



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 111 First Delray

Project Location: East side of SE 1st Avenue, between SE 1st Street and SE 2nd Street

Request: Class III Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: October 11, 2017

Board Action:

Approved the Class III Site Plan Modification and Architectural Elevations on a 4 to 0 vote (Fred Kaub and Jim Knight stepped down).

Project Description:

The subject property consists of Lots 2-6, Block 78, Town of Linton Plat and is approximately 1.12 acres. The property is located on the east side of SE 1st Avenue, approximately 76.5' south of SE 1st Street. The parcel has a Future Land Use Map (FLUM) designation of Central Core (CC) and is zoned Central Business District (CBD). The site is currently vacant. At its meeting of May 28, 2014, the SPRAB approved the Class V Site Plan, Architectural Elevations and Landscape Plan for Sofa District Lofts consisting of a proposed five-story mixed-use development which included 76 residential units with commercial tenant bays and parking on the ground level. This approval has been extended until May, 28, 2018 under the governor's extension orders.

The subject Class III Site Plan Modification is associated with site plan and architectural elevation revisions to the previously approved five-story mixed use development due to a consolidation of dwelling units and the resulting reduction in the number of dwelling units from 76 to 70. In addition, the proposal includes a decrease in the number of parking spaces from 160 to 153, and minor architectural elevation changes due to the interior layout modifications.

Board Comments:

The Board approved the proposal without any conditions.

Public Comments:

No public comments.

Associated Actions:

No actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.

SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: August 23, 2017

ITEM: **111 First Delray, known as Sofa District Loft, (2017-205):** Class III Site Plan and architectural elevation revisions to the previously approved mixed use development due to a consolidation of dwelling units and the resulting reduction in the number of dwelling units from 76 to 70.

RECOMMENDATION: Approval of the Class III Site Plan Modification and architectural elevations for **111 First Delray**.

GENERAL DATA:

Agent..... Conrad & Scherer, LLP

Location..... East side of SE 1st Avenue, between SE 1st Street and SE 2nd Street

Property Size..... 1.124 Acres

Future Land Use Map. Central Core

Current Zoning..... Central Business District (CBD)

Adjacent Zoning....North: CBD
East: CBD
South: CBD
West: Old School Square Historic Arts District

Existing Land Use..... Vacant

Proposed Land Use... Mixed-use Development

Water Service..... Via Lateral Connection to an Existing 8" Water Main Located within the SE 1st Ave. Right-of-Way

Sewer Service..... Via Lateral Connection to an Existing 8" Sanitary Sewer Main Located within the Adjacent Alley to the East



ITEM BEFORE THE BOARD

The item before the Board is the approval of a Class III Site Plan Modification for 111 First Delray, known as Sofa District Loft, located on the east side of SE 1st Avenue, between SW 1st Street and SE 2nd Street, pursuant to LDR Section 2.4.5(G)(1)(c). The request includes the following:

- Site Plan; and
- Architectural Elevations.

BACKGROUND & PROJECT DESCRIPTION

The subject property consists of Lots 2-6, Block 78, Town of Linton Plat and is approximately 1.12 acres. The property is located on the east side of SE 1st Avenue, approximately 76.5' south of SE 1st Street. The parcel has a Future Land Use Map (FLUM) designation of Central Core (CC) and is zoned Central Business District (CBD). The site is currently vacant.

At its meeting of January 27, 2014, the Planning and Zoning Board recommended approval of a conditional use to allow 67.6 units per acre for the Sofa District Lofts site, whereas a maximum of 30.0 units per acre is now permitted by right within the CBD rezoning on February 24, 2015. On February 24, 2014, the City Commission approved the conditional use request for increased density.

At its meeting of May 28, 2014, the SPRAB approved the Class V Site Plan, Architectural Elevations and Landscape Plan for Sofa District Lofts consisting of a proposed five-story mixed-use development which included 76 residential units with commercial tenant bays and parking on the ground level. This approval has been extended until May, 20, 2021 under the governor's extension orders.

Now before the Board for consideration is a Class III Site Plan Modification for 111 First Delray, known as Sofa District Loft, requesting site plan and architectural elevation revisions to the previously approved five-story mixed use development due to a consolidation of dwelling units and the resulting reduction in the number of dwelling units from 76 to 70.

PROJECT DESCRIPTION

The proposal consists of the following changes to the previously approved site plan:

- Decrease in the number of residential units from 76 to 70.
- Decrease in the number of parking spaces from 160 to 153
- Minor architectural elevation changes due to the decrease in the number of units.

SITE PLAN ANALYSIS

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Minimum Residential Floor Area:

The following table indicates that the proposal complies with LDR Section 4.3.4(K) - Minimum residential floor area. There are two 781 square foot efficiency dwelling units; 20 one-bedroom dwelling units that range in size from 705 to 854 square feet; 42 two-bedroom dwelling units that range in size from 1,011 square feet to 1,336 square feet; and six 1,614 square feet three-bedroom units.

Dwelling Size	Standard (Sq. Ft.)	Provided (Sq. Ft.)	Total Units	Compliance with LDR Requirements?	
				Yes	No
Efficiency	400	781	8	✓	
1 Bedroom Units	600	705-854	14	✓	
2 Bedroom Units	900	1,011 - 1,336	54	✓	
3 Bedroom Units	1,250	1,336	0	✓	

Off-Site Parking Agreement:

The subject development proposal has entered into an *Easement, Use, Maintenance and Parking Sharing Agreement* (Palm Beach County Official Records Book 27376 Page 1872) with the approved mixed-use commercial development, known as Delray Sofa Offices, to be located at the northeast corner of SE 1st street and SE 1st Avenue, approximately 150' north of the subject site. As stated in the agreement, the subject 111 First Delray site is required to provide 35 parking spaces within its parking garage to the Sofa District Offices site.

Off-Street Parking:

The mixed-use development presents 3,440 sq.ft. of retail/commercial area along the ground floor level. Per LDR Table 4.4.13(L), retail/commercial uses in the CBD are required to provide one parking space per 500 sq.ft of gross floor area. Therefore, seven spaces are required ($3,440 / 500 = 6.88$ rounded up to 7) for the proposed commercial area.

The following table illustrates the requirement for the minimum number of parking spaces for residential uses in the CBD, pursuant to LDR Table 4.4.13(L):

Type of Unit	Total No. of Units	Spaces per Unit	Parking Spaces Required
Efficiency (1 room)	2	1.0	2
1 bedroom	20	1.25	25
2+ bedrooms	48	1.75	84
Guest parking			
For the first 20 units	20	0.5	10
For units 21-50	30	0.3	9
For units 51 and above	20	0.2	4
		Totals	134

As demonstrated above, a total of 141 parking spaces are required (134 spaces for residential use + 7 spaces for commercial use) for the proposal.

Shared Parking:

LDR Section 4.6.9(C)(8)(a) allows for sites to be presented as a unified development. Shared parking between the two unified sites (111 First Delray and Sofa District Offices) is further encouraged with LDR Section 4.6.9(E)(5)(a)(1) allowing for parking associated with a

development to be provided off-site so long as it is within a pedestrian path of no greater than three hundred feet (300'). Since the 111 First Delray site is only 150' south of the proposed Sofa District Offices site, the shared parking approach can be applied.

111 First Delray		Sofa District Office	
Use	Spaces Required	Use	Spaces Required
Retail	6.88 spaces	Retail	5
Residential	134	Office	44.13
Total	140.66	Total	49.13
<i>153 parking spaces provided on site</i>		<i>16 parking spaces provided on site</i>	

Under the shared parking provisions as shown on the table below, the parking requirement for 111 First Delray along with the 35 parking spaces to be provided for the use of Sofa District Offices, has been met.

Pursuant to CBD: LDR 4.4.13(G)(1)(f)	Parking Req.	Weekday Night	Weekday Day	Weekday Evening	Weekend Day	Weekend Evening
Residential	64	64	38.4	57.6	51.2	57.6
Office	44.13	2.2065	44.13	4.413	4.413	2.2065
Commercial/Retail	11.88	0.594	8.316	10.692	11.88	8.316
Other/Guests/Reserved	70	70	70.00	70.00	70.00	70.00
total required	190	137	161	143	137	138

According to the shared parking calculation shown above, the combined minimum number of required parking spaces for both sites is 161 spaces, and a total of 169 off-street parking spaces are proposed between both sites (153 spaces at 111 First Delray and 16 spaces at Ocean City Offices). The proposed development will provide a surplus of 8 parking spaces. Thus, the minimum total number of required parking spaces is met.

