

PLANNING AND ZONING BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: November 27, 2017

ITEM: Kolter Hotel Delray – Final Plat for the construction of a new 150-room hotel and associated on-site amenities, parking and landscaping.

RECOMMENDATION: Recommend to the City Commission approval of the final plat for Kolter Hotel Delray.

GENERAL DATA:

Owner..... DK Delray Downtown, LLC

Applicant..... John T. Doogan, Avirom & Associates, Inc.

Agent..... Miller Land Planning, Inc.

Address..... 135, 145, 169 and 185 SE 6th Avenue

Location..... Northeast corner of SE 6th Avenue and SE 2nd Street

Property Size..... 1.2116 acres (52,726 sq. ft.)

Future Land Use CC (Commercial Core)

Current Zoning..... CBD (Central Business District)

CBD Sub-district..... Central Core

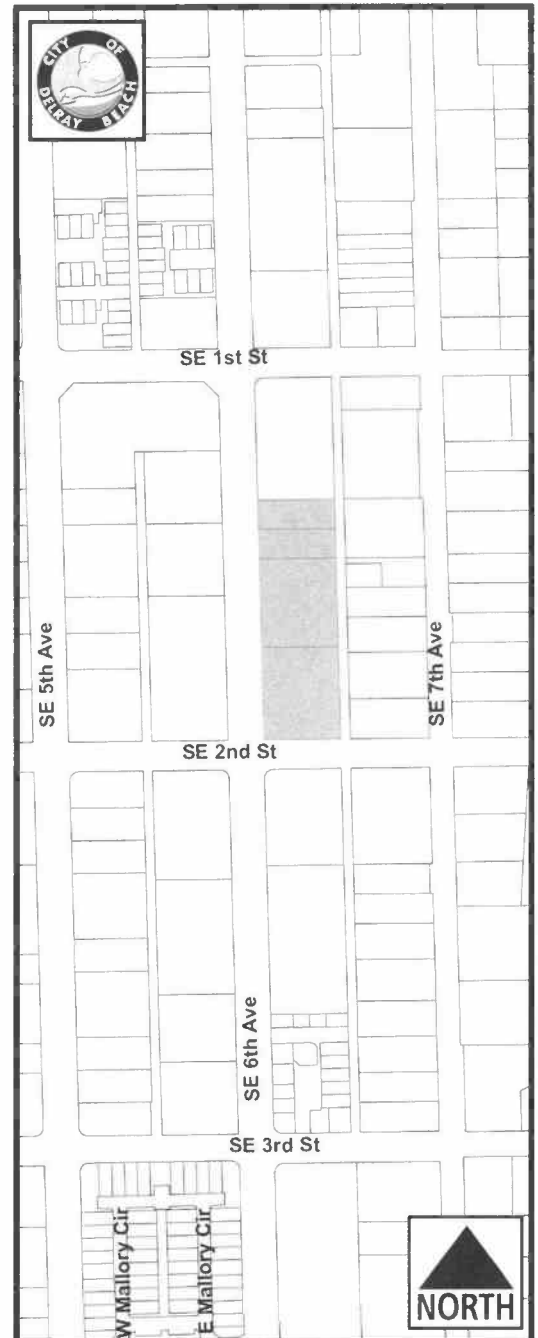
Adjacent Zoning.....North: CBD
East: RM (Multiple Family Residential)
South: CBD
West: CBD

Existing Use..... Vacant (Prior gasoline station)

Proposed Use..... New 150-room hotel

Water Service..... Provided via a 6" main within the SE 2nd Street right-of-way

Sewer Service..... Provided via a 12" main within the alleyway



ITEM BEFORE THE BOARD

The item before the Board is to recommend certification of a final plat for the development of a hotel to be platted as **Kolter Hotel Delray**. The subject property is located at the northeast corner of SE 6th Avenue and SE 2nd Street.

This plat is being processed pursuant to LDR Section 2.4.5(J), Major Subdivisions.

BACKGROUND

The subject property consists of Lots 13 through 20, inclusive, Block 118, Conkling & Thorndyke Subdivision of Block 118, and measures 1.2116 acres. The subject property is zoned Central Business District (CBD) and has a Commercial Core (CC) Future Land Use Map (FLUM) designation. The site is vacant and most recently contained a gas station, which was demolished.

On March 22, 2017, the Site Plan Review and Appearance Board approved a Class V site plan, landscape plan and architectural elevation plan for a four-story 150-room hotel with restaurant, lounge and meeting rooms with the provision of structured parking on the ground and second level.

PLAT DESCRIPTION

The plat includes "Tract A" which will encompass the proposed development. The plat dedicates two tracts for right-of-way purposes. Tract "B", located on the east side of the property dedicates four feet of additional right-of-way along the alley including a corner clip at the intersection of the alleyway and SE 2nd Avenue, and Tract "C" which provides a corner clip at the intersection of SE 6th Avenue and SE 2nd Street.

A proposed easement will be dedicated to FPL by separate instrument to cover the proposed transformer to be located at the southeast corner of the site. Also, an easement will be dedicated to cover the six foot wide pedestrian clear zone located along the SE 2nd Street frontage.

PLAT ANALYSIS

Pursuant to **LDR Section 3.1.1** of the Land Development Regulations, prior to approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information in the application, the staff report, or minutes. Findings shall be made by the Board to approve or deny the development application. These findings relate to Future Land Use Map, Concurrency and Consistency with the Comprehensive Plan, and Compliance with the Land Development Regulations.

Section 3.1.1(A) Future Land Use Map (FLUM): The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the FLUM.

The subject property has a FLUM designation of Commercial Core, and a zoning designation of Central Business District. The Central Business District zoning is consistent with the Commercial Core FLUM designation. Pursuant to Table 4.4.13(A), Allowable Uses in the Central Business District Sub-Districts, principal uses include hotels in the Central Core Sub-district. Based upon the above, a positive finding can be made with respect to consistency with the FLUM designation.

Pursuant to LDR Section 3.1.1(B) - Concurrency: Section 3.1.1 (B) – Concurrency: Pursuant to LDR Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

Water service is available via a lateral service connection to existing six inch water main located within the SE 2nd Street right-of-way. Sewer service is available via a lateral service connection to an existing 12" sanitary sewer main located within the rear alleyway. Pursuant to the City's Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic:

The subject property is located within the City's Transportation Concurrency Exception Area (TCEA). The TCEA exempts the above-described areas from complying with the Palm Beach County Traffic Performance Standards Ordinance. Therefore, a traffic study is not required for concurrency purposes. However, a traffic statement is necessary to keep a record of trips approved in the TCEA and for calculation of traffic impact fees. A traffic statement was prepared which indicates that the Kolter Hotel will generate an increase of 144 daily trips, a decrease of two a.m. peak trips and an increase of six p.m. peak hour trips. Even though the site is within the TCEA, Palm Beach County Traffic Division issued a traffic concurrency determination letter, indicating development proposal compliance with Palm Beach County traffic standards, and that it is valid through build-out at the end of year December 31, 2021.

Parks and Recreation Facilities:

A park impact fee is collected to offset any impacts that the project may have on the City's recreational facilities. Pursuant to LDR Section 5.3.2, a park impact fee of \$500.00 per hotel unit will be collected prior to issuance of a building permit. A total fee of \$75,000 will be required of this development for parks and recreation purposes, prior to building permit issuance.

