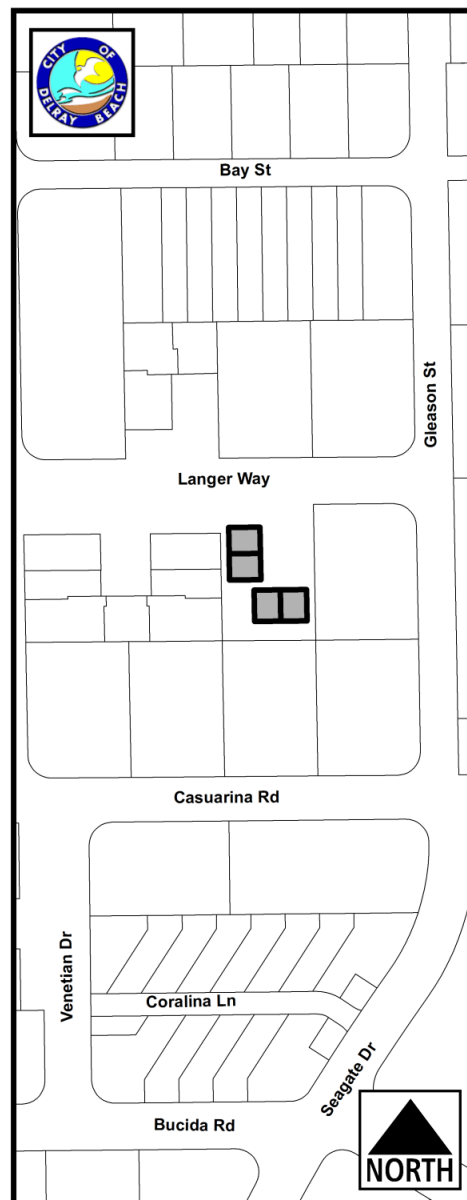


---STAFF REPORT---

ITEM: 1020 Langer Way – Class V Site Plan associated with demolition of existing site and construction of 3-unit fee simple townhome development with a swimming pool and 2-car garage serving each unit.

GENERAL DATA:

Sewer Service..... Existing on site via an 8" water line
in the Langer Way right-of-way.



ITEM BEFORE THE BOARD

The item before the Board is approval of a Class V Site Plan for **1020 Langer Way**, pursuant to Land Development Regulations (LDR) Section 2.4.5(F)(1)(a). The request involves the following elements:

- ☐ Site Plan;
- ☐ Architectural Elevations; and,
- ☐ Landscape Plan.

The property is located on the south side of Langer Way between Venetian Drive and Gleason Street.

BACKGROUND

The subject property is a 14,500 sq. ft. (0.33 acre) parcel containing four individually owned units constructed in 1959 zoned RM (Medium Density Residential), with a Future Land Use Map Designation of MD (Medium Density Residential 6-12 du/ac). The development proposal includes demolition of the existing units and construction of three individually fee simple townhouses.

A Class V site plan application has been submitted for the construction of a three-unit townhouse development and is now before the Board for action.

PROJECT DESCRIPTION

The development proposal consists of the following:

- Demolition of the existing multiple family residential structure.
- Construct three fee simple townhome units on separately platted lots;
- Each individual unit is a three bedroom town home (the under-air square footages for Unit “A” is 3,332 sq. ft., Unit “B” is 3,792 sq. ft. and Unit “C” is 3,332 sq. ft.). All units will accommodate a two-car garage. Each unit will be three stories high with a mean roof height of 32’ 7”. The total building footprint is 5,766 sq.ft. and the total building floor area is 10,456.
- Installation of 7’ high masonry garden walls with 7’ high aluminum entry gates.
- Grade level swimming pools will be constructed in the rear of each unit.
- Installation of associated landscaping, and paver brick driveways.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations (LDR) shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 4.4.6 RM Zone District:

Pursuant to LDR Section 4.4.6 RM Zone District (A) Purpose and Intent: The Medium Density Residential (RM) District provides a residential zoning district with flexible densities having a base of six (6) units per acre and a maximum of twelve (12) units per acre for this property. The actual density of a particular RM development is based upon its ability to

achieve certain performance standards which are intended to mitigate the impacts of the increased density and ensure that the project is compatible with surrounding land uses. Further, the Medium Density Residential District provides for implementation of those objectives and policies contained within the Housing Element of the Comprehensive Plan which call for accommodating a variety of housing types.

