

PLANNING AND ZONING BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: January 22, 2018

ITEM: **Q Veterinary Services (2017-256):** Provide a recommendation to the City Commission on a Conditional Use for the establishment of a Veterinary Clinic. (Quasi-Judicial Hearing).

RECOMMENDATION: Approval of the Conditional Use Request.

GENERAL DATA:

Owner..... Delray Oasis Business Park LLC

Applicant..... Kristin Quisenberry, DVM

Location..... East side of Federal Hwy. between Bond Way and S. Lave Ave.

Property Size..... 0.29 acres

Future Land Use Map..... General Commercial (GC)

Zoning Designation..... GC

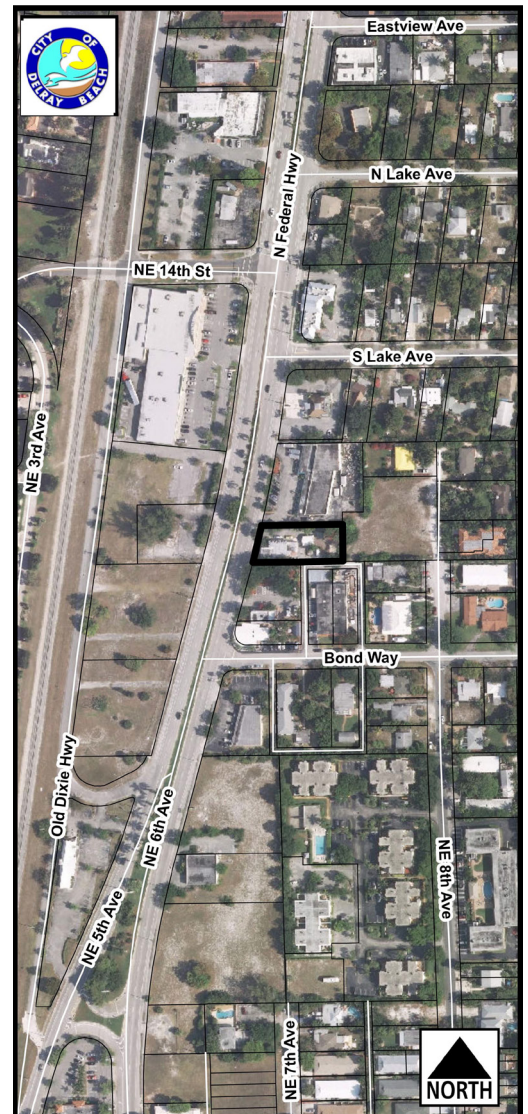
Adjacent Zoning..... North: GC
East: Multiple Family Residential - Medium Density (RL)
South: GC
West: GC

Existing Land Use..... Retail, Residential, Business Office

Proposed Land Use..... Veterinary Clinic and Business Office

Water Service..... Existing on site

Sewer Service..... Existing on site



Location Map Not To Scale

ITEM BEFORE THE BOARD

The action before the Board is a recommendation to the City Commission on a Conditional Use for the establishment of a veterinary clinic for **Q Veterinary Services** located at **1235 N. Federal Hwy.**, pursuant to LDR Section 4.4.9(D)(14).

BACKGROUND

The subject property consists of 0.29 acres and is located on the east side of N. Federal Hwy., between Bond Way and S. Lake Ave. The property was annexed into the City via ordinance 145-88 in 1988. The property has a GC (General Commercial) zoning and Future Land Use Map (FLUM) designation. The existing one-story, 1,643 sq.ft. building was built in 1940 as a single family home. According to the City's records, the front portion of the home, consisting of 1,218 sq.ft., was converted to retail space and the remaining rear portion of the building, consisting of 425 sq.ft., was utilized as a one bedroom dwelling unit. An existing 400 sq. ft. garage is utilized as an office space is located to the rear of the property.