Solid Waste:

The prior 5,400 sq. ft. gasoline station use generated 79.65 tons of solid waste per year. The proposed 152,432 sq. ft. hotel development with 150 rooms will generate 358.21 tons of solid waste per year. There is a 278.56 ton net increase in solid waste per year with the proposed development of the site. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2047.

Drainage:

Engineering and drainage plans have been submitted with the proposed development. Drainage will be accommodated an exfiltration trench system. There are no problems anticipated in accommodating on-site drainage.

Section 3.1.1(C) - Consistency: Pursuant to Section 3.2.1 (Basis for Determining Consistency), the performance standards set forth in Section 3.2.3 (Standards for Site Plan and/or Plat Actions) shall be the basis upon which a finding of overall consistency is to be made.

As described in "Appendix A", a positive finding for consistency can be made as it relates to Standards for Plat Actions.

Comprehensive Plan - Consistency: Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable section was found relevant to this proposal:

Future Land Use Element - Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property has been vacant and is in need of redevelopment, which will have a positive impact on the surrounding area. The proposed development is consistent with the surrounding commercial uses. There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development.

Section 3.1.1(D) Compliance with the Land Development Regulations: Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

LDR Section 5.3.1(A)(Plat Required):

A plat is required for the project, and was included as a condition of site plan approval. It combines eight existing individual lots and requires right-of-way dedications. Thus, it is considered a major subdivision of land.

CBD Zoning District Requirements: The Site Plan Review and Appearance Board at its meeting of March 22, 2017, found the site plan consistent with the CBD zoning requirements.

Pursuant to Figure 4.4.13-5 (Central Core Regulating Plan), SE 6th Avenue and SE 2nd Street are classified as Primary Streets. All development standards applicable to Primary Streets is applied.

Right-of-Way Dedications:

Pursuant to LDR Sections 5.3.1(A) and (D) and Table T-1 of the Comprehensive Plan Transportation Element, the following table describes the required rights-of-way and the existing rights-of-way adjacent to the subject property:

Item Considered	Right-Of-Way -Existing-	Right-Of-Way -Required-	Right-Of-Way -Dedication-
SE 6 th Ave. (US1)	60'	60'	N/A
Existing 16' Alley	16'	20'	4'
SE 2 nd Street	50' (curb/gutter)	50' (curb/gutter)	N/A

SE 6th Avenue: The required right-of-way for SE 6th Avenue is 60 feet. The existing right-of-way is 60 feet. A corner chip is required at the intersection of SE 6th Avenue and SE 2nd Street and is dedicated as a separate tract, Tract "C".

Existing 16' wide alley: Four feet right-of-way dedication for the existing 16 feet alley is provided by this plat, along with a corner clip located at the intersection of SE 2nd Street and the alleyway, and shown as Tract "B".

SE 2nd Street: The required right-of-way for SE 2nd Street is 50' for curb and gutter. The existing right-of-way is 50 feet with curb and gutter. Thus, no right-of-way dedication is required. Thus, this LDR requirement has been met.

Street Improvement Obligations:

Pursuant to LDR Section 6.1.2(A)(2)(a), when a street or alley is located on a boundary of a project, the project is responsible for providing one-half of the current costs of such improvements along its property line. When access to the project is provided from a local street and/or alley, then the project must provide appropriate traffic lanes meeting requirements of Section 5.3.1(C) to provide continuous paved access from the nearest paved street or alley to the subject property in addition to the improvements on its side of the center line of the right-of-way. The existing 16' wide alley right-of-way, which abuts the east property line of the subject property, is already improved. Paving of the additional four feet of alley right-of-way dedicated with this project is the obligation of the developer and will occur with construction of the project.

Sidewalks:

LDR Section 6.1.3(B)(1)(f) requires that sidewalks within the Central Business District be provided at a minimum of eight feet wide. The existing sidewalk varies from 10.7 to 11.1 feet along SE 6th Avenue and five feet along SE 2nd Street. It is noted that in addition to the existing sidewalk a six foot pedestrian clear zone is provided per Figure 4.4.13.-13 (Commercial Use Streetscape for CBD zoned parcels). Thus, this standard is met.

REVIEW BY OTHERS

The development proposal is not located in an area which requires review by the Pineapple Grove Main Street or West Atlantic Redevelopment Coalition.

Community Redevelopment Agency:

At its meeting of December 8, 2016, the Community Redevelopment Agency reviewed the development proposal and reached a consensus to recommend approval.

Downtown Development Authority:

At the meeting of December 12, 2016, the Downtown Development Authority reviewed the development proposal and reached a consensus to recommend approval.

Courtesy Notices:

Courtesy notices have been provided to the following associations that have requested notice of developments in their areas:

- Chamber of Commerce
- Osceola Park
- Historic Marina

ASSESSMENT AND CONCLUSION

The proposed plat is consistent with Central Business District Zoning and Commercial Core FLUM designation for the subject property. Positive findings can be made with respect to LDR Section 2.4.5(J)(Major Subdivisions), LDR Section 3.1.1 (Required Findings), Section 3.2.3 (Standards for Plat Actions) and the Goals, Objectives and Policies of the Comprehensive Plan. All conditions have been satisfied that allows a recommendation to certify the Final Plat by the Planning and Zoning Board. Pending Planning and Zoning Board recommendation of approval to certify the Final Plat, it will be scheduled for subsequent City Commission review and approval.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move to recommend approval to the City Commission for certification of the final plat for the **Kolter Hotel Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations Section 2.4.5(J)(Major Subdivisions), Section 3.2.3 (Standards for Plat Actions) and Section 3.1.1 (Required Findings), subject to conditions.
- C. Deny the final plat with basis stated.

STAFF RECOMMENDATION

Move to recommend approval to the City Commission for certification of the final plat for the **Kolter Hotel Delray**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Land Development Regulations Section 2.4.5(J)(Major Subdivisions), Section 3.2.3 (Standards for Plat Actions) and Section 3.1.1 (Required Findings) subject to the following conditions:

1. That an easement is dedicated to FPL by separate instrument to cover the proposed transformer to be located at the southeast corner of the site and that such easement is recorded prior to the issuance of the first Certificate of Occupancy.
2. That a pedestrian clear zone easement deed is dedicated on the plat to cover the six foot wide pedestrian clear zone along the SE 2nd Street frontage and that the plat is revised reflecting such prior to City Commission consideration.

Staff Report Prepared By: Jasmin Allen, Senior Planner

Attachments:

- *Appendix A*
- *Survey*
- *Reduced Plat*
- *Engineering plans*

**APPENDIX A
STANDARDS FOR PLAT ACTIONS**

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard _____

X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____

Meets intent of standard _____

X

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable _____

Meets intent of standard _____

X

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable _____

Meets intent of standard _____

X

Does not meet intent _____

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

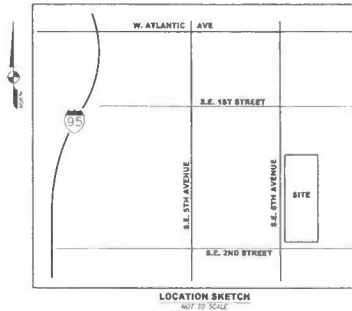
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable _____
Meets intent of standard X
Does not meet intent _____

THIS INSTRUMENT WAS PREPARED BY:
JOHN T. DOOGAN, P.L.S.
AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
50 S.W. 2ND AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2594

KOLTER HOTEL DELRAY

BEING A REPLAT OF LOTS 13 THROUGH 20, INCLUSIVE, BLOCK 118, CONKLING & THORNDYKE SUBDIVISION OF BLOCK 118,
AS RECORDED IN PLAT BOOK 2, PAGE 8 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA
SITUATE IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.



DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT DR. DELRAY DOWNTOWN, LLC A FLORIDA LIMITED LIABILITY COMPANY, IS THE OWNER OF THE LAND AS SHOWN ON THIS PLAT, KOLTER HOTEL DELRAY, BEING A REPLAT OF LOTS 13 THROUGH 20, INCLUSIVE, BLOCK 118, CONKLING & THORNDYKE SUBDIVISION OF BLOCK 118, AS RECORDED IN PLAT BOOK 2, PAGE 8 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SITUATE IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA DESCRIBED AS FOLLOWS:

LOTS 16, 17, 18, 19 AND 20 IN CONKLING & THORNDYKE SUBDIVISION OF BLOCK 118, CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE WEST 5 FEET THEREOF FOR ROAD.

TOGETHER WITH:

LOTS 13, 14 AND 15 IN CONKLING & THORNDYKE SUBDIVISION OF BLOCK 118, CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 8, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION OF THE PROPERTY CONVEYED TO THE STATE OF FLORIDA BY SPECIAL WARRANTY DEEDS RECORDED IN OFFICIAL RECORDS BOOK 430, PAGE 424 AND OFFICIAL RECORDS BOOK 435, PAGE 563, BOTH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA AND CONTAINING 52,776 SQUARE FEET (1.2114 ACRES) MORE OR LESS.

HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS THE KOLTER HOTEL DELRAY AND FURTHER INDICATES AS FOLLOWS:

TRACT A, AS SHOWN HEREON IS HEREBY RECOVERED TO THE DR. DELRAY DOWNTOWN, LLC, ITS SUCCESSORS AND ASSIGNS, FOR USE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE CITY OF DELRAY BEACH, FLORIDA.

TRACT B, AS SHOWN HEREON IS HEREBY DEDICATED TO THE CITY OF DELRAY BEACH, AS PUBLIC RIGHT-OF-WAY FOR STREET AND UTILITY PURPOSES.

TRACT C, AS SHOWN HEREON IS HEREBY DEDICATED AND GRANTED IN FEE SIMPLE TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FOR PERPETUAL USE OF THE PUBLIC FOR ROADWAY PURPOSES.

IN WITNESS WHEREOF, DR. DELRAY DOWNTOWN, LLC A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS _____ DAY OF _____ 2017.

DR. DELRAY DOWNTOWN, LLC
A FLORIDA LIMITED COMPANY

NAME: SCOTT WEBB, TITLE: MANAGER

WITNESS
PRINT NAME _____

WITNESS
PRINT NAME _____

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF PALM BEACH } SS

BEFORE ME PERSONALLY APPEARED SCOTT WEBB WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS MANAGER OF DR. DELRAY DOWNTOWN, LLC A FLORIDA LIMITED LIABILITY COMPANY AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS MANAGER OF SAID COMPANY, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE SEAL OF SAID COMPANY AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY HIM AND REGULAR AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY, WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____ 2017.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____

NOTARY SEAL

(PRINT NUMBER)

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SURVEYED LAND DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLEMENTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TITLE CERTIFICATION:

I, GREGORY VIRGILI, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREIN DESCRIBED PROPERTY, THAT I FIND THE TITLE TO THE HEREIN DESCRIBED PROPERTY IS VESTED IN DR. DELRAY DOWNTOWN, LLC A FLORIDA LIMITED LIABILITY COMPANY, THAT THE CURRENT TAXES HAVE BEEN PAID, THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON, AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DESCRIBED BY THIS PLAT.

DATED _____ BY _____
PRINT NAME: GREGORY VIRGILI
ATTORNEY-AT-LAW IN FLORIDA

CITY OF DELRAY BEACH:

THIS PLAT OF "KOLTER HOTEL DELRAY", WAS APPROVED ON THE _____ DAY OF _____, A.D. 2017, BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA.

MAYOR _____ ATTEST _____
CITY CLERK

AND REVIEWED, ACCEPTED, AND CERTIFIED BY _____

BY _____ DIRECTOR OF PLANNING AND ZONING
BY _____ CHAIRPERSON, PLANNING AND ZONING BOARD

BY _____ CITY ENGINEER
BY _____ CITY OF DELRAY BEACH FIRE MARSHALL

BY _____ DIRECTOR, ENVIRONMENTAL SERVICES

REVIEWING SURVEYOR:

THIS IS TO CERTIFY THAT THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER UNDER CONTRACT WITH THE CITY OF DELRAY BEACH, FLORIDA, HAS REVIEWED THIS PLAT OF "KOLTER HOTEL DELRAY", AS REQUIRED BY CHAPTER 177.00(1), FLORIDA STATUTES, AND FINDS THAT IT COMPLES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES.

DATED _____
DAVID P. LINDLEY, P.L.S.
FLORIDA REGISTRATION NO. 4409
CALIFIELD & WHEELER, INC.
P.O. BOX 3591
7500 GLADES ROAD, SUITE 100
BOCA RATON, FL 33434

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) AND MONUMENTS ACCORDING TO SEC. 177.00(19) F.S., HAVE BEEN PLACED AS REQUIRED BY LAW, AND FURTHER THAT THE SURVEY DATA COMPLES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF CITY OF DELRAY BEACH, FLORIDA.

DATED _____

DR. DELRAY DOWNTOWN, LLC
CITY OF DELRAY BEACH
REVIEWING SURVEYOR
SURVEYOR

JOHN T. DOOGAN, P.L.S.
FLORIDA REGISTRATION NO. 4409
AVIROM & ASSOCIATES, INC.
P.O. BOX 3300
50 S.W. 2ND AVENUE, SUITE 102
BOCA RATON, FL 33432

THIS INSTRUMENT WAS PREPARED BY:
 JERRY T. DUFFAN, P.E.
 AVIROM & ASSOCIATES, INC.
 SURVEYING & MAPPING
 50 S.W. 20th AVENUE, SUITE 102
 BOCA RATON, FLORIDA 33432
 (561) 392-2594

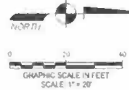
KOLTER HOTEL DELRAY BEING A REPLAT OF LOTS 13 THROUGH 20, INCLUSIVE, BLOCK 118, CONKLING & THORNDYKE SUBDIVISION OF BLOCK 118, AS RECORDED IN PLAT BOOK 2, PAGE 8 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA SITUATE IN SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST, IN THE CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.