Compact Parking:

Pursuant to LDR Section 4.6.9(C)(1)(g), up to 30% of the required parking for any use may be designated for compact cars. The development proposal includes 50 compact parking spaces located within the proposed ground floor parking garage. This represents 29.58% of the total 169 spaces provided; thus, the proposal complies with this regulation.

ARCHITECTURAL ELEVATIONS ANALYSIS

Pursuant to **LDR Section 4.6.18(E) - Criteria for Board Action:** The following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.

3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed architectural elevation changes consist of minor modifications to the approved architectural elevations due to the decrease in the number of units. Minor adjustments to some of the window/door openings were required due to the proposed floor plan changes. The approved architectural style, architectural elements and façade colors were not impacted by these adjustments. The proposed architectural elevation changes will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E) and Section 2.4.5(l)(5).

REQUIRED FINDINGS

Pursuant to LDR Section 2.4.5(G)(1)(c) Class III Site Plan Modification, a modification to a site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requires partial review of Performance Standards found in LDR Sections 3.1.1, and 3.2.3, as well as required findings of LDR Section 2.4.5(G) (5).

LDR Section 2.4.5(G)(5):

Pursuant to LDR Section 2.4.5(G)(5), a finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class III modification.

The proposed changes involve a decrease in the number of residential units from 76 to 70 units, decrease in the number of parking spaces provided on-site from 158 to 153, and minor architectural elevation revisions to the originally approved plan. The decrease in the number of units is due to a consolidation of dwelling units and the resulting reduction in the number of dwelling units from 76 to 70. The approved and proposed total residential units per the number of bedrooms are indicated in the chart below:

	Approved	Proposed
Dwelling Type		
Efficiency	8	2
1 Bedroom Units	14	20
2 Bedroom Units	54	42
3 Bedroom Units	0	6
Total	76	70

With the introduction of six three-bedroom units, the mixed-use multi-family development will provide a mix of one, two and three bedroom units with varying floor plans. The proposed modifications will improve the opportunity to accommodate households of various ages and sizes within the downtown area and its vicinity. Pursuant to LDR Section 2.4.5(G)(5), this modification does not significantly impact the existing site, as the proposed modifications meet current regulations and do not present significant changes to the previously approved plan.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials

submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map (FLUM) designation of Commercial Core (CC) and a zoning designation of CBD, which are consistent with one another. Pursuant to LDR

Section 4.4.13(B)(2), commercial and residential uses are permitted as principal uses in the CBD. Thus positive findings can be made with respect to FLUM consistency.

LDR Section 3.1.1(B) - Concurrency:

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, open space, solid waste, and schools.

LDR Section 3.1.1(C) - Consistency (Standards for Site Plan Actions):

As described in Appendix "B", a positive finding of consistency can be made as it relates to Standards for Site Plan Actions.

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

As described under the "Site Plan Analysis" section of this report, a positive finding of compliance with the LDR can be made with the approval of the supported waivers and addressing outstanding items attached as conditions of approval.

Comprehensive Plan Policies: A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following objective is noted:

Future Land Use Element Objective A-1:

Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed revisions.

REVIEW BY OTHERS

Copies of the proposal have been provided to the following boards:

- Community Redevelopment Agency (CRA)
- Downtown Development Agency (DDA)

Courtesy notices have been provided to the following homeowner's and civic associations that have requested notice of developments in their areas:

- Osceola Park
- Delray Citizen's Coalition
- Chamber of Commerce

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the request for a Class III Site Plan Modification (2017-205) for **111 First Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(5), Chapter 3, Section 4.6.18(B)(14), Section 4.6.16(A), and Section 2.4.5(I)(5).
- C. Move denial of the request for a Class III Site Plan Modification (2017-205) for **111 First Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(G)(5), Chapter 3, Section 4.6.18(B)(14), Section 4.6.16(A), and and Section 2.4.5(I)(5).

STAFF RECOMMENDATION

By Separate Motions:

Site Plan:

Move approval of the Class III Site Plan Modification (2017-205) for **111 First Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5) of the Land Development Regulations, subject to the condition that a letter is provided from the Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County.

Architectural Elevations:

Move approval of the Architectural Elevations (2017-205) for **111 First Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request meets criteria set forth in Section 4.6.18(B)(14) and Section 2.4.5(I)(5) of the Land Development Regulations.

Staff Report Prepared by: Debora Slaski, Assistant Planner
Attachments: Survey, Site Plan, Architectural Elevations

APPENDIX A

CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water service is proposed via a service lateral connection to the existing eight inch (8") water main located within the SE 1st Avenue right-of-way. Sewer service is proposed via a service lateral connection to the existing eight inch (8") sanitary sewer main located within the adjacent alley to the east. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic: The subject property is located within the City's Transportation Concurrency Exception Area (TCEA), which encompasses the CBD, CBD-RC, OSSHAD, and West Atlantic Avenue Business Corridor. The TCEA exempts the above-described areas from complying with the Palm Beach County Traffic Performance Standards Ordinance. Therefore, a traffic study is not required for concurrency purposes. However, a traffic statement is necessary to keep a record of trips approved in the TCEA and for calculation of traffic impact fees. An updated traffic statement has been provided which indicates that the proposed mixed-use development will generate 755 (decrease from 821) net new vehicle trips per day. Specifically, it will generate 41 (decrease from 43) AM net new peak hour trips and 69 (decrease from 74) PM net new peak hour trips. A letter from the Palm Beach County Traffic Division confirming concurrency shall be provided.

Parks and Open Space: A park impact fee is collected to offset any impacts that the project may have on the City's recreational facilities. Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per dwelling unit will be collected prior to issuance of a building permit for each unit. A total fee of \$35,000.00 will be required of this development for parks and recreation purposes, prior to building permit issuance.

Solid Waste:

Previously approved site plan:

Retail/ Commercial Spaces: $3,440 \text{ sq. ft.} \times 7.3 \text{ lbs.} = 35,088 \text{ lbs.} / 2,000 = 17.54 \text{ tons per year}$

Residential Units: $76 \text{ units} \times 0.52 = 39.52 \text{ tons per year}$

Total: 57.06 tons per year

Proposed modifications:

Retail/ Commercial Spaces: $3,440 \text{ sq. ft.} \times 7.3 \text{ lbs.} = 35,088 \text{ lbs.} / 2,000 = 17.54 \text{ tons per year}$

Residential Units: $70 \text{ units} \times 0.52 = 36.4 \text{ tons per year}$

Total: 53.94 tons per year

The proposed decrease in the number of units will now generate a decrease of 3.12 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2046.

Drainage: Preliminary engineering and drainage plans have been approved with the previous development approval and will not be impacted by this modification. Per the previous approval, Drainage will be accommodated via floor drains on the ground level of the parking garage that will connect to an exfiltration trench system. Based upon the above, positive findings with respect to this level of service standard can be made.

APPENDIX "B"
STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

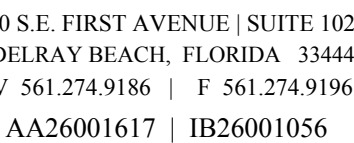
Not applicable _____
Meets intent of standard X
Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____



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BOCA RATON, FLORIDA 33431

SOFA 1, LLLP

2098 NW 30TH ROAD
BOCA RATON FLORIDA 33431

FLORIDA LICENSURE

AR 0016172
AA26001617 | IB26001056

COMMISSION # 15-003
DESIGNER: RJ
DRAWN BY: TR
PLAN REVIEW: RJ

SUBMITTALS:	
ISSUE FOR PERMIT	02.22.17
CLASS III SUBMITTAL	07.14.17
CERTIFICATION SUBMITTAL	08.11.17

REVISIONS

GROUND LEVEL CONTROL PLAN

A-1.1



Scale: 1/16"=1'-0"

