



Planning, Zoning, and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Kentucky Fried Chicken
Project Location: 360 W. Atlantic Avenue
Request: Class I Site Plan Modification
Board: Site Plan Review and Appearance Board
Meeting Date: July 26, 2017

Board Action: Approved 4 – 0 (Shannon Dawson, Laura Sullivan and Fred Kaub absent) with the condition that a photometric plan and cut sheet be provided to staff.

Project Description:

Kentucky Fried Chicken, a restaurant, is located at 360 W. Linton Blvd. on the south side on Linton Blvd west of Arby's and East of the Shell gas station and is zoned General Commercial (GC).

The proposed architectural elevation changes involve new exterior light sconces installed at existing locations, new pre-finished metal louvered awnings, new exterior paint treatment, removal of the tower system and replaced with new parapet coping. The rear (south) elevation is predominantly exotic red. The front (north), entry (west) and drive-thru (east) elevations are exotic red, night horizon and white. Each of those elevations introduces vertical lines in the exotic red and white colors.

Board Comments:

none

Public Comments:

None

Associated Actions:

none

Next Action:

SPARB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: July 26, 2017

ITEM: **Kentucky Fried Chicken (2017-196)** Approval of a Class I Site Plan Modification for Kentucky Fried Chicken associated with minor architectural changes.

RECOMMENDATION: Approve

GENERAL DATA:

Owner..... 360 Linton LLC

Applicant..... 360 Linton LLC

Agent..... Juan Gavilan

Address..... 360 W. Linton Blvd

Location..... South side of Linton Blvd East of SW 4th Avenue

Site Area..... .57 acres

Future Land Use Map..... GC (General Commercial)

Current Zoning..... GC

Adjacent Zoning.....North: MIC (Mixed Industrial & Commercial)

East: AC (Automotive Commercial)

South: I (Industrial)

West: PC (Planned Commercial)



ITEM BEFORE THE BOARD

The action before the Board is approval of a Class I Site Plan Modification for Kentucky Fried Chicken pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a).

BACKGROUND

The subject property consists of D B O Acres Lt 2, and contains .57 acres.

Kentucky Fried Chicken, a restaurant, is located at 360 W. Linton Blvd. on the south side on Linton Blvd west of Arby's and East of the Shell gas station and is zoned General Commercial (GC)..

In 2007, the Site Plan Review and Appearance Board approved a Class II site plan modification that consisted of a remodel of the exterior to look like new KFC standards, restriping of parking lot, ADA standards and renovation of the interior.

They are now before the board for minor architectural elevation changes that include new exterior lighting, shutters and the painting of the building. This will give the storefront a more updated look.

ARCHITECTURAL ELEVATION ANALYSIS

LDR Section 4.6.18(E) Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB). If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes involve new exterior light sconces installed at existing locations, new pre-finished metal louvered awnings, new exterior paint treatment, removal of the tower system and replaced with new parapet coping. The rear (south) elevation is predominantly exotic red. The front (north), entry (west) and drive-thru (east) elevations are exotic red, night horizon and white. Each of those elevations introduces vertical lines in the exotic red and white colors. The signage is not part of this application and will be reviewed on a separate sign application. The

existing dumpster enclosure is to be painted black horizon and the existing railing on the east elevation will be painted exotic red.

The proposed architectural modifications are in good design and taste and will not adversely affect the surrounding area or materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the request for the architectural elevation changes associated with a Class I site plan modification for **KFC** located at **360 W. Linton Blvd**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with and meets criteria set forth in Section 4.6.18(E).
- C. Move denial of the request for a Class I site plan modification, for elevation changes for **KFC** located at **360 W. Linton Blvd.**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 4.6.18(E).

RECOMMENDATION

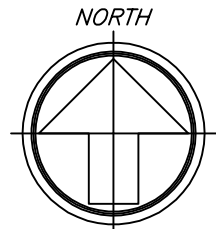
Move approval of the request for the architectural elevation changes associated with a Class I site plan modification for **KFC** located at **360 W. Linton Blvd.**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with and meets criteria set forth in Section 4.6.18(E).

Prepared by: Jennifer Buce, Assistant Planner

Attachment:

- Elevation Changes
- Location map

ALP	ALUMINUM LIGHT POLE
A/C	AIR CONDITIONER
CB	CATCH BASIN
BFP	BACK FLOW PREVENTER
CO	CLEANOUT
CUP	CONCRETE UTILITY POLE
DMH	DRAINAGE MANHOLE
FF	FINISHED FLOOR
F-HYD.	FIRE HYDRANT
GV	GATE VALVE
HC	HANDICAP
IRR	IRRIGATION PUMP
PB	PLAT BOOK
PG	PAGE
PBCR	PALM BEACH COUNTY RECORDS
IRC	IRON ROD WITH ID CAP #6456
N&D	NAIL AND DISC



SCALE: 1"=40'

LOT 2, PLAT OF DBO ACRES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 63, PAGE 13, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS LYING IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA, CONTAINING 25,071 SQUARE FEET (0.576 ACRE), MORE OR LESS.

1. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH, DROTOS & ASSOCIATES FOR EASEMENTS, RIGHTS-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD, TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY OF RECORD, THIS SURVEY IS BASED UPON COMMITMENT FOR TITLE INSURANCE DATED JULY 5, 2016, AT 8:00AM BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FILE NO. 16080581. SUBJECT TO THE FOLLOWING DOCUMENTS RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND LISTED IN SCHEDULE B-SECTION II OF SAID COMMITMENT.

ITEMS. 1 THROUGH 6 ARE NON-SURVEY RELATED ITEMS.

ITEM 7. RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF DBO ACRES, RECORDED IN PLAT BOOK 63, PAGE 13. (PLOTTED ON SURVEY).

ITEMS. 8 THROUGH 10 ARE NON-SURVEY RELATED ITEMS.

ITEM 11. CITY OF DELRAY ANNEXATION ORDINANCE NO. 55-88
RECORDED SEPTEMBER 7, 1988 IN OFFICIAL RECORDS BOOK 5798, PAGE
1216. (AFFECTS PROPERTY NOT A PLOTTABLE ITEM).

2. UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

3. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1988. BENCHMARK INFORMATION: PALM BEACH COUNTY BENCHMARK "TOTAL VICTORY". PALM BEACH COUNTY BRASS DISC SET IN CONCRETE. ELEVATION=18.968

4. BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED ON THE NORTH LINE OF SECTION 29, TOWNSHIP 46 SOUTH, RANGE 43 EAST. SAID LINE ASSUMED TO BEAR NORTH 90°00'00" EAST.

