

Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: The Elk's Lodge **Project Location:** 265 NE 4th Avenue **Request:** Class I Site Plan Modification **Board:** Site Plan Review and Appearance Board **Meeting Date:** August 9, 2017

Board Action:

Class I Site Plan Modification Approved 4-0 (Fred Kaub, Linda Purdo, absent; Roger Cope steeped-down)

Project Description:

The subject property, known as Elk's Lodge, is located at 265 NE 4th Avenue in the Central Business District (CBD) within the Railroad Corridor Sub-district. The one-story building was originally constructed in 1945 and consists of approximately 11,074 sq. ft.

The proposed improvements include the removal of the existing brick façade and the introduction of a white stucco façade (Snowfall White color) with a brown venner stone accent wall around the main entrance. Two transparent clerestory windows are proposed to be located on the upper section of the elevation, just below the existing parapet. The existing light fixtures will be removed and new sconces will be installed along the existing columns.

Board Comments:

The Board approved the proposal with the following conditions:

- That a spot photometric plan demonstrating compliance with LDR Section 4.8.6 be submitted prior to certification; and
- That the architectural elevation plan be revised to remove the planters.

Public Comments:

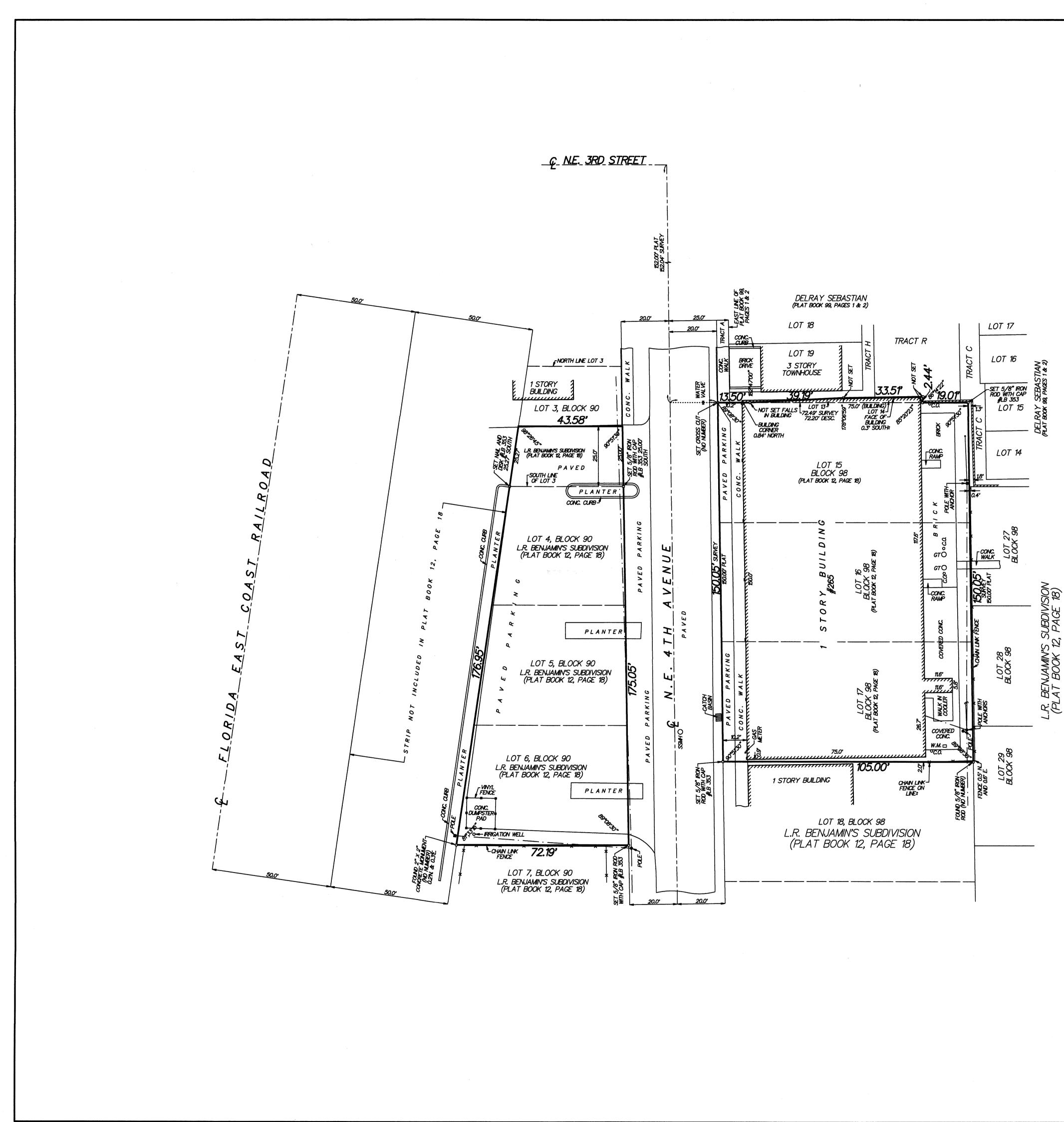
A resident from the adjacent property to the north asked questions regarding the existing parapet/eyebrow and the wall mounted air conditioning unit.

Associated Actions:

No actions

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SURVEYOR'S REPORT/LEGEND:

 $\varphi = CENTERLINE$

CONC. = CONCRETEW.M. = WATER METER

SSMH = SANITARY SEWER MANHOLE

C.O. = SANITARY SEWER CLEAN OUT

------ - ------ = OVERHEAD UTILITY LINES

FLOOD ZONE: X COMMUNITY PANEL NO. 125102 0004 D REVISED 01/05/1989

ALL DIMENSIONS SHOWN BASED ON STANDARD U.S. FOOT

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

THE SOUTH 25 FEET OF LOT 3 AND ALL OF LOTS 4, 5 AND 6, BLOCK 90, L. R. BENJAMIN'S SUBDIVISION, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 12, PAGE 18, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 15, 16, AND 17 AND THAT PORTION OF LOTS 13 AND 14 AS DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 14092, PAGE 1249, BLOCK 98, L. R. BENJAMIN'S SUBDIVISION, DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 12, PAGE 18, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J—17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER	PAUL D. ENGLE SURVEYOR & MAPPER #570
LICENSED SURVEYOR AND MAPPER.	

SCALE:

ORDER NO .:

1" = 20'

17—20db

O'BRIEN, SUITER & O'BRIEN, INC. LAND SURVEYORS CERTIFICATE OF AUTHORIZATION #LB353 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445 (561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MAY 17, 2017	
MAY 17,	2017
FIELD BOOK	PAGE NO.
D.315	.52