LDR Section 4.4.6(I) Performance Standards:

Pursuant to LDR Section 4.4.6(I)(1) The following standards shall apply to all site plans approved subsequent to October 7, 1997, and for modifications to existing developments which involve the creation of additional residential units. In order to increase a project density beyond six units per acre, the approving body must make a finding that the development substantially complies with the performance standards listed in this section. The intent of the standards is to mitigate the impacts of the additional density both internal and external to the site. The extent to which a project meets the standards will determine the number of units per acre that will be permitted. For example, if a project meets or exceeds all of the standards, and is otherwise consistent with applicable standards and policies of the City's Comprehensive Plan and Land Development Regulations, the maximum density is permitted. Projects which only partially achieve these standards will be permitted a correspondingly lower density. The performance standards are as follows:

The density of the overall development is 9.091 units per acre, which requires a finding of substantial compliance with all applicable Performance Standards since it exceeds six units per acre. The following are the specific Performance Standards with an analysis of each:

- (a) **The traffic circulation system is designed to control speed and reduce volumes on the interior and exterior street network. This can be accomplished through the use of traffic calming devices; street networks consisting of loops and short segments; multiple entrances and into the development; and similar measures that are intended to minimize through traffic and keep speeds within the development at or below 20 m.p.h.** This performance standard applies to larger developments that include an interior road network. Thus, this performance standard is not applicable.
- (b) **Buildings are placed throughout the development in a manner that reduces the overall massing, and provides a feeling of open space.** The proposed three story residential development is designed with a 15' side setback on each side which reduces the overall massing and provides a feeling of open space between the subject development and the adjacent properties. There is an additional 5' front setback and 15' interior side setback for the 3rd story which reduces overall massing and provides a level transition from second to third level. A front offset setback of 4' is provided where the middle unit is located helping reduce the building frontage size while providing an individual entrance for each residence. Each unit has a functional outdoor area located in the rear of the property which includes a ground swimming pool, loggia and open space with landscaping. There is no unusable land area; the backyard for each unit will provide a very open yet private feel for each unit. Based on the above, a finding can be made that the proposed in-fill development substantially complies with this performance standard.
- (c) **Where immediately adjacent to residential zoning districts having a lower density, building setbacks and landscape materials along those adjacent**

property lines are increased beyond the required minimums in order to provide a meaningful buffer to those lower density areas. Building setbacks are increased by at least 25% of the required minimum; at least one tree per 30 linear feet (or fraction thereof) is provided; trees exceed the required height at time of planting by 25% or more; and a hedge, wall or fence is provided as a visual buffer between the properties. The proposed development is surrounded by RM (Multiple Family Residential - Medium Density) zoning designated properties; the current land use for these properties varies from 5 to 10 unit condominium developments; thus this performance standard does not apply since the proposed development does not require additional building setbacks or landscaping material as the adjacent properties do not have a lower density.