PROJECT DESCRIPTION

The proposed veterinary clinic, known as Q Veterinary Services, will occupy the entire one-story building located at 1235 N. Federal Hwy. Q Veterinary Services will be a full service veterinary clinic offering exams, procedures, and surgeries, consistent with a general veterinary practice. The veterinary clinic will not offer boarding, daycare or overnight care of patients except for the care of patients which are under supervision of the veterinary staff. The anticipated hours of operation are from 8:00am to 6:00pm, Monday through Friday and from 8:00am to 1:00pm on Saturdays. The facility will be closed on Sundays. The office will accommodate five employees including the veterinarian, two technicians and two receptionists. No exterior structural or aesthetic improvements are proposed to the building. Additional parking spaces in the rear of the property and a bicycle rack adjacent to the building are proposed.

CONDITIONAL USE ANALYSIS

Pursuant to **LDR Section 3.1.1, Required Findings**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zone district and the zoning district must be consistent with the land use designation. The subject property has a GC Future Land Use Map (FLUM) designation and is zoned GC. Veterinary clinics are listed as an allowed conditional use in the GC Zoning District by LDR Section 4.4.9(D)(14). The GC zoning district is consistent with the GC FLUM designation.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan. As the building is existing a certificate of occupancy is not required for the proposed use, however specific to this development proposal, changes in the level of services for traffic and solid waste are highlighted below.

Traffic:

The traffic statement submitted indicates that the daily vehicle trips associated with the proposed use conversation from commercial to a veterinary clinic is projected to reduce by 24

trips. Five net new vehicle trips will be generated in the AM peak hour, and one vehicle trip is expected to be reduced during the PM peak hour. The reduction in daily trips and the minor increase in AM trips are not considered to have a significant or negative impact on adjacent traffic circulation (North Federal Highway) or the adjacent neighborhood. A positive finding of concurrency from the Palm Beach County Traffic Division was submitted which has determined the proposed development meets the Traffic Performance Standards of Palm Beach County.

Solid Waste:

Previous Use:

Retail/ Commercial Spaces: 1,066 sq.ft. x 10.2 lbs. = 10,873 lbs. /2,000 = 5.43 tons per year

Dwelling Unit: 1 unit x 1.99 lbs = 1.99 tons per year

Total: 7.42

Proposed Use:

Medical Office Spaces: 1,491 sq. ft. x 4.6 lbs. = 6,858 lbs. /2,000 = 3.42 tons per year

A review of solid waste impacts indicates a decreased generation rate based on the previous uses and the proposed veterinary clinic (which falls within the category of medical office for waste generation rates). The proposed veterinary clinic use will generate 3.42 tons of waste per year, which represents a reduction of 3 tons of waste per year (7.42 tons – 3.42 tons = 4 tons/year). Based on population projections, waste generation rate projections, waste reduction, and recycling the Solid Waste Authority forecasts that capacity will be available at the existing landfill through 2047.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(E) (5) for the Conditional Use request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

Required findings under LDR Section 2.4.5(E) are discussed later in this report. The following objective found in the adopted Comprehensive Plan may also be used in making a finding of overall consistency:

Future Land Use Element – Objective A-1: Property shall be developed or redeveloped, in a manner so that the future use and intensity is appropriate in terms of soil, topographic, and other applicable physical considerations; is complementary to adjacent land uses; and fulfills remaining land use needs.

The addition of a parking lot located in the rear of the property and the installation of a bike rack are proposed to accommodate the veterinary clinic. There are no physical concerns with the proposed parking lot location. With the establishment of a veterinary clinic, consideration must be undertaken to determine if the use is complementary to the adjacent land uses. The adjacent land use to the north is retail, to the east is multifamily residential, to the south is commercial, and to the west is vacant (across Federal Hwy). The proposed use is not anticipated to create any negative impacts on the adjacent properties and their uses.