STATE OF FLORIDA)
 COUNTY OF PALM BEACH)
 THIS PLAT WAS FILED FOR
 RECORD AT _____ M.
 THIS _____ DAY OF _____
 A.D. 2017 AND DULY RECORDED
 IN PLAT BOOK _____ ON
 PAGES _____ THROUGH _____
 SHARON R. BOCK
 CLERK AND COMPTROLLER
 BY _____
 DEPUTY CLERK
 SHEET 2 OF 2 SHEETS

NOTES:

1. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEFINITION OF THE SUBDIVIDED LANDS DESCRIBED HEREON AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
2. THERE SHALL BE NO BUILDINGS OR ANY KIND OF CONSTRUCTION PLACED ON WATER, SEWER OR DRAINAGE EASEMENTS. NO STRUCTURES SHALL BE PLACED WITHIN A HORIZONTAL DISTANCE OF 10 FEET FROM ANY EXISTING OR PROPOSED CITY OF DELRAY BEACH MAINTAINED WATER, SEWER OR DRAINAGE FACILITIES. CONSTRUCTION OR LANDSCAPING UPON MAINTENANCE OR MAINTENANCE ACCESS EASEMENTS MUST BE IN CONFORMANCE WITH ALL BUILDING AND ZONING CODES AND/OR ORDINANCES OF THE CITY OF DELRAY BEACH.
3. THERE SHALL BE NO TREES OR SHRUBS PLACED ON UTILITY EASEMENTS WHICH ARE PROVIDED FOR WATER AND SEWER USE OR UPON DRAINAGE EASEMENTS. LANDSCAPING OR OTHER UTILITY EASEMENTS SHALL BE ALLOWED ONLY AFTER CONSENT OF ALL THE UTILITY COMPANIES OCCUPYING SAME.
4. BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE NORTH LINE OF LOT 20, BLOCK 118 HAVING A BEARING OF N89°02'42"E.
5. THE CITY OF DELRAY BEACH IS HEREBY GRANTED THE RIGHT OF ACCESS FOR EMERGENCY AND MAINTENANCE PURPOSES.
6. UNLINED SEEBACK LINES SHALL BE AS REQUIRED BY CURRENT CITY OF DELRAY BEACH ZONING REGULATIONS.
7. IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE CROSS, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY. UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY. ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY. AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE, WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
8. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION 1/4 FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.
9. ABBREVIATION LEGEND: S = CENTERLINE, S = CENTRAL ANGLE, L = ARC LENGTH, L = UNLINED BUSINESS, D.R.B. = OFFICIAL RECORDS BOOK, P.L.S. = PROFESSIONAL LAND SURVEYOR, P.B. = PLAT BOOK, P.B.C.R. = PALM BEACH COUNTY PUBLIC RECORDS, P.C. = PALM BEACH COUNTY, P.R.M. = PERMANENT REFERENCE MONUMENT, R = RADIUS, R.P.B. = ROAD PLAT BOOK, D = INDICATES 1/4 PERMANENT REFERENCE MONUMENT, A 4"x4"x4" CONCRETE MONUMENT AND A 5" BRASS DISC STAMPED "P.B. 118 3500".

**WEST 1/4 CORNER
 SECTION 16-46-43
 BRASS DISC**
 N 77°13'13.80" W
 E 95°14'42.70" E



BLOCK 110
 (P.B. 1/A, P.B.C.R.)

U.S. HIGHWAY NO. 1 (STATE ROAD 5)

(S.E. 6TH AVENUE)
 60' PUBLIC RIGHT-OF-WAY
 (P.B. 2/12H, P.B.C.R.)

S.E. 2ND STREET
 (INGRAM AVENUE)
 50' PUBLIC RIGHT-OF-WAY
 (P.B. 2/12H, P.B.C.R.)

R=15.00'
 L=423.39'
 S=09°09'00"

N 77°13'13.80" W
 E 96°14'42.70" E

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 E 96°14'42.70" E

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N 77°13'13.80" W
 E 96°14'42.70" E

N 77°13'13.80" W
 E 96°14'42.70" E

TRACT "A"
 30,945 SQUARE FEET
 1.1025 ACRES

TRACT "B"
 1,073 SQUARE FEET
 0.0384 ACRES

REMAINDER OF BLOCK 118
 (P.B. 2/12H, P.B.C.R.)

COORDINATE NOTE:

STATE PLANE COORDINATES SHOWN HEREON ARE 2011 DATUM, BASED ON THE 2011 ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83/2011, EPOCH 2010.00). COORDINATE SYSTEM 1983 STATE PLANE, TRANSVERSE MERCATOR PROJECTION. ZONE 11 NORTH EAST ZONE. UNITS: FEET. SCALE FACTOR = 1.00000000. GRID DISTANCE = SHOWN DISTANCE * SCALE FACTOR.

THESE WERE MADE TO THE SOUTHWEST AND WEST 1/4 CORNER OF SECTION 16, TOWNSHIP 46 SOUTH, RANGE 43 EAST AND ARE REFERENCED TO COORDINATES PUBLISHED BY PALM BEACH COUNTY ENGINEERING DEPARTMENT AS DEPICTED HEREON.

AREA TABULATION

TRACT "A"	30,945 SQUARE FEET	1.1025 ACRES
TRACT "B"	1,073 SQUARE FEET	0.0384 ACRES
TRACT "C"	159 SQUARE FEET	0.0037 ACRES
TOTAL AREA OF PLAT	32,177 SQUARE FEET	1.1446 ACRES

THE FOLLOWING UTILITY PROVIDERS ATTEST THAT SERVICES CAN
BE PROVIDED TO THE SUBJECT PROJECT:

PRINTED NAME: _____
TITLE: _____

SIGNATURE: _____
DATE: _____

PRINTED NAME: _____
TITLE: _____

SIGNATURE: _____
DATE: _____

PRINTED NAME: _____
TITLE: _____

SIGNATURE: _____
DATE: _____

PRINTED NAME: PHU S. PHU
FILE: IN. NGUYEN PHU S. PHU

SIGNATURE: [Signature]
DATE: 10/20/07

PRINTED NAME: Steve Rios
TITLE: Sr. Field Clerk

SIGNATURE: _____
DATE: 2/2/2016

PRINTED NAME: FRANK L. GALT

SIGNATURE: _____
DATE: 11/9/88

PRINTED NAME: GEORGE THOMAS
NIGR. OSPENGA ~~OSPENGA~~

SIGNATURE: [Signature]
DATE: 01-31-2017



LAND DESCRIPTION:

LOTS 13, 14, 15, 16, 17, 18, 19 and 20 in Conding & Thorndike Subdivision of Block 118, City of Jersey Beach, Florida, according to the Plat thereof recorded in Plat Book 2, page 8, of the Public Records of Palm Beach County, Florida, less the West 3 feet thereof for road.

Sold lands situate in the City of Vero Beach, Palm Beach County, Florida and containing 42,776 square feet (2.16 acres) more or less.