- (d) **The development offers a varied streetscape and building design. For example, setbacks are staggered and offset, with varying roof heights (for multi-family buildings, the planes of the facades are offset to add interest and distinguish individual units). Building elevations incorporate diversity in window and door shapes and locations; features such as balconies, arches, porches, courtyards; and design elements such as shutters, window mullions, quoins, decorative tiles, etc.** The building design takes into account several steps in plan and elevations. A 4' offset is found on the front façade between corner units and there is a 5' front setback and 15' interior side setback for the 3rd story which reduces overall massing. The front façade (north) composition presents horizontal cable railings, horizontal windows, and overhead metal door garages. The second and third story roof will be standing seam metal finish in gable style, which will emphasize the residential design of the development and accentuate the elevation transition from the second to third level. Aluminum Bahama shutters will be installed above the second and third story windows and openings matching the aluminum roof and aluminum car garages. The rear façade (south) presents an abundance of balconies and floor to ceiling windows that create a visual connection from the living space to the backyard area, where the grade level swimming pools are individually located for each unit. On the south elevation, the first floor masonry wall will receive a decorative finish in Resysta material. Based on the above analysis, a finding can be made that the development is consistent with this performance standard.
- (e) **A number of different unit types, sizes and floor plans are available within the development in order to accommodate households of various ages and sizes. Multi-family housing will at a minimum have a mix of one, two and three bedroom units with varying floor plans. Single family housing (attached and detached) will at a minimum offer a mix of three and four bedroom units with varying floor plans.** The project consists of 3 units. Yet, of the 3 total there are 2 unique unit plans. Each unit's floor plans are uniquely configured based on the amount of floor levels. Two units are two story with 3-bedroom floor plans and 1 three story unit having a 3-bedroom floor plan. This is an in-fill development with two varying floor plans. While a mix of one, two and three bedroom units has not been provided, the provision of a mix of bedrooms is problematic for smaller in-fill development. Therefore, this performance standard is not applicable.
- (f) **The development is designed to preserve and enhance existing natural areas and/or water bodies. Where no such areas exist, new areas which**

provide open space and native habitat are created and incorporated into the project. The site is developed and contains no natural areas on site to be preserved. The proposal involves the redevelopment of property located within an urban in-fill area. Thus, compliance with the standard is not applicable.

However, it is noted that the property contains a variety of Palm trees including, mature Royal Palms, Glaucous Cassia, Washingtonia Palms, Double Christmas Palms, White Bird, Solitarie Palms, and Fishtail Palms. All of the trees are to be removed, with the exception of three Royal Palms and one Fishtail Palm. The proposed landscape and tree removal plan is further addressed under the landscape section of the report.

- (g) **The project provides a convenient and extensive bicycle/pedestrian network, and access to available transit.** *Currently, there are no sidewalks within Langer Way. The existing streetscape is defined with back out parking along most of the development lot frontages on Langer Way. In accordance with the City's sidewalk policy an in-lieu fee payment is required for the construction of a sidewalk which can be accommodated elsewhere within the City. Based on the above, this standard has not been met.*

Summary

In conclusion, a finding of substantial compliance can be made with regard to performance standards (b), and (d). Performance standard (a), (c), (e) and (f) are not applicable to the proposed development. Therefore based on the above, positive findings can be made with respect to two of the three applicable performance standards and the performance standard requirements of the RM zoning district have been adequately addressed to support the proposed overall density of 9.09 units per acre.

LDR Section 4.4.6 (H) (Special Regulations - RM zone district):

Pursuant to LDR Section 4.4.6(H)(3) recreational areas shall be required for all new rental apartment developments, and of owner occupied developments which have homeowner associations that must care for retention areas, private streets, or common areas. New developments must include recreational features that are designed to accommodate activities for children and youth of all age ranges. Tot lots are appropriate for toddlers; features such as a basketball court, volleyball court, and open playfields are appropriate for older children. A pool and clubhouse, unless specifically designed for children, is not considered to meet this requirement. Projects having fewer than twenty-five (25) units may be exempted from this standard where it is determined by the approving body that it is not practical or feasible to comply.

This development will consist of three fee-simple townhouse owner-occupied units. The development will not have a homeowners association as there are no retention, private streets or common areas. As there are only 3 units it is not practical to require a common tot lot or recreation area/swimming pool. It is noted that the proposal includes the construction of individual swimming pools for each unit. Based upon the above, compliance with this code requirement has been achieved.

LDR Section 4.3.3(O) (Townhouse Design Standards):

As described below, the development proposal complies with the design standards for townhouse developments outlined in LDR Sections 4.3.3(O)(4)(a) through (d):

- a) No more than two townhouses may be constructed without providing a front setback of no less than 4' offset front to rear.**

The purpose of this requirement is to prevent a long linear appearance. The front setback for the proposed development is along Langer Way. A 4' off-set is provided for the interior unit (Unit "B") thus this requirement is met.

- b) No townhouse row shall consist of more than 8 units or a length of 200'.**

The townhouse row consists of 3 units and is 100' in length, thus meeting this code requirement.