P	POOL COLLECTOR TANK (BY OTHERS). GC SHALL PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO POURING ANY CONCRETE SLABS
X	SIGNAGE INDICATING THAT DRIVE RAMP IS NOT AN ACCESSIBLE INGRESS/EGRESS ROUTE. SIGNAGE SHALL BE ADA COMPLIANT AND PROVIDED BY OTHERS
Y	SIGNAGE FOR ACCESSIBLE PARKING SPACE (WALL MOUNTED OR POLE MOUNTED). REFER TO EACH SPACE FOR TYPE (TYP).
Z	2 WAY COMMUNICATION SYSTEM (SHALL COMPLY WITH ADA 708)
1	2 COT SMOOTH STUCCO SYSTEM OVER MASONRY PLANTER WALL W/ RAKED STUCCO CAP W/ CONT. WATERPROOFING SYSTEM (REFER TO WP CONSULTANT FOR SPEC & RECOMMENDED APPLICATION). REFER TO LANDSCAPE AND STRUCTURAL PLAN FOR DETAILS
1	2 COT SMOOTH STUCCO SYSTEM OVER MASONRY PRIVACY WALL W/ RAKED STUCCO CAP & ALLUM. LOUVER RAILING (POWDER COAT FINISH/AAMA 2605) W/ CONT. WATERPROOFING SYSTEM (REFER TO WP CONSULTANT FOR SPEC & RECOMMENDED APPLICATION). REFER TO A-3.10A-3.11 FOR DETAILS
1	DASHED LINE INDICATES BALCONY/SLAB ABOVE
1	LINE OF EYEBROW ELEVATION ABOVE/BELOW. REFER TO ELEVATIONS FOR ADDITIONAL DETAILS.
1	LINE OF SLAB DROP/STEP ABOVE
1	ALUMINUM CABANAS WITH FABRIC. REFER TO LANDSCAPE PLANS FOR DETAILS
1	STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPECIFICATIONS
1	6" HIGH CONCRETE CURB/WHEEL STOP. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
1	3 COT STUCCO SYSTEM (SMOOTH FINISH) OVER PEEL AND STICK/TYPED BUILDING WRAP ATTACHED TO 5/8" DENGLASS GOLF SHEATHING OVER GALV. METAL FRAMING (REFER TO STRUCTURAL FOR FASTENING AND GAUGE)

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ARCHITECTURE

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FLORIDA

LICENSE

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AA26001617 | IB26001056

COMMISSION # 15-003
DESIGNER: RJ
DRAWN BY: TR
PLAN REVIEW: RJ

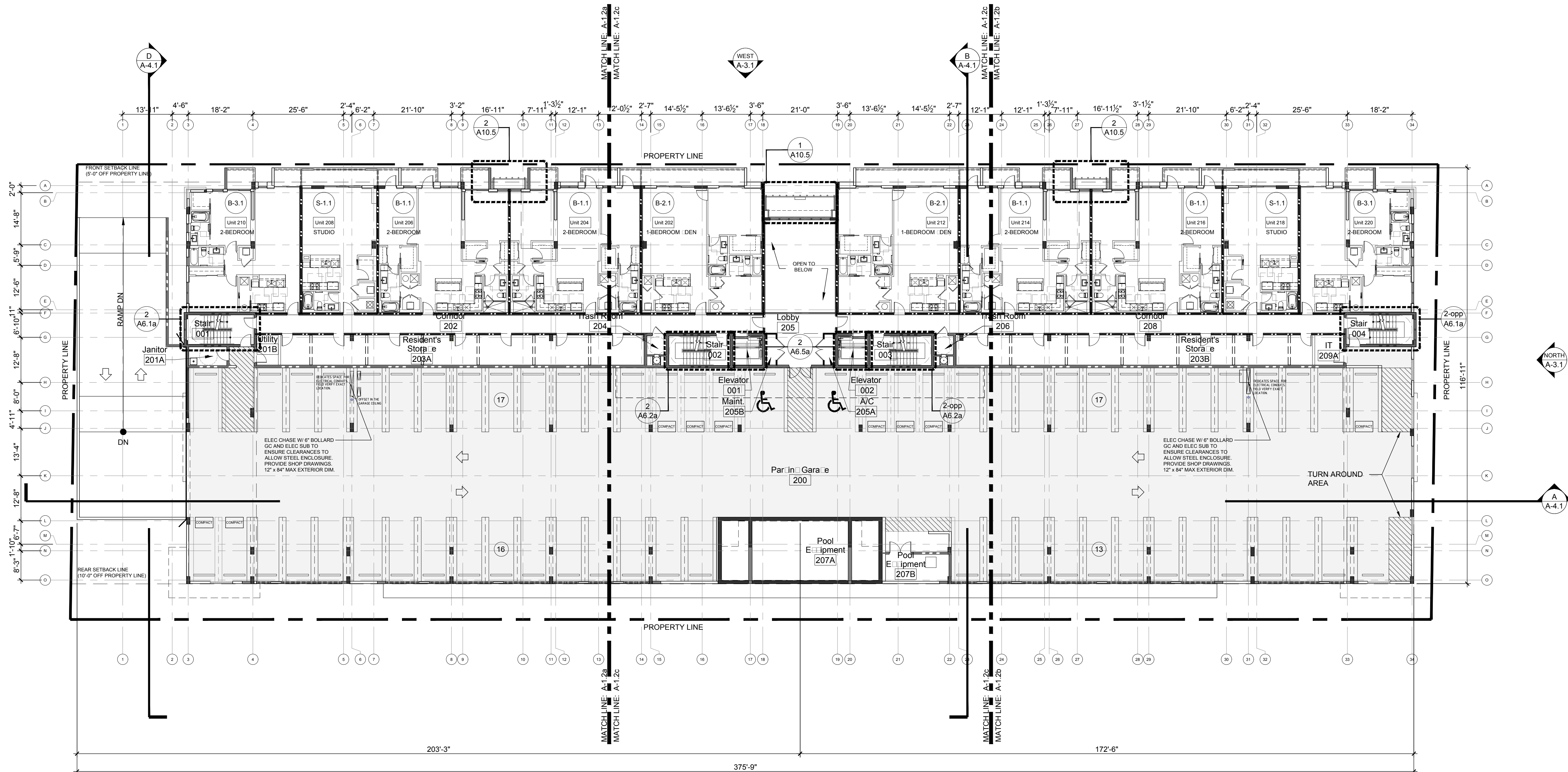
SUBMITTALS:
ISSUE FOR PERMIT 02.22.17
CLASS III SUBMITTAL 07.14.17
CERTIFICATION SUBMITTAL 08.11.17

REVISIONS:

SECOND
LEVEL
CONTROL
PLAN

A-1.2

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Second Level Control Plan

Scale: 1/16"=1'-0"

BUILDING SQUARE FOOTAGE CHART

GROUND LEVEL BUILDING AREA:	40,885 SQUARE FEET
SECOND LEVEL BUILDING AREA (EXCLUDING BALCONIES)	38,391 SQUARE FEET
THIRD LEVEL BUILDING AREA (EXCLUDING BALCONIES)	25,632 SQUARE FEET
FOURTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)	25,632 SQUARE FEET
FIFTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)	27,042 SQUARE FEET
TOTAL BUILDING AREA (EXCLUDING BALCONIES)	157,582 SQUARE FEET
GROUND LEVEL A/C SQUARE FOOTAGE	5,945 SQUARE FEET
SECOND LEVEL A/C SQUARE FOOTAGE	16,006 SQUARE FEET
THIRD LEVEL A/C SQUARE FOOTAGE	24,890 SQUARE FEET
FOURTH LEVEL A/C SQUARE FOOTAGE	24,958 SQUARE FEET
FIFTH LEVEL A/C SQUARE FOOTAGE	26,349 SQUARE FEET
TOTAL A/C SQUARE FOOTAGE	98,148 SQUARE FEET
THIS BUILDING WILL HAVE NFPA 13 FIRE SPRINKLER SYSTEM WITH CENTRAL STATION MONITORING. A SEPARATE PERMIT IS REQUIRED.	
THIS BUILDING WILL HAVE A FIRE ALARM SYSTEM- CENTRAL STATION MONITORED. A SEPARATE PERMIT IS REQUIRED.	