With respect to the residential zoning abutting the existing commercial site, the existing building to be utilized as a veterinary clinic is located approximately 90 feet to west of the residential zoning property. Per LDR Section 4.6.4(A)(2)(a), where the rear or side of a commercially zoned property directly abuts residentially zoned properties without any division or separation between them, such as a street, alley, railroad, waterway, park or other public open space, the commercially zoned property shall provide ten-foot building setback from the property line located adjacent to the residentially zoned property. In addition, either a solid finished masonry wall six feet in height, or a continuous hedge at least four and one-half feet in height at the time of the installation, shall be located inside and adjacent to the portion of the boundary line of the commercially zoned property which directly abuts the residentially zoned property. As a solid

privacy fence is existing on the residentially zoned property to the east, the site plan modification application associated with the establishment of this conditional use shall address this requirement. It is recommended that a continuous hedge, at least four and one-half feet in height at the time of the installation, be introduced on the east side of the property to provide additional buffering from the adjacent residential property.

Moreover, with the establishment of a veterinary clinic, the primary concerns with compatibility are the noise generated by barking pets, the manner in which biological wastes are disposed of, and traffic impact.

The applicant has indicated that services offered will not include boarding or daycare or overnight accommodation of pets. Those animals which need overnight medical attention will be transferred to an overnight emergency facility. As the facility will not provide for daycare or boarding, and pets will be kept indoors, no additional noise outside of normal business operations is anticipated.

Pertaining to the disposal of biological wastes, the applicant has indicated that biological or hazardous wastes (such as needles, scalpel blades, surgical instruments, products harmful to the environment, and infected animal tissue) will be disposed of through a contracted third party waste disposal company. The hazardous waste will be contained in red plastic biohazardous waste bins that are stored inside and on the premises. As the containers are filled, a non-removable plastic lid will be inserted, and placed within a red bag-lined cardboard biological waste box for transporting. Other biological waste materials will be disposed of through the public sewage lines. Surgical waste or regular animal tissue is disposed of through regular trash collection.

The applicant provided an executed access easement granting in perpetuity ingress and egress access to the trash collection receptacles located on the adjacent property to the south at 1205 N. Federal Hwy. Prior to the approval of the site plan modification application to establish this conditional use, the legal instrument provided shall be recorded with the Palm Beach County Clerk's Office. The easement shall remain unless released by the City through a site plan modification.

Based on the above analysis, since boarding and daycare services are not allowed to be offered and overnight stay will be restricted to critical patients under the veterinarian supervision, and biological or hazardous wastes will not be disposed of on-site, positive findings can be made with respect to compatibility.

Land Development Regulations Review

In conjunction with the Conditional Use request, a sketch plan of the proposed site plan modifications was submitted which staff has reviewed. It is noted that the conceptual plan is insufficient to conduct a complete analysis of the Land Development Regulations. If the Conditional Use is approved, a complete site plan submittal complying with LDR Section 2.4.3 will be required for the proposed site improvements associated with the Conditional Use request. This requirement is noted as a condition of approval.

Minimum Parking Requirements: According to the City's records, the front portion of the building, consisting 1,218 sq.ft., was most recently approved as a retail space and the remaining rear portion of the building, consisting of 425 sq.ft., as one bedroom dwelling unit. Per **LDR Section 4.6.9(C)(2)(c), Requirement for Residential Uses**, one bedroom dwelling units are required to provide 1.5 spaces per unit and per LDR Section 4.6.9(3)(a), Requirement for Commercial Uses, a retail establishment shall provide 4.5 spaces per 1,000 sq.ft. of gross area. The existing approved uses are required to provide 7 spaces ($1,218 \text{ sq.ft} \times 4.5 / 1,000 = 5.4$ spaces (retail use) + 1.5 spaces (one bedroom dwelling unit) = 6.9 spaces rounded up to 7 spaces) and 7 spaces are existing on-site.

With regard to the proposed uses, the Land Development Regulations do not provide a specific parking requirement for veterinary clinics. In this case, parking is applied by **LDR Section 4.6.9(C)(1)(d), Uses Not Listed**, which permits that any use, or use category, which is not specifically listed herein shall have its parking requirement established at the time of approval of the site and development action associated with the new use or structure.

