

# SITE PLAN REVIEW AND APPEARANCE BOARD

## CITY OF DELRAY BEACH

## ---STAFF REPORT---

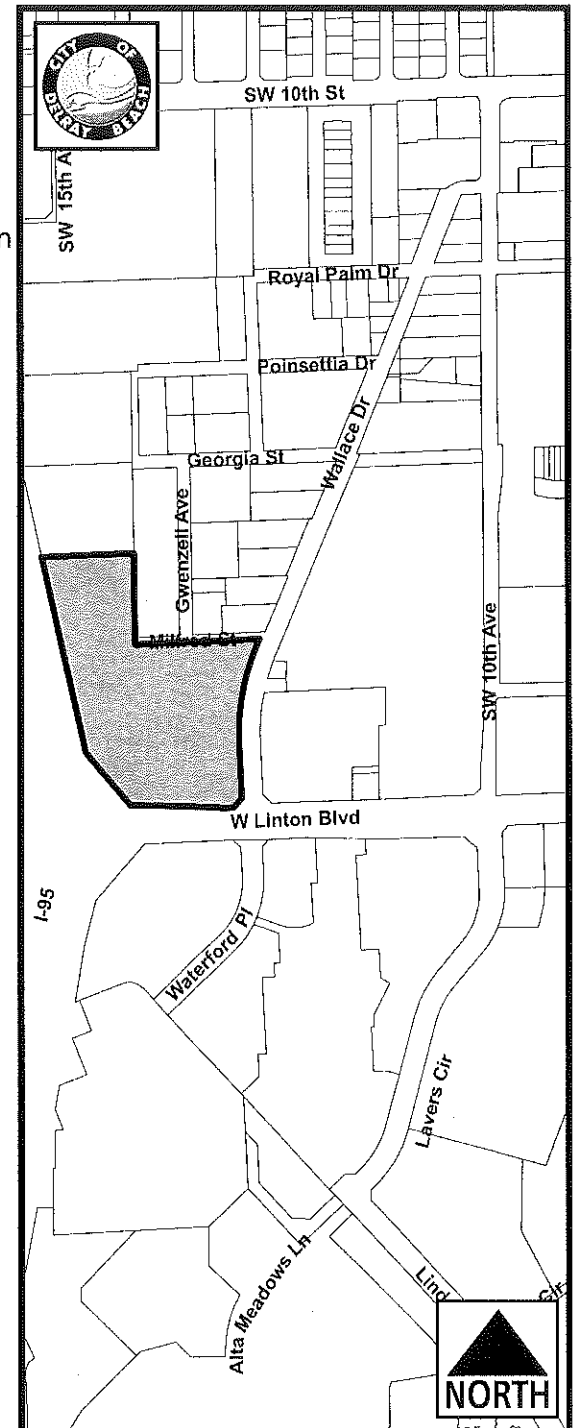
**MEETING DATE:** February 22, 2017

**AGENDA ITEM:** AutoNation Delray Beach (File #2016-268) – Class V Site Plan, Landscape Plan and Architectural Elevations associated with construction of a 105,400 square foot automobile dealership at 1311 West Linton Boulevard.

**Recommendation:** Approve

### GENERAL DATA:

Owner/Applicant.....	Wallace Ford, LLC, c/o AutoNation, Inc.
Agent.....	Sol-Arch
Location.....	Northwest corner of West Linton Boulevard and Wallace Drive
Property Size.....	10.51 acres
Existing FLUM.....	GC (General Commercial)
Existing Zoning.....	AC (Automotive Commercial)
Adjacent Zoning.....North:	MIC (Mixed Industrial & Commercial) and I (Industrial)
	East: AC
	South: PC (Planned Commercial)
	West: CD (Conservation District)
Existing Land Use.....	Automobile Dealership
Proposed Land Use.....	Automobile Dealership
Water.....	Available on-site
Sewer.....	Available on-site



### ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class V Site Plan request for **AutoNation Delray Beach**, pursuant to Land Development Regulations (LDR) Section 2.4.5(F):

- ☐ Site Plan;
- ☐ Landscape Plan; and
- ☐ Architectural Elevations;

The subject property is located at the northwest corner of West Linton Boulevard and Wallace Drive (1311 Linton Boulevard).

### BACKGROUND ANALYSIS

The subject property consists of Tract "A" of the Wallace Ford subdivision and consists of 10.51 acres. The subject property is located on the northwest corner of Linton Blvd. and Wallace Drive and is zoned Automotive Commercial (AC). The property consists of an existing automobile dealership (Wallace Ford) that was constructed in 1985, and annexed into the City in 1988 via Ordinance 10-88.

Now before the Board for consideration is a Class V Site Plan proposal for AutoNation Delray Beach.