LEGEND

*EVC	ELECTRIC VEHICLE CHARGING STATION *REFER TO OWNER FOR MANUFACTURER AND MODEL.
COMPACT	COMPACT PARKING SPACE
*GP	GUEST PARKING SPACE

PLAN KEYNOTES

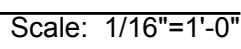
A	CONC. CLEAR SEALER (XYLENE SEALER AT GARAGE FLOORS) W/ TRAFFIC COATING OVER CONC. SLAB ON GRADE W/ VAPOR BARRIER. COLOR: CLEAR (40%). INSTALL PER MANUF. SPECS. SEALER SHALL COMPLY W/ ADA 302 (SLIP RESISTANT) SUBMIT SAMPLE FOR ARCHITECT REVIEW PRIOR TO APPLICATION	R	FIXED HEAVY GAUGE ALUMINUM LOUVER W/ POWDER COAT FINISH (AAMA 2605) W/ CONCEALED FASTENERS. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	EE	ELECTRICAL/MECHANICAL RISER IN FIRE RATED SHAFT. REFER TO ELECTRICAL/MECHANICAL DRAWINGS FOR ADDITIONAL DETAILS. PROVIDE UL U415 SYSTEM B (2 HOUR RATED SYSTEM) 3-1/2" THICKNESS) GC SHALL VERIFY REQUIRED CLEARANCES FOR STEEL ENCLOSURE. (12"x40" MAX. EXTER.	UU	POOL COLLECTOR TANK (BY OTHERS). GC SHALL PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO POURING ANY CONCRETE SLABS
B	SCHEDULED FINISH FLOOR - REFER TO INTERIOR DESIGNER FINISH SCHEDULE	S	JAKOB CABLE- STAINLESS STEEL VERTICAL CABLE SYSTEM (WALL BRACKET PART NO. 30897-0075) W/ BOLT ANCHOR W/ INTERNAL THREAD (NO. 30893-0860-02). FILL PRE-DRILLED HOLE W/ EPOXY OR APPROVED WATERPROOFING. LANDSCAPE ARCHITECT SHALL SELECT VEGETATION	FF	FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS	XX	SIGNAGE INDICATING THAT DRIVE RAMP IS NOT AN ACCESSIBLE INGRESS/EGRESS ROUTE. SIGNAGE SHALL BE ADA COMPLIANT AND PROVIDED BY OTHERS
C	COMPACTED SOIL FOR FUTURE CONCRETE SLAB (BY FUTURE TENANT UNDER SEPARATE PERMIT)	T	DECOR: HEAVY GAUGE ALUM. FINIS W/ POWDER COAT SILVER FINISH (AAMA 2605) FASTENED TO 2" WALL RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	GG	H/L-LOW DRINKING FOUNTAIN IN COMPLIANCE WITH FLORIDA BUILDING CODE ACCESSIBILITY (FIFTH EDITION)	YY	SIGNAGE FOR ACCESSIBLE PARKING SPACE (WALL MOUNTED OR POLE MOUNTED). REFER TO EACH SPACE FOR TYPE (TYP.)
D	SCHED. FINISH (SEE LANDSCAPE DRAWINGS) OVER SECONDARY CONCRETE POUR (1/8" PER FOOT MIN.) IN COMPLIANCE W/ ADA MAX. RUNNING & CROSS SLOPES. PROVIDE CONT. WATERPROOFING SYSTEM AROUND OPENINGS & BELOW SLAB PER WATERPROOFING CONSULTANT'S DETAILS & SPECIFICATIONS.	U	DECOR: HEAVY GAUGE ALUM. FINIS W/ POWDER COAT SILVER FINISH (AAMA 2605) ALIGNED & INTEGRAL W/ GLAZING SYSTEM MOUNTS/SUPPORTS (TYP). PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	HH	ROOF/DECK/TRENCH/PLANTER DRAIN W/ ADA COMPLIANT GRILLES & SHALL NOT ALLOW PASSAGE OF A 1/2" DIA. SPHERE (ADA 302.3). INSTALL PER MANUF. AOA SPECS. SEE MEP DRAWINGS FOR SPECS	ZZ	TWO WAY COMMUNICATION SYSTEM (SHALL COMPLY WITH ADA 708)
E	CORAPLEX BY SEALOFLEX COMMERCIAL COATING OVER SLOPED CONCRETE BALCONY SLAB. REFER TO WATERPROOFING CONSULTANT'S SPECS AND INSTALLATION DETAILS -TYP. PROVIDE SAMPLES FOR ARCHITECT/OWNER'S REVIEW PRIOR TO INSTALLATION	V	ALUM. LOUVER RAILING SYSTEM W/ POWDER COAT FINISH (AAMA 2605) ON CONC. CURB, RECESSED MTD POSTS W/ ANOD. SILVER FINISH. REFER TO SHEET A-3.11 FOR DETAILS. PROVIDE SHOP DWGS FOR ARCHITECT'S REVIEW	JJ	GALV. ALUMINUM OVERFLOW SCUPPER WITH ANODIZED ALUMINUM FINISH. (6"x16"). REFER TO DETAIL ON A-9.3 - EXTEND MIN. 1" BEYOND EXTERIOR FACE OF WALL	A1	2 COAT SMOOTH STUCCO SYSTEM OVER MASONRY PLANTER WALL W/ RAKED STUCCO CAP W/ CONT. WATERPROOFING SYSTEM (REFER TO WP CONSULTANT FOR SPEC & RECOMMENDED APPLICATION) . REFER TO LANDSCAPE AND STRUCTURAL PLAN FOR DETAILS
F	POURED CONCRETE RAMP TO UPPER LEVEL PARKING AREA (LEVEL 2). RAMP SLOPED IN TWO SECTIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS	W	ALUM. RAILING SYSTEM W/ POWDER COAT FINISH (AAMA 2605) W/ 2" SQ. POSTS W/ 3/4"x1-3/4" HORIZ. RODS AND 2-1/2" TOP RAIL. RECESSED MTD POSTS W/ ANOD. SILVER FINISH. REFER TO SHEET A-3.11 FOR DETAILS. PROVIDE SHOP DWGS FOR ARCHITECT'S REVIEW	KK	PREFABRICATED SPLASH BLOCK AT ROOF DECK. INSTALL PER MANUF. SPECS	B1	2 COAT SMOOTH STUCCO SYSTEM OVER MASONRY PRIVACY WALL W/ RAKED STUCCO CAP & ALUM. LOUVER RAILING (POWDER COAT FINISH AAMA 2605) W/ CONT. WATERPROOFING SYSTEM (REFER TO WP CONSULTANT FOR SPEC & RECOMMENDED APPLICATION). REFER TO A-3.10/A-3.11 FOR DETAILS
G	2" EXPANSION JOINT (W/ LASEL FRV OR EQUAL) (ADA COMPLIANT). EXPOSED WALL AREA TO BE PAINTED TO MATCH ADJACENT WALLS/FLOORS TO BE FINISHED IN ACCORD. W/ MANUF. SPECS	X	ADA APPROVED ALUMINUM THRESHOLD - GC SHALL PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY	LL	FLAT ROOF SYSTEM: FIBERITE ADHERED ROOFING SYSTEM (WHITE) OVER ADHERED TAPERED INSULATION (R-19 MIN.) W/ CONT. GAST STRIP. INSTALL PER MANUF. S SPECIFICATIONS/NOA	C1	DASHED LINE INDICATES BALCONY/SLAB ABOVE
H	ADA APPROVED ALUMINUM THRESHOLD - GC SHALL PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY	Y	ALUMINUM SWING GATE W/ POWDER COAT FINISH (AAMA 2605) W/ ACCESSIBLE HARDWARE (INSTALLED IN ACCORDANCE W/ ADA 208.5) MUST MEET POOL ENCLOSURE REQUIREMENT	MM	ROOFTOP EQUIPMENT - REFER TO MEP DRAWINGS FOR EQUIPMENT SPECIFICATIONS	D1	LINE OF EYEBROW EXTENSION ABOVE/BELOW. REFER TO ELEVATIONS FOR ADDITIONAL DETAILS.
J	PRECAST WHEEL STOP. REFER TO A-10.1 FOR DETAILS	Z	KNOX BOX LOCATION	NN	PROPOSED AUXILIARY POWER GENERATOR & FUEL TANKS) (DESIGNED BY OTHERS UNDER SEPARATE PERMIT) ON CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR SLAB DETAIL. GC TO VERIFY W/ GENERATOR SPECS AND LOCAL CODES FOR MIN. SLAB SIZE FOR SELECTED GENERATOR	E1	LINE OF SLAB DROP/STEP ABOVE
K	2 STRIPED AREA DESIGNATING NON-PARKING AREA. STRIPING SHALL BE IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE AND SPECIFICATIONS ON SHEET A-10.1	AA	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH (5/8" THICK) ON CONCRETE/MASONRY WALL AND INTEGRAL CONCRETE EYEBROW PROJECTION. PROVIDE POSITIVE SLOPE AND TREMCO VULKEM 450451 OVER HORIZ. SURFACES BENEATH STUCCO APPLICATION PER MANUF. SPECS. REFER TO STRUCT. DRAWINGS FOR DETAILS	PP	ELEVATOR BY THYSEEN KRUPP (SYNERGY 855-LOW RISE TRACTION MACHINE ROOMLESS CONFIGURATION) 2500#. SINGLE SPEED IN COMPLIANCE W/ FBC ACCESSIBILITY (FIFTH EDITION) W/ 8'-2" CAB. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION	F1	ALUMINUM CABANAS WITH FABRIC. REFER TO LANDSCAPE PLANS FOR DETAILS
L	PARKING STRIPE DESIGNATING STANDARD, COMPACT AND ACCESSIBLE PARKING SPACES. REFER A-10.1 FOR PARKING STRIPE SPECIFICATIONS AND DETAILS	BB	PROJECTED CONCRETE EYEBROW (REFER TO ELEV. FOR THICKNESS) W/ SMOOTH STUCCO FINISH OVER TREMCO 450451 CONT. WATERPROOFING. STRUCTURAL SLAB TO PROVIDE POSITIVE DRAINAGE	QQ	PREFAB. (PRE-ENGINEERED) ALUMINUM SPIRAL STAIRCASE ASSEMBLY (BY OTHERS). GC SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. REFER TO SHEET A-6.3 FOR ADDITIONAL DETAILS & SPECIFICATIONS	G1	STEEL COLUMN. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPECIFICATIONS
M	GUEST BIKE RACKS. REFER TO DETAIL	CC	ALUM. OR EQ. ALIGN SUPPORTS W/ GLAZING MULLIONS (TYP). ALUM. FINISH SHALL MATCH ANOD. SILVER ON BUILDING. GC SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	RR	ELECTRIC VEHICLE CHARGING STATION (REFER TO ELECTRICAL DRAWINGS/SPECIFICATIONS FOR ADDITIONAL DETAILS AND REQUIREMENTS)	H1	6" HIGH CONCRETE CURB/WHEEL STOP. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
N	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH ON MASONRY PARAPET WALL W/ RAKED CAP (5/8" MIN. THICK). REFER TO STRUCT. DRAWINGS FOR PARAPET DETAILS	DD	42" HIGH MASONRY/CONCRETE KNEE WALL W/ SMOOTH STUCCO FINISH (5/8" THICK) (PAINTED) W/ RAKED STUCCO CAP. REFER TO STRUCTURAL DRAWINGS FOR KNEE WALL DETAILS	SS	POOL EQUIPMENT (BY OTHERS) W/ SECONDARY ISOLATION SLAB (DESIGNED BY OTHERS)	J1	3 COAT STUCCO SYSTEM (SMOOTH FINISH) OVER PEEL AND STICK/TYVEK BUILDING WRAP ATTACHED TO 5/8" DENSGLASS GOLD SHEATHING OVER GALV. METAL FRAMING (REFER TO STRUCTURAL FOR FASTENING AND GAUGE)
P	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH (5/8" THICK) (PAINTED) ON MASONRY/CONCRETE WALL			TT			
Q	42" HIGH MASONRY/CONCRETE KNEE WALL W/ SMOOTH STUCCO FINISH (5/8" THICK) (PAINTED) W/ RAKED STUCCO CAP. REFER TO STRUCTURAL DRAWINGS FOR KNEE WALL DETAILS						



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SOFA 1, LLLP
3 NW 30TH RD

A-1.3



GROUND LEVEL BUILDING AREA:

40,885 SQUARE FEET

SECOND LEVEL BUILDING AREA (EXCLUDING BALCONIES)

38,391 SQUARE FEET

THIRD LEVEL BUILDING AREA (EXCLUDING BALCONIES)

25,632 SQUARE FEET

FOURTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)

25,632 SQUARE FEET

FIFTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)

26,424 SQUARE FEET

TOTAL BUILDING AREA (EXCLUDING BALCONIES)

157,582 SQUARE FEET

*EVC

ELECTRIC VEHICLE CHARGING STATION
*REFER TO OWNER FOR MANUFACTURER AND MODEL

*COMPACT

COMPACT PARKING SPACE

*GP

GUARD PARKING SPACE

GROUND LEVEL A/C SQUARE FOOTAGE

5,945 SQUARE FEET

SECOND LEVEL A/C SQUARE FOOTAGE

16,006 SQUARE FEET

THIRD LEVEL A/C SQUARE FOOTAGE

24,890 SQUARE FEET

FOURTH LEVEL A/C SQUARE FOOTAGE

24,958 SQUARE FEET

FIFTH LEVEL A/C SQUARE FOOTAGE

26,349 SQUARE FEET

TOTAL A/C SQUARE FOOTAGE

98,148 SQUARE FEET

THIS BUILDING WILL HAVE NFPA 13 FIRE SPRINKLER SYSTEM WITH CENTRAL STATION MONITORING.

A SEPARATE PERMIT IS REQUIRED.

THIS BUILDING WILL HAVE A FIRE ALARM SYSTEM- CENTRAL STATION MONITORED.

A SEPARATE PERMIT IS REQUIRED.

LEGEND

A

CONC. CLEAR SEALER (XYLENE SEALER AT GARAGE FLOORS) W/ TRAFFIC COATING OVER CONC. SLAB FASTENERS. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

B

SCHEDULED FINISH FLOOR - REFER TO INTERIOR DESIGNER FINISH SCHEDULE

C

COMPACTED SOIL FOR FUTURE CONCRETE SLAB (BY FUTURE TENANT UNDER SEPARATE PERMIT)

D

SCHED. FINISH (SEE LANDSCAPE DRAWINGS) OVER SECONDARY CONCRETE FOUR (1/4" PER FOOT MIN.) IN COMPLIANCE W/ ADA MAX. RUNNING & CROSS SLOPES. PROVIDE CONT. WATERPROOFING SYSTEM AROUND OPENINGS & BELOW SLAB PER WATERPROOFING CONSULTANT'S DETAILS & SPECIFICATIONS

E

REINFORCED CONCRETE SLAB WITH ANCHORED ALUMINUM FINISH CONNECT TO WATERPROOFING CONSULTANT'S SPEC'S AND INSTALLATION

F

POURED CONCRETE RAMP TO UPPER LEVEL PARKING AREA (LEVEL 2). RAMP SLOPED IN TWO DIRECTIONS. RED TO STRUCT. CONC. FIN. (AAMA 2605) W/ 3/4"x1/4" HORIZ. RODS AND 2" TOP RAIL. RECESSED MTD POSTS W/ ANOD. SILVER FINISH. POSTS TO SHEET A-3.11

G

2" EXPANSION JOINT (W/ LASEAL FV-OR EQUAL) (ADA COMPLIANT). EXPOSED WALL FINISH TO BE PAINTED TO MATCH ADJACENT WALLS/ROOF TO BE FINISHED IN ACCORD. W/ MANUF. SPEC'S

H

ADA APPROVED GATE W/ POW. MOTOR. PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY

I

PRECAST WHEEL STOP. REFER TO A-10.1 FOR DETAILS

J

STRIPED AREA DESIGNATING NON-PARKING AREA. STRIPING SHALL BE IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE AND SPECIFICATIONS ON SHEET A-10.1

K

PARKING STRIPING DESIGNATING STANDARD, COMPACT AND ACCESSIBLE PARKING SPACES. REFER A-10.1 FOR PARKING STRIPING SPECIFICATIONS AND DETAILS

L

QUEST BIKE RACKS. REFER TO DETAIL

M

2" COAT STUCCO SYSTEM W/ SMOOTH FINISH (68" THICK) ON MASONRY PARAPET WALL W/ RAKED CAP (68" MIN. THICK). REFER TO STRUCT. DRAWINGS FOR MASONRY DETAILS

N

2" COAT STUCCO SYSTEM W/ SMOOTH FINISH (68" THICK) (PAINTED) ON MASONRY/CONCRETE WALL

O

42" HIGH MAGNOSCRY CONCRETE KNEE WALL W/ SMOOTH STUCCO FINISH (68" THICK) (PAINTED) W/ RAKED STUCCO CAP. REFER TO STRUCTURAL DRAWINGS FOR KNEE WALL DETAILS

P

FIXED HEAVY GAUGE ALUMINUM LOUVER W/ POWDER COAT FINISH (AAMA 2605) W/ CONCEALED FASTENERS. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

Q

JACKOB CAUSE -STAINLESS STEEL VERTICAL CABLE SYSTEM (WALL BRACKET PART NO. 30897-0075) W/ BOLT ANCHOR W/ INTERNAL THREAD NO. 30850-0800-02) FILL PRE-DRILLED HOLE W/ EPOXY OR APPROVED WATERPROOFING. LANDSCAPE ARCHITECT SHALL SELECT VEGETATION.