- c) Service features, garages, parking areas, and entrances to dwelling units shall, whenever possible, be located on a side of the individual lot having access to the interior street. Walkways should be designed to connect dwelling units with each other and connect each dwelling unit with common open space.**

This standard applies to large townhouse developments, and does not apply in this in-fill situation.

- d) Not less than 25% of the total area, less water bodies, shall be usable open space, either for recreational or some other suitable purpose, public or private.**

The basis for this standard is to assure that larger residential developments provide adequate recreational amenities. With smaller developments, provision of these amenities is not considered financially feasible, and the required contribution of \$500.00 per unit (park impact fee) is considered adequate. It is noted, however, that 30.8% of the site will be landscape/open space area.

Platting:

LDR Section 4.3.3(O)(2) and 5.1.3(A) (Plat required) states that each townhouse, or townhouse type development shall be platted. The plat must be recorded prior to issuance of any building permits, and this is attached as a technical item in Appendix "A".

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K), as it pertains to the RM (Multiple Family Residential – Medium Density) zoning district:

<u>Zoning</u> RM (Medium Density – Multiple Family Residential)	<u>Required</u> (1&2/3*)	<u>Proposed</u> (1&2/3*)
<i>Building Setbacks (min.):</i> - Front (north)	25'/30'*	25'-2"/37'-1"
Side Interior(east)	15'/30'*	15'-0½"/30'-0½"
Side Interior (west)	15'/30'*	15'-0½"/30'-0½"
Rear (south)	25'	28'4"

<i>Maximum Lot Coverage:</i>	40%	39.8%
<i>Open Space:</i>	25%	30.8%
<i>Building Height (max.):</i>	35'	32'-7"
<i>Minimum Floor Area:</i>		
<i>3BR (Unit A)</i>	1,250 sq. ft.	3,332 sq. ft.
<i>3BR (Unit B)</i>	1,250 sq. ft.	3,792 sq. ft.
<i>3BR (Unit C)</i>	1,250 sq. ft.	3,332 sq. ft.
<i>Minimum/Maximum Density:**</i>	6-12 units/acre	3 units (9.09 units/acre)
<i>Min. Lot Size (sq.ft.)</i>	8,000 sq. ft.	14,500 sq. ft.
<i>Min. Lot Frontage (ft.)</i>	60 ft.	100 ft.
<i>Min. Lot Width (ft.)</i>	60 ft.	100 ft.
<i>Min. Lot Depth (ft.)</i>	100 ft.	145 ft.

* 1&2/3 = 1st and 2nd Story/ 3rd Story. There is an additional 5' front setback and 15' interior side setback for the 3rd story.

** Performance standards are applied to density requests over the min. six (6) units per acre.

LDR Chapter 4.6 Supplementary District Regulations:

Vehicle Parking:

Pursuant to LDR Section 4.6.9(C)(2)(c), two or more bedroom dwelling units shall provide two spaces per unit and one-half a space of guest parking. There are a total of three residential units and twelve parking spaces are provided. The parking requirement for the site is eight (8 = 7.5 spaces rounded up to 8 spaces) spaces. The development proposes two standard guest spaces in front of the two-car garage for each unit. Thus, there is a parking surplus of four spaces for the overall site. Therefore, the parking requirement is met.

Pool Setbacks:

LDR Sections 4.6.15(G)(1), a minimum ten foot (10') setback is required for swimming pools located in the rear, interior or side street setback areas. Swimming pools shall not extend into the front setback area noted in Section 4.3.4(K).

The swimming pools are all located in the rear (west side) and the required setback of 10 feet is met.

Sight Visibility Triangles:

Pursuant to LDR Section 4.6.14(B)(1), when an access way intersects a public right-of-way, triangular areas shall provide unobstructed cross-visibility. The area on both sides of a driveway formed by the intersection of a driveway and a street with a length of ten (10) feet along the driveway, a length of 10' along the street right-of-way and the third side being a line connecting the ends of the other two lines. Visibility triangles for the three access driveways along the street rights-of-way have been depicted and comply with this LDR requirement.

Other Issues

Right-of-Way:

Pursuant to LDR Section 5.3.1(D)(2), the required right-of-way width for a local street without curb and gutter is 60 feet. The right-of-way width for Langer Way is 50 feet. At its meeting of December 1, 2016, the Development Management Service Group (DSMG) approved a reduction of the required right-of-way from 60 feet to the existing 50 feet. Therefore no additional dedication of right-of-way is required.