### PROJECT DESCRIPTION

The development proposal consists of the following:

- ☐ Demolition of all existing improvements on the property including multiple buildings, parking facilities, and landscaping.
- ☐ Construction of a 105,400 square foot full service automobile dealership.
- ☐ Reconfiguration of the parking area to accommodate the redevelopment.
- ☐ Installation of associated landscaping.

### SITE PLAN ANALYSIS

#### **COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

#### **LDR Section 4.3.4(K) Development Standards Matrix – Nonresidential Zoning Districts:**

The following table indicates that the site complies with LDR Section 4.3.4(K) as it pertains to the Automobile Commercial (AC) zoning district and LDR Section 4.4.10:

		Standard:	Provided:
Minimum Lot Size		1.5 acres	10.51 acres
Minimum Lot Width		125'	330.73'
Minimum Lot Depth		200'	847'
Minimum Lot Frontage		125'	330.73'
Building Height:		48'	31'4"
Building Setbacks:	Front	15'	157.69'
	Rear	10'	80.36'
	Side Street	15'	178.38'
	Side Interior	0'	96.31'
Open Space:		25%	26.5%

#### **LDR Article 4.6 – Supplemental District Regulations:**

##### **Parking:**

Per LDR Section 4.6.9(C)(f), the automobile dealership is required to provide 4 spaces per 1,000 square feet of total building gross floor area, except indoor display areas. Required parking spaces shall be designated for employee, customer, and/or service use at the standard of, at least, 1.5 spaces per service bay and 2 spaces per 1,000 sq.ft. of gross floor area (less indoor display area). Any remaining spaces may be used for display purposes. The gross floor area of the building minus the indoor display area is 95,605 square feet. Based on this, the required parking for the development is 382 parking spaces. The development complies with the minimum required parking since 811 spaces are proposed. The required parking for employee, customer, and/or service use is 184 spaces. The development proposal complies with this requirement since a total of 184 spaces are designated on the plan for these purposes. The remaining spaces (627) are designated for display or bull pen parking. Based on the above, the development proposal complies with the City's parking standards for automobile dealerships.

##### **Handicap Accessible Parking:**

Pursuant to LDR Section 4.6.9(C)(1)(b), special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction. Pursuant to the Florida Accessibility Code for Building Construction, six handicap accessible parking spaces are required for the 184 customer, employee, and service parking space. The proposed development complies with this requirement since eight handicap accessible parking spaces are provided.

##### **Special Landscape Setback:**

Pursuant to LDR Section 4.3.4(H)(6)(b)(4), a 30-foot special landscape area is required along Linton Boulevard. The required area has been provided and accommodated on the plans.

##### **Right-of-way Dedications:**

Pursuant to Table T-1 of the Transportation Element of the Comprehensive Plan, a 53' right-of-way exists on Linton Boulevard where sixty feet (60') is required along the north side of the road. A 7-foot right-of-way dedication will be required and is accommodated on the plans. The applicant will need to replat the subject property to accommodate the right-of-way dedications

and associated easements for the proposed redevelopment and this is attached as a condition of approval.

**Other Issues:**

**Outside Display:**

Per LDR Section 4.4.10(G)(1)(a), outside display areas for sale, lease, or rental of vehicles shall be separated from all adjacent streets, asphalt, or vehicular use areas by a hedge or berm at least three feet high and trees planted at least 40 feet on center. However, the hedge may be planted at such a location that at least 24 inches of the hedge is above the finished grade of the adjacent parking area. The proposed development provides a 30" high Cocoplum hedge along Linton Boulevard and a 24" high Cocoplum hedge along Wallace Drive. Further, the plan provides a mixture of Royal Palms and Crepe Myrtle planted 40 feet along Linton Boulevard and Live Oak trees planted 20 feet to 40 feet along Wallace Drive. Based on the above, the development proposal complies with this requirement.

**Lighting:**

Per LDR Section 4.4.10(G)(6), exterior light fixtures cannot exceed 25 feet in height. Lighting within display areas cannot exceed 100 foot candles or 40 foot candles within all other areas. The lighting within the display areas shall be reduced to 50 foot candles after 11:00 p.m. The maximum lighting level in the display area is 25.5 foot candles and 17 foot candles in all other areas. Further the height of the light fixtures is 24.5 feet. Based on the above, the development proposal complies with these lighting requirements.

**Bicycle Parking:**

Per Policy D-2.2. of the Comprehensive Plan, Transportation Element, bicycle parking and facilities shall be required on all new development and redevelopment. The development complies with this requirement since a bike rack has been provided on the east side of the proposed building.