Historically, the General Commercial rate of 4.5 spaces /1,000 sq. ft. has been used as it has been determined that the medical office rate of 5 spaces /1,000 square feet of gross floor area may be excessive for a single tenant veterinary clinic (i.e. not located within a shopping center.) The parking requirement for the proposed 1,491 sq.ft. veterinary clinic is 6.7 spaces ($1,491 \text{ sq.ft.} \times 4.5 / 1,000 = 6.7 \text{ spaces}$), and the parking requirement for the 400 sq.ft. business office (located on the same site) is 1.6 spaces ($400 \text{ sq.ft.} \times 4 / 1000 = 1.6 \text{ spaces}$). Based on the above analysis, the subject property shall provide eight spaces ($6.7 + 1.6 = 8.3 \text{ spaces}$ rounded down to 8 spaces) to accommodate a veterinary clinic and a business office, and seven spaces are existing on-site.

The conceptual plan provided proposes the introduction of an additional five parking spaces on the rear of the property, which will total 13 parking on-site (subject to changes based on a detailed site plan review). After review and approval of the site plan modification application for the proposed site improvements to establish the conditional use, a surplus of parking spaces is anticipated.

Please note, the parking analysis provided above is based on the floor area indicated on the plans for the establishment of Q Veterinary Services. The site plan indicates that the current building square footage totals 1,491 sq.ft., which is a lower square footage than the 1,643 sq.ft. indicated in the City's records. As such, a revised detailed floor plan verifying the total (gross) floor area contained within the existing building, measured from the exterior surface of outer building walls, shall be provided prior to the final action by the City Commission.

If a change in the gross square footage is recognized, the parking calculation shall be adjusted to reflect the total requirement based on the revised square footage. If a difference is identified which represents an increase in the number of required parking spaces, the surplus provided by the proposed parking lot shall be adjusted accordingly prior to the final action by the City Commission.

Handicap Accessible Parking

Pursuant to **LDR Section 4.6.9(C)(1)(b)**, a minimum of one special parking space designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction. The existing parallel handicap space provided adjacent to the north of the building is proposed to be modified to comply with current ADA requirements.

Bicycle Parking

LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan recommend that a bicycle parking facility be provided. One bike rack accommodating up to five bikes is proposed adjacent to the building.

Refuse Disposal

As noted previously, refuse will be disposed of by a third party agency for biological or hazardous materials. An access easement is provided for the ingress and egress to the adjacent property to the south for the utilization of the existing trash collection receptacles located on the adjacent at 1205 N. Federal Hwy.

Special Requirements for Specific Uses

Pursuant to **LDR Section 4.3.3(W)**, veterinary clinics shall not accommodate on-site disposal of carcasses nor shall it provide overnight accommodations of patients except for those under

medical supervision. Boarding of animals is expressly prohibited. As stated previously overnight accommodations of pets will not be offered and there will be no on-site disposal of carcasses.

REQUIRED FINDINGS

Pursuant to **LDR Section 2.4.5(E)(5), Conditional Use, Findings**, in addition to provisions of Chapter 3, the City Commission must make findings that establishing the conditional use will not:

- A. Have a significantly detrimental effect upon the stability of the neighborhood within which it will be located;
- B. Nor that it will hinder development or redevelopment of nearby properties.

The use is located within an existing commercial structure, and the abutting properties to the north and south are utilized as commercial uses. The residentially zoned property to the east will not be significantly affected by proposed use as the building is located approximately 90 feet from the residentially zoned property line. The property to the west is currently vacant, which is also located on the other side of Federal Hwy. Safeguards are proposed by the applicant that the objectionable aspects of a veterinary clinic such as barking pets, disposal of medical wastes are addressed. Based upon the analysis in this report, a veterinary clinic is compatible with adjacent and nearby properties and will not have a detrimental effect on the stability of the neighborhood within which it is located nor hinder development or redevelopment of nearby properties. A positive finding can be made with respect to LDR Section 2.4.5(E)(5).

REVIEW BY OTHERS

At its meeting of November 9, 2017, the **Community Redevelopment Agency (CRA)** reviewed the development proposal and recommended approval.