Sidewalk:

Pursuant to LDR Section 6.1.3(B)(1), a 5'-wide sidewalk is required along Langer Way. At its meeting of December 1, 2016, the Development Services Management Group (DSMG) approved the payment of the in-lieu fee option for the installation of the sidewalk.

Access Easements:

In order to provide rear access for the middle unit, "Unit B", for swimming pool and landscaping maintenance, and larger equipment delivery, an easement is required to be provided along the south side of the development. A common access easement has been provided along the south and west side of the property.

Undergrounding of Utilities:

Pursuant to LDR Section 6.1.8, utility facilities serving the development shall be located underground throughout the development. All utilities lines that will serve the subject development shall be placed underground. A note to this effect shall be placed on the site plan and this is noted as a condition of approval.

Site Plan and Engineering Technical Items: While the revised site plan has accommodated most of the staff's concerns, the following items remain outstanding, and will need to be addressed prior to site plan certification:

1. That the technical items noted in Appendix "A" are addressed.

LANDSCAPE PLAN ANALYSIS

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3 (C). A landscape plan has been submitted, evaluated and recommended for approval by the City Senior Landscape Planner. The following analysis highlights the compliance determination for various landscaping aspects of the proposal:

Species Summary and Location:

A variety of trees, plants and groundcover materials are employed to enhance the development. The varieties of species to be utilized include: Royal Palm, Senegal Date Palm, Little Gem Magnolia, Areca Palm, Solitaire Palm and Christmas Palm.

The landscape plan provides for perimeter and interior landscape areas in addition to foundation planting areas. Within the landscape strips between the driveways Royal Palms and a Solitaire Palm along with Podocarpus hedge are proposed along the front of the units and within the Langer Way right-of-way. Areca Palms are proposed along the rear setback for privacy.

Tree Disposition:

Of the existing trees, 9 are proposed to be removed as follows: 1 Royal Palm, 1 Glaucous Cassia, 2 Washingtonia Palms, 1 Double Christmas Palm, 1 White Bird, and Solitaire Palms; 3 are proposed to remain as follows: 2 Fishtail Palms, and 1 Christmas Palm; 4 are proposed to be relocated on-site: 3 Royal Palms and 1 Fishtail Palm. 1 Senegal Date Palm is proposed to remain on the adjacent property (the branches of this tree overhang onto the subject property). LDR Section 4.6.19(D) requires that a written report from a certified arborist documenting all findings including the type of tree, specifications, condition and an explanation outlining the reasons for removal be provided. An arborist's report was provided documenting the condition of a Gaucous Cassia to be removed. The report summarizes that the health condition of the cited tree is 30% (very poor) and recommends removal of these trees. The remaining trees proposed to be removed have been evaluated by the Senior Landscape Planner and the proposed action and mitigation plan are recommended and comply with LDR Section 4.6.16.

ARCHITECTURAL ELEVATIONS ANALYSIS

Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

- 1) The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal involves the construction of two (2) two-story townhome units and one (1) three-story townhome unit consisting of 3 bedrooms per unit. The building is a Modern Architectural style with cantilevered balconies, horizontal cable railings, horizontal windows, and overhead metal door garages. The second and third story roof will be a standing seam metal finish in gable style, which will emphasize the residential design of the development and accentuate the elevation transition from the second to third level.

The front façade (north) facing Lang Way consists of five overhead metal door garages with Resysta material (stained cape cod finish material) applied (gray color); Two one-car garage openings for each corner unit (unit A & C), and one two-car garage opening for the middle unit (Unit B). Aluminum Bahama shutters will be installed above the second and third story windows with openings matching the aluminum roof and aluminum car garages. White masonry garden walls 7' high with aluminum gates are incorporated into the north elevation design as a private entry feature for each unit. Windows will be impact resistant with aluminum frames. Each corner

unit will have an open air roof top terrace and a smaller covered terrace that are accessible via stair and elevator which face Langer Way.