<b>LANDSCAPE PLAN ANALYSIS</b>
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Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A landscape plan has been submitted and evaluated by the City's Senior Landscape Planner and found that the landscape plan will be in compliance with applicable requirements of LDR section 4.6.16, subject to the following:

**Landscape Islands:**

Per LDR Section 4.6.16(H)(3)(i), landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of 9 feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Tree specifications shall adhere to those listed in Section 4.6.16(E)(5) and 4.6.16(E)(6). Where approval for the use of compact parking has been approved, islands may be placed at intervals of no less than one 1 island for every 15 compact parking spaces. This landscape island is required for the display parking spaces along Linton Boulevard, where 27

and 14 parking spaces are provided in a row without the required landscape island. A condition of approval is attached that the plans be revised to provide the required interval of landscape islands and landscaping.

### ARCHITECTURAL ELEVATIONS ANALYSIS

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The building is a contemporary architectural design. The southern elevation primarily consists of a glass curtain wall with flat canopies. The west, north, and east elevations also have small glass wall applications. The building will be painted Pure White and the curtain wall will be Sterling Gray.

All proposed architectural elevations will be compatible and harmonious with the surrounding properties and an enhancement to the area. Based upon the above, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

### REQUIRED FINDINGS

**Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:**

#### **LDR Section 3.1.1(A) - Future Land Use Map:**

The subject property has a zoning designation of Automotive Commercial (AC) and a General Commercial (GC) Future Land Use Map designation. Pursuant to the Land Use Designation/Zoning Matrix (Table L-7, Future Land Use Element), AC Zoning is consistent with GC Future Land Use Map designation. Pursuant to LDR Section 4.4.10(B)(1), full service automotive dealerships are permitted within the AC zoning district. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map designation.

#### **LDR Section 3.1.1(B) - Concurrency:**

As described in Appendix "B", a positive finding of Concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, open space, solid waste, and schools.

**LDR Section 3.1.1(C) - Consistency:**

As described in Appendix "C", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions.

**LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:**

As described under the Site Plan Analysis of this report, a positive finding of compliance with the LDRs can be made when all outstanding items attached as conditions of approval are addressed.

**Required Findings:**

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>
<i>North</i>	MIC (Mixed Industrial and Commercial) & I (Industrial)	Single Family Residential and Industrial
<i>South</i>	PC (Planned Commercial)	Linton Center Commercial Plaza
<i>East</i>	AC (Automotive Commercial)	Wallace Nissan Automobile Dealership
<i>West</i>	CD (Conservation District)	Scrub Land (Across I-95)

**Comprehensive Plan Policies:**

A review of the adopted Comprehensive Plan was conducted and the following applicable objectives and policies are noted:

**Future Land Use Element Objective A-1:** Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

There are no known issues with respect to soil, topography, and other applicable physical consideration that prevent redevelopment of the existing automobile dealership to a new dealership. The new automobile dealership will be complimentary to the surrounding uses. A positive finding can be made with regard to Future Land Use Element Objective A-1.

<b>REVIEW BY OTHERS</b>
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The development proposal is not in a geographic area requiring review by the Historic Preservation Board (HPB), Downtown Development Authority (DDA), or the Community Redevelopment Agency (CRA).

Courtesy Notices: A special courtesy notice was provided to the following homeowners associations:

- Southridge HOA
- Woods of Southridge HOA

Letters of objection, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

#### ASSESSMENT AND CONCLUSION

The development proposal is to construct a 105,400 square foot full service automobile dealership to replace the existing automobile dealership. The proposed development will be compatible with the surrounding uses.

#### ALTERNATIVE ACTIONS

- A. Move postponement of the Class V site plan, landscape plan and architectural elevations for **AutoNation Delray Beach**, by electing to continue with direction.
- B. Move approval of the Class V site plan, landscape plan and architectural elevations for **AutoNation Delray Beach**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Sections 2.4.5(F)(5) and Chapter Three of the Land Development Regulations, subject to the attached condition of approval.
- C. Move denial of the Class V site plan, landscape plan and architectural elevations for **AutoNation Delray Beach**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Sections 2.4.5(F)(5) and Chapter Three of the Land Development Regulations.

#### STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move approval of the Class V site plan for **AutoNation Delray Beach**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Section 2.4.5(F)(5) and Chapter Three of the Land Development Regulations, subject to the condition that a recorded plat be submitted prior issuance of a building permit.

Landscape Plan:

Move approval of the landscape plan for **AutoNation Delray Beach**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with Section 4.6.16 of the Land Development Regulations, subject to the condition that the plans be revised to provide the required interval of landscape islands and landscaping prior to certification of the site plan.

Architectural Elevations:

Move approval of the architectural elevations for **AutoNation Delray Beach**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets the criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Attachments: Appendix "A"  
Appendix "B"  
Site Plan, Landscape Plan, Building Elevations  
Location Map

Staff Report Prepared by:  
Scott Pape, Principal Planner



<p style="text-align: center;"><b>APPENDIX “A” CONCURRENCY FINDINGS</b></p>
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Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Water service will be provided from an existing 12” main along Wallace Drive
- Sewer service will be provided from an existing 8” main along Milfred Street

Pursuant to the City’s Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

Streets and Traffic:

A traffic study has been provided for the development proposal indicating that the net increase in traffic is 949 average daily trips, 56 net new a.m. peak hour trips and 77 net new p.m. peak hour trips per day. The Palm Beach County Traffic Division has reviewed the traffic study for the proposed development and has provided a finding of concurrency.

Parks and Recreation Facilities:

Park dedication requirements do not apply for non-residential uses.

Solid Waste:

The proposed 105,400 automobile dealership will generate 484.84 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

Schools:

School concurrency findings do not apply for non-residential uses.

Drainage:

Drainage will be accommodated on site via an exfiltration trench system with an outfall to dry retention areas along the south and west sides of the property. There should be no impact on drainage as it relates to this standard.

<p style="text-align: center;"><b>APPENDIX "B"</b> <b>STANDARDS FOR SITE PLAN ACTIONS</b></p>
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- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable     X      
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable     X      
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_

Meets intent of standard   X  

Does not meet intent \_\_\_\_\_

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable   X  

Meets intent of standard \_\_\_\_\_

Does not meet intent \_\_\_\_\_

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable \_\_\_\_\_

Meets intent of standard   X  

Does not meet intent \_\_\_\_\_

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable \_\_\_\_\_

Meets intent of standard   X  

Does not meet intent \_\_\_\_\_

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable   X  

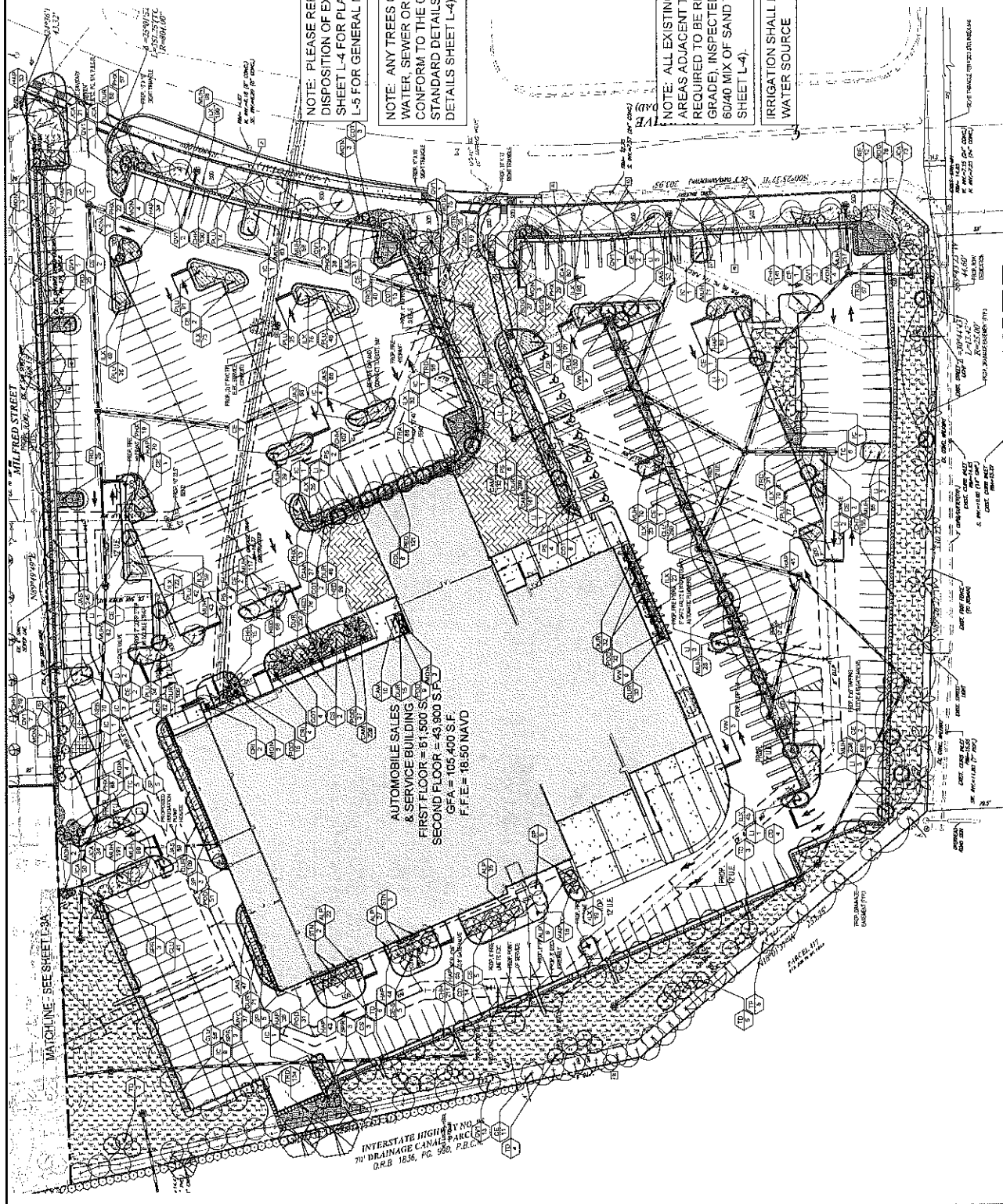
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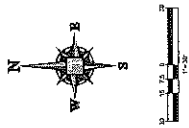
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IRRIGATION SHALL BE FROM A NON-POTABLE WATER SOURCE





NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENT SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 AND LD 1.2 (SEE DETAILS SHEET L-4).

**IRRIGATION SHALL BE FROM A NON-POTABLE WATER SOURCE**

**NOTE:** CONTRACTOR TO USE CAUTION WHILE REMOVING OLD AND EXISTING SECTION NOT TO DAMAGE EXISTING ASPHALTIC CONCRETE PAVEMENT, OTHERWISE MILLING AND REGRADING OF THE AFFECTED LANE WILL BE REQUIRED.

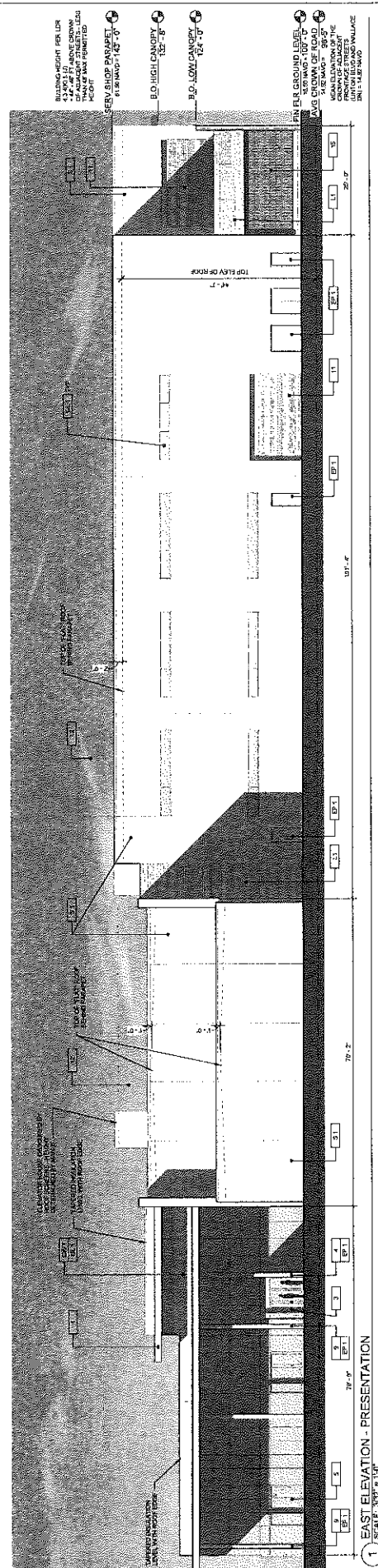
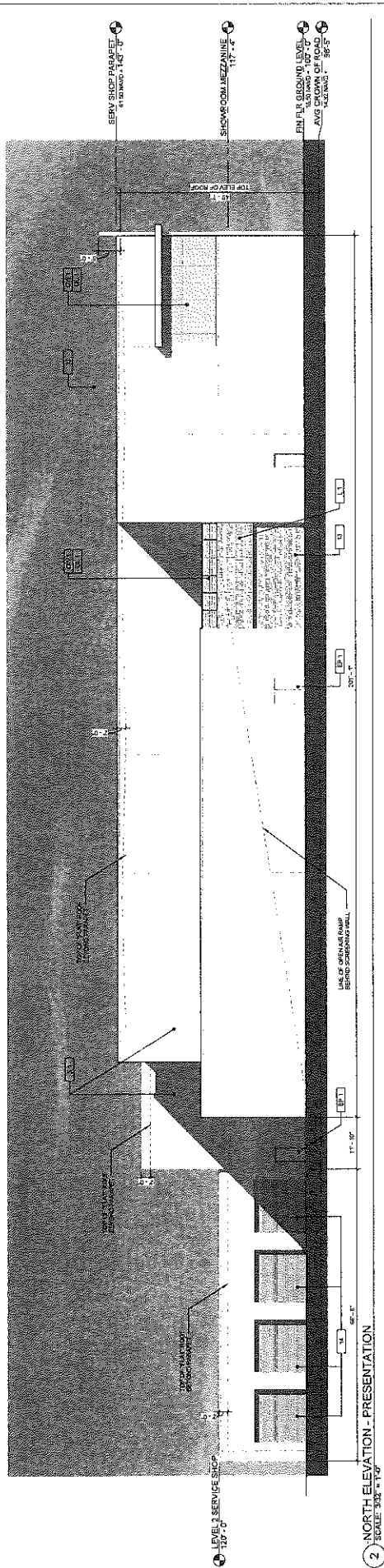
LANDSCAPE CALCULATION FORM  
MULTIPLE FAMILY, COMMERCIAL AND INDUSTRIAL  
CITY OF DELRAY BEACH

	A	TOTAL LOT AREA	57,253.00	SF
	B	TOTAL IMPROVED SURFACE AREAS (PVC, DRIVEWAYS, ETC.)	20,412.50	SF
	C	TOTAL PERMITS LOT AREA	36,840.50	SF
	D	AREA OF FENCES AND GROUND COVERS REQUIRED	30,612.50	SF
	E	AREA OF DRIVEWAYS AND DRIVEWAYS PROVIDED	10,000.00	SF
	F	NATIVE VEGETATION ALLOWED (25%)	2,292.57	SF
	G	NATIVE VEGETATION PROVIDED	27,446.56	SF
	H	TOTAL NATIVE VEGETATION PROVIDED	29,739.13	SF
	I	TOTAL INTERIOR LANDSCAPE REQUIRED	29,297.57	SF
	J	TOTAL INTERIOR LANDSCAPE PROVIDED	97,524.00	SF
	K	TOTAL NUMBER OF PERMITS REQUIRED	275	PERMITS
	L	TOTAL NUMBER OF PERMITS PROVIDED	3,058.00	PERMITS
	M	TOTAL NUMBER OF PERMITS REQUIRED	184	PERMITS
	N	TOTAL NUMBER OF PERMITS PROVIDED	184	PERMITS
	O	TOTAL NUMBER OF PERMITS REQUIRED	184	PERMITS
	P	TOTAL NUMBER OF PERMITS PROVIDED	184	PERMITS
	Q	TOTAL NUMBER OF NATIVE TREES REQUIRED (MIN SITE)	11	TREES
	R	TOTAL NUMBER OF NATIVE TREES PROVIDED	224	TREES
	S	TOTAL NUMBER OF TREES ON PLAN	235	TREES

44.  $\text{NO}^+ - \text{O}^- \rightleftharpoons \text{N} \equiv \text{O}$   
 45.  $\text{H}_2\text{O} + \text{H}_2\text{O} \rightleftharpoons \text{H}_3\text{O}^+ + \text{OH}^-$

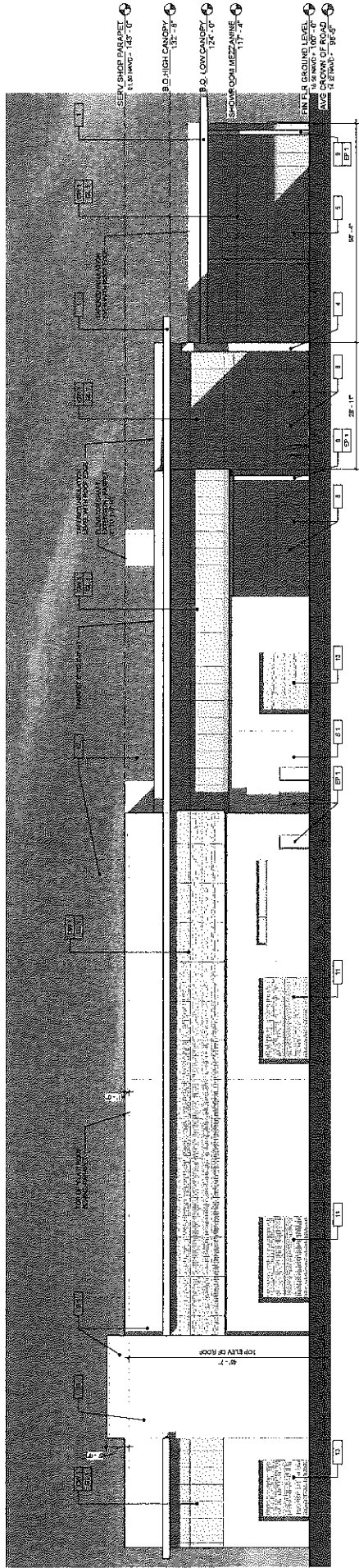
	INTERIOR LANGUAGES PROVIDED	EXTERIOR LANGUAGES PROVIDED
J	TOTAL INTERIOR SPACE, PRESS PROVIDED	57,478 S.F.
K	TOTAL EXTERIOR SPACE, PRESS PROVIDED	255 TREES
L	TOTAL LINEAR FEET, PRESS PROVIDED	3,585.47 L.F.
M	TOTAL NUMBER OF PERIMETER TREES REQUIRED	102 TREES
N	TOTAL NUMBER OF INTERIOR TREES REQUIRED	102 TREES
O	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE	20 TREES
P	TOTAL NUMBER OF NATIVE TREES REQUIRED, 100%	102 TREES
Q	TOTAL NUMBER OF NATIVE TREES PROVIDED	102 TREES
R	TOTAL NUMBER OF TREES ON LOT	251 TREES

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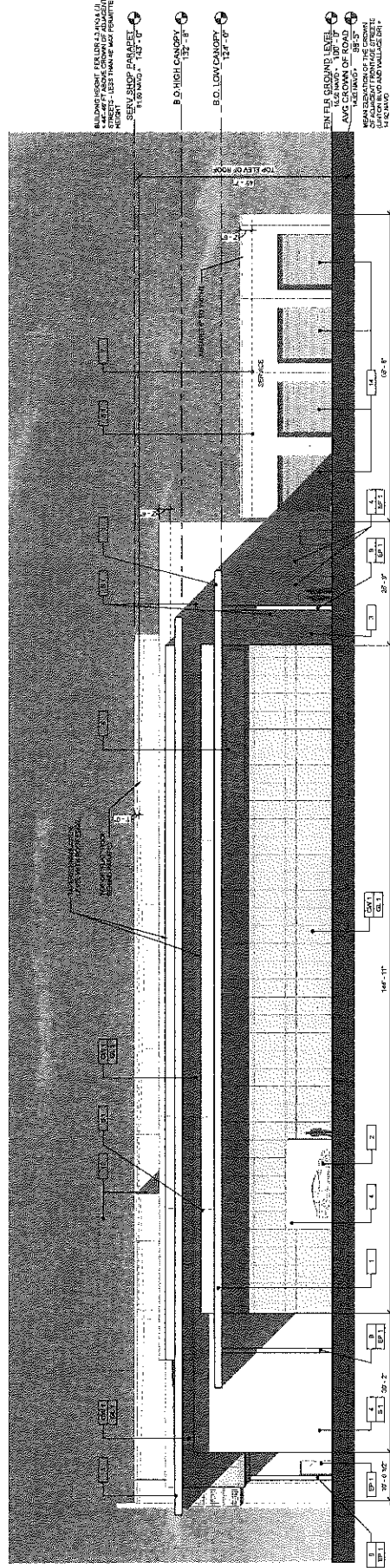


EXTERIOR FINISHES	
1. CANOPY	7. SERVICE DRIVEWAY
2. ACCENT ON LANTERN	8. RETAIL DELIVERY
3. ENTRY DOOR	9. STRUCTURAL COLUMN
4. SUITE WALL	10. LONG DISTANCE SIGN
5. SHOWROOM VEHICLE DOOR	11. HIGH SPEED SERVICE VEHICLE DOOR
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77. RETAIL VEHICLE DOOR	83. HIGH SPEED SERVICE VEHICLE DOOR
78. RETAIL VEHICLE DOOR	84. HIGH SPEED SERVICE VEHICLE DOOR
79. RETAIL VEHICLE DOOR	85. HIGH SPEED SERVICE VEHICLE DOOR
80. RETAIL VEHICLE DOOR	86. HIGH SPEED SERVICE VEHICLE DOOR
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83. RETAIL VEHICLE DOOR	89. HIGH SPEED SERVICE VEHICLE DOOR
84. RETAIL VEHICLE DOOR	90. HIGH SPEED SERVICE VEHICLE DOOR
85. RETAIL VEHICLE DOOR	91. HIGH SPEED SERVICE VEHICLE DOOR
86. RETAIL VEHICLE DOOR	92. HIGH SPEED SERVICE VEHICLE DOOR
87. RETAIL VEHICLE DOOR	93. HIGH SPEED SERVICE VEHICLE DOOR
88. RETAIL VEHICLE DOOR	94. HIGH SPEED SERVICE VEHICLE DOOR
89. RETAIL VEHICLE DOOR	95. HIGH SPEED SERVICE VEHICLE DOOR
90. RETAIL VEHICLE DOOR	96. HIGH SPEED SERVICE VEHICLE DOOR
91. RETAIL VEHICLE DOOR	97. HIGH SPEED SERVICE VEHICLE DOOR
92. RETAIL VEHICLE DOOR	98. HIGH SPEED SERVICE VEHICLE DOOR
93. RETAIL VEHICLE DOOR	99. HIGH SPEED SERVICE VEHICLE DOOR
94. RETAIL VEHICLE DOOR	100. HIGH SPEED SERVICE VEHICLE DOOR