Courtesy notices have been sent to the following homeowner's and/or civic associations:

- Palm Trail Homeowner's Association
- La Hacienda Homeowner's Association
- Seacrest Association

A formal public notice has been provided to property owners within a 500' radius of the subject property per LDR Section 2.4.2(B)(1)(e). Letters of objection or support, if any, will be presented at the Planning and Zoning Board meeting.

ASSESSMENT AND CONCLUSION

The Conditional Use request is to allow the establishment of a veterinary clinic. There will be no boarding or daycare services offered. Additionally, biological and hazardous waste will be contained within the office and picked-up directly from the office and there will be no-site disposal of carcasses. Other waste will be collected and stored in plastic bags for disposal into the dumpster at the end of each day. The proposed use is consistent with the policies of the Comprehensive Plan and Chapter 3 of the Land Development Regulations. Positive findings can be made with respect to Section 2.4.5(E)(5) that it will not have a significant detrimental effect upon the stability of the neighborhood nor will it hinder development or redevelopment of nearby properties.

ALTERNATIVE ACTIONS

- A. Continue with direction.

- B. Recommend approval to the City Commission for a Conditional Use to allow a veterinary clinic at **1235 N. Federal Hwy for Q Veterinary Services (2017-256)**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(E)(5), and Chapter 3 of the Land Development Regulations.
- C. Recommend denial to the City Commission for a Conditional Use to allow a veterinary clinic at **1235 N. Federal Hwy for Q Veterinary Services (2017-256)**, by adopting the findings of fact and law, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(E)(5), and Chapter 3 of the Land Development Regulations.

RECOMMENDED ACTION

Recommend of approval to the City Commission for a Conditional Use to allow a veterinary clinic at **1235 N. Federal Hwy for Q Veterinary Services (2017-256)**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(E)(5), and Chapter 3 of the Land Development Regulations with the following condition:

1. A complete site plan modification application shall be submitted which complies with LDR Section 2.4.3, and that the approval of the proposed site improvements associated with the Conditional Use request include the following requirements:
 - a) A continuous hedge at least four and one-half feet in height at the time of the installation be provided on the east side of the property as a separation from the residentially zoned property to the east;
 - b) The recordation (with the Palm Beach County Clerk's Office) of the legal instrument granting ingress and egress to the adjacent property to the south, 1205 N Federal Hwy, for the utilization of the existing refuse.

Note:

A detailed floor plan verifying the total (gross) floor area contained within the existing building, measured from the exterior surface of outer building walls, shall be provided prior to the final action by the City Commission.