The rear façade (south) presents an abundance of balconies and floor to ceiling windows that create a visual connection from the living space to the backyard area, where the grade level swimming pools are individually located for each unit. The façade walls will incorporate a smooth stucco finish and will be “Pure White” color. On the south elevation, the first floor masonry wall will receive a decorative finish in Resysta material.

The proposed architectural elevations present design elements that will contribute to the image of the City including the subject residential area by introducing a development that will maintain the architectural harmony, compatibility and quality of the neighborhood. It will not cause the nature of the local environment or evolving environment to materially depreciate in appearance and value. Based on the above, positive findings with respect to LDR Section 4.6.18(E) can be made.

REQUIRED FINDINGS

Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a zoning designation of RM (Multiple Family Residential - Medium Density) and a MD (Medium Density 5-12 units/acre) Future Land Use Map designation. The zoning is consistent with the FLUM designation. Therefore, a positive finding can be made with respect to consistency with the Future Land Use Map (FLUM).

LDR Section 3.1.1(B) - Concurrency:

As described in Appendix “B”, a positive finding of Concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, open space, solid waste, and schools.

LDR Section 3.1.1(C) - Consistency:

As described in Appendix “C”, a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

Required Findings:

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject property:

	<i>Adjacent Zoning</i>	<i>Adjacent Land Use</i>
<i>North</i>	RM (Multiple Family Residential - Medium Density)	5-unit Condominium Development
<i>South</i>	RM (Multiple Family Residential - Medium Density)	10-unit Condominium Development
<i>East</i>	RM (Multiple Family Residential - Medium Density)	10-unit Condominium Development
<i>West</i>	RM (Multiple Family Residential - Medium Density)	7-unit Condominium Development

The proposed 1020 Langer Way 3-unit fee simple townhome development will replace an existing nonconforming use within the RM (Multiple Family Residential – Medium Density) Zoning District. The current zoning allows multiple family residences up to twelve (12) units per acre. The existing site currently contains 4 units on a 0.33 acre site which exceeds the 12 units allowed per acre. This proposal will eliminate the existing density nonconformity. To the west is an existing 7-unit condominium development. To the south is an existing 10-unit condominium development. To the north is an existing 5-unit condominium development. To the east is an existing 10-unit condominium development. The proposed 3-unit multi-story townhome development will enhance the existing fabric of the adjacent developments and significantly improve the aesthetic and property value of the existing site. Thus, the proposed change will not pose any adverse effect on the surrounding properties. Based upon the above, a positive finding can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

Comprehensive Plan Policies:

A review of the adopted Comprehensive Plan was conducted and the following applicable objectives and policies are noted:

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed multi-story 3-unit townhome development is appropriate and consistent with the surrounding area. There are existing multi-family residential developments on the adjacent properties to the north, south, west and east. Thus, the proposed 1020 Langer Way development can be deemed a compatible and appropriate use for this site.

Housing Element Policy A-11.3: In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

The proposed condominium development will have a stabilizing effect by providing a quality residential development in an urban environment. Nuisances such as noise, odors, and dust will not be a factor to the adjacent residential uses. The traffic volumes will be minimal reduction and can be accommodated by the surrounding road network. Thus, the proposal will not result in a degradation of, but will enhance adjacent neighborhoods.

Housing Element Policy B-2.2 - The development of new adult oriented communities within the City is discouraged. New housing developments shall be designed to accommodate households having a range of ages, especially families with children, and shall be required to provide 3 and 4 bedroom units and activity areas for children ranging from toddlers to teens. This requirement may be waived or modified for residential development located in the downtown area, and for infill projects having fewer than 25 units.

The project will contain three 3-bedroom units. Thus, the proposed development complies with this policy. However, it is noted that this requirement may be waived or modified for residential developments with fewer than twenty-five (25) units.

REVIEW BY OTHERS

At its meeting of September 15, 2016, the **Green Implementation Advisory Board (GIAB)** reviewed the development proposal and recommended approval.

The development proposal is not located in an area which requires review by the Community Redevelopment Agency (CRA), the Downtown Development Authority (DDA), Pineapple Grove Main Street (PGMS) or West Atlantic Redevelopment Coalition (WARC).