R

DECOR. HEAVY GAUGE ALUM. FIN. POWDER COAT FINISH (AAMA 2605) FASTENED TO 2" WALL. RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

S

EDITOR. HEAVY GAUGE ALUM. FIN. POWDER COAT FINISH (AAMA 2605) FASTENED TO 2" WALL. RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

T

EDITOR. HEAVY GAUGE ALUM. FIN. POWDER COAT FINISH (AAMA 2605) FASTENED TO 2" WALL. RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

U

EDITOR. HEAVY GAUGE ALUM. FIN. POWDER COAT FINISH (AAMA 2605) FASTENED TO 2" WALL. RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

V

EDITOR. HEAVY GAUGE ALUM. FIN. POWDER COAT FINISH (AAMA 2605) FASTENED TO 2" WALL. RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.

W

ALUM. RAILING SYSTEM W/ POWDER COAT FINISH (AAMA 2605) W/ 2" SQ. POSTS W/ 3/4"x1/4" HORIZ. RODS AND 2" TOP RAIL. RECESSED MTD POSTS W/ ANOD. SILVER FINISH. POSTS TO SHEET A-3.11

X

2" EXPANSION JOINT (W/ LASEAL FV-OR EQUAL) (ADA COMPLIANT). EXPOSED WALL FINISH TO BE PAINTED TO MATCH ADJACENT WALLS/ROOF TO BE FINISHED IN ACCORD. W/ MANUF. SPEC'S

Y

ADA APPROVED GATE W/ POW. MOTOR. PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY

Z

PRECAST WHEEL STOP. REFER TO A-10.1 FOR DETAILS

AA

STRIPED AREA DESIGNATING NON-PARKING AREA. STRIPING SHALL BE IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE AND SPECIFICATIONS ON SHEET A-10.1

BB

PARKING STRIPING DESIGNATING STANDARD, COMPACT AND ACCESSIBLE PARKING SPACES. REFER A-10.1 FOR PARKING STRIPING SPECIFICATIONS AND DETAILS

CC

QUEST BIKE RACKS. REFER TO DETAIL

DD

2" COAT STUCCO SYSTEM W/ SMOOTH FINISH (68" THICK) ON MASONRY/CONCRETE WALL

EE

ELECTRICAL/MECHANICAL RISER IN FIRE RATED SHAFT. REFER TO ELECTRICAL/MECHANICAL DRAWING FOR ADDITIONAL DETAILS. PROVIDE 1/4" HUE SYSTEM B (2 HOUR RATED SYSTEM) 1/2" THICKNESS) GC SHALL VERIFY REQUIRED CLEARANCES FOR STEEL ENCLOSURE. (12"x40" MAX. EXTER. DIMENSION.

FF

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

GG

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

HH

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

II

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

JJ

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

KK

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

LL

FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS

MM

ROOF EQUIPMENT. REFER TO MEP DRAWINGS FOR EQUIPMENT SPECIFICATIONS

NN

PROPOSED AUXILIARY POWER GENERATOR & FUEL TANK(S) DESIGNED BY OTHERS UNDER SEPARATE PERMIT) ON CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR SLAB DETAIL. GC TO VERIFY W/ GENERATOR SPEC'S AND LOCAL CODES FOR MIN. SLAB SIZE FOR SELECTED GENERATOR.

OO

ELEVATOR BY THYSEEN KRUPP (S/N 9570) 85.5' LOW RISE TRACTION MACHINE ROOM. 8'2" BARS (CONFIGURATION) 2500K. SINGLE SPEED IN COMPLIANCE W/ FBC ACCESSIBILITY (FIFTH EDITION) W/ 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

PP

CRASH CHUTE (BY WILCOSON HURSE TO EQUAL) W/ 1/4" LISTED 90 MIN. (F-160) 8'2" DOOR'S 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

QQ

CRASH CHUTE (BY WILCOSON HURSE TO EQUAL) W/ 1/4" LISTED 90 MIN. (F-160) 8'2" DOOR'S 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

RR

CRASH CHUTE (BY WILCOSON HURSE TO EQUAL) W/ 1/4" LISTED 90 MIN. (F-160) 8'2" DOOR'S 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

SS

CRASH CHUTE (BY WILCOSON HURSE TO EQUAL) W/ 1/4" LISTED 90 MIN. (F-160) 8'2" DOOR'S 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

TT

CRASH CHUTE (BY WILCOSON HURSE TO EQUAL) W/ 1/4" LISTED 90 MIN. (F-160) 8'2" DOOR'S 8'2" BAR. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION.

UU

POOL COLLECTOR TANK (BY OTHERS). GC SHALL PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO POURING ANY CONCRETE SLABS.

VV

SIGNAGE INDICATING THAT DRIVE RAMP IS NOT AN ACCESSIBLE SLOPPED/EGRESS ROUTE. SIGNAGE SHALL BE ADA COMPLIANT AND PROVIDED BY OTHERS.

WW

SIGNAGE INDICATING THAT DRIVE RAMP IS NOT AN ACCESSIBLE SLOPPED/EGRESS ROUTE. SIGNAGE SHALL BE ADA COMPLIANT AND PROVIDED BY OTHERS.

XX

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LICENSURE

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AA26001617 | IB26001056

COMMISSION # 15-003
DESIGNER: RJ
DRAWN BY: TR
PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR PERMIT 02.22.17
CLASS III SUBMITTAL 07.14.17
CERTIFICATION SUBMITTAL 08.11.17

REVISIONS:

FOURTH
LEVEL
CONTROL
PLAN

A-1.4

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RICHARD JONES ARCHITECTURE

Fourth Level Control Plan

Scale: 1/16"=1'-0"

BUILDING SQUARE FOOTAGE CHART

GROUND LEVEL BUILDING AREA:	40,885 SQUARE FEET
SECOND LEVEL BUILDING AREA (EXCLUDING BALCONIES)	38,391 SQUARE FEET
THIRD LEVEL BUILDING AREA (EXCLUDING BALCONIES)	25,632 SQUARE FEET
FOURTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)	25,632 SQUARE FEET
FIFTH LEVEL BUILDING AREA (EXCLUDING BALCONIES)	27,042 SQUARE FEET
TOTAL BUILDING AREA (EXCLUDING BALCONIES)	157,582 SQUARE FEET
GROUND LEVEL A/C SQUARE FOOTAGE	5,945 SQUARE FEET
SECOND LEVEL A/C SQUARE FOOTAGE	16,006 SQUARE FEET
THIRD LEVEL A/C SQUARE FOOTAGE	24,890 SQUARE FEET
FOURTH LEVEL A/C SQUARE FOOTAGE	24,958 SQUARE FEET
FIFTH LEVEL A/C SQUARE FOOTAGE	26,349 SQUARE FEET
TOTAL A/C SQUARE FOOTAGE	98,148 SQUARE FEET
THIS BUILDING WILL HAVE NFPA 13 FIRE SPRINKLER SYSTEM WITH CENTRAL STATION MONITORING. A SEPARATE PERMIT IS REQUIRED.	
THIS BUILDING WILL HAVE A FIRE ALARM SYSTEM- CENTRAL STATION MONITORED. A SEPARATE PERMIT IS REQUIRED.	

