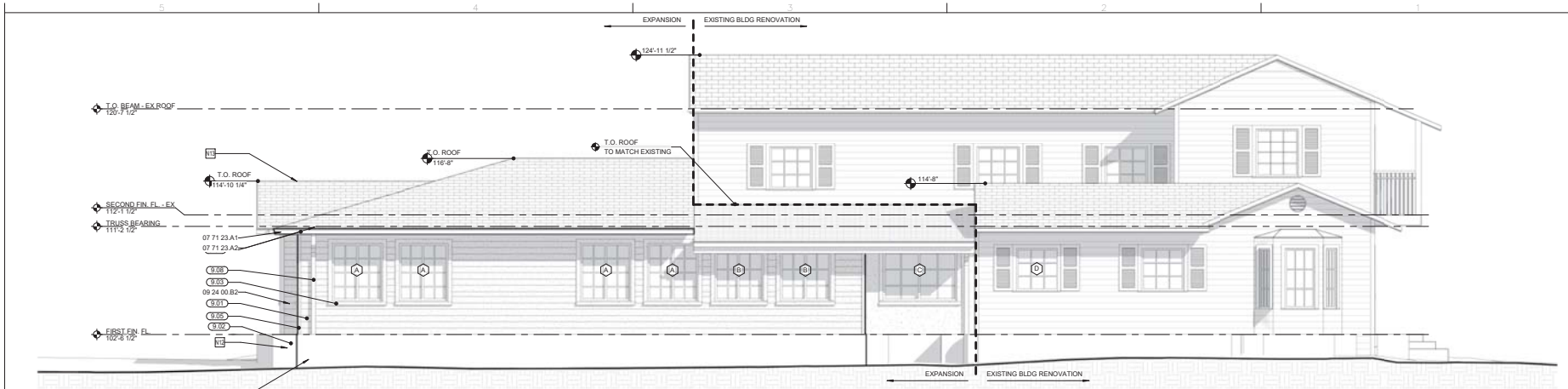
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4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

Date: 05/01/17
S-A Project No.: 14015
Owner Project No.:
Drawn By: WA
Checked By: PD
Phase: SITE PLAN APPROVAL

Sheet Title:
EXTERIOR ELEVATIONS

Sheet #:

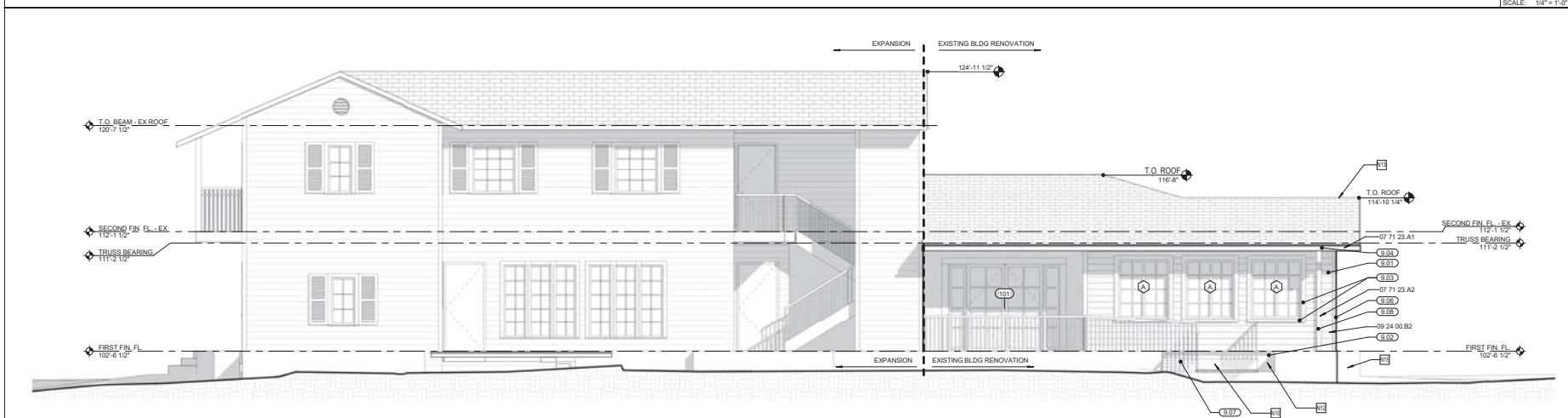
A-501



EXTERIOR ELEVATION - SOUTH FACADE

1

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - NORTH FACADE

2

SCALE: 1/4" = 1'-0"

COLOR LEGEND

- 09.01 PAINTED STUCCO - COLOR CODE - COLOR YELLOW
- 09.02 PAINTED STUCCO - COLOR CODE - COLOR WHITE
- 09.03 WINDOW SILL AND CASING TRIM - COLOR WHITE
- 09.04 FASCIA - COLOR CODE - COLOR WHITE
- 09.05 CORNER CASING - COLOR CODE - COLOR WHITE
- 09.06 PICKET RAILING - COLOR CODE - COLOR WHITE
- 09.07 WOOD DECK / RAMP - COLOR CODE - COLOR TBD
- 09.08 GUTTER AND DOWNSPOUT - COLOR CODE - COLOR WHITE

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
N10	NEW COMPOSITE WOOD DECK / RAMP
N12	1" STUCCO SILL AND CASING TRIM
N13	NEW ASPHALT SHINGLES TO MATCH EXISTING
N15	FOUNDATION PLANTING

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
07 71 23 A1	6"x6" METAL GUTTER SYSTEM
07 71 23 A2	4" DOWNSPOUTS
09 24 00 B2	3/4" STUCCO

DATE: 05/01/17 11:34 AM



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1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

AA - 0003165 IB - 0001095

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Date: 05/01/17

S-A Project No.: 14015

Owner/Project No.: WA

Drawn By: PD

Checked By: PD

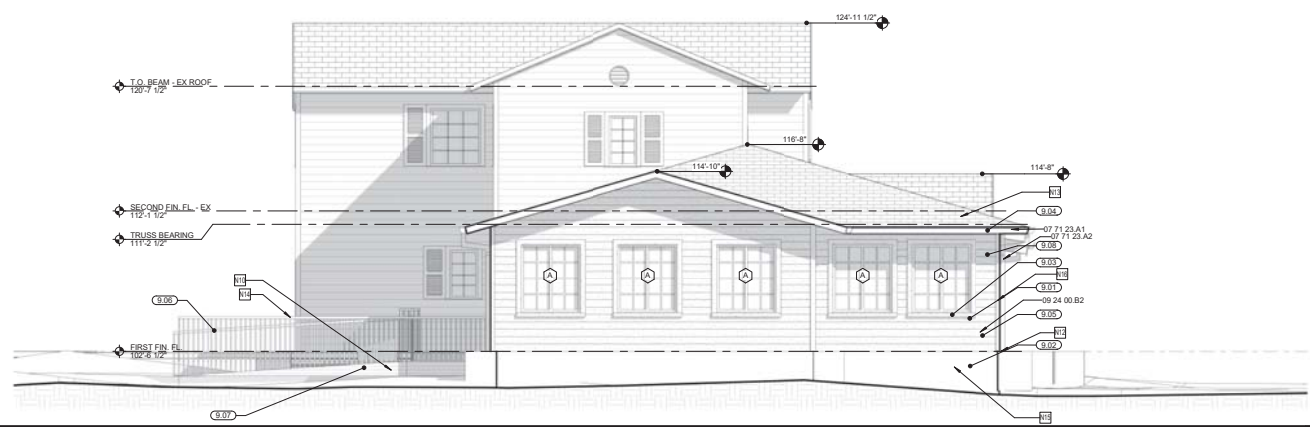
Phase: SITE PLAN APPROVAL

Sheet Title:

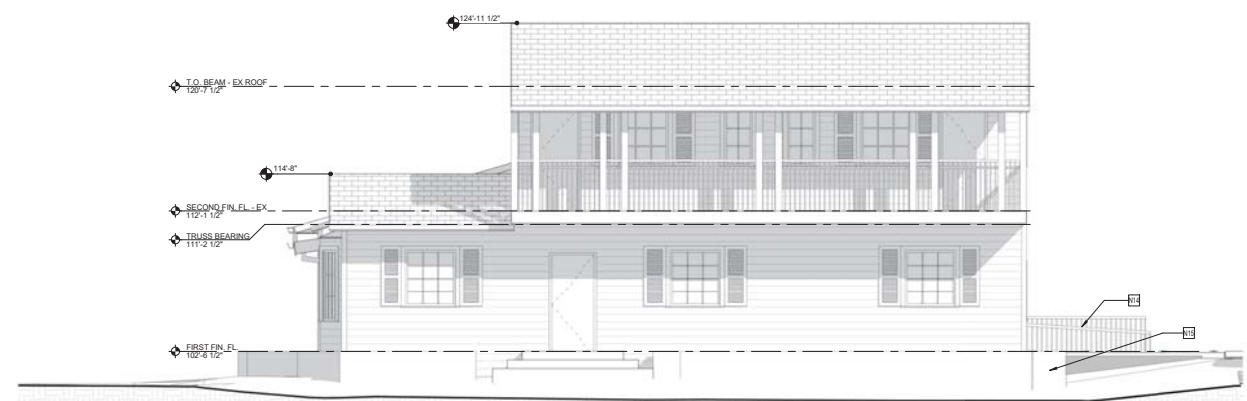
EXTERIOR ELEVATIONS

Sheet #:

A-502



EXTERIOR ELEVATION - WEST FACADE 1
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - EAST FACADE 2
SCALE: 1/4" = 1'-0"

COLOR LEGEND

- (09.01) PAINTED STUCCO - COLOR CODE - COLOR YELLOW
- (09.02) PAINTED STUCCO - COLOR CODE - COLOR WHITE
- (09.03) WINDOW SILL AND CASING TRIM - COLOR WHITE
- (09.04) FASCIA - COLOR CODE - COLOR WHITE
- (09.05) CORNER CASING - COLOR CODE - COLOR WHITE
- (09.06) PICKET RAILING - COLOR CODE - COLOR WHITE
- (09.07) WOOD DECK / RAMP - COLOR CODE - COLOR TBD
- (09.08) GUTTER AND DOWNSPOUT - COLOR CODE - COLOR WHITE

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
N10	NEW COMPOSITE WOOD DECK / RAMP
N12	1" STUCCO SILL AND CASING TRIM
N13	NEW ASPHALT SHINGLES TO MATCH EXISTING
N14	NEW PICKET RAILING TO MATCH EXISTING
N15	FOUNDATION PLANTING
N16	CORNER CASING

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
07 71 23.A1	6"x6" METAL GUTTER SYSTEM
07 71 23.A2	4" DOWNSPOUTS
09 24 00.B2	3/4" STUCCO



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West Palm Beach, Florida 33401
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Fax: 561-655-1482

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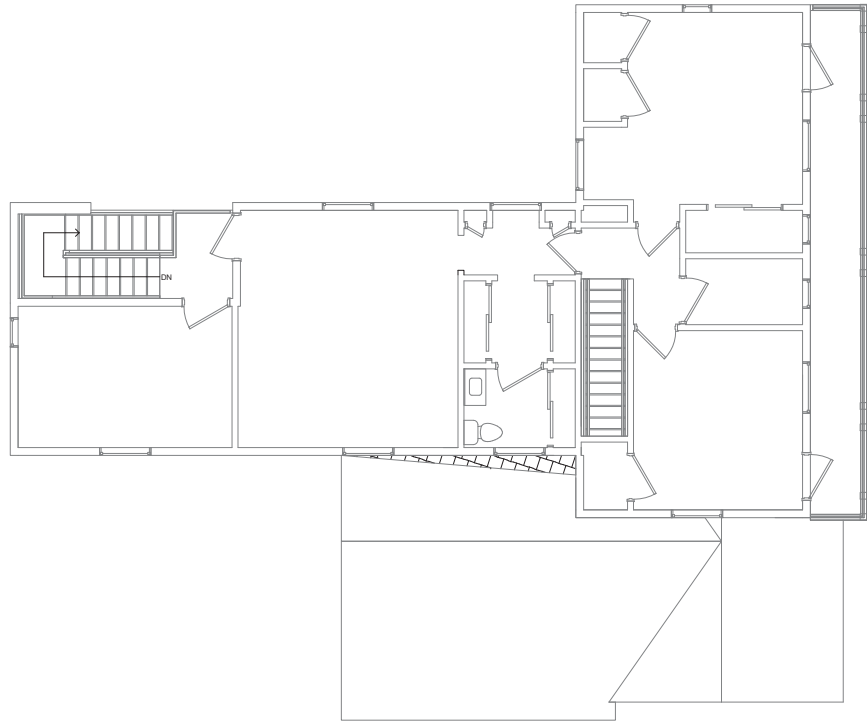
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4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

Date: 05/01/17
 S/A Project No.: 14015
 Owner Project No.: WA
 Drawn By: PD
 Checked By: WA
 Phase: SITE PLAN APPROVAL

Sheet Title:
DEMOLITION FIRST & SECOND FLOOR PLANS

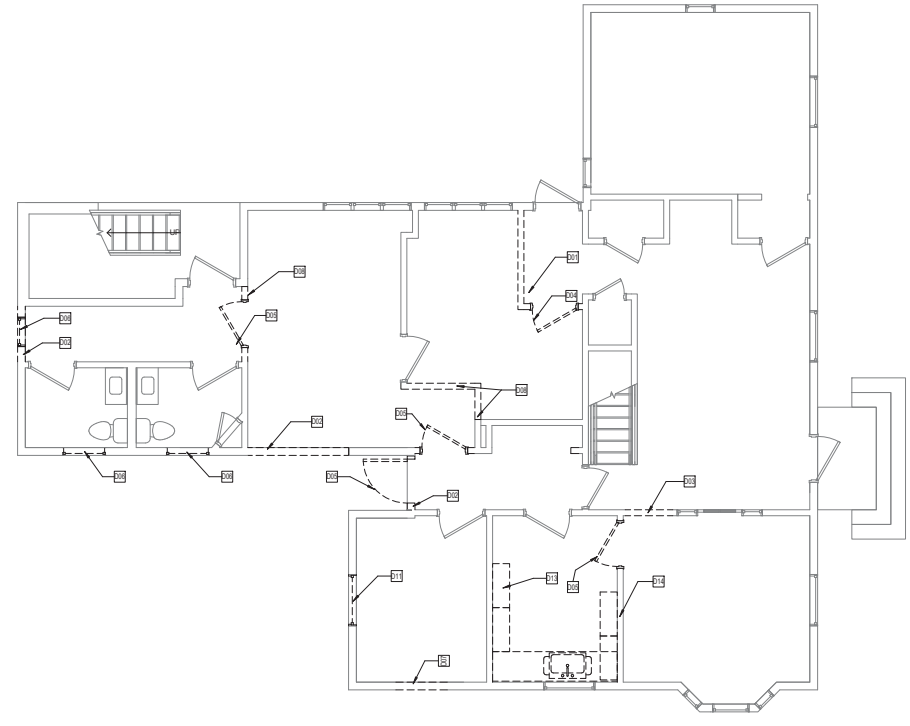
Sheet #:
D-201



DEMOLITION SECOND FLOOR PLAN

2

SCALE: 1/8" = 1'-0"



DEMOLITION FIRST FLOOR PLAN

1

SCALE: 1/8" = 1'-0"

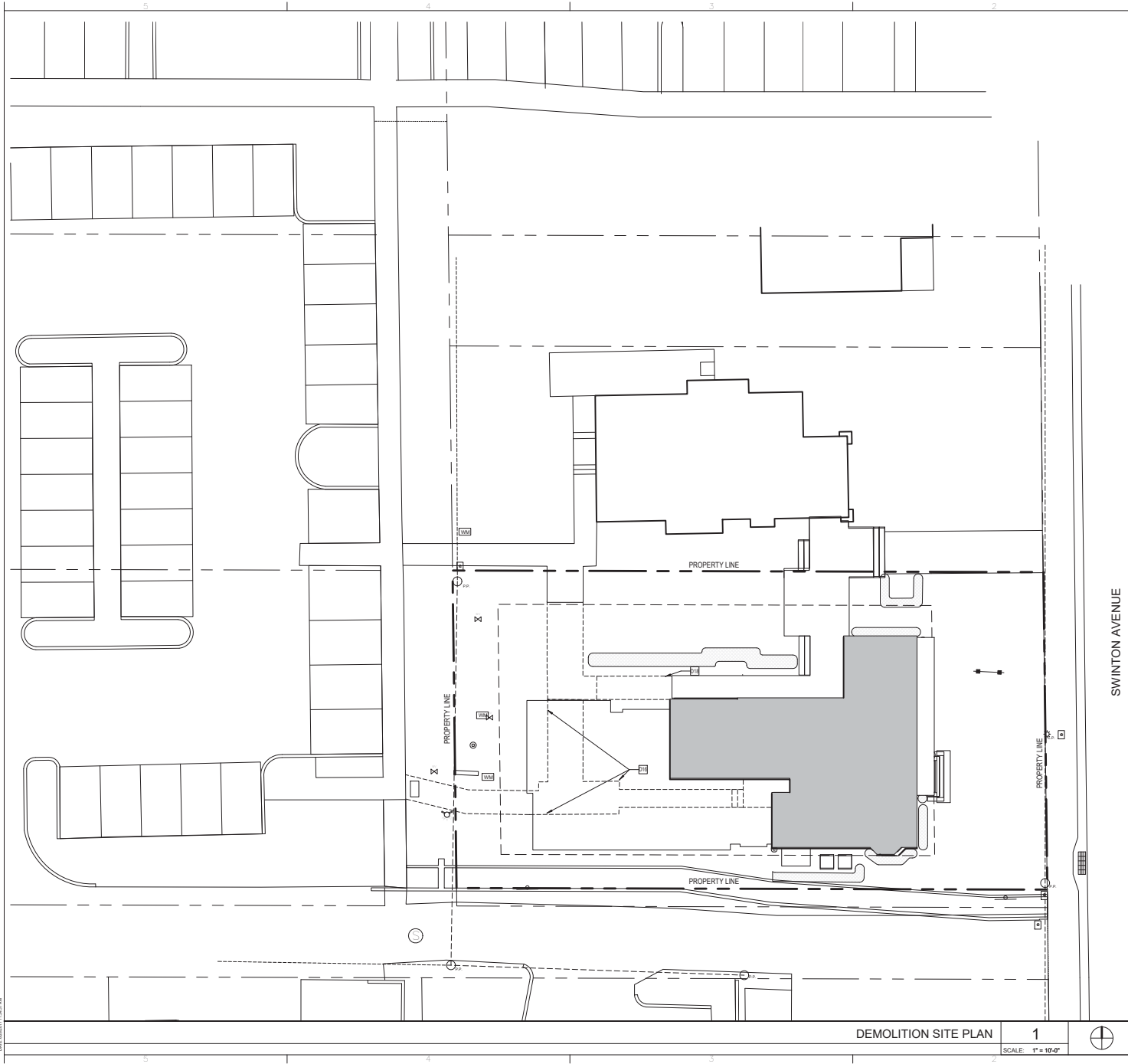


DEMOLITION GENERAL NOTES

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
D01	COMPLETELY REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION
D02	PARTIALLY REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION AS INDICATED ON PLANS
D03	REMOVE WALL AS REQUIRED FOR NEW DOOR AND FRAME AS INDICATED ON PLANS.
D04	REMOVE DOOR AND FRAME AS REQUIRED FOR NEW DOOR AS INDICATED ON PLANS.
D05	REMOVE DOOR AND FRAME
D06	REMOVE WINDOW
D07	PARTIALLY REMOVE WALL AS REQUIRED FOR EXISTING WINDOW TYPE, X RELOCATION
D08	COMPLETELY REMOVE STUD PARTITION.
D11	REMOVE WINDOW & SHUTTERS AS REQUIRED AND RELOCATE TO EXTERIOR WALL OF SAME ROOM AS INDICATED ON PLANS.
D13	COMPLETELY REMOVE ALL CASEWORK, COORDINATE WITH WITH PLUMBING AND ELECTRICAL DWGS. VERIFY WITH OWNER ON ITEMS TO BE SALVAGED.
D14	EXISTING WALL TO BE PROVIDED WITH SOUND INSULATION. REPLACE DRYWALL AS REQUIRED.

DATE: 05/01/17 11:28:04 AM



DEMOLITION SITE PLAN LEGEND

- EXISTING ITEMS TO REMAIN
- EXISTING ITEMS TO BE DEMOLISHED
- █ EXISTING BUILDING TO REMAIN

DEMOLITION GENERAL NOTES

- A. GENERAL AND ALL SUB-CONTRACTORS SHALL VISIT THE SITE AND PRECISELY EXAMINE THE EXISTING STRUCTURE, SURFACES, CONDITIONS AND EXTENT OF WORK INVOLVED. AFTER EXAMINATION A DEMOLITION SCHEDULE SHALL BE PREPARED AND SUBMITTED IN WRITING TO THE OWNER AND THE ARCHITECT FOR THEIR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK.
- B. CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING THE EXTENT OF DEMOLITION WORK AND FOR COORDINATING THE EXTENT OF DEMOLITION WITH THE INSTALLATION OF NEW SYSTEMS AND FINISHES INDICATED IN THE CONTRACT DOCUMENTS.
- C. ALL CONTRACTOR(S) SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL ORDINANCES.
- D. EXECUTE ALL DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ANY EXISTING STRUCTURE. EXTREME CAUTION SHALL BE EXERCISED TO ENSURE THAT NO DAMAGE OCCURS ABSOLUTELY TO ANY OF THE EXISTING EQUIPMENT OR STRUCTURES TO REMAIN. WORK SHALL BE CONFINED EXCLUSIVELY WITHIN THE BOUNDARY IDENTIFIED. DEMOLITION CONTRACTOR SHALL REPLACE OR REPAIR ANY DAMAGES TO ADJOINING SURFACES, FINISHES OR STRUCTURE CAUSED BY CONSTRUCTION OPERATIONS.
- E. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING PIPING, CONDUITS, ETC. INSIDE WALLS AND UNDERGROUND UTILITIES STRUCTURES OR WHERE NECESSARY CONCEALED BY EXISTING CONSTRUCTION AS DESCRIBED IN THESE PLANS. ANY EXISTING ACTIVE UTILITY SERVICE LINES, INDICATED OR NOT, SHALL BE PROTECTED FROM DEMOLITION OR DAMAGE. DISCONNECT ANY ELECTRIC, TELEPHONE, GAS, WATER, OR OTHER UTILITY LINES SERVING THE STRUCTURES ACCORDING TO THE EXISTING RULES & REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION, PRIOR TO DISCONNECTING ANY UTILITY SERVICE LINE. NOTIFY OWNER AND COORDINATE THE TIME WITH THE OWNER'S SCHEDULE.
- F. THE EXISTING IRRIGATION SYSTEM TO REMAIN OPERATIONAL TO THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION. REFER TO THE IRRIGATION PLANS FOR MORE INFORMATION AND LOCATION OF NEW PUMP.
- G. ALL MATERIAL REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE SALVAGED OR REUSED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. TO CONVEY MATERIALS, USE MOVABLE COVERED, DEBRIS BOXES. DO NOT STORE PERMIT DEBRIS TO ACCUMULATE ON SITE.
- H. ANY MATERIALS SPECIFIED TO BE REUSED BY THE OWNER SHALL BE CAREFULLY REMOVED, PROTECTED & STORED AT THE OWNER'S DIRECTION.
- I. UPON COMPLETION OF DEMOLITION WORK, ADJACENT AREAS AND THE PROPERTY SHALL BE LEFT CLEAN AND SATISFACTORY TO THE LOCAL AUTHORITIES, THE OWNER, AND THE ARCHITECT.
- J. GENERAL CONTRACTOR SHALL VERIFY THE EXISTING UNDER SLAB ELECTRICAL SERVICE IN AREAS OF SLAB DEMOLITION. VERIFICATION METHODS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHO SHALL COORDINATE WITH THE OWNER IF ANY ELECTRICAL SERVICE IS FOUND TO BE IN CONFLICT. GENERAL CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE SHUT DOWN WITH THE OWNER PRIOR TO DEMOLITION.
- K. "COMPLETELY" DENOTES TOTAL REMOVAL OF ALL ITEMS INDICATED FOR DEMOLITION, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, WINDOWS, MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS.
- L. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE DEMOLITION NOTES.

SHEETNOTE LEGEND

SHEETNOTE	DESCRIPTION
D16	REMOVE CONCRETE WALKWAY AS REQUIRED FOR NEW CONSTRUCTION. SEE SITE DRAWINGS FOR MORE INFO.
D18	REMOVE WOOD DECK AND REPLACE WITH COMPOSITE DECKINGS.

DEMOLITION SITE PLAN 1
SCALE: 1" = 10'-0"



Architecture • Planning • Interior Design
1545 Centpark Drive North
West Palm Beach, Florida 33401
Telephone: 561-655-2423
Fax: 561-655-1482

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Seal:

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License #: AR57112

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Key Plan: ⊕

DATE	REVISION
4-17-17	MEETING WITH CRA
4-26-17	REVIEW COMMENTS

Date: 05/01/17
S-A Project No.: 14015
Owner Project No.:
Drawn By: WA
Checked By: PD
Phase: SITE PLAN APPROVAL

Sheet Title:
DEMOLITION SITE PLAN

Sheet #:

D-101

EXISTING TREE LIST

SYM	TREE NAME	DESCRIPTION	DISPOSITION
A	Hogony Tree	36" H. x 35" spr, 18" cal.	remain
B	Orange Jasmine	8" H. x 6" spr.	remain
C	Bough/ivytine	5" H. x 5" spr, poor	remove
D	Crape Myrtle	6" H. soil, poor	remain

PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY
BJG	Eugenia spp.	6" H. x 3" spr.	3
	Slopper	24" o.c.	
RAN	Randia scolyma	24" H. x 18" spr.	100
	White Indigo Berry	24" o.c.	

LEGEND



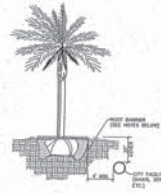
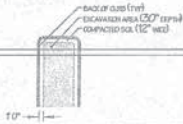
NOTE: CONTRACTOR TO MODIFY EXISTING IRRIGATION AS NECESSARY.

NOTE: CONTRACTOR TO FERTILIZER EXISTING TREES AS REQUIRED TO IMPROVE THEIR CONDITION.

EXCAVATION DETAIL

THE CONTRACTOR MUST ADHERE TO THE FOLLOWING:

(a) Existing native soil within all landscape islands, interior landscape strips and perimeter landscape strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of curb or pavement (see diagram below). A suitable planting soil mixture of 50% topsoil, 50% perlite (50/50) (readily available) or an alternative indicated by the Registered Landscape Architect, shall either be backfilled in place or the native soil or alternative mixed with the native soil to create an optimum environment for successful root development. If native soil to be mixed, a soil test shall be obtained to remove rocks and debris larger than one-half (1/2) inch in diameter prior to mixing. All properties within this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met. (Amd. Ord. 6-12 2012)



- ALL ROOT BARRIERS SHALL BE 6" MINIMUM FROM ALL CITY FACILITIES.
- THE INSTALLATION OF ROOT BARRIERS SHALL BE APPROVED BY THE CITY AND INSPECTED BY THE CITY PRIOR TO BACKFILLING. NO ROOT BARRIERS SHALL BE USED TO PREVENT DRIP.
- A ROOT BARRIER SHALL BE INSTALLED 24" DEEP, UNLESS OTHERWISE SPECIFIED. ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1

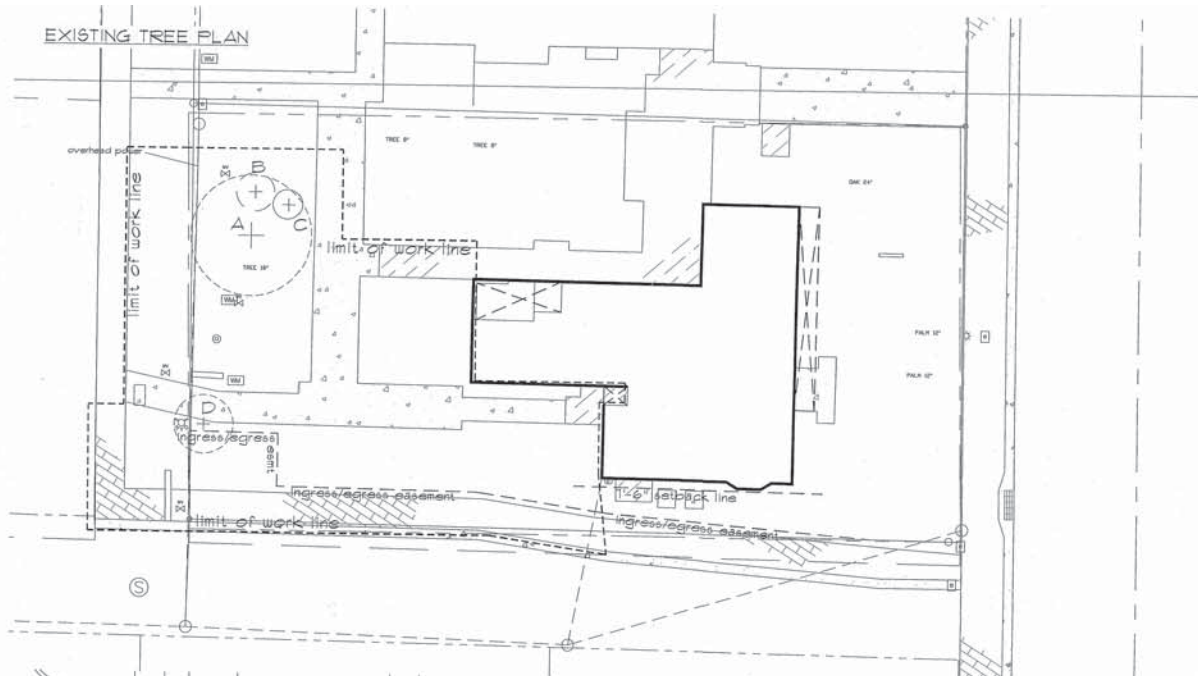


- THIS DETAIL SHALL BE 6" MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

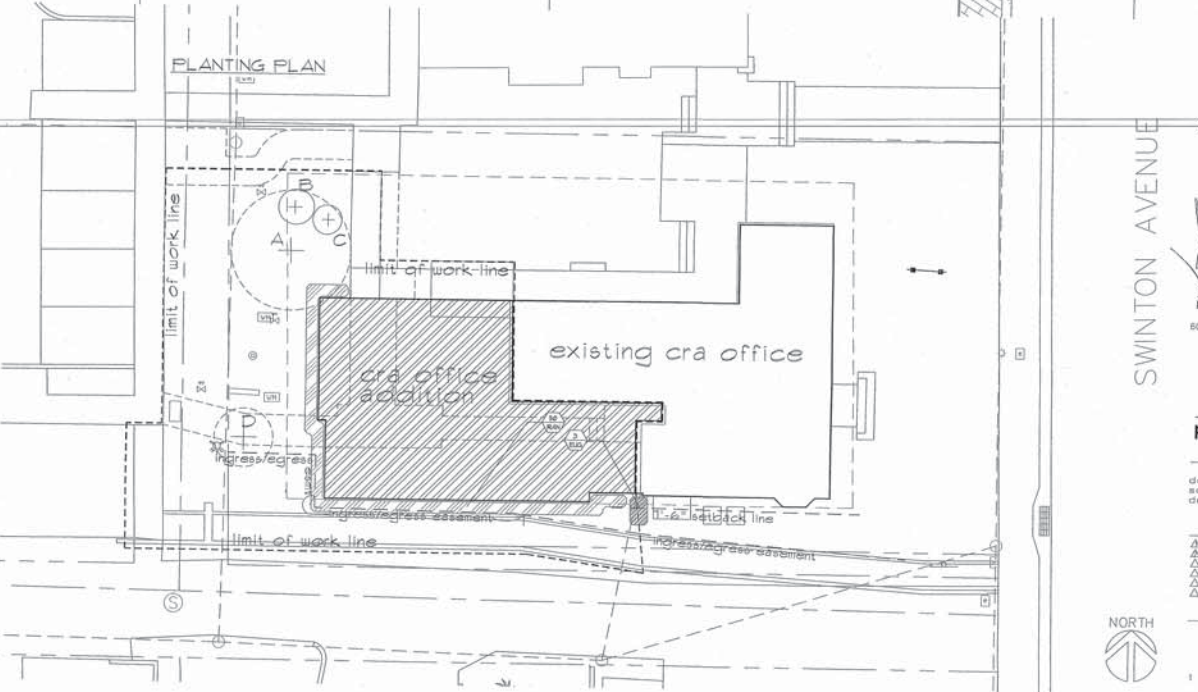
TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 11 AND LD 12.

EXISTING TREE PLAN



PLANTING PLAN



project:
delray beach cra
 delray beach
 florida

[Signature]
 date: 1/17

dave bodker
 landscape architecture/planning inc.
 801 n. congress ave., suite 105-o
 delray beach, florida 33445
 561-278-6311
 #LA0000999

sheet title:
**existing tree/
 planting plan**

project number:
 13316

date:
 1.12.17

scale:
 1" = 10'

drawn by:

revisions:
 A 4-18-17 per meeting with CRA
 B 4-20-17 review comments
 C
 D

sheet:
L-1
 1 of 2 sheets

REQUIRED MIN. PLUMBING FACILITIES-FIRST FLOOR

F.B.C. PLUMBING TABLE 403.1 FOR OCCUPIED SPACES

OCCUPANCY AND SQUARE FOOTAGE	TOTAL OCC.	WATER CLOSETS				URN				LAVS				DRINKING FOUNTAINS				SERVICE SINKS				SHOWERS			
		REQ.	F.	M.	PROV.	REQ.	F.	M.	PROV.	REQ.	F.	M.	PROV.	REQ.	F.	M.	PROV.	REQ.	F.	M.	PROV.	REQ.	F.	M.	PROV.
B-BUSINESS	44 OCC.	1 PER 25 FOR 1ST 50, 1 PER 50 FOR REMAIN	1	1					1 PER 40 FOR 1ST 80, 1 PER 80 FOR REMAIN	1	1			1 PER 100	1	1	0	0	0	0	0	0	0	0	0

CODE REQUIREMENTS

CATEGORY	F.B.C.	REQUIREMENTS	NFPA	REQUIREMENTS
CONSTR TYPE	TABLE 801	TYPE VB PRIMARY STRUC. FRAME BEARING WALLS EXTERIOR NON BEARING WALL & PARTITIONS EXTERIOR NON BEARING WALL & PARTITIONS INTERIOR FLOOR CONSTRUCTION & SECONDARY MEMBERS ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR	
AREA/STORY ALLOWED	TABLE 503	9,000 SF / 2 STORY		
DEADEND	1018.4	20'	12.2.5.1.3	20'
OCCUPANT LOADS	TABLE 1004.1.1	BUSINESS= 100 GSF/OCC	TABLE 7.3.1.2	
EXIT ACCESS TRAVEL DISTANCE	TABLE 1016.2		12.2.6.2	20'
COMMON PATH	1014.3	75'	12.2.5.1.2	75'

APPLICABLE CODES

1. TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS ARE COMPLETE, AND COMPLY WITH ALL APPLICABLE CODES.

2. THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. SHOULD THERE BE A CONFLICT BETWEEN ANY CODE REQUIREMENTS, COMPLY WITH THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF LIFE SAFETY.

A. FBC (FLORIDA BUILDING CODE), 5th Edition (2014) including:
 1) FBC-BUILDING
 2) FBC-ACCESSIBILITY
 3) FBC-MECHANICAL
 4) FBC-PLUMBING
 5) FBC-FUEL GAS
 6) NEC-2011

B. FLORIDA FIRE PREVENTION CODE FAC 2014 including:
 1) NFPA 1-2012
 2) NFPA 101-2012
 3) NFPA CODES LISTED IN FAC 69A-60.005

C. ASCE 7-10: AMERICAN SOCIETY OF CIVIL ENGINEERS
 D. UL FIRE RESISTANCE DIRECTORY AS VERIFIED AT WWW.U.L.COM
 E. OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION) US DEPT. OF LABOR, CFR 29 AS CURRENTLY REVISED
 F. FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) RULES & REGULATIONS, 44 CFR, PARTS 59 & 60, CURRENT REVISION FOR FLOOD PLAIN CRITERIA GOVERNING INSURABILITY OF FACILITIES
 G. CONSTRUCTED IN FLOOD PLAINS
 H. FLORIDA STATUTES AND RULES INCLUDING, BUT NOT LIMITED TO, CHAPTERS 1013, 240, 255, 468, 471, 481, 489, 533, 633, AND SECTION 287.055, FLORIDA STATUTES, AND VARIOUS RULES AS APPLICABLE TO SPECIFIC PROJECTS

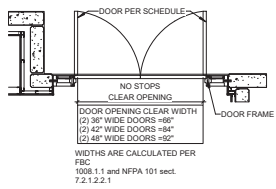
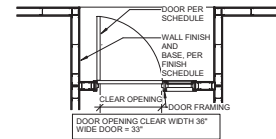
PROJECT SUMMARY

A. CONSTRUCTION CONSISTS OF: 1 BUILDING OF 2 STORIES
 OCCUPANCY: BUSINESS - CIVIC

B. CONSTRUCTION TYPE: VB
 C. NON-SPRINKLERED

BUILDING AREA	FIRST FLOOR = 3,200 GSF SECOND FLOOR = 1,120 GSF TOTAL = 4,320 GSF
LIFE SAFETY AREA	FIRST FLOOR = 3,200 S.F. SECOND FLOOR = 1,120 S.F. TOTAL = 4,320 S.F. - BUSINESS
TOTAL OCCUPANT LOAD	FIRST FLOOR = 32 OCC. SECOND FLOOR = 12 OCC. TOTAL = 44 OCC.
OCCUPANCY TYPE	BUSINESS - CIVIC F.B.C. 304 / NFPA 6.1.1.1

	REQ.	PROVIDED
MAX. EXIT ACCESS TRAVEL DISTANCE	LESS THAN 250'	122'
MAX. COMMON PATH TRAVEL DISTANCE	LESS THAN 207' 75'	207'
MIN. CLEAR OPENING OF EXIT DOOR	32"	33"
MIN. CORRIDOR WIDTH	44"	60"
MAX. DEAD END	LESS THAN 20'	32'
MIN. STAIR WIDTH	44"	



LIFE SAFETY LEGEND

ROOM / SPACE TAG
 ROOM NAME
 ROOM NUMBER
 ROOM S.F.
 DOOR TAG
 DOOR FIRE RATING IN MINUTES
FIRE EXTINGUISHERS
 FIRE EXTINGUISHER CABINET WITH CLASS 2A-110B C EXTINGUISHER UNLESS OTHERWISE INDICATED OR SPECIFIED. LOCATE SUCH THAT ANY TRAVEL DISTANCE TO THE CLOSEST UNIT DOES NOT EXCEED 75' UNLESS OTHERWISE INDICATED.
 FIRE EXTINGUISHER CABINET WITH CLASS 2A-110B C EXTINGUISHER AND FIRE BLANKET - LOCATE SUCH THAT ANY TRAVEL DISTANCE TO THE CLOSEST UNIT DOES NOT EXCEED 50' UNLESS OTHERWISE INDICATED.
 FIRE EXTINGUISHER CABINET WITH CLASS K FIRE EXTINGUISHER AND FIRE BLANKET - LOCATE SUCH THAT ANY TRAVEL DISTANCE TO THE CLOSEST UNIT DOES NOT EXCEED 75' UNLESS OTHERWISE INDICATED.
 FIRE ALARM CONTROL PANEL
 FIRE ALARM ANNUNCIATOR PANEL
 GENERATOR MONITORING PANEL
 FIRE DEPARTMENT ACCESS

EGRESS
 REQUIRED EGRESS CAPACITY OF DOORS & EXIT (# OF OCCUPANTS)
 PROVIDED EGRESS CAPACITY OF DOORS & EXIT (# OF OCCUPANTS)
 TRAVEL DISTANCE
 DISTANCE IN FEET FROM AN OCCUPIABLE POINT 12" FROM WALL TO THE NEAREST EXIT
 PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT)
 SECONDARY MEANS OF EGRESS, IF REQUIRED
 LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED
 LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED
 LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT
 LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT
 LIGHTED WALL MOUNTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED
 EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK
 2X2' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
 2X4' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS

NO EXIT SIGN - WALL MOUNTED - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
 1x2 SURFACE MOUNTED EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
 SURFACE MOUNTED EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
 SUSPENDED EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS
 SUSPENDED PENDANT EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS

FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS)
 FIRE ALARM HORN
 FIRE ALARM STROBE
 FIRE ALARM PULL STATION
 ANSUL FIRE PROTECTION SYSTEM PULL STATION
 MASTER CONTROL SWITCH
 HEAT DETECTOR
 SMOKE DETECTOR

GRAPHIC LEGEND
 DESCRIPTION: WALL AND PARTITIONS
 NON-FIRE RATED
 1 HR FIRE RATED EXIT ACCESS (CORRIDOR) PROTECTION ALL PENETRATING DOORS HEREIN SHALL HAVE A 20 MINUTE FIRE RESISTANCE RATING EXCEPT AT HAZARD SEPARATION (SEE BELOW) ALL SIDLIGHTS, TRANSOMS, WINDOWS, VISION LITES, AND OPENINGS, INCLUDING FRAMES, SHALL HAVE A 45-MINUTE FIRE RESISTANCE RATING.
 SMOKE PARTITION ALL JOINTS, WALL OPENINGS AND PENETRATIONS HEREIN SHALL BE PROTECTED AGAINST THE PASSAGE OF SMOKE. ALL DOORS HEREIN SHALL BE SELF-CLOSING.
 1 HR FIRE RATED HAZARD SEPARATION ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 45-MINUTE FIRE RESISTANCE RATING EXCEPT AT STAIRS SHAFTS. ALL DOORS AND PENETRATIONS INTO STAIRS AND SHAFTS SHALL HAVE A 60-MINUTE FIRE RESISTANCE RATING. ADDITIONAL PENETRATION OF STAIR SHAFTS IS NOT PERMITTED EXCEPT AS SPECIFICALLY EXCEPTED.
 2 HR FIRE RATED HAZARD AND EXIT SEPARATION ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE RESISTANT RATING. ADDITIONAL PENETRATIONS OF STAIR SHAFTS AND EXIT PASSAGWAYS IS NOT PERMITTED EXCEPT AS SPECIFICALLY EXCEPTED.
 3 HR FIRE RATED HAZARD AND EXIT SEPARATION ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING.
 1 HOUR FIRE RATED BUILDING SEPARATION ALL PENETRATIONS SHALL BE PROTECTED WITH TWO (2) SETS OF 180-MINUTE DOORS.
 T.D. - TRAVEL DISTANCE FROM MOST REMOTE POINT
 C.P. - COMMON PATH OF TRAVEL

GENERAL NOTES:

- SEAL ALL OPENINGS AND PENETRATIONS TO RESIST THE MIGRATION OR PASSAGE OF SMOKE AND GASES.
- SPECIFIC EXCEPTIONS TO THE LISTED RATINGS MAY BE PERMITTED WHERE INDICATED.
- FIRE RESISTANT ASSEMBLIES, MATERIALS, PROPERTIES AND THICKNESS REQUIRED SHALL COMPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN PERFORMED UNDER TESTS MADE BY A RECOGNIZED LABORATORY PER ASTM E119 OR BASED ON CALCULATIONS PERMITTED BY THE FBC AND BUILDING OFFICIAL.
- SEE REFLECTED CEILING PLANS FOR REMAINDER OF LIGHTING



Architecture • Planning • Interior Design
 1545 Centrepark Drive North
 West Palm Beach, Florida 33409
 Telephone: 561-655-3213
 Fax: 561-655-1482
 AA - 0003165 IB - 0001095

Name: PERRY DOUGLASS
 License #: AR97112
 Consultants:

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20 N. SWINTON AVE.,
 33483

Key Plan:

DATE	REVISION

Date: 05/01/17
 S-A Project No.: 14015
 Owner Project No.:
 Drawn By: PD
 Checked By: PD
 Phase: SITE PLAN APPROVAL

Sheet Title:
LIFE SAFETY SUMMARY

Sheet #:
LS-000

N.W. 1ST AVENUE

LIFE SAFETY LEGEND

- FD → FIRE DEPT. ACCESS
- ▲ POINTS OF EGRESS
- FIRE DEPT. ACCESSIBILITY ROUTE
- - - PEDESTRIAN ACCESSIBILITY ROUTE
- KB KNOX BOX

宋

Song + Associates

Architecture • Planning • Interior Design

1545 Centpark Drive North
West Palm Beach, Florida 33401

Telephone: 561-655-2423
Fax: 561-655-1482

AA - 0003165 IB - 0001095

Seal:

Name: PERRY DOUGLASS
License #: AR97112
Consultants:

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DELRAY BEACH CRA
DELRAY BEACH CRA
OFFICE RENOVATION

20 N. SWINTON AVE.,
DELRAY BEACH, FL
33483

Key Plan:

DATE	REVISION
8-28-17	REVIEW COMMENTS

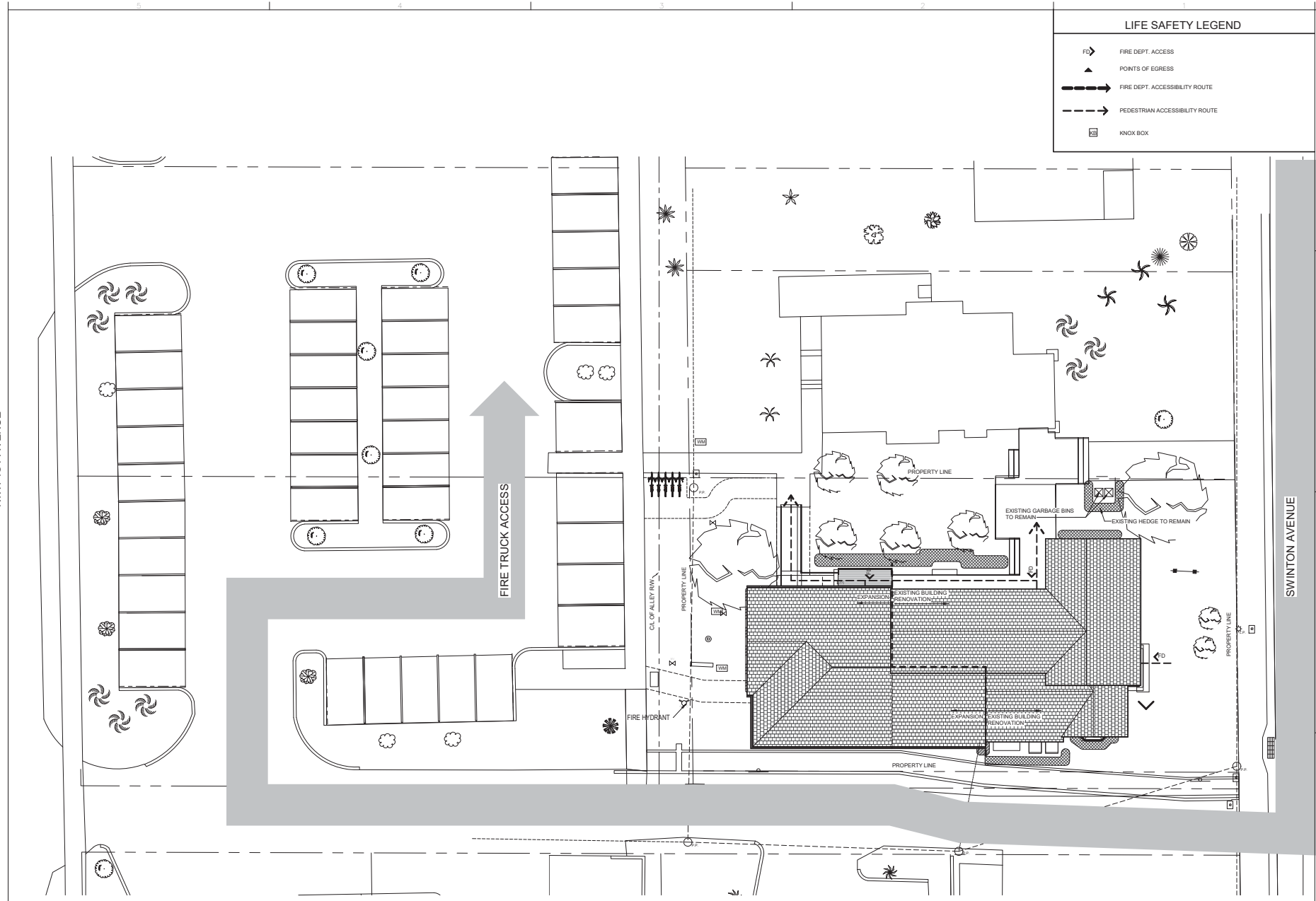
Date: 09/11/17
S-A Project No.: 14015
Owner Project No.:
Drawn By: PD
Checked By: PD
Phase: SITE PLAN APPROVAL

Sheet Title:
LIFE SAFETY SITE PLAN

Sheet #:

LS-101

LIFE SAFETY SITE PLAN 1
SCALE: 1" = 10'-0"



DATE PLOTTED: 11/15/17 11:30 AM

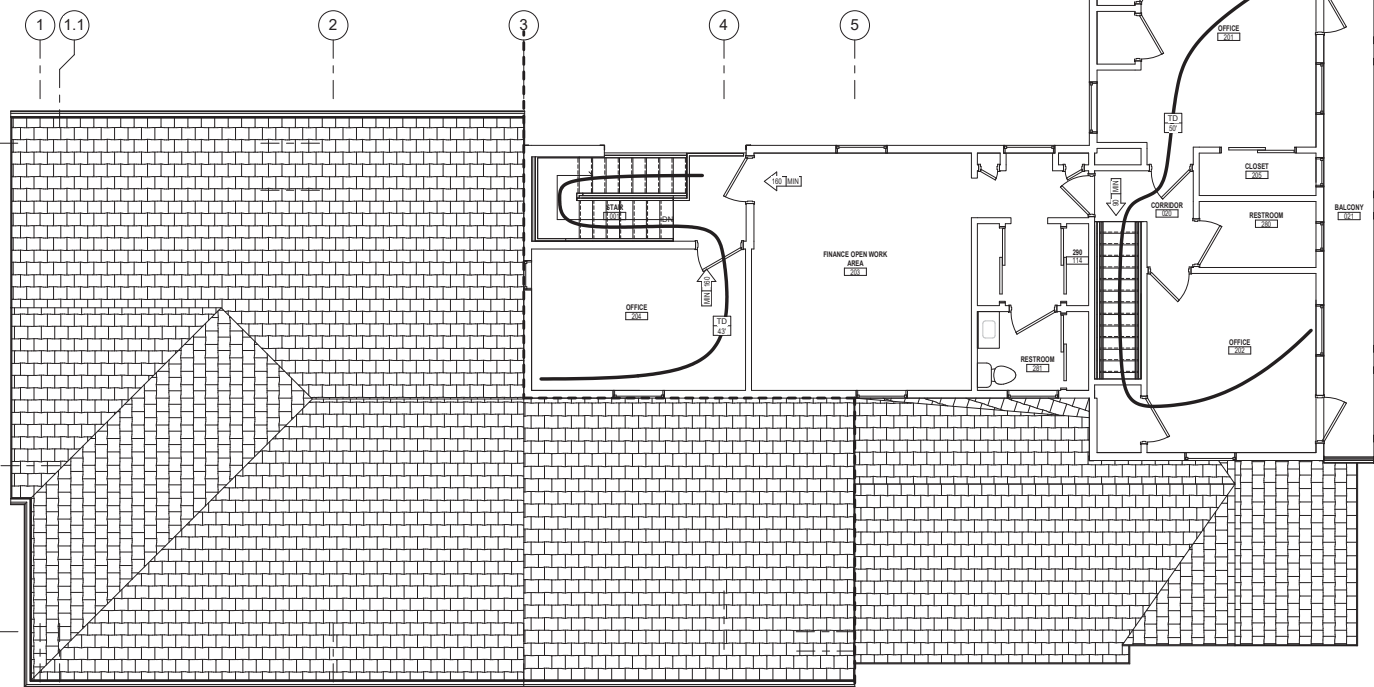
DATE	REVISION

Date: 05/11/17
S-A Project No.: 14015
Owner Project No.:
Drawn By: WA
Checked By: PD
Phase: SITE PLAN APPROVAL

Sheet Title:
LIFE SAFETY SECOND FLOOR PLAN

Sheet #:

LS-202



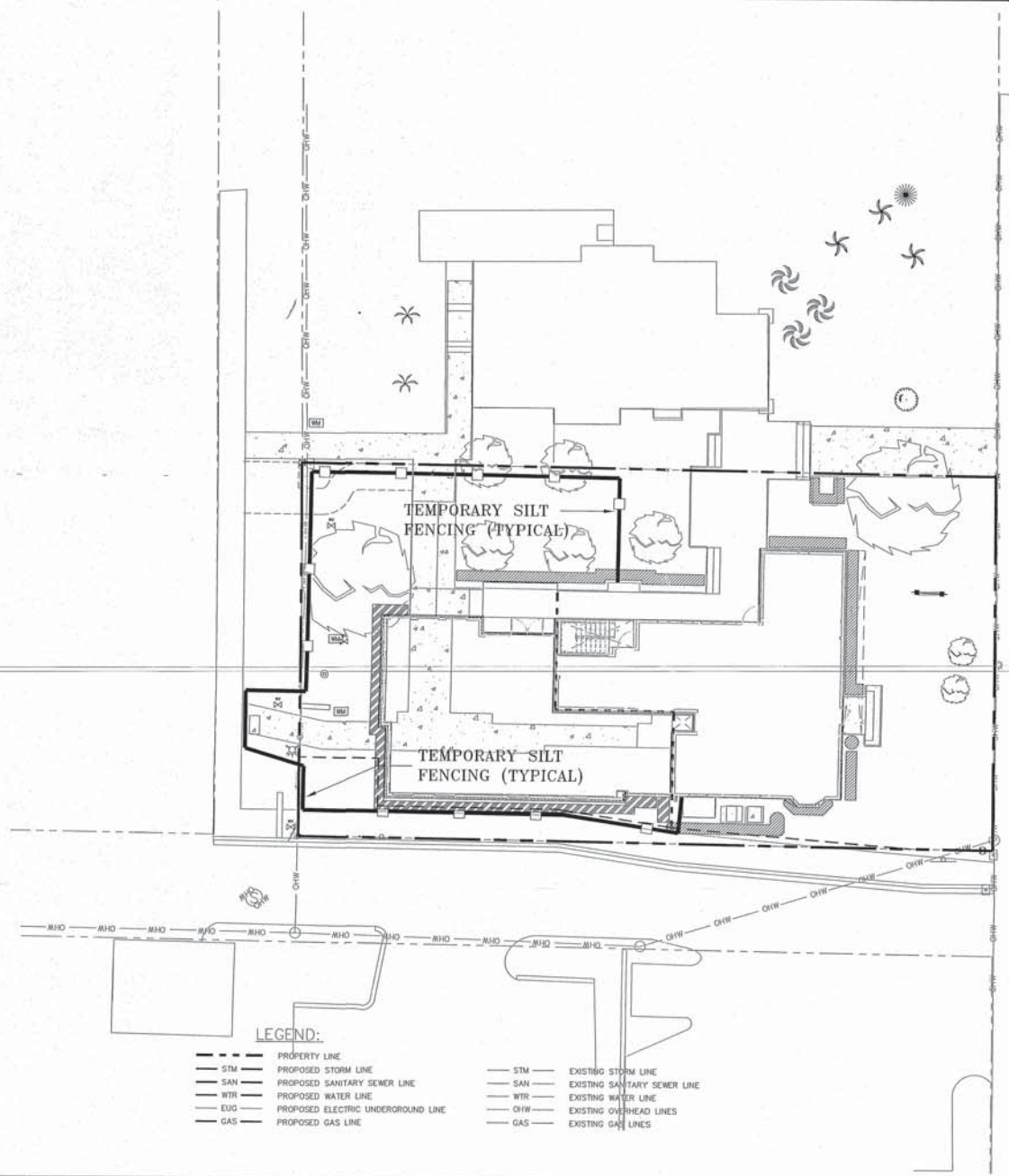
LIFE SAFETY SECOND FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND

ROOM / SPACE TAG	EGRESS	NO EXIT SIGN - WALL MOUNTED - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	GRAPHIC LEGEND	DESCRIPTION - WALL AND PARTITIONS
ROOM NAME ROOM NAME ROOM NUMBER ROOM S.F.	REQUIRED EGRESS CAPACITY OF DOORS & EXIT (# OF OCCUPANTS) PROVIDED EGRESS CAPACITY OF DOORS & EXIT (# OF OCCUPANTS)	NO EXIT SIGN - WALL MOUNTED - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS 1/2 SURFACE MOUNTED EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS SURFACE MOUNTED EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS SUSPENDED PENDANT EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	NON-FIRE RATED 1 HR FIRE RATED EXIT ACCESS (CORRIDOR PROTECTION) 2 HR FIRE RATED HAZARD AND EXIT SEPARATION 3 HR FIRE RATED HAZARD AND EXIT SEPARATION 4 HR FIRE RATED BUILDING SEPARATION T.D. - TRAVEL DISTANCE FROM MOST REMOTE POINT C.P. - COMMON PATH OF TRAVEL	ALL PENETRATING DOORS HEREIN SHALL HAVE A 20 MINUTE FIRE RESISTANCE RATING, EXCEPT AT HAZARD SEPARATION (SEE BELOW) ALL SHELIGHTS, TRANSOMS, WINDOWS, VISION LITES, AND OPENINGS, INCLUDING FRAMES, SHALL HAVE A 45-MINUTE FIRE RESISTANCE RATING. SMOKE PARTITION ALL JOINTS, WALL OPENINGS AND PENETRATIONS HEREIN SHALL BE PROTECTED AGAINST THE PASSAGE OF SMOKE. ALL DOORS HEREIN SHALL BE SELF-CLOSING. ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 45-MINUTE FIRE RESISTANCE RATING EXCEPT AT STAIRS & SHAFTS. ALL DOORS AND PENETRATIONS INTO STAIRS AND SHAFTS SHALL HAVE A 60-MINUTE FIRE RESISTANCE RATING. ADDITIONAL PENETRATION OF STAIR SHAFTS IS NOT PERMITTED EXCEPT AS SPECIFICALLY ACCEPTED. ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE-RESISTANT RATING. ADDITIONAL PENETRATIONS OF STAIR SHAFTS AND EXIT PASSAGWAYS IS NOT PERMITTED EXCEPT AS SPECIFICALLY ACCEPTED. ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING. ALL DOORS AND PENETRATIONS SHALL BE PROTECTED WITH TWO (2) SETS OF 180-MINUTE DOORS.
DOOR TAG DOOR FIRE RATING IN MINUTES	TRAVEL DISTANCE DISTANCE IN FEET FROM AN OCCUPIABLE POINT 12" FROM WALL TO THE NEAREST EXIST	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR	1 HR FIRE RATED HAZARD AND EXIT SEPARATION ALL DOORS AND PENETRATIONS HORIZONTALLY THRU SEPARATION SHALL HAVE A 45-MINUTE FIRE RESISTANCE RATING EXCEPT AT STAIRS & SHAFTS. ALL DOORS AND PENETRATIONS INTO STAIRS AND SHAFTS SHALL HAVE A 60-MINUTE FIRE RESISTANCE RATING. ADDITIONAL PENETRATION OF STAIR SHAFTS IS NOT PERMITTED EXCEPT AS SPECIFICALLY ACCEPTED.	
FIRE EXTINGUISHERS DOOR FIRE RATING IN MINUTES	PRIMARY MEANS OF EGRESS (NOT SHOWN FOR SPACES WITH ONLY A PRIMARY EGRESS REQUIREMENT) SECONDARY MEANS OF EGRESS, IF REQUIRED	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR	2 HR FIRE RATED HAZARD AND EXIT SEPARATION ALL DOORS AND OPENINGS SHALL BE PROTECTED BY A 90 MINUTE FIRE-RESISTANT RATING. ADDITIONAL PENETRATIONS OF STAIR SHAFTS AND EXIT PASSAGWAYS IS NOT PERMITTED EXCEPT AS SPECIFICALLY ACCEPTED.	
FIRE EXTINGUISHERS DOOR FIRE RATING IN MINUTES	LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED WALL MOUNTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK 2'X2' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS 2'X4' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR	3 HR FIRE RATED HAZARD AND EXIT SEPARATION ALL DOORS AND PENETRATIONS SHALL HAVE A 180 MINUTE FIRE-RESISTANCE RATING.	
FIRE EXTINGUISHERS DOOR FIRE RATING IN MINUTES	LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED WALL MOUNTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK 2'X2' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS 2'X4' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR	4 HR FIRE RATED BUILDING SEPARATION ALL DOORS AND PENETRATIONS SHALL BE PROTECTED WITH TWO (2) SETS OF 180-MINUTE DOORS.	
FIRE EXTINGUISHERS DOOR FIRE RATING IN MINUTES	LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED WALL MOUNTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK 2'X2' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS 2'X4' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR	T.D. - TRAVEL DISTANCE FROM MOST REMOTE POINT C.P. - COMMON PATH OF TRAVEL	
FIRE EXTINGUISHERS DOOR FIRE RATING IN MINUTES	LIGHTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED EXIT SIGN - DOUBLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED LIGHTED DIRECTIONAL EXIT SIGN - SINGLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED DIRECTIONAL EXIT SIGN - DOUBLE FACED ARROW INDICATES DIRECTION(S) TO EXIT LIGHTED WALL MOUNTED EXIT SIGN - SINGLE FACED DARKENED AREA INDICATES FACE OF SIGN VIEWED EMERGENCY DUAL HEAD LIGHTING UNIT WITH BATTERY PACK 2'X2' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS 2'X4' LAY-IN EMERGENCY FIXTURE - SEE ELECTRICAL PLANS FOR EXACT LOCATIONS	FIRE ALARM & PROTECTION DEVICES (VERIFY LOCATIONS WITH ELECTRICAL DRAWINGS) FIRE ALARM HORN FIRE ALARM STROBE FIRE ALARM PULL STATION ANSUL FIRE PROTECTION SYSTEM PULL STATION MASTER CONTROL SWITCH HEAT DETECTOR SMOKE DETECTOR		

GENERAL NOTES:

- SEAL ALL OPENINGS AND PENETRATIONS TO RESIST THE MIGRATION OR PASSAGE OF SMOKE AND GASES.
- SPECIFIC EXCEPTIONS TO THE LISTED RATINGS MAY BE PERMITTED WHERE INDICATED.
- FIRE RESISTANT ASSEMBLIES, MATERIALS, PROPERTIES AND THICKNESS REQUIRED SHALL COMPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN PERFORMED UNDER TESTS MADE BY A RECOGNIZED LABORATORY PER ASTM E119 OR BASED ON CALCULATIONS PERMITTED BY THE IBC AND BUILDING OFFICIAL.
- SEE REFLECTED CEILING PLANS FOR REMAINDER OF LIGHTING



LEGEND:

- | | | | | |
|-----|------------------------------------|-----|-----|------------------------------|
| --- | PROPERTY LINE | --- | STM | EXISTING STORM LINE |
| --- | PROPOSED STORM LINE | --- | SAN | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE | --- | WTR | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE | --- | OHW | EXISTING OVERHEAD LINES |
| --- | PROPOSED ELECTRIC UNDERGROUND LINE | --- | GAS | EXISTING GAS LINES |
| --- | PROPOSED GAS LINE | | | |



LOCATION MAP
N.T.S.



SWINTON AVENUE

UTILITY PROVIDER SIGNOFF:

FPL:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
COMCAST:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
AT&T:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
FPU:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'



Know what's below.
Call before you dig.

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ENGINEER REPRESENTING ENVIRONMENTAL ASSOCIATES, INC.

NO.	DATE	REVISIONS

NOT A PART OF CONTRACT

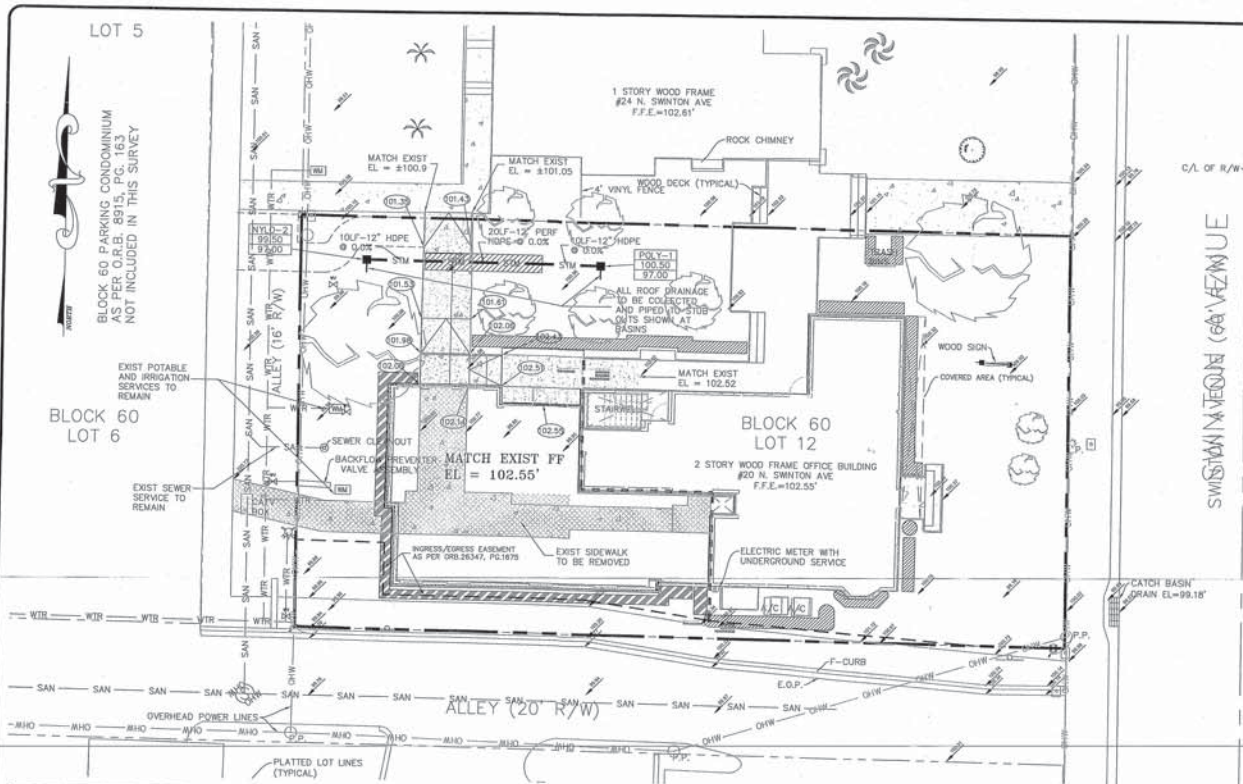
 GREGORY A. PINCUS, P.E.
 No. 16044
 State of Florida

COMPOSITE UTILITY PLAN FOR:
DELRAY BEACH CRA
OFFICE EXPANSION/RENOVATION
DELRAY BEACH, FLORIDA

ENGINEERS - ENVIRONMENTAL CONSULTANTS

 ENVIRONMENTAL ASSOCIATES, INC.
 290 PINEAPPLE CIRCLE, DELRAY BEACH, FLORIDA 33444
 Phone: (561) 274-8550 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
5/04/17
JOB NO.
15087-ENG
SHEET NO.
1 OF 1



LOCATION MAP
N.T.S.

- LEGEND:**
- PROPERTY LINE
 - (A) SECTION IDENTIFIER
 - (16.5) PROPOSED ELEVATION
 - +4.7 EXISTING ELEVATION
 - ▨ DENOTES AREA OF PROPOSED ASPHALT PAVING
 - ▨ PROPOSED CATCH BASIN
 - HOPE HIGH-DENSITY POLYETHYLENE PIPE
 - ▨ DENOTES 12\"/>

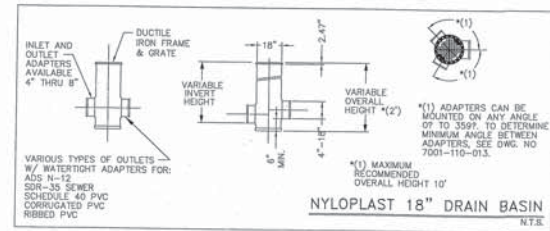
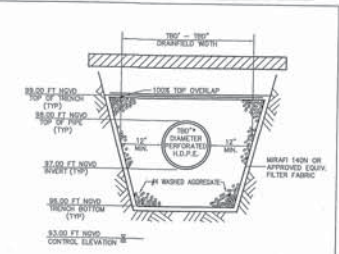
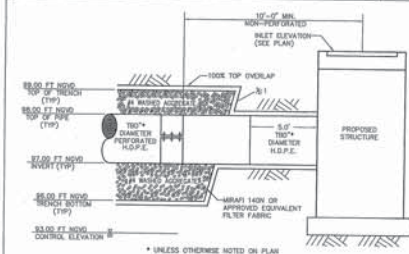
DRAINAGE CALCULATIONS FOR DELRAY BEACH CRA
 DELRAY BEACH, FL - CRA PROJECT # 15087
 GIVEN: TOTAL SITE AREA = 9303sf ± 0.21ac
 PRE-DEVELOPMENT IMPERVIOUS AREA = 3,630sf (39.0%)
 POST-DEVELOPMENT IMPERVIOUS AREA = 4,521sf (48.6%)

REQUIRED STORAGE: 11" (10-yr, 1-day) OVER INCREASE IN IMPERVIOUS AREA
 INCREASE IN IMPERVIOUS AREA = 4,521sf - 3,630sf = 891sf
 $V = 891 \times 11/12 = 817cf = 0.22Ac-in$
 VOLUME PROVIDED: 0.25Ac-in IN INFILTRATION TRENCH
 (see infiltration trench calculations)

NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO CITY OF DELRAY BEACH STANDARD DETAILS

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO AN ARBITRARY BENCHMARK ESTABLISHED BY THE SURVEYOR

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



ENVIRODESIGN Associates, Incorporated

DELRAY CRA OFFICE EXPANSION - JOB #15087

L =	LENGTH OF TRENCH (FEET)		
V =	VOLUME TO BE TREATED (AC-IN)		0.22
W =	TRENCH WIDTH (FEET)		3
H =	DEPTH TO WATER TABLE (FEET)		8
Du =	NON-SATURATED TRENCH DEPTH (FEET)		3
Ds =	SATURATED TRENCH DEPTH (FEET)		3
K =	HYDRAULIC CONDUCTIVITY (CGF/FT-HEAD)		2.5 x 10 ⁻⁶
ORK =			0.00025

STANDARD FORMULA:

$$L = \frac{V}{K(H+2D_u D_s + 2D_s) + (1.39 \times 10^6) W D_s} = 17.60 \text{ FEET}$$

CONSERVATIVE FORMULA: (NOT APPLICABLE: STANDARD FORMULA APPLIES)

$$L = \frac{V}{K^2 H D_u D_s + 2500} + (1.39 \times 10^6) W D_s = \text{N/A}$$

STANDARD TRENCH DETAIL: REFER TO ENGINEERING PLANS FOR ACTUAL SPECIFICATIONS

WATER TABLE EL. = 83.00
 Actual water table may be lower or higher than indicated based on depth of water table.

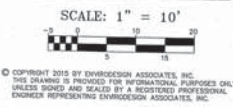
TRENCH TOP EL. = 98.00
INVERT EL. = 97.00
TRENCH BOTTOM EL. = 98.00

THEREFORE, MIN. TRENCH LENGTH REQUIRED: 18 FEET
ACTUAL TRENCH LENGTH PROVIDED: 20 FEET
ACTUAL TREATMENT VOLUME PROVIDED: 1.24 AC-IN
TRENCH DIMENSIONS: 3.00 FT. WIDE BY 3.00 FT. DEEP

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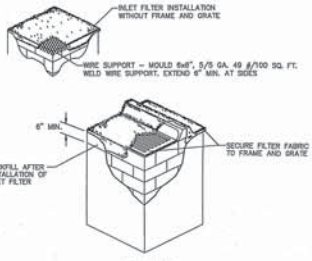
PAVING & DRAINAGE PLAN FOR:
DELRAY BEACH CRA
OFFICE EXPANSION/RENOVATION
DELRAY BEACH, FLORIDA

ENVIRODESIGN Associates, Incorporated
 ENGINEERS - ENVIRONMENTAL CONSULTANTS
 218 W. Atlantic Ave., Delray Beach, Florida 33444
 Phone: (561) 274-6550 Fax: (561) 274-6558

DRAWN: B.A.B.
CHECKED: J.A.P.
DATE: 5/04/17
JOB NO.: 15087-ENG
SHEET NO.: 1 OF 2

DATE: 3/27/17
 3/27/17
 5/1/17
 REVISIONS: 1. UPDATE FROM SURVEY SHOWN ADJACENT DRAINWAYS
 2. UPDATE FROM SURVEY SHOWN ADJACENT DRAINWAYS
 3. UPDATE FROM SURVEY SHOWN ADJACENT DRAINWAYS

NOT VALID WITHOUT THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER
 1714 4/10/17



NOTES

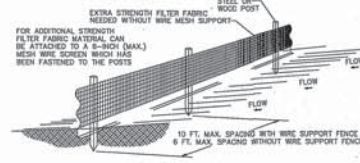
- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 26 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

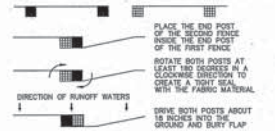
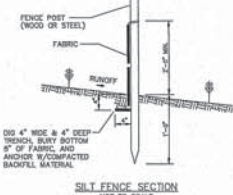
INLET FILTER DETAIL D 8.1

- EROSION CONTROL NOTES DETAIL D9.1**
- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTROL SOIL AND SEDIMENT ON THE PROJECT SITE. THE BEST OF EROSION CONTROL PRACTICES IS TO BE USED TO THE EXTENT OF THE CONTRACTOR'S KNOWLEDGE AND EXPERIENCE FOR THE SUBSTANCE OF THE DRAWINGS AND SPECIFICATIONS, BUT BY MEANS OF THE REGULATIONS SET FORTH BY THE AUTOMATIC FLOOD ABATEMENT ACT AND OTHER QUALITY CONTROL AND OTHER APPROPRIATE RESTRICTION REQUIREMENTS IN THE REGION.
 - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NECESSARY TO INSTALL SUCH MEASURES.
 - INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
 - KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEMONSTRATED BY VISUAL INSPECTION.
 - FAUCETS TO PROPERLY RETAIN AND MAINTAIN EROSION CONTROL PRACTICES SHALL REMAIN IN CONSTRUCTION BEING MAINTAINED.
 - DRAINAGE INLETS SHALL BE PROTECTED BY FILTERS AND GRADED ROOF AS PER INLET PROTECTION DETAIL.
 - ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH GRADED STONE, WHERE PRACTICAL.
 - EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - WHenever feasible, natural vegetation shall be retained and protected.
 - ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
 - DISCUSS WITH SEPARATING OPERATORS SHALL BE RETAINED WHERE IN A CONTAMINATED AREA.



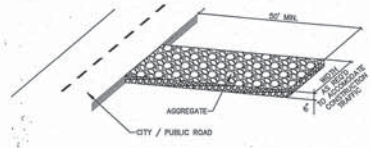
- NOTES**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG. THE WIRE, OR HOG RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIED TO THE FENCE, AND 6 INCHES (25 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 - ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
 - ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO DEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2



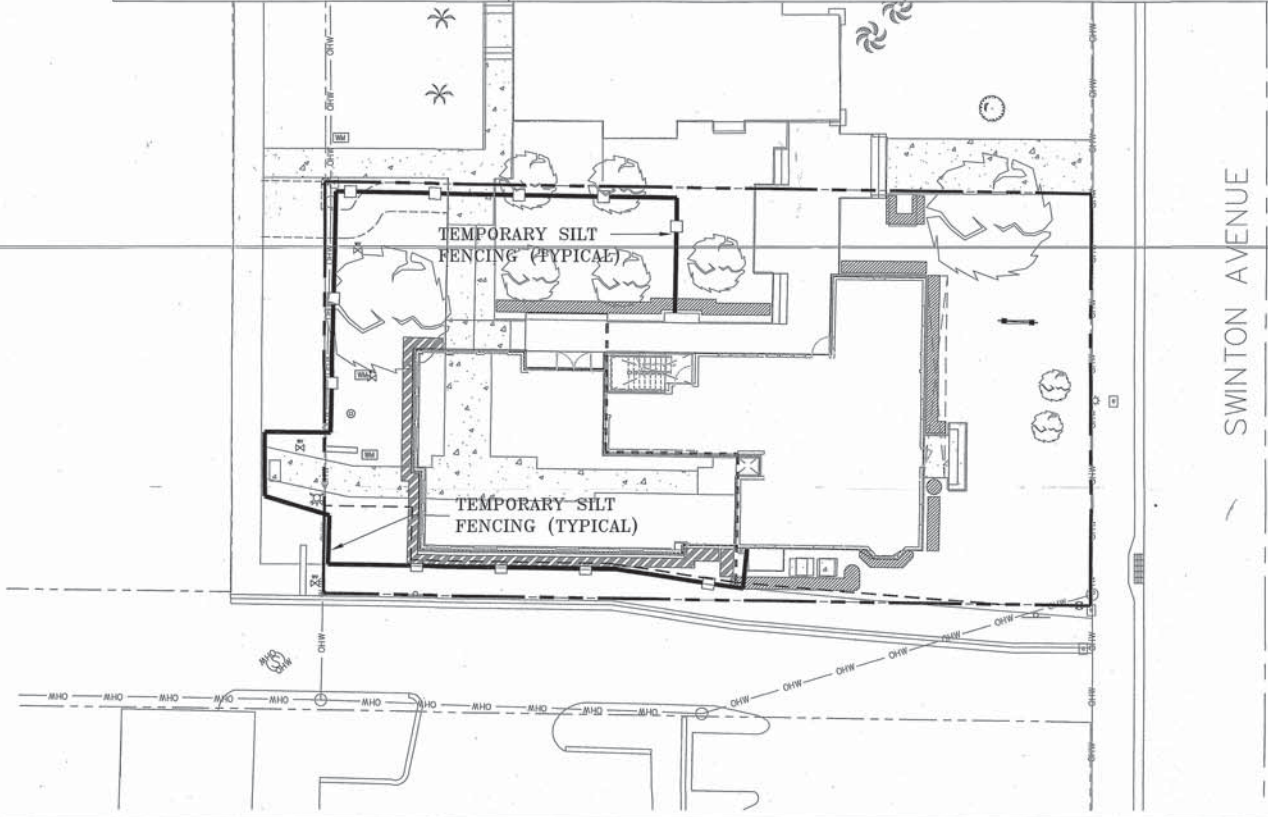
ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FOOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE NORTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1c



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DATE:	5/04/17
SCALE:	1" = 10'
PROJECT:	POLLUTION PREVENTION PLAN FOR: DELAY BEACH CRA OFFICE EXPANSION/RENOVATION DELAY BEACH, FLORIDA
DESIGNED BY:	ENVIRONMENTAL CONSULTANTS ENGINEERS
CHECKED BY:	J.A.P.
DRAWN BY:	B.A.B.
DATE:	5/04/17
JOB NO.:	15007-ENG
SHEET NO.:	2 OF 2

EnviroDesign Associates, Inc.
ENVIRONMENTAL CONSULTANTS ENGINEERS
FLORIDA CERTIFICATE OF AUTHORIZATION NO. 0008444-0008
15007-ENG
Phone: (561) 271-9200
Fax: (561) 271-9200

03/05/15007-Delray CRA Office_Seed/DMS15007-ENG.dwg, 5/4/2017 11:11:12 PM, ARCH-D