SURVEYING NOTES:
EXISTING ELEVATIONS AND CONDITIONS SHOWN HEREON WERE TAKEN FROM
TOPOGRAPHICAL SURVEY PREPARED BY SYMON & ASSOCIATES, INC. JOB
NO. 12-6-6-18

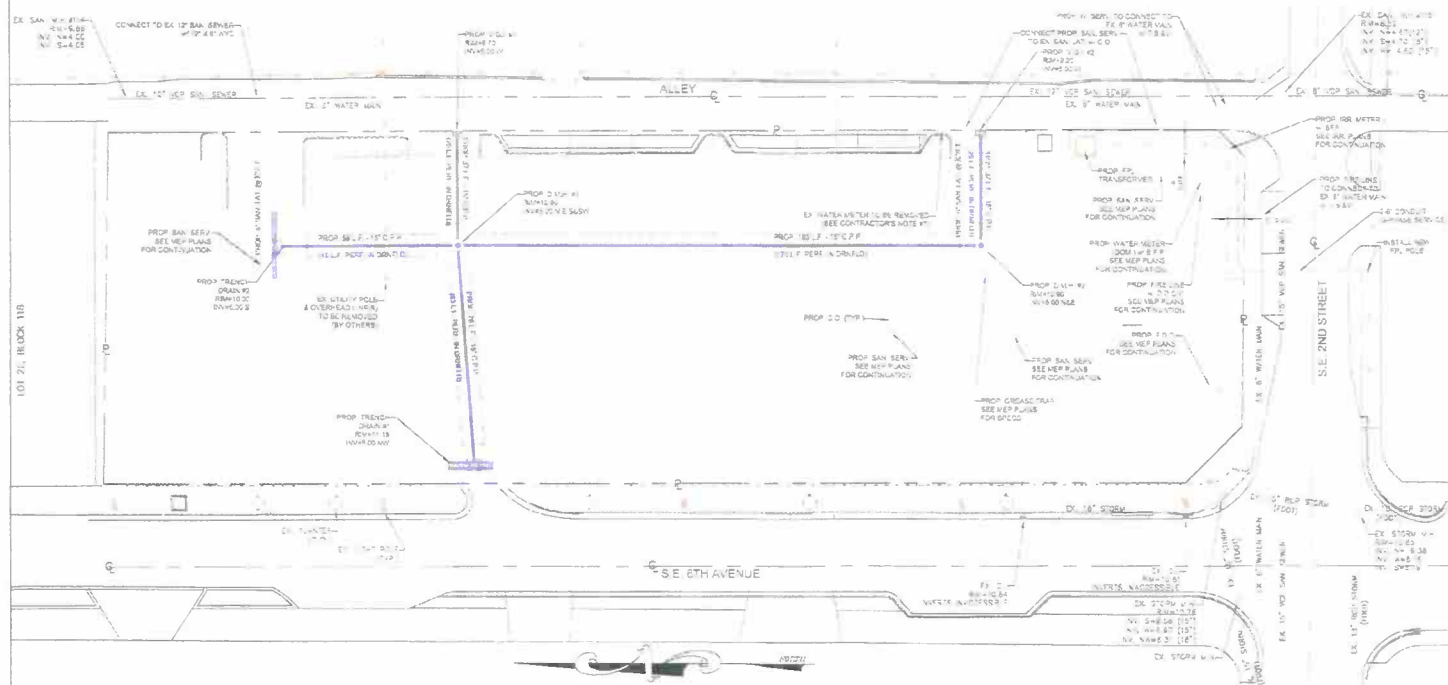
2. EXISTING ELEVATIONS 5'-0" ARE IN FEET AND BASED ON THE NATIONAL GEODEIC DATUM, DATUM OF 1929 (NAD 1929).

3. BENCHMARK DESCRIPTION: "A AND "B" ARE AT EAST FRONT-DOORWAY 5 6TH AVENUE AND CENTERLINE S.E. 5TH STREET. ELEVATION = 6.84 FEET (NAD 1929).

END

- PROPOSED CATCH BASIN (C.B.)
- PROPOSED MANHOLE (M.H.)
- PROPOSED CLEANOUT (C.O.)
- PROPOSED FIVE (5) INCH (IN.)
- PROPOSED DIRT VAULT (D.V.)
- PROPOSED WATER METER & BACKFLOW PREVENTER (B.F.P.)
- PROPOSED SLOPE DETECTOR CHECK VALVE (S.D.V.)

DISCLAIMER:
INFORMATION SHOWN ON THIS PLAN
IS A GRAPHIC REPRESENTATION ONLY
AND IS NOT TO BE USED IN LIEU OF
A HORIZONTAL CONTROL PLAN.



NOV 3 1996

DIVERSIFIED CONSTRUCTION
DCES
 & ENGINEERING SERVICES
 27295 N.W. CUSHORUM HWY., #173, IRVING, TEXAS 75039
 561/756-5112 FAX 561/750-5046

REVISED	DATE	DESCRIPTION	CHK.
1			
2			
3			
4			
5			
6			
7			

KOLTER HOTEL
JULY BEACH, FLORIDA
COMPOSITE OVERLAY PLAN

DCES

SCALE: 1" = 2'

DATE: 7/21/2018

DWN. BY: 3

CHK BY:

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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2100-16

[illegible]

Site Engineering Plans for

KOLTER HOTEL

CITY OF DELRAY BEACH, FLORIDA

OWNER/DEVELOPER

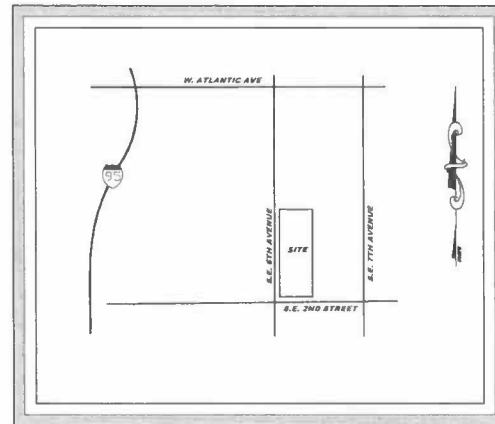
DK DELRAY DOWNTOWN LLC
701 S. OLIVE AVENUE, SUITE 104
WEST PALM BEACH, FL 33401
(561) 682-9500

ENGINEER

DIVERSIFIED CONSTRUCTION &
ENGINEERING SERVICES
2295 N.W. CORPORATE BLVD., SUITE 125
BOCA RATON, FL 33431
(561) 750-3717

ARCHITECT

SLATTERY & ASSOCIATES
2060 NW BOCA RATON BLVD., SUITE 2
BOCA RATON, FL 33431
(561)392-3848



LOCATION MAP

(NOT TO SCALE)

F.D.O.T. PERMIT # 2017-A-496-0025-93010
S.E. 6TH AVE. POSTED SPEED LIMIT: 35 MPH

ALL MATERIALS AND CONSTRUCTION WITHIN FLORIDA DEPARTMENT
OF TRANSPORTATION (F.D.O.T.) RIGHT-OF-WAY SHALL CONFORM TO
F.D.O.T. DESIGN STANDARDS FY2017-18 AND JULY 2017 STANDARD
SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

INDEX OF DRAWINGS

COVERSHEET

- C-1 PAVING, GRADING & DRAINAGE PLAN
- C-2 PAVING, GRADING & DRAINAGE DETAILS
- C-3 CROSS SECTIONS
- C-4 WATER AND SEWER PLAN
- C-5 WATER AND SEWER DETAILS
- EC-1 EROSION CONTROL PLAN
- PM-1 PAVEMENT MARKING & SIGNAGE PLAN

LAND DESCRIPTION:

LOTS 13, 14, 15, 16, 17, 18, 19 and 20 in Conking & Thorndyke
Subdivision of Block 118, City of Delray Beach, Florida,
according to the Plat thereof recorded in Plat Book 2, page 8,
of the Public Records of Palm Beach County Florida, Less the
West 5 feet thereof for road.

Said lands situate in the City of Delray Beach, Palm Beach
County, Florida and containing 52,775 square feet (1.2116
acres) more or less.

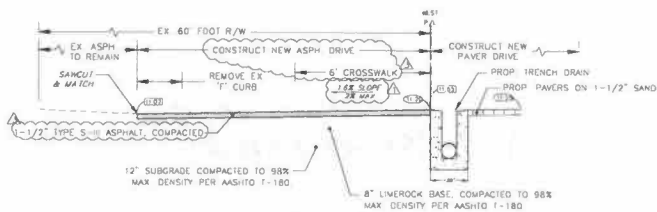
NEAL B JANOV #21998

DIVERSIFIED CONSTRUCTION
DCES
& ENGINEERING SERVICES
2295 N.W. CORPORATE BLVD #125, BOCA RATON, FL 33431
561-750-3717 FAX 561-750-3886
DB #495

REVISIONS	DATE	DWN.	CHK.
1. AS NOTED PER 12/27/17 PER COMMENTS	12/27/17	SL	SL
2. AS NOTED PER 12/27/17 PER COMMENTS	12/27/17	SL	SL

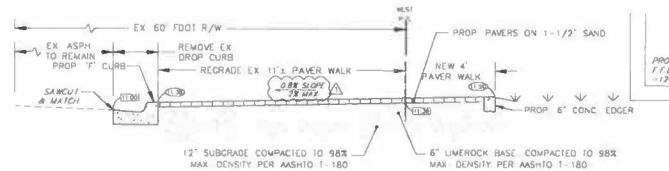
KOLTER HOTEL
DELRAY BEACH, FLORIDA
COVERSHEET

DCES
SCALE: NONE
DATE: 3-23-17
DWN. BY: SL
CHK. BY: NBJ
F.B. PG.
JOB NO.:
2188-16
SHEET: 1 OF 1



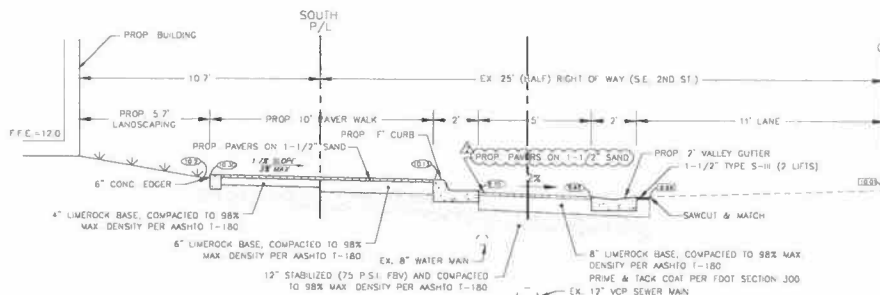
SECTION A-A

NOTE: ASPHALT DRIVE TO BE CONSTRUCTED IN ACCORDANCE WITH FOOTING PERMITS. REFER TO HARDSHIP PLANS FOR ON-SITE PAVEMENT DETAILS AND SPECIFICATIONS.



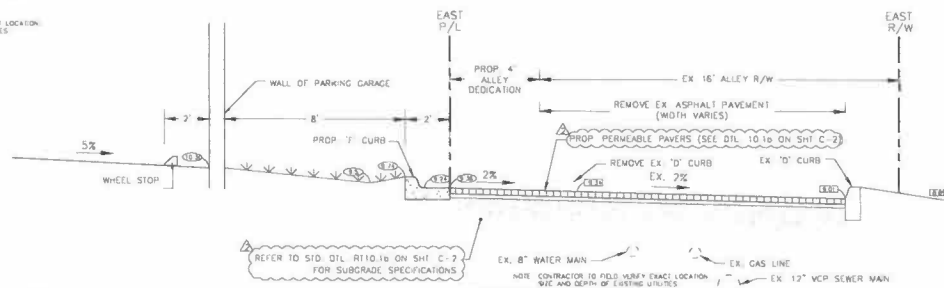
SECTION B-B

NOTE: PAVERS WITHIN FOOTING SHALL COMPLY WITH CITY'S STANDARD DETAIL RT10.16 (SEE SHEET C-2). REFER TO HARDSHIP PLANS FOR ON-SITE PAVEMENT DETAILS AND SPECIFICATIONS.



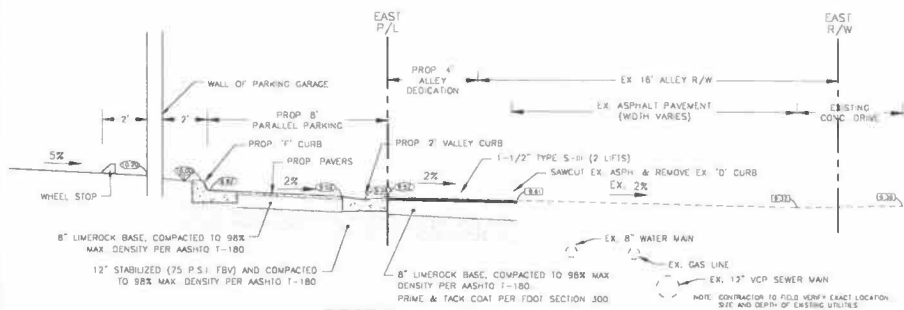
SECTION C-C

NOTE: PAVERS WITHIN CITY RIGHT-OF-WAY SHALL COMPLY WITH CITY'S STANDARD DETAIL RT10.16 (SEE SHEET C-2). REFER TO HARDSHIP PLANS FOR ON-SITE PAVEMENT DETAILS AND SPECIFICATIONS.



SECTION D-D

NOTE: PAVERS WITHIN ALLEYWAY SHALL COMPLY WITH CITY'S STANDARD DETAIL RT10.16 (SEE SHEET C-2). REFER TO HARDSHIP PLANS FOR ON-SITE PAVEMENT DETAILS AND SPECIFICATIONS.



SECTION E-E

NOTE: REFER TO HARDSHIP PLANS FOR ON-SITE PAVEMENT DETAILS AND SPECIFICATIONS.

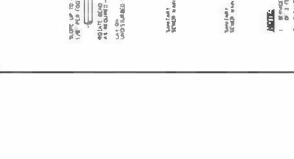
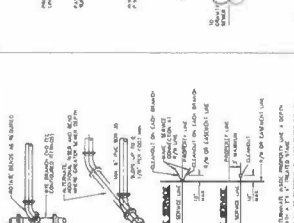
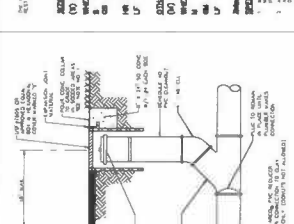
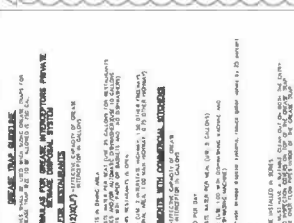
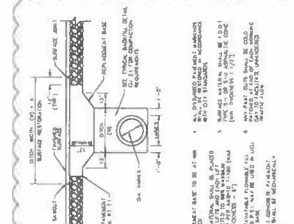
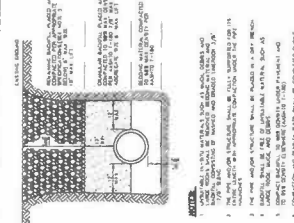
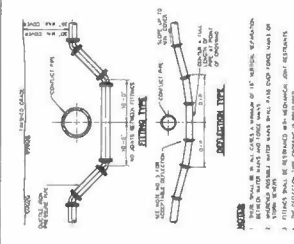
DIVERSIFIED CONSTRUCTION
DCES
& ENGINEERING SERVICES
2285 N.W. CORPORATE BLVD. #125, BOCA RATON, FL 33431
561-750-3717 FAX 561-750-3886
CB #458

REVISIONS	DATE	BY	CHK.
1. REVISED PER 3/24/17 PER COMMENTS	3/24/17	S.J.	
2. REVISED PER S.P. & TAC COMMENTS	1/17/17	S.J.	
3. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	
4. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	
5. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	
6. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	
7. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	
8. REVISED PER 10/20/17 COMMENTS	10/20/17	S.J.	

KOLTER HOTEL
DELRAY BEACH, FLORIDA
CROSS SECTIONS

SCALE: NONE
DATE: 3-23-17
DWN. BY: S.J.
CHK. BY: N.B.J.
F.H. PG.
JOB NO.: 2188-16
SHEET: C-3 OF 5

NEAL B. JANDY #21998



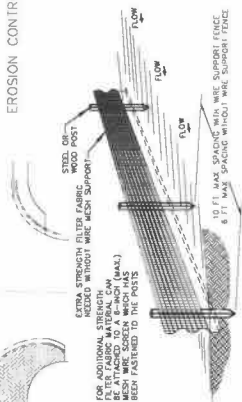


LOCATION SKETCH

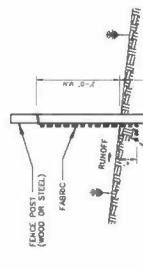
SECTION 16, TOWNSHIP 46S, RANGE 43E
NOT TO SCALE

- [illegible]

EROSION CONTROL NOTES DETAIL D9.1

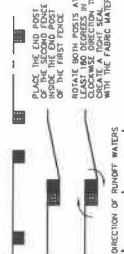


1. THE HEIGHT OF A SILL FENCE SHALL NOT EXCEED SIX INCHES (60 CM).
2. THE FENCE FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARBER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART. THE BARBER LOCATION SHOULD BE MARKED WITH WHITE PLYWOOD OR WHITE PAINT. WHITE PLYWOOD SHOULD BE USED WHENEVER THE WHITE SUPPORT FENCE SHALL BE STAPLED TO THE FENCE FABRIC.
4. A TYPICAL SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 6 INCHES (15 CM) DEEP ALONG THE LINE OF POSTS AND DEVELOPE FROM THE BARBER.
5. THE STANDARD STRENGTH FIBER FABRIC IS USED. A MORE MESH SUPPORT FENCE SHALL BE USED WHEN THE BARBER IS LOCATED IN A HOLE OR WHEN THE FENCE SHALL BE STAPLED AT LEAST 10 IN (25 CM) LONG. THE MESH, OR HOLE RINGS, SHOULD BE AT LEAST 1/2 IN (1 CM) WIDE. THE MESH OR HOLE RINGS SHOULD NOT LET MORE THAN 6 INCHES (15 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FIBER FABRIC SHALL BE STAPLED OR WROD TO THE FENCE POSTS. THE STAPLES OR WROD SHALL BE STAPLED OR WROD TO THE FIBER FABRIC SURFACE. THE STAPLES OR WROD SHALL NOT BE MORE THAN 6 INCHES (15 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE FIBER FABRIC SHALL BE BACKFILLED AND THE SILL COMPLETED OVER THE FIBER FABRIC.
8. ALL PROJECTS MUST BE SUBJECT TO INSPECTION BY THE BARBER (S) AND THE BARBER SHALL HAVE THE RIGHT TO STOP ANY WORK THAT DOES NOT MEET THE REQUIREMENTS OF THE FIBER FABRIC.
9. ALL PROJECTS MUST BE SUBJECT TO INSPECTION BY THE BARBER (S) AND THE BARBER SHALL HAVE THE RIGHT TO STOP ANY WORK THAT DOES NOT MEET THE REQUIREMENTS OF THE FIBER FABRIC.



SILT FENCE SECTION

NOT TO SCALE

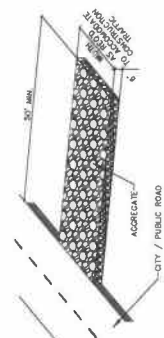


ATTACHING TWO SILT FENCES

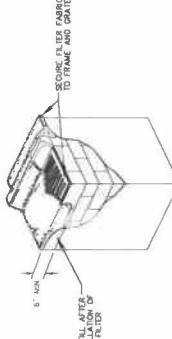
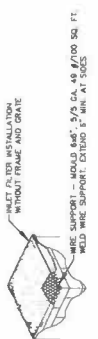
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9 1b

Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE
CONSTRUCTED AND CONTAIN AN AGGREGATE
LAYER (DOT AGGREGATE NO.1), AT LEAST
6-INCHES THICK. IT MUST EXTEND TO THE
WIDTH OF THE VEHICULAR INGRESS AND
EGRESS AREA.

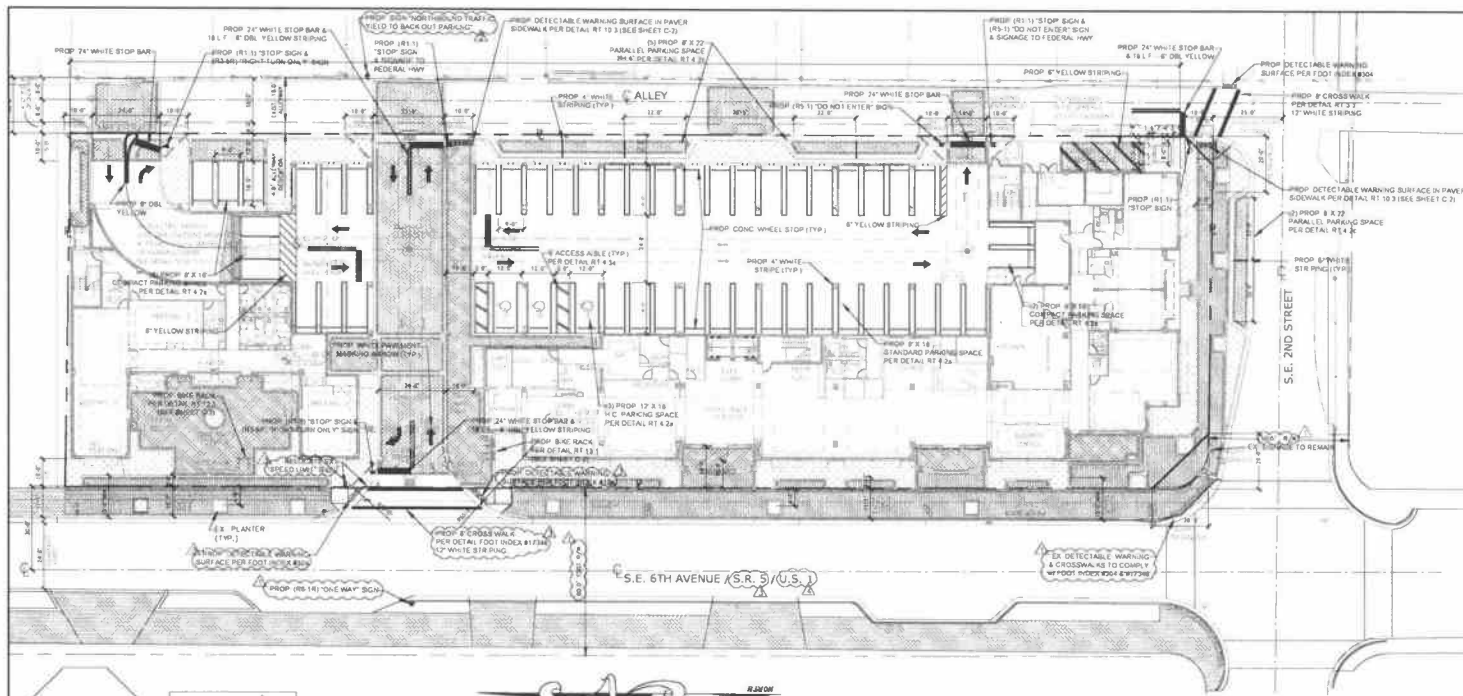


- NOTES**
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 2. CONTRACTION TO REMOVE FABRIC JAIL PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE BASIN. THE TRAP SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 12 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE DRAINAGE DIRECTION. THE TRAP SHALL BE CONSTRUCTED OF 18" DIA. STORM WATER MAIN WILL REACH THE SEDIMENT TRAP VIA CURB CUTS AT EACH END OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 18" DIA. STORM WATER MAIN SHALL ALSO REACH THE BASIN VIA OVERFLOW CURB CUTS. THE CURB CUTS SHALL BE REPAIRED WHEN REQUIRED.

UNIT FILTER DETAIL 0 8 1

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9 1C

B6612# ADVAR 8 JANU 8 1998



PAVEMENT MARKING SPECIFICATIONS
All Pavement markings to be installed per these (typical) plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.O.D.T. and the manual on uniform traffic control devices (MUTCD).

PERMANENT MARKINGS

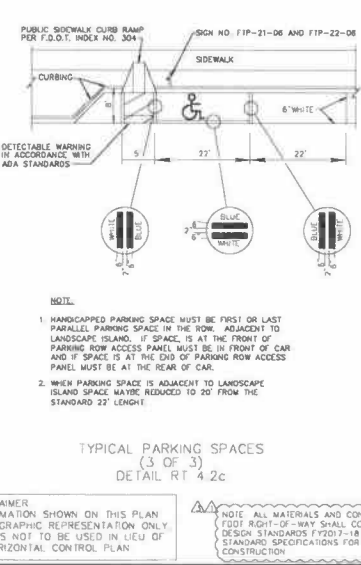
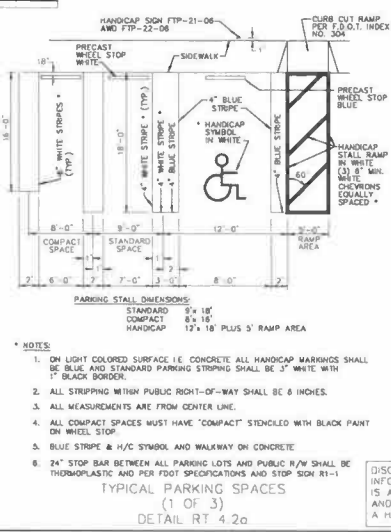
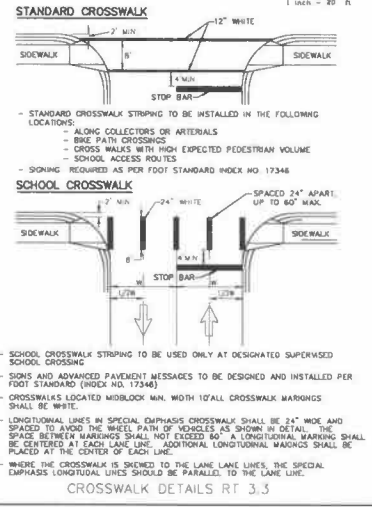
- Installation:**
- All markings shall be installed by the extruded method.
 - Markings shall be free of weeds, moss, dirt, and other interfering items.
 - Chalk shall be used for all layout markings.
- Materials:**
- All materials shall be dyed or hydrocarbon thermoplastic meeting all FDOT specifications.
- Thickness:**
- All markings shall be installed to yield 90 mils of material measured above the pavement surface.
- Squares:**
- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.
- Alternate Material:**
- STANDARD marking tape, or equivalent may be used, as approved or directed by the City Engineer.
- Layout:**
- Layout shall be made using marking chalk.
 - It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

- Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.
- Final Pavement Surface:**
- Only full backed marking tape is allowed.
 - All tape shall be totally removed concurrent with permanent marking placement.
- Other Pavement Surfaces:**
- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

DIVERSIFIED CONSTRUCTION
DCES
& ENGINEERING SERVICES
2335 S.W. 11th Ave., Suite 100
Fort Lauderdale, FL 33311
561-750-3377 FAX 561-750-3686
EO #6459

REVISIONS	DATE	BY	CHK.	APP.
1. REVISED PER FDOT COMMENTS	1/27/17	S.J.		
2. REVISED PER FDOT COMMENTS	2/1/17	S.J.		
3. REVISED PER FDOT COMMENTS	2/1/17	S.J.		
4. REVISED PER FDOT COMMENTS	2/1/17	S.J.		
5. REVISED PER FDOT COMMENTS	2/1/17	S.J.		



PAVEMENT MARKING SPECIFICATIONS RT 8.1a
(Sheet 1 of 2)

- ALL PAVEMENT MARKINGS**
- All paved surfaces shall be properly marked prior to the hours of darkness.
- RAISED PAVEMENT MARKERS**
- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
 - R.P.M.s shall be a 4" x 4" type with "90" marking meeting F.O.D.T. specifications and shall be approved by the City Engineer prior to use.
 - R.P.M.s shall be installed using dyed thermoplastic on asphalt and epoxy on concrete.
- OTHER NOTES**
- All materials within right-of-way shall be thermoplastic and per F.O.D.T. specifications.
 - Pavement markings within private parking lots may be painted according to F.O.D.T. specifications, except for all stop bars adjacent to public right-of-way.

PAVEMENT MARKING SPECIFICATIONS RT 8.1b
(Sheet 2 of 2)

KOLTER HOTEL
DELAIR BEACH, FLORIDA
PAVEMENT MARKING & SIGNAGE PLAN

DCES
SCALE: 1"=20'
DATE: 3-23-17
DWN. BY: S.J.
CHK. BY: N.B.J.
F.B. PG.
JOB NO.: 2188-16
SHEET: PM-1 OF 1

DISCLAIMER
INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

NOTE: ALL MATERIALS AND CONSTRUCTION WITHIN FDOT RIGHT-OF-WAY SHALL CONFORM TO FDOT DESIGN STANDARDS FY2017-18 AND JULY 2017 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

NEAL B. JANOV #21998