LEGEND

*EVC	ELECTRIC VEHICLE CHARGING STATION *REFER TO OWNER FOR MANUFACTURER AND MODEL.
[COMPACT]	COMPACT PARKING SPACE
*GP	GUEST PARKING SPACE

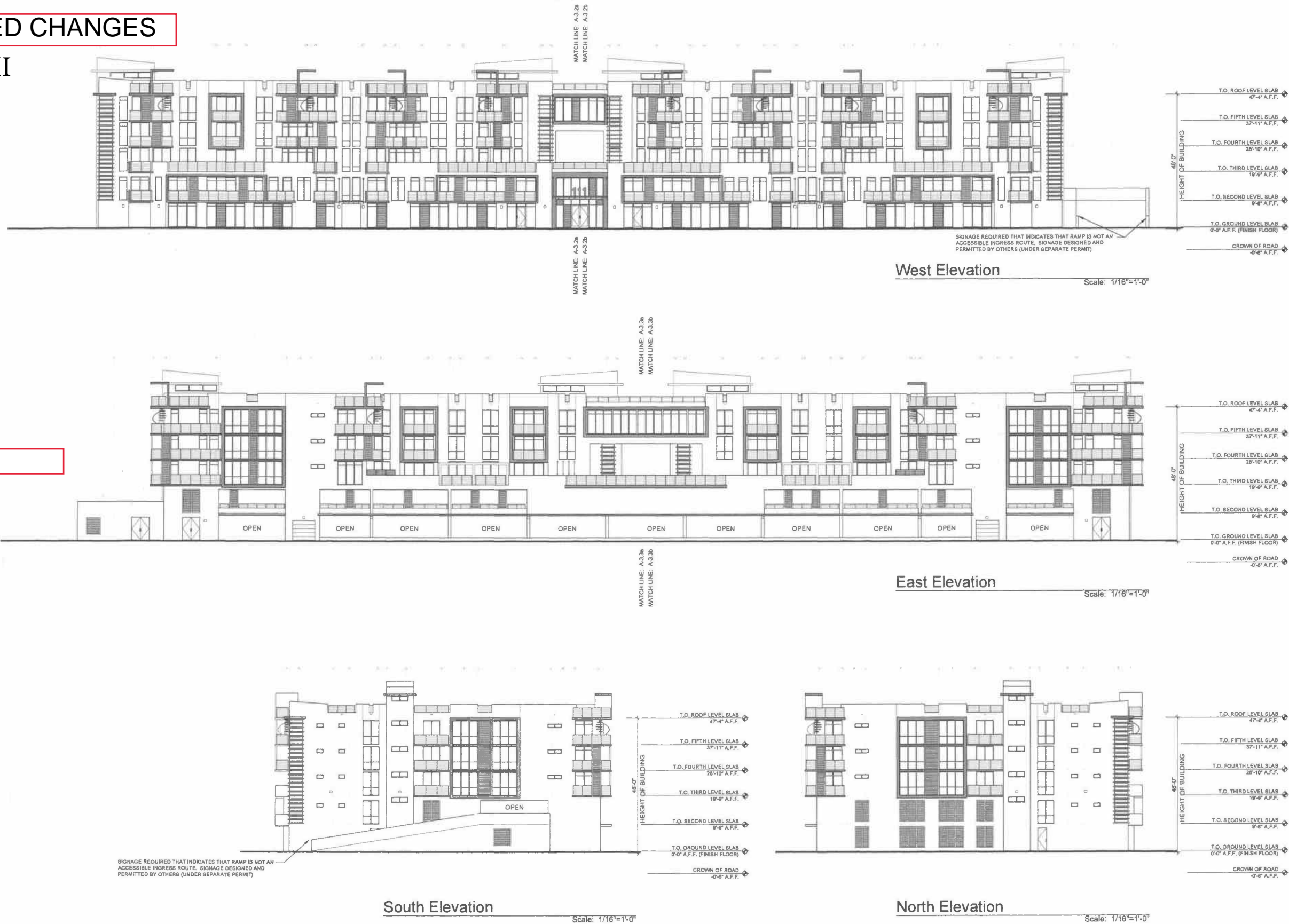
PLAN KEYNOTES

A	CONC. CLEAR SEALER (XYLENE SEALER AT GARAGE FLOORS) W/ TRAFFIC COATING OVER CONC. SLAB ON GRADE W/ VAPOR BARRIER. COLOR: CLEAR (40%). INSTALL PER MANUF. SPECS. SEALER SHALL COMPLY W/ ADA 302 (SLIP RESISTANT) SUBMIT SAMPLE FOR ARCHITECT REVIEW PRIOR TO APPLICATION	R	FIXED HEAVY GAUGE ALUMINUM LOUVER W/ POWDER COAT FINISH (AAMA 2605) W/ CONCEALED FASTENERS. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	EE	ELECTRICAL/MECHANICAL RISER IN FIRE RATED SHAFT. REFER TO ELECTRICAL/MECHANICAL DRAWINGS FOR ADDITIONAL DETAILS. PROVIDE UL U415 SYSTEM B (2 HOUR RATED SYSTEM) 3-1/2" THICKNESS GC SHALL VERIFY REQUIRED CLEARANCES FOR STEEL ENCLOSURE. (12"x40" MAX. EXTER. DIMENSION)
B	SCHEDULED FINISH FLOOR - REFER TO INTERIOR DESIGNER FINISH SCHEDULE	S	JAKOB CABLE- STAINLESS STEEL VERTICAL CABLE SYSTEM (WALL BRACKET PART NO. 30897-0075) W/ BOLT ANCHOR W/ INTERNAL THREAD (NO. 30893-0860-02). FILL PRE-DRILLED HOLE W/ EPOXY OR APPROVED WATERPROOFING. LANDSCAPE ARCHITECT SHALL SELECT VEGETATION	FF	FUTURE RESTROOM LOCATION AT RETAIL BAY. PLUMB FIXTURE ONLY. REFER TO MEP DRAWINGS
C	COMPACTED SOIL FOR FUTURE CONCRETE SLAB (BY FUTURE TENANT UNDER SEPARATE PERMIT)	T	DECOR. HEAVY GAUGE ALUM. FINIS W/ POWDER COAT SILVER FINISH (AAMA 2605) FASTENED TO 2" WALL RECESS. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	GG	H/LOW DRINKING FOUNTAIN IN COMPLIANCE WITH FLORIDA BUILDING CODE ACCESSIBILITY (FIFTH EDITION)
D	SCHED. FINISH (SEE LANDSCAPE DRAWINGS) OVER SECONDARY CONCRETE POUR (1/8" PER FOOT MIN) IN COMPLIANCE W/ ADA MAX. RUNNING & CROSS SLOPES. PROVIDE CONT. WATERPROOFING SYSTEM AROUND OPENINGS & BELOW SLAB PER WATERPROOFING CONSULTANT'S DETAILS & SPECIFICATIONS	U	DECOR. HEAVY GAUGE ALUM. FINIS W/ POWDER COAT SILVER FINISH (AAMA 2605) ALIGNED & INTEGRAL W/ GLAZING SYSTEM MUNTINS/SUPPORTS (TYP). PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	HH	ROOF/DECK/TRENCH/PLANTER DRAIN W/ ADA COMPLIANT GRILLES & SHALL NOT ALLOW PASSAGE OF A 1/2" DIA. SPHERE (ADA 302.3). INSTALL PER MANUF. ADA SPECS. SEE MEP DRAWINGS FOR SPECS
E	CORAFLEX BY SEALORLEX COMMERCIAL COATING OVER SLOPED CONCRETE BALCONY SLAB. REFER TO WATERPROOFING CONSULTANT'S SPECS AND INSTALLATION DETAILS -TYP. PROVIDE SAMPLES FOR ARCHITECT/OWNER'S REVIEW PRIOR TO INSTALLATION	V	ALUM. LOUVER RAILING SYSTEM W/ POWDER COAT FINISH (AAMA 2605) ON CONC. CURB. RECESSED MTD POSTS W/ ANOD. SILVER FINISH. REFER TO SHEET A-3.11 FOR DETAILS. PROVIDE SHOP DWGS FOR ARCHITECT'S REVIEW	JJ	GALV. ALUMINUM OVERFLOW SCUPPER WITH ANODIZED ALUMINUM FINISH (6"x16"). REFER TO DETAIL ON A-9.3 - EXTEND MIN. 1" BEYOND EXTERIOR FACE OF WALL
F	POURED CONCRETE RAMP TO UPPER LEVEL PARKING AREA (LEVEL 2). RAMP SLOPED IN TWO SECTIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS	W	ALUM. RAILING SYSTEM W/ POWDER COAT FINISH (AAMA 2605) W/ 2" SQ. POSTS W/ 3/4"x1-3/4" HORIZ. RODS AND 2-1/2" TOP RAIL. RECESSED MTD POSTS W/ ANOD. SILVER FINISH. REFER TO SHEET A-3.11 FOR DETAILS. PROVIDE SHOP DWGS FOR ARCHITECT'S REVIEW	KK	GALV. ALUMINUM OVERFLOW SCUPPER WITH ANODIZED ALUMINUM FINISH CONNECTED TO PREFABRICATED SPLASH BLOCK AT ROOF DECK. INSTALL PER MANUF. SPECS
G	2" EXPANSION JOINT (W/ LSEAL FR-V OR EQUAL) (ADA COMPLIANT). EXPOSED WALL AREA TO BE PAINTED TO MATCH ADJACENT WALLS/FLOORS TO BE FINISHED IN ACCORD. W/ MANUF. SPECS	X	ADA APPROVED ALUMINUM THRESHOLD GC SHALL PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY	LL	FLAT ROOF SYSTEM: FIBERITTE ADHERED ROOFING SYSTEM (WHITE) OVER ADHERED TAPERED INSULATION (R-19 MIN) W/ CONT. GAST STRIP. INSTALL PER MANUF.'S SPECIFICATIONS/NOCA
H	ADA APPROVED ALUMINUM THRESHOLD GC SHALL PROVIDE CONTINUOUS PROTECTION OF THRESHOLD THROUGH CONSTRUCTION TO MAINTAIN FINISH QUALITY	Y	ALUMINUM SWING GATE W/ POWDER COAT FINISH (AAMA 2605) W/ ACCESSIBLE HARDWARE (INSTALLED IN ACCORDANCE W/ ADA 208.5) MUST MEET POOL ENCLOSURE REQUIREMENT	MM	ROOFTOP EQUIPMENT. REFER TO MEP DRAWINGS FOR EQUIPMENT SPECIFICATIONS
J	PRECAST WHEEL STOP. REFER TO A-10.1 FOR DETAILS	Z	KNOX BOX LOCATION	NN	PROPOSED AUXILIARY POWER GENERATOR & FUEL TANKS (DESIGNED BY OTHERS UNDER SEPARATE PERMIT) ON CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS FOR SLAB DETAIL. GC TO VERIFY W/ GENERATOR SPECS AND LOCAL CODES FOR MIN. SLAB SIZE FOR SELECTED GENERATOR
K	2 STRIPED AREA DESIGNATING NON-PARKING AREA. STRIPING SHALL BE IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE AND SPECIFICATIONS ON SHEET A-10.1	AA	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH (5/8" THICK) ON CONCRETE/MASONRY WALL AND INTEGRAL CONCRETE EYEBROW PROJECTION. PROVIDE POSITIVE SLOPE AND TREMCO VULKEM 450451 OVER	PP	ELEVATOR BY THYSEEN KRUPP (SYNERGY 855-LOW RISE TRACTION MACHINE ROOMLESS CONFIGURATION) 2500#. SINGLE SPEED IN COMPLIANCE W/ FBC ACCESSIBILITY (FIFTH EDITION) W/ 8'-2" CAB. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION
L	PARKING STRIPE DESIGNATING STANDARD, COMPACT AND ACCESSIBLE PARKING SPACES. REFER A-10.1 FOR PARKING STRIPING SPECIFICATIONS AND DETAILS	BB	PROJECTED CONCRETE EYEBROW (REFER TO ELEV. FOR THICKNESS) W/ SMOOTH STUCCO FINISH OVER TREMCO 450451 CONT. WATERPROOFING. STRUCTURAL SLAB TO PROVIDE POSITIVE DRAINAGE	QQ	PREFAB. PRE-ENGINEERED ALUMINUM SPIRAL STAIRCASE ASSEMBLY (BY OTHERS). GC SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. REFER TO SHEET A-6.3 FOR PERMANENT SPECS. GROUND LEVEL TO INCLUDE RECYCLE BINS & TRASH RECEPTACLES (BY OWNER)
M	GUEST BIKE RACKS. REFER TO DETAIL	CC	ALUM. OR EQ. ALIGN SUPPORTS W/ GLAZING MULLIONS (TYP). ALUM. FINISH SHALL MATCH ANOD. SILVER ON BUILDING. GC SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION	RR	RESIDENT'S MAILBOXES IN ACCORDANCE WITH USPS REGULATIONS AND FAIR HOUSING ACT'S REQUIREMENTS. REFER TO ID DRAWINGS FOR ELEVATIONS AND SPECIFICATIONS
N	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH (5/8" THICK) (PAINTED) ON MASONRY/CONCRETE WALL	DD	ELECTRIC VEHICLE CHARGING STATION (REFER TO ELECTRICAL DRAWINGS/SPECIFICATIONS FOR ADDITIONAL DETAILS AND REQUIREMENTS)	SS	ADDITIONAL DETAILS & SPECIFICATIONS
P	2 COAT STUCCO SYSTEM W/ SMOOTH FINISH (5/8" THICK) (PAINTED) ON MASONRY/CONCRETE WALL			TT	POOL EQUIPMENT (BY OTHERS) W/ SECONDARY ISOLATION SLAB (DESIGNED BY OTHERS)
Q	42" HIGH MASONRY/CONCRETE KNEE WALL W/ SMOOTH STUCCO FINISH (5/8" THICK) (PAINTED) W/ RAKED STUCCO CAP. REFER TO STRUCTURAL DRAWINGS FOR KNEE WALL DETAILS				

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PROPOSED CHANGES

CLASS III



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PLAN REVIEW: RJ

SUBMITTALS:
ISSUE FOR PERMIT 02.22.17

REVISIONS:

OVERALL
BUILDING
ELEVATIONS

A-3.1

RICHARD JONES ARCHITECTURE

Approved Colored Rendering

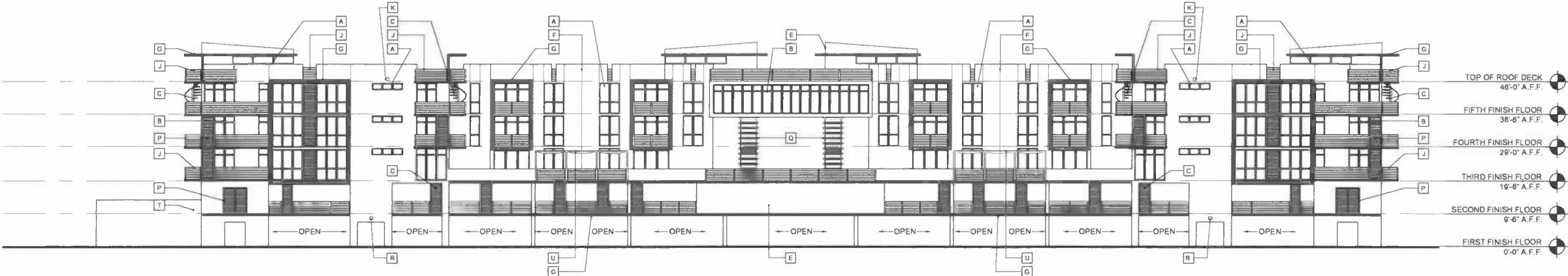


APPROVED CLASS V



West Elevation

SCALE: 1/16"=1'-0"



East Elevation

SCALE: 1/16"=1'-0"

ELEVATION KEYNOTES	
A	IMPACT RESISTANT WINDOWS W/ SILVER ALUMINUM FRAME
B	IMPACT RESISTANT STOREFRONT W/ SILVER ALUMINUM FRAME
C	METAL SPIRAL STAIRCASE
D	HOLLOW METAL DOOR
E	SMOOTH STUCCO FINISH ON MASONRY WALL
F	3/4" SCORE LINE
G	PROJECTED EYEBROW W/ SMOOTH STUCCO FINISH
H	42" HIGH MASONRY KNEE WALL W/ SMOOTH STUCCO FINISH
J	42" HIGH HORIZONTAL ALUMINUM RAILING. SEE ELEVATION FOR STYLE.
K	OVERFLOW SCUPPER
L	ALUMINUM COPING WITH ANODIZED FINISH
M	SUSPENDED ALUMINUM CANOPY
N	-
O	-
P	DECORATIVE ALUMINUM GRILLES
Q	DECORATIVE PERFORATED ALUMINUM FINS
R	DECORATIVE LIGHT FIXTURE W/ANODIZED ALUMINUM FINISH
S	NEW SIGNAGE WITH ANODIZED ALUMINUM LETTERS. PREMISES IDENTIFICATION-ADDRESS NUMBERS-AT LEAST 6 INCHES ON A CONTRASTING BACKGROUND-UNDER SEPARATE PERMIT
T	CONCRETE RAMP TO PARKING AREAS
U	CANVAS COVERING AT CABANAS



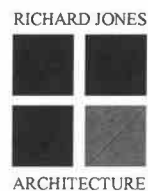
South Elevation

SCALE: 1/16"=1'-0"



North Elevation

SCALE: 1/16"=1'-0"



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DESIGNER: RJ
DRAWN BY: JS
PLAN REVIEW: RJ

SUBMITTALS:
CONDITIONAL USE 12.02.13

REVISIONS:
1 CONDITIONAL USE COMMENTS 04.10.14

LOFT
BUILDING

ELEVATIONS

A-4

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