1 WEST ELEVATION - PRESENTATION  
SCALE: 3/32" = 1'-0"



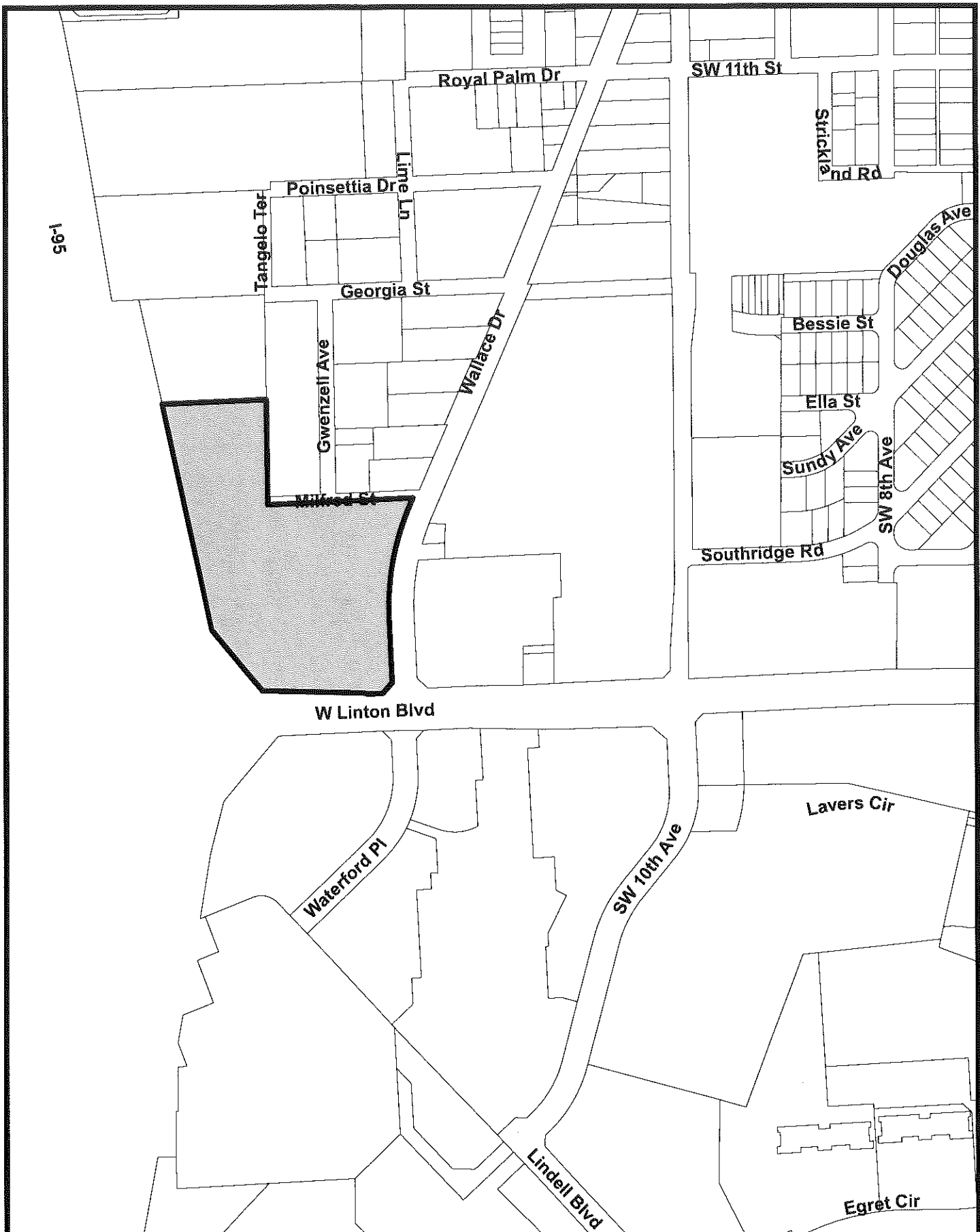
2 SOUTH ELEVATION - PRESENTATION  
SCALE: 3/32" = 1'-0"

EXTERIOR ELEMENTS	
1	CANOPY
2	SERVICE BAY
3	AGENT CAR LOCATION
4	ENTRY DOORS
5	GLASS WALL
6	SHOWROOM VEHICLE DOORS
7	BRAND BAY - TO BE PAINTED SEPARATELY
8	OVERHEAD COILING DOOR
9	FULL WIDTH HIGH SPEED VEHICLE DOOR
10	SECURITY GRILLE DOOR
11	OVERHEAD COILING DOOR
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DELAY BEACH  
DELAY, FLORIDA

A3 BUILDING ELEVATIONS

01.09.17



**Autonation Delray Beach**  
**1311 West Linton Blvd.**  
**LOCATION MAP**