5. FLOOD INFORMATION:

FIRM PANEL 220 OF 245
COMMUNITY-PANEL NUMBER 120192 0220 B
MAP REVISED: OCTOBER 15, 1992
ZONE C (AREAS OF MINIMAL FLOODING)

6. ZONING: GENERAL COMMERCIAL (GC) PER CITY OF DELRAY BEACH,
ZONING ESTABLISHED JULY 12, 1988

7. HEIGHT RESTRICTION: 48'

8. BUILDING SETBACKS: FRONT-10'; SIDE-10', REAR-10'

9. BUILDING HEIGHTS SHOWN HEREON WERE MEASURED FROM THE CONCRETE SIDEWALK ADJACENT TO THE BUILDING.

10. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS WERE NOT LOCATED.

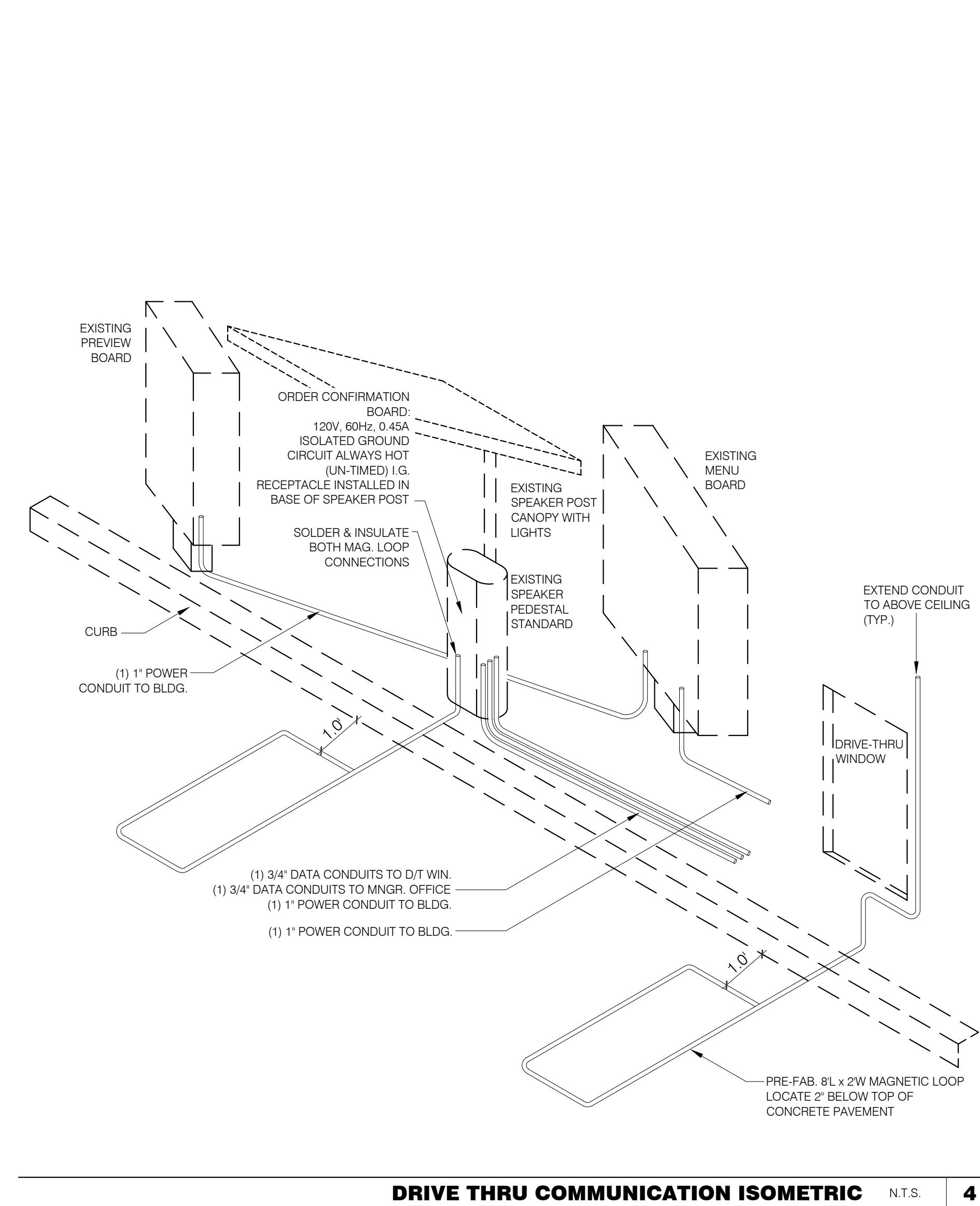
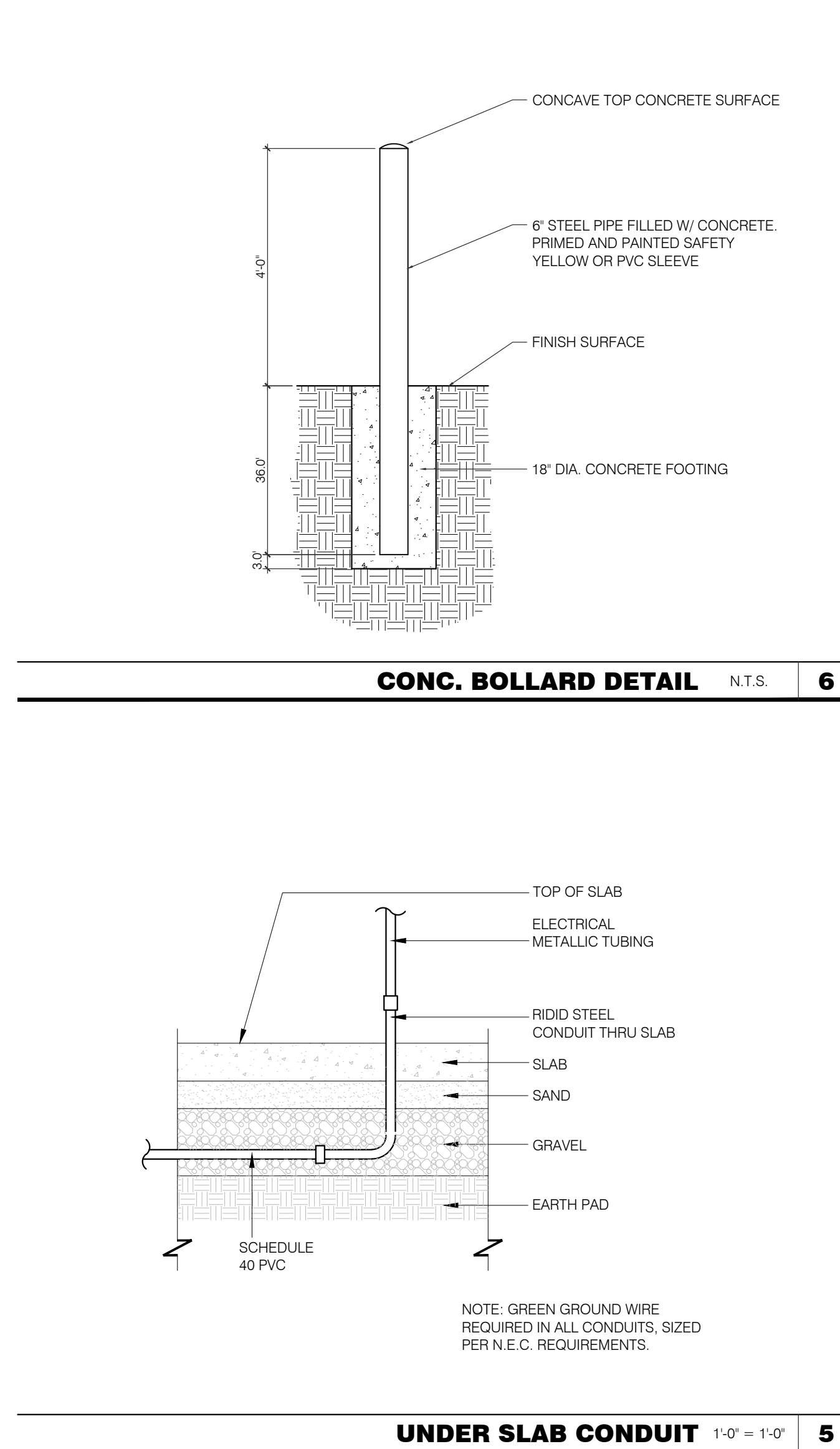
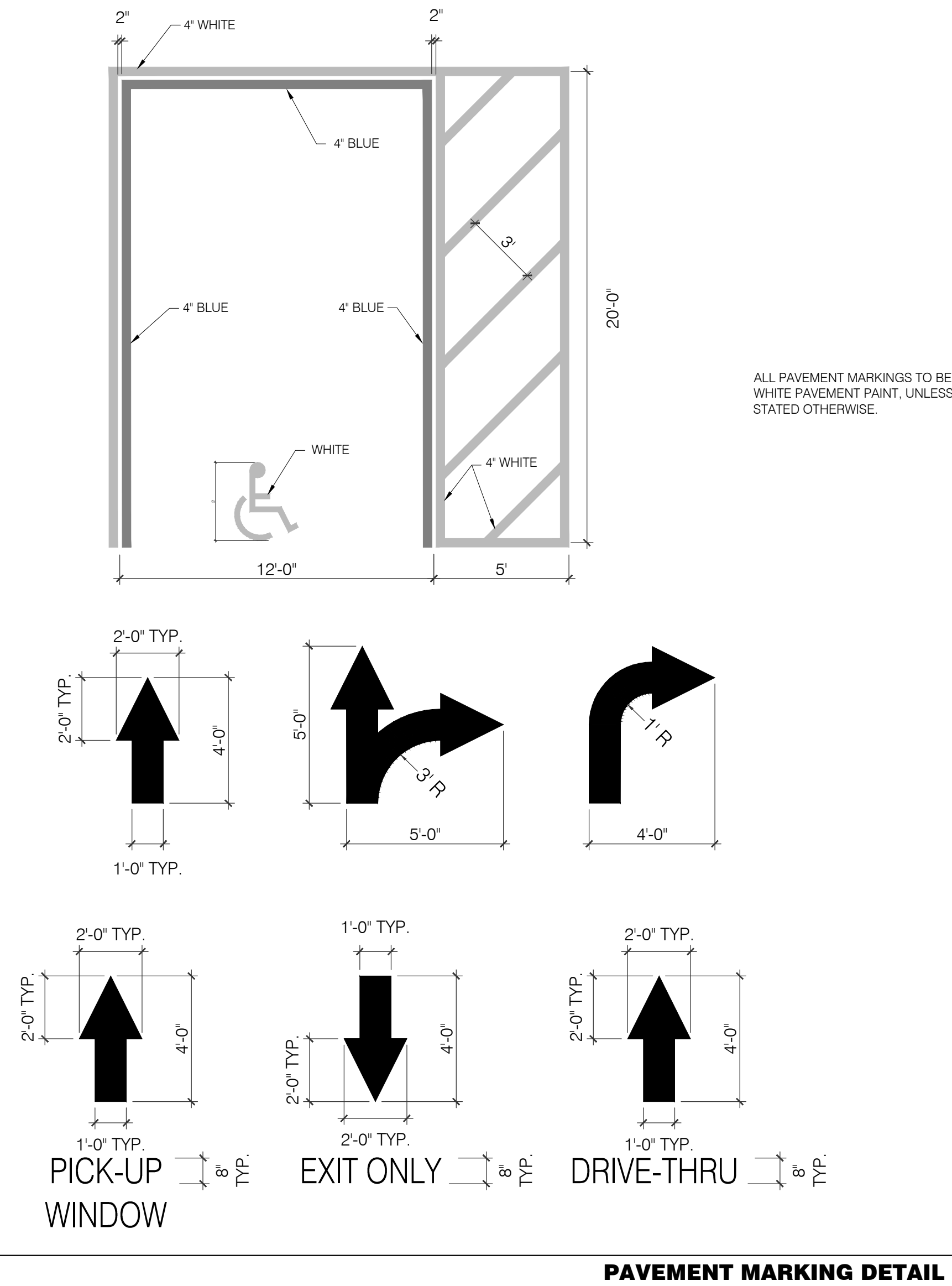
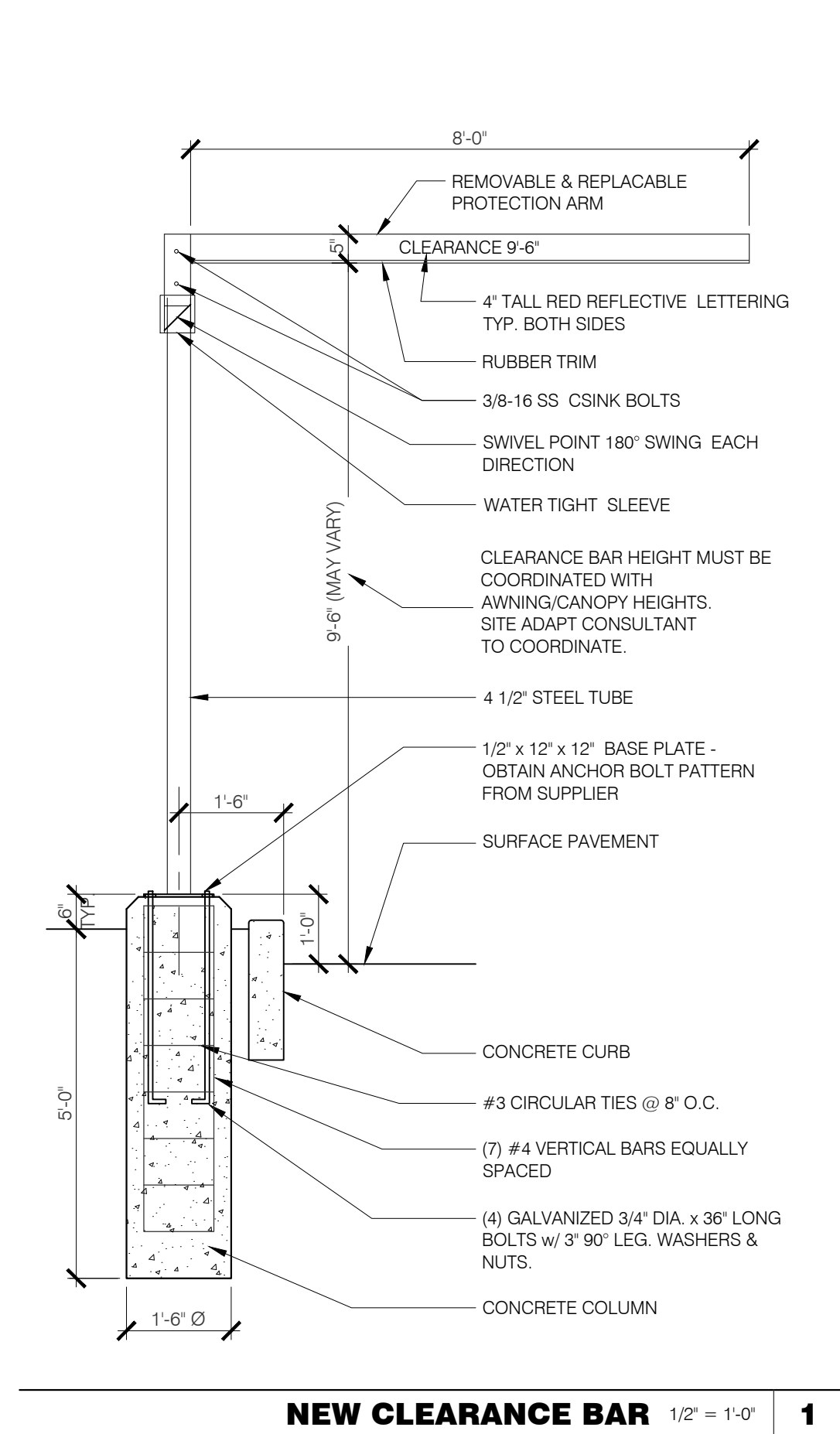
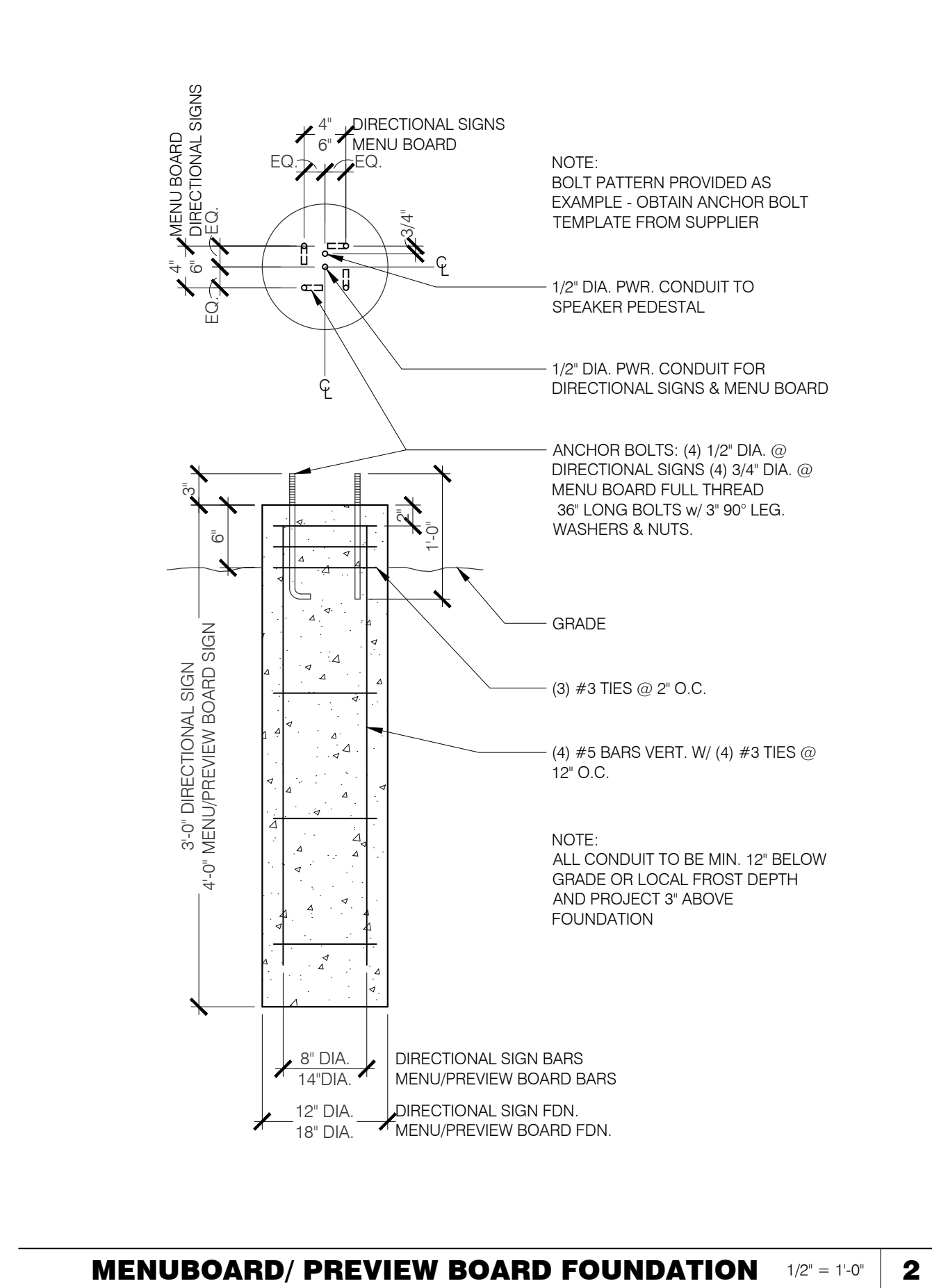
TO: 360 LINTON LLC, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
SAMUEL J. CANTOR, PA;

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 11(OBSERVED EVIDENCE ONLY), 13 AND 16.
THE FIELD WORK WAS COMPLETED ON SEPT 3, 2016.

DATE OF MAP: SEPT. 6, 2016
MICHAEL D. SARVER
PSM #4174

<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>ENGINEERING</p> <p>SURVEYING</p> <p>PLANNING</p> </div> <div style="width: 50%;"> <p>ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456</p> <p>3410 N. Andrews Avenue Ext. • Pompano Beach, FL. 33064</p> <p>PH: 954-943-9433 • FAX: 954-783-4754</p> </div> </div>	
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>SDA SHAH DROTOS</p> <p>& ASSOCIATES</p> </div> <div style="width: 50%;"> <p>DRAWN BY: MDR/MFG</p> <p>CHECKED BY: MDS</p> <p>DESIGNED BY:</p> <p>APPROVED BY: S.D.A.</p> <p>SCALE = 1" = 40'</p> </div> </div>	
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>ALTA/MSPS LAND TITLE SURVEY</p> <p>360 LINTON BOULEVARD</p> <p>CITY OF DELRAY BEACH, PALM BEACH COUNTY, FL</p> </div> <div style="width: 50%;"> <p>LOT 2</p> <p>PLAT OF DBO ACRES</p> </div> </div>	
<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>SEAL</p> <p>FOR THE FIRM, BY:</p> <p>MICHAEL D. SARVER</p> <p>PROFESSIONAL SURVEYOR</p> <p>AND MAPPER</p> <p>FLORIDA REG NO. 4174</p> <p>DATE: SEPTEMBER 2016</p> <p>JOB NO. 1032A.01</p> <p>SHEET 1 OF 1</p> </div> <div style="width: 50%;"> </div> </div>	

X:\Cad\Survey\1032AOO\KFC LINCOLN BLVD\2016 KFC ALTA\KFC ALTA SURVEY 2016.dwg, 9/6/2016 8:54:59 AM, PDF995.pc3



LLS ARCHITECTURE
ENGINEERING
AND INVESTMENT SERVICES, LLC

21430 Palm Beach Blvd
Alva, FL 33920
Phone: (239) 693-9244
Facsimile: (239) 693-9828

Robert Wayne Case
Florida PE #44643

[illegible]

PROJECT TITLE

KFC - JRN
"Y04 REMODEL
TO AMERICAN
SHOWMAN"
360 W LINTON BLVD
DELRAY BEACH, FL

COMMISSION NO.

ISSUE DATE 02/10/17

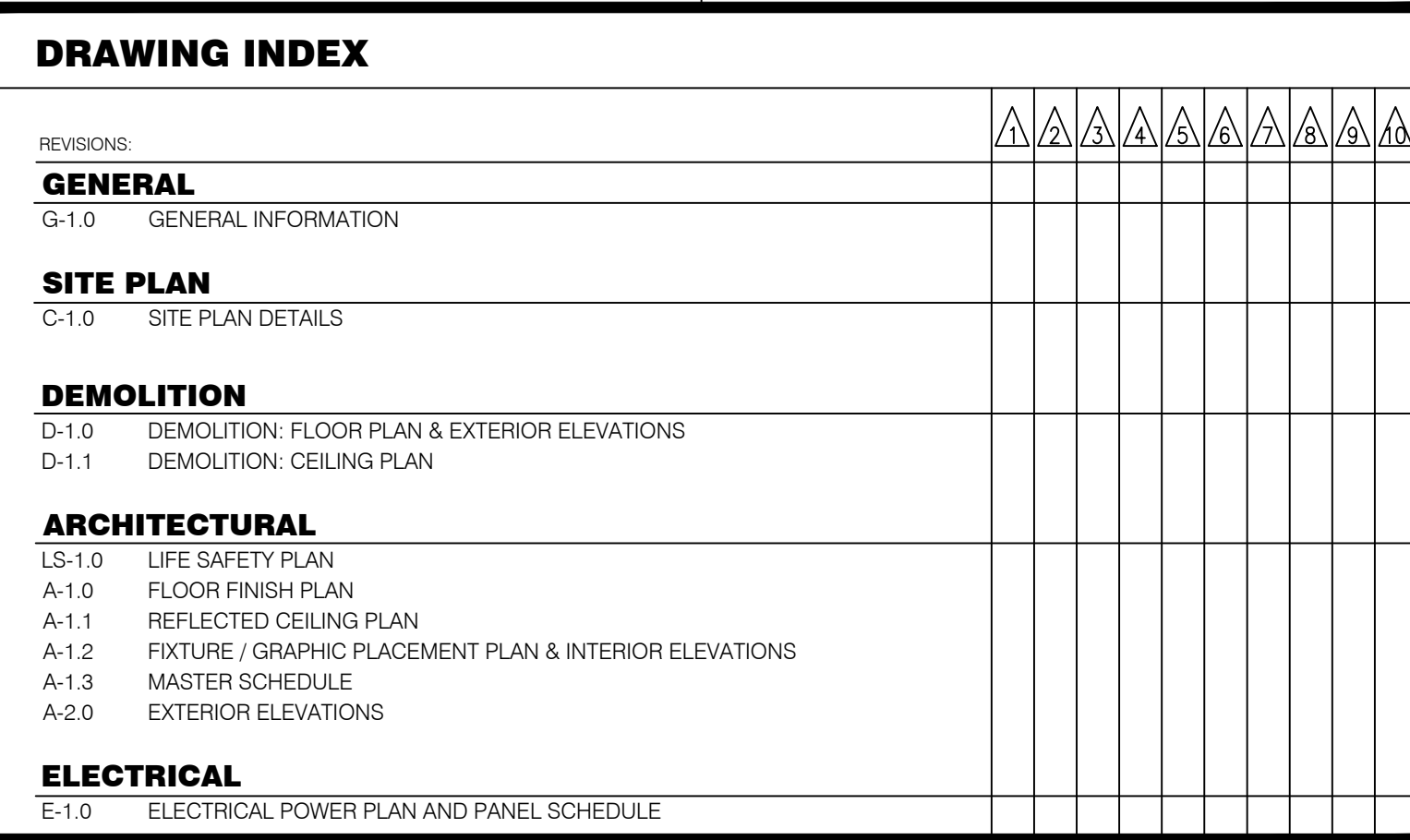
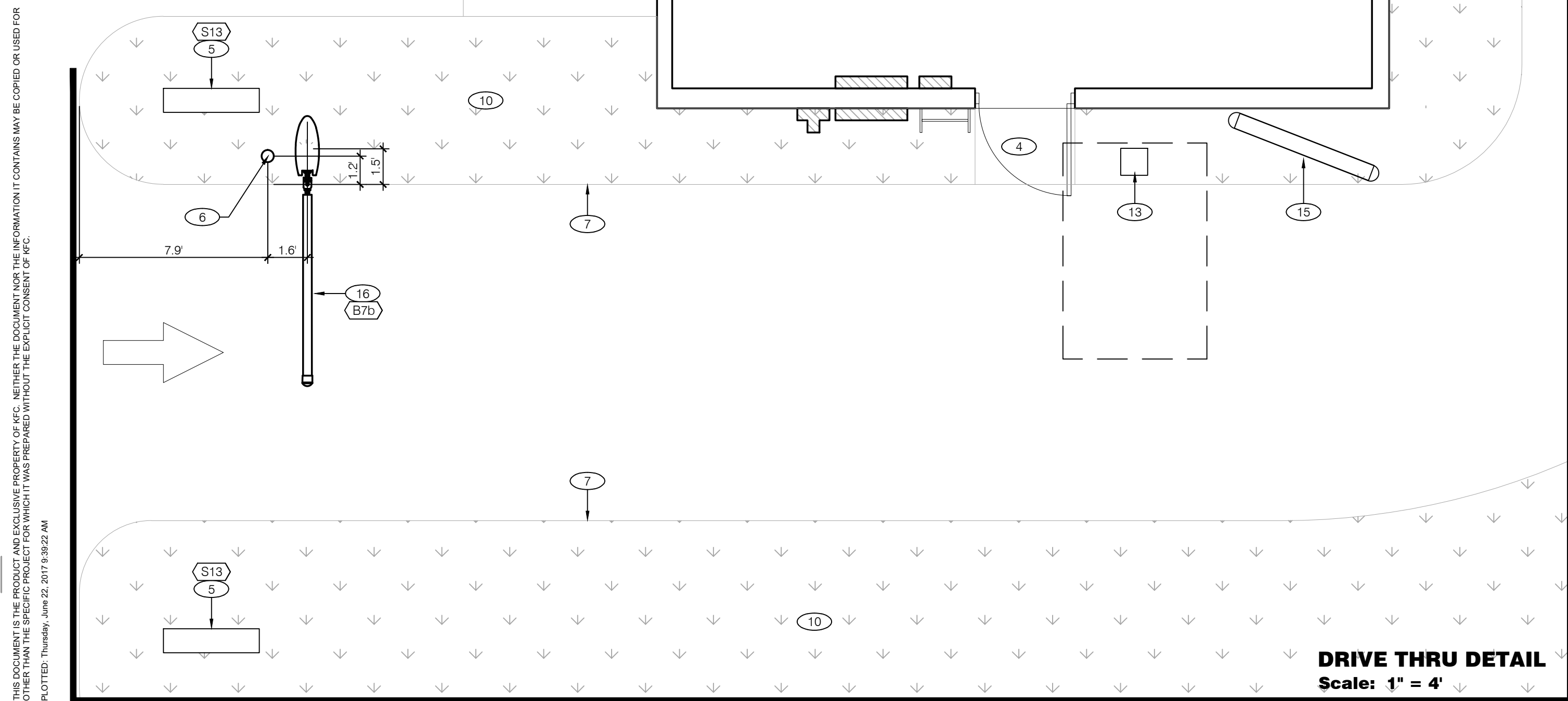
SHEET TITLE

SITE DETAILS

SHEET NO.

C-1.0

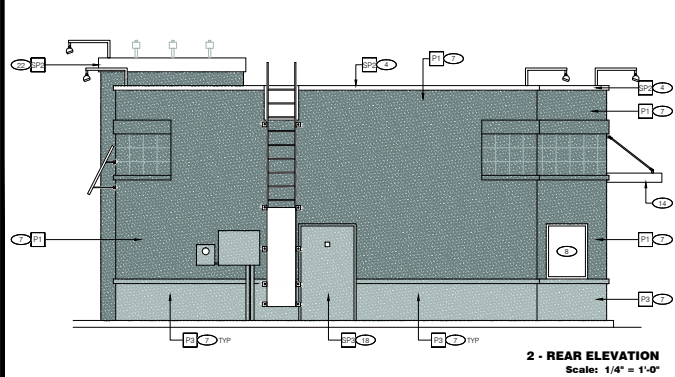
LIS PROJECT NO.: 2016-140



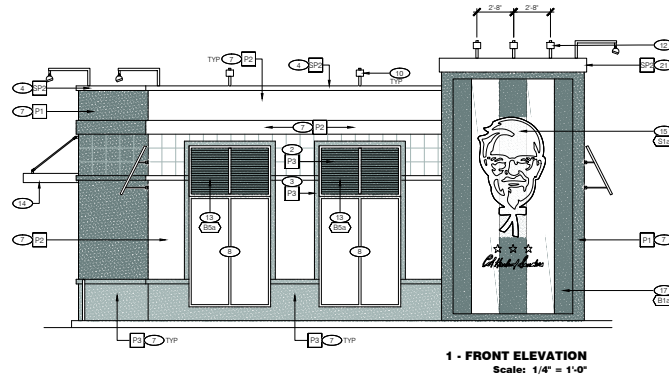
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PRINTED: Thursday, June 22, 2017 9:39:22 AM

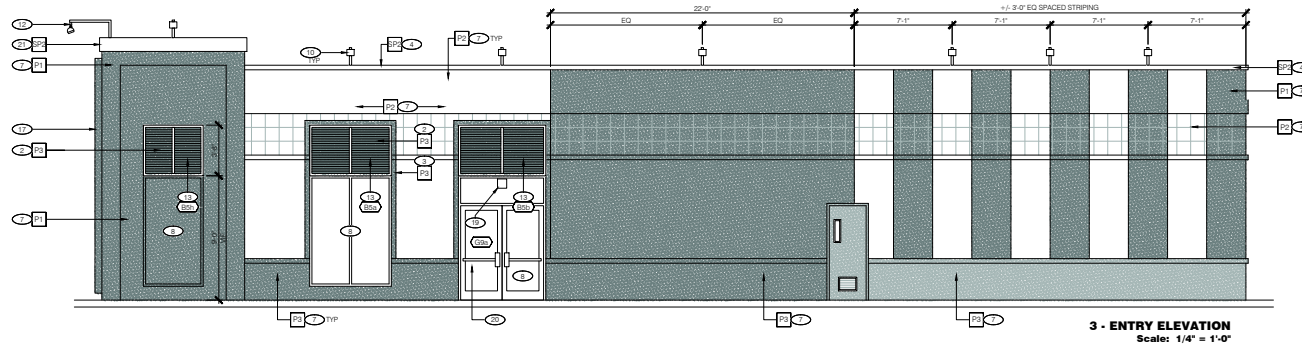
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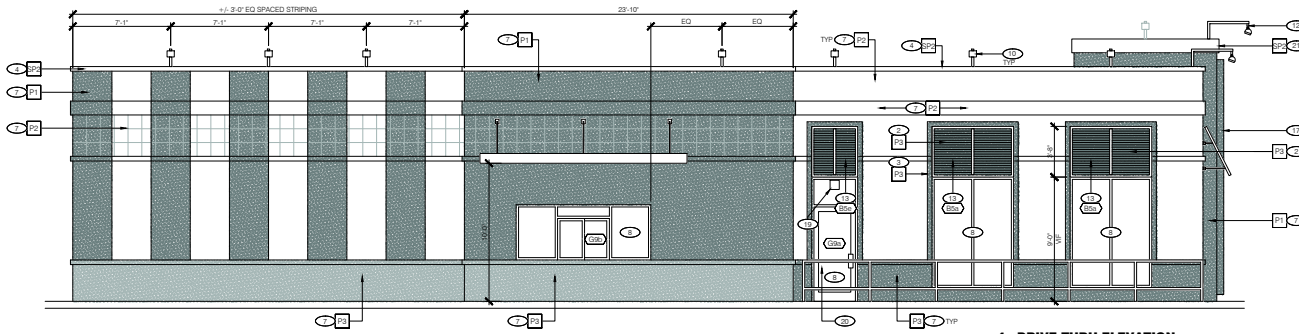
2 - REAR ELEVATION
Scale: 1/4" = 1'-0"



1 - FRONT ELEVATION
Scale: 1/4" = 1'-0"



3 - ENTRY ELEVATION
Scale: 1/4" = 1'-0"



4 - DRIVE-THRU ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES

G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDORS RECOMMENDATION

SIGNAGE AREA CALCULATIONS

FRONT ELEVATION = SF
TOTAL SIGN SF = SF PROVIDED / SF ALLOWABLE

SIDE ENTRY ELEVATION = SF
TOTAL SIGN SF = SF PROVIDED / SF ALLOWABLE

DRIVE-THRU ELEVATION = SF
TOTAL SIGN SF = SF PROVIDED / SF ALLOWABLE

EXTERIOR ELEVATION NOTES

SEE MASTER SCHEDULE (SCHD-1) FOR ALL LIGHTING, FINISH AND COMPONENT TAGS

- 1 NEW NO EXTERIOR LIGHT SCANCES (INSTALLED ABOVE EXISTING CEILING @ EXISTING LOCATIONS)
- 2 PAINT WALL SURFACE BEHIND NEW AWNINGS
- 3 PAINT 4" WIDE BORDER WINDOW SURROUND AS INDICATED
- 4 EXISTING PARAPET CORING TO BE REPAIRED, SEALED AND PAINTED
- 5 EXISTING RAILING TO BE PAINTED SF-3
- 6 STENCIL PAINTED GRAPHIC ELEMENT
- 7 NEW EXTERIOR PAINT TREATMENT
- 8 EXISTING WINDOWS
- 9 EXISTING BOLLARD TO BE PAINTED
- 10 NEW EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION, PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- 11 REINSTALL ADDRESS NUMBERS AFTER PAINTING
- 12 NEW ACCENT LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
- 13 NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- 14 NEW DRIVE-THRU CANOPY
- 15 NEW VINYL GRAPHICS APPLIED TO NEW TOWER PANELS
- 16 NEW KFC INDIVIDUAL LETTER FACES AND CABINET CANS
- 17 NEW METAL PANEL SYSTEM ATTACHED TO AND HELD OFF EXISTING TOWER TOP OF PANELING TO ALIGN WITH BOTTOM OF EXISTING TOWER CORING
- 18 PAINT EXISTING EXTERIOR DOOR AND FRAME
- 19 NEW EXTERIOR WALL LIGHT, M-3
- 20 EXISTING STOREFRONT
- 21 NEW PARAPET CORING TO BE INSTALLED, SEALED AND PAINTED



KFC

LIS ARCHITECTURE
ENGINEERING

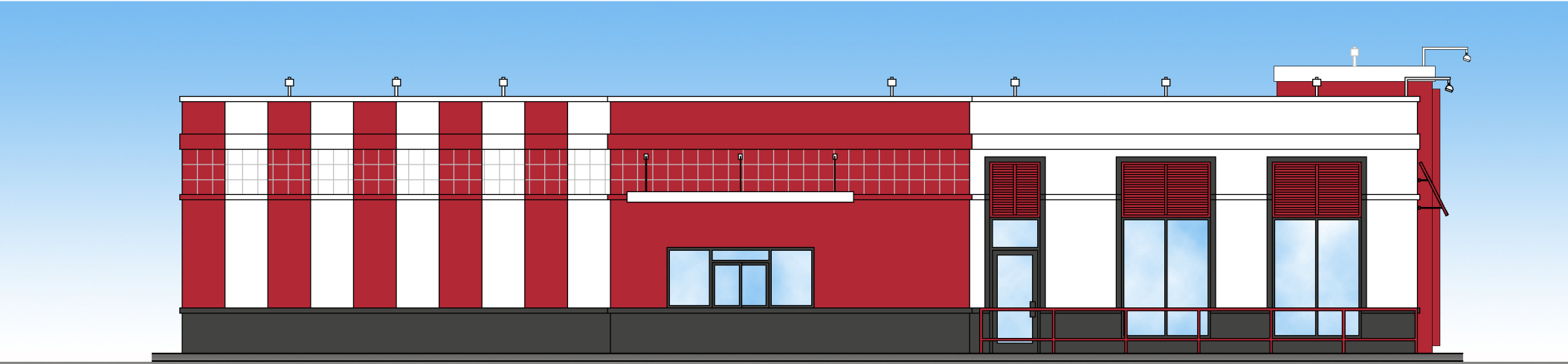
LIS ARCHITECTURE ENGINEERING, P.C.
24301 Perimeter Blvd.
Suite 200
Atlanta, GA 30328
Phone: (404) 251-1234
Fax: (404) 251-1235

Anthony E. Ewen
AR0008781

REVISION:		
Mark	Date	By

PROJECT TITLE
KFC - JRN
"Y04 REMODEL
TO AMERICAN
SHOWMAN"
360 W. LINTON BLVD
DELRAY BEACH, FL
COMMISSION NO.
DATE
02/10/17
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NO.
A-2.0
LIS-PRJ-17-01-2017-10

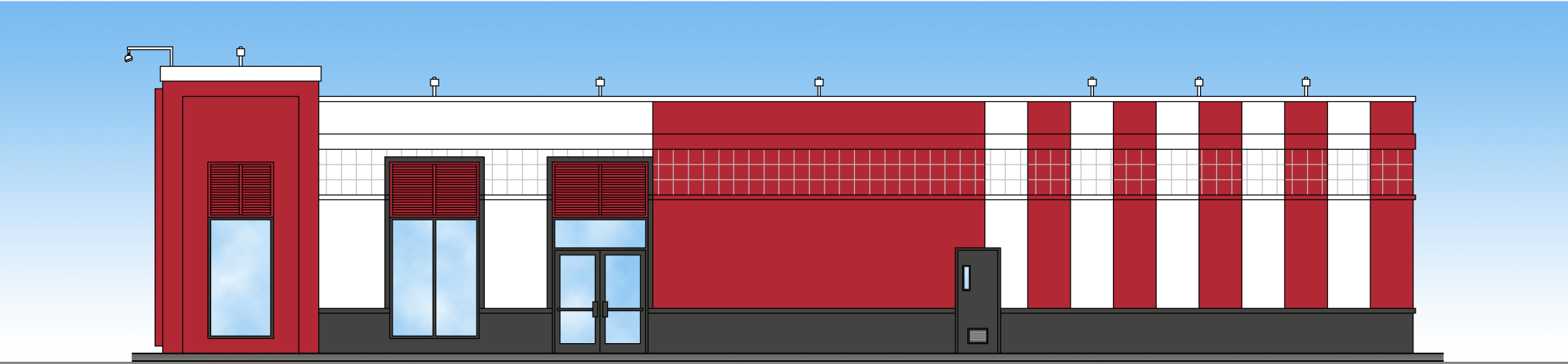


DRIVE-THRU ELEVATION

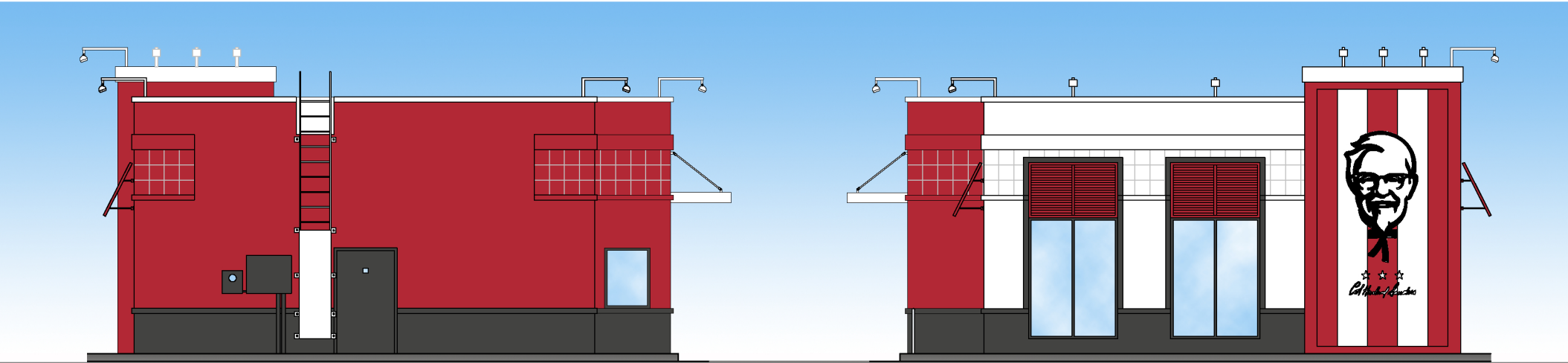
Manufacturer: Benjamin Moore
Color: Black Horizon
Code: 2132-30
Primer: Self-priming
Content: Low Luster (634)
Location: Exterior Walls

Manufacturer: Benjamin Moore
Color: Wedding Veil
Code: 2125-70
Primer: Self-priming
Content: Low Luster (N401)

Manufacturer: Benjamin Moore
Color: Exotic Red
Code: 2068-10
Primer: Self-priming
Content: Low Luster (634)
Location: Exterior Walls, Awnings



ENTRY ELEVATION



REAR ELEVATION

FRONT ELEVATION