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations, adjacent property owners and/or civic groups:

- Lanikai Villas Condominium
- Beach Property Owners HOA
- Marina Historic District
- Barton Apartments

Public Notices: Formal public notice is not required for site plan modifications. Letters of objection and/or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

ASSESSMENT AND CONCLUSION

The subject property is a 14,471 sq. ft. (0.33 acre) parcel containing an existing 4-unit condominium constructed in 1959 zoned RM (Medium Density Residential). The existing site currently contains 4 units on a 0.33 acre site which exceeds the 12 units allowed per acre. This proposal will eliminate the existing density nonconformity. The 1020 Langer Way development proposes demolition of the existing structure and construction of a 3-unit fee simple townhome development with individual swimming pools and 2-car garages per each unit. The Modern Architectural style of the multi-family building will be aesthetically pleasing, a visual asset and consisting with the residential neighborhood. The development substantially meets the performance standards in LDR Section 4.4.6 to allow for the increased density above 6 units/acre. Likewise, the proposed multi-story 3-unit townhome development is compatible with existing multi-family developments on adjacent properties to the north, south, west and east. Based upon this

report including all findings, the proposed development can be found in compliance with applicable requirements in the Land Development Regulations as analyzed in this report.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Class V Site Plan, Landscape Plan and Architectural Elevations for **1020 Langer Way (2016-259)**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F), 4.6.16, 4.6.18 and 3.1.1 (Required Findings) of the Land Development Regulations, subject to conditions.
- C. Move denial of the Class V Site Plan, Landscape Plan and Architectural Elevations for **1020 Langer Way (2016-259)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F), 4.6.16, 4.6.18 and 3.1.1 (Required Findings) of the Land Development Regulations.

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move **approval** of the Class V Site Plan for **1020 Langer Way**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with and meets criteria set forth in LDR Sections 2.4.5(F)(5) and 3.1.1 (Required Findings), subject to the following conditions:

1. That the technical items noted in Appendix “A” are addressed prior to certification of the site plan.
2. Pursuant to LDR Section 4.3.3(O)(2) and 5.1.3(A), a plat and/or replat is required. Provide the separate application(s) and processing fee(s) required per LDR Section 2.4.3(K)(1)(I).
3. A Homeowner’s Association Agreement (HOA) shall be recorded with Palm Beach County prior to building permit issuance. This will establish the units for individual townhome sale and indicate that the units are fee simple.
4. That a park impact fee of \$500.00 per unit (\$1,500 total) be paid prior to the issuance of a building permit.
5. That the sidewalk in-lieu fee as required by LDR Section 6.1.3(D)(2) is paid prior to the issuance of a building permit.
6. That the site plan is revised to add a note that the new service utilities will be placed underground prior to certification of the site plan.

Landscape Plan:

Move **approval** of the Landscape Plan for **1020 Langer Way**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16 of the Land Development Regulations, subject to the following conditions:

Architectural Elevations:

Move **approval** of the Architectural Elevations for **1020 Langer Way**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Attachments:

Appendix A

Appendix B

Site Plan, Floor Plans, Building Elevations, Landscape Plan, Engineering Plans and
Location Map

Arborist Report

Staff Report Prepared By: Debora Slaski, Assistant Planner

Project Proposal Reviewed By: Candi Jefferson & Debora Slaski

Attachments: Appendix A, Appendix B, Appendix C, Project Plans, Traffic Statement

<p style="text-align: center;">APPENDIX "A" PRELIMINARY ENGINEERING TECHNICAL COMMENTS</p>

Plat Comments:

1. Pursuant to LDR Section 4.3.3(O)(2), a plat and/or replat is required. Provide a separate application(s) and processing fee(s) required per LDR Section 2.4.3(K)(1)(l).
1. Additional comments may follow after review of plat.