Report Prepared By: Debora Slaski, Planner

Tenant Improvement

Q Veterinary Services Inc

1235 N. Federal Highway Delray Beach FL 33483

Project Description

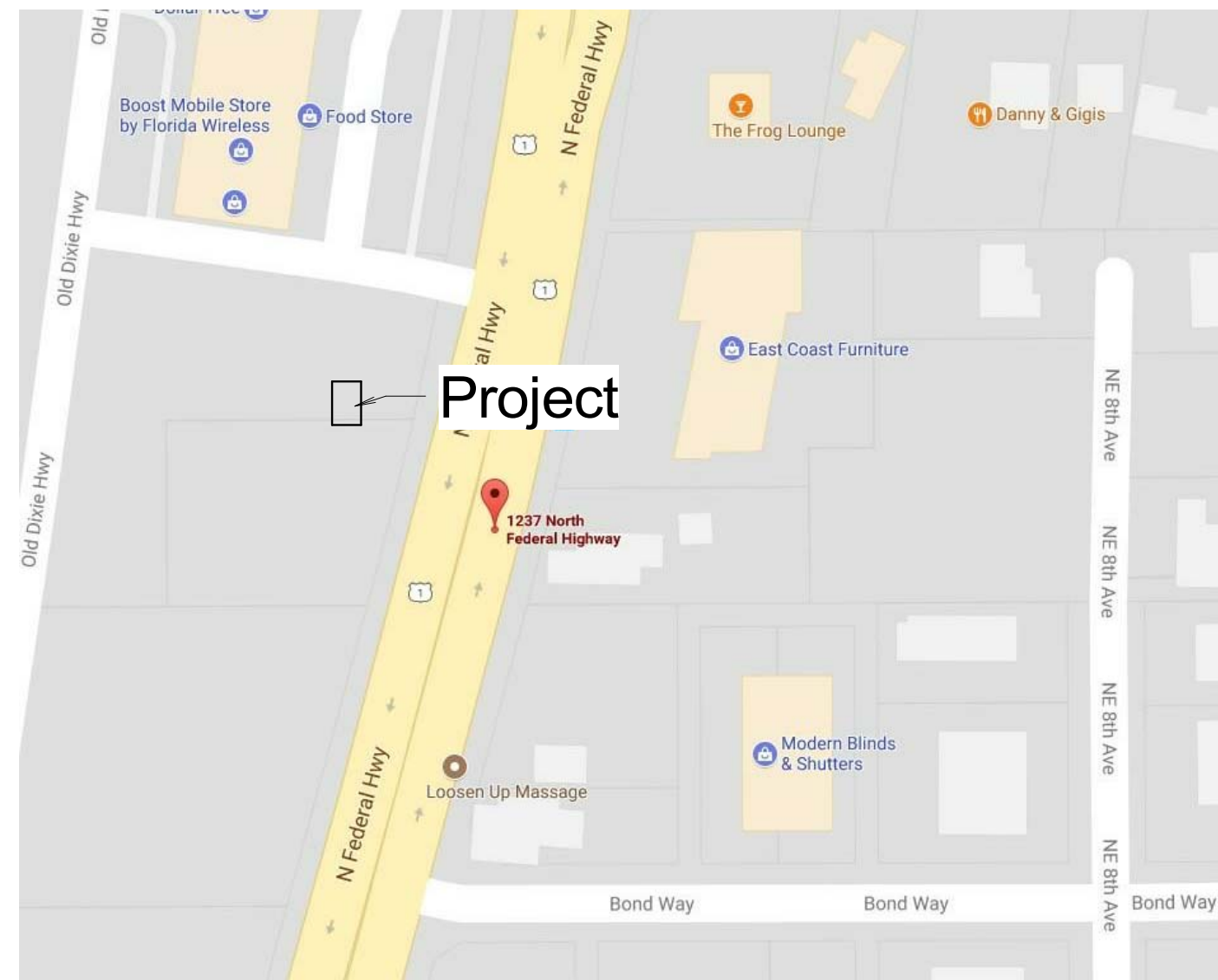
The project consists of Tenant Improvement.

Occupant is a Veterinary Clinic. Activities include exam, treatment, surgery, grooming, incidental retail sales. No long term boarding/kennel services.

Tenant Improvement

New Electrical Service for Scanning equipment
New partition walls
New Mechanical ductwork, reuse existing Units
Rework Electrical in remodeled areas
Modify existing plumbing branch lines
New Finishes throughout

Location and Site Data



Contact

Owner
Q Veterinary Services Inc.
Dr. Kristin Quisenberry
drkq@gmail.com
561-600-6381

Contractor
EG Contracting
9900 Rambo Lane
N Ft Myers FL 33917
Eric Grenier
bestfig@gmail.com
(954) 931-5489

Architect
W. Scott Anderson AIA Architect
28271 L Burton Fletcher CT
Borita Springs FL 34135
wscottanderson@gmail.com
239 398 4830

Aerial



Code Data

Applicable Codes:

Florida Building Code 6th Edition (2014) Building
Florida Building Code 6th Edition (2014) Existing Buildings
Florida Building Code 6th Edition (2014) Accessibility
Florida Building Code 6th Edition (2014) Plumbing
Florida Building Code 6th Edition (2014) Mechanical
Florida Building Code 6th Edition (2014) Fuel Gas Code
Florida Building Code 6th Edition (2014) Energy Conservation Code

2011 National Electrical Code (NFPA 70)

Florida Fire Prevention Code 9th Edition

Classification (FFPC 43)
Classification (FBC)
Occupancy
Construction Type:

43.2.2.1.3 Modification
Level II Alteration
B
Type IIIB
Noