



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: The Elk's Lodge

Project Location: 265 NE 4th Avenue

Request: Class I Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: August 9, 2017

Board Action:

Class I Site Plan Modification

Approved 4-0 (Fred Kaub, Linda Purdo, absent; Roger Cope steeped-down)

Project Description:

The subject property, known as Elk's Lodge, is located at 265 NE 4th Avenue in the Central Business District (CBD) within the Railroad Corridor Sub-district. The one-story building was originally constructed in 1945 and consists of approximately 11,074 sq. ft.

The proposed improvements include the removal of the existing brick façade and the introduction of a white stucco façade (Snowfall White color) with a brown venner stone accent wall around the main entrance. Two transparent clerestory windows are proposed to be located on the upper section of the elevation, just below the existing parapet. The existing light fixtures will be removed and new sconces will be installed along the existing columns.

Board Comments:

The Board approved the proposal with the following conditions:

- That a spot photometric plan demonstrating compliance with LDR Section 4.8.6 be submitted prior to certification; and
- That the architectural elevation plan be revised to remove the planters.

Public Comments:

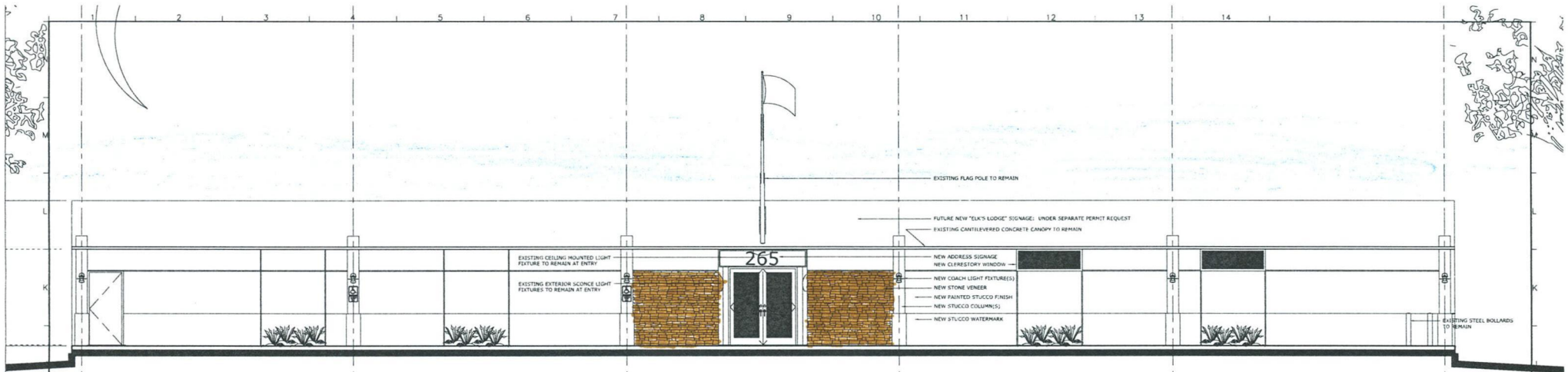
A resident from the adjacent property to the north asked questions regarding the existing parapet/eyebrow and the wall mounted air conditioning unit.

Associated Actions:

No actions

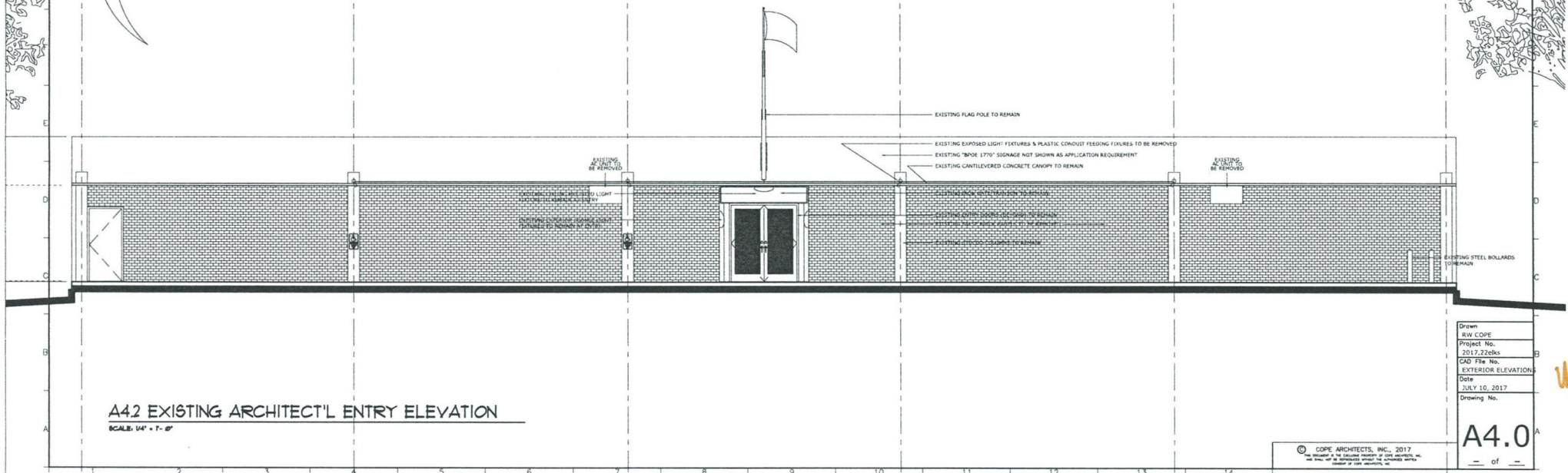
Next Action:

The SPRAB action is final unless appealed by the City Commission.



A4.1 PROPOSED ARCHITECT'L ENTRY ELEVATION

SCALE: 1/4" = 1' - 0"



A4.2 EXISTING ARCHITECT'L ENTRY ELEVATION

SCALE: 1/4" = 1' - 0"

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Drawn
 R.W. COPE
 Project No.
 2017.22eks
 CAD File No.
 EXTERIOR ELEVATIONS
 Date
 JULY 10, 2017
 Drawing No.

A4.0

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