Preliminary Engineering Technical Comments:

1. Provide signed and sealed drainage report indicating the proposed system's ability to meet storm water requirements in accordance with the South Florida Water Management District regulations per LDR Section 2.4.3 (D) (7). In addition, the surface water management system needs to be designed in accordance with LDR Section 6.1.9 for a minimum of a 10 yr./24 hr. storm event.
2. The Site Plan and Engineering Plans show numerous easements and appears to split the property into 3 sub-parcels. A plat to create these parcels, easements, and to identify who the easements and parcels are in favor of.
3. The plan sheet needs to show the location of the nearest driveway or point of access of adjacent properties (including property across a street, which shares a common street with the subject property). If there are no driveways within 50', then they do not need to be shown; however, a note to this situation shall be provided.
4. The water meter for the site appears on the survey to be located in the NW corner of the site and not on the NE corner as shown on the Civil Plans.
5. The note on the Paving and Drainage Plan states that "contractor to verify size, material & location" of the water service. The size of the existing water meter must be verified prior to site plan approval as a 5/8" or 1" meter will not be sufficient for three three-story structures.
6. New residential projects that have fewer than twenty five units, nonresidential projects that are smaller than 10,000 square feet, or projects that are not located adjacent to a transit stop shall contribute fifty percent (50%) of the cost of the purchase and installation of a complete bus shelter.
7. There is a perimeter berm shown on the plans at elevation 5.60. There is an inlet in the NW corner of the site at elevation 5.00. This would appear to allow the water to flow off the site at el. 5.00 and not retain stormwater at the perimeter berm elevation. Suggest a control structure to keep required water on-site.
8. A detail is provided for trench drain but it does not appear on the plan. Is it intended to be placed somewhere?
9. As there is currently no sidewalk on Langer way, it would be inappropriate to construct a sidewalk concurrent with development. The applicant must fund the cost of constructing the sidewalk In-Lieu of constructing the sidewalk along the project frontage. These funds will be escrowed and used for the installation of the sidewalk by the City at a later date.
10. Provide a response letter with a detailed description of how each of these comments has been addressed and reference plan sheet number for accurate review.
11. Additional Final Engineering comments may be generated during the Building Permit Department review process.

- 12. For Final Engineering Review, ensure one set of revised Engineering Plans and any required documentation is provided for the Engineering Division with submittal to the Building Permit Department. Therefore, submit three (3) set of plans to the Building Permit Department. Please indicate which documents are for the Engineering Division.**
13. Additional comments may follow after review of revised plans.

APPENDIX “B” CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Water service is existing on site via an 8” water line in the Langer Way right-of-way.
- Sewer service is existing on site via an 8” sewer line in the Langer Way right-of-way.

Water and sewer services currently exist on site. Pursuant to the City’s Comprehensive Plan, treatment capacity is available at the City’s Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out.

Streets and Traffic:

A traffic statement has been provided which indicates that the proposed 3-unit townhome development will meet traffic concurrency requirements. A positive finding of concurrency from the Palm Beach County Traffic Division was submitted on November 29, 2016 which has determined the proposed development meets the Traffic Performance Standards of Palm Beach County.

Parks and Recreation Facilities:

Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per each new dwelling unit will be collected prior to issuance of a building permit for the proposed 3 new townhome units. A total fee of three thousand dollars (\$1,500.00) will be required of this development for parks and recreation purposes, prior to building permit issuance.

Solid Waste:

The existing 4-unit condominium residential use generates 2.08 tons of solid waste per year. The proposed 3-unit townhome residential use will generate 1.56 tons of solid waste per year. Thus, the development proposal will result in a 0.52 ton decrease in solid waste generated annually. Further, the Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

Schools:

The Palm Beach County School District has approved the development proposal for compliance with the adopted Level of Service for School Concurrency. Written verification from the Palm Beach County School District was received on November 29, 2016.

Drainage:

Preliminary engineering and drainage plans have been submitted with the proposed development. Drainage will be accommodated via an exfiltration trench system. Therefore, there appears to be no problems anticipated in accommodating on-site drainage. Based upon the above, positive findings with respect to this level of service standard can be made.

**APPENDIX “C”
STANDARDS FOR SITE PLAN ACTIONS**

- A. *Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.***

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- B. *Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.***

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- C. *Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.***

Not applicable X
Meets intent of standard _____
Does not meet intent _____

- D. *The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.***

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- E. *Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.***

Not applicable X
Meets intent of standard _____
Does not meet intent _____

- F. *Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.***

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable X
Meets intent of standard _____
Does not meet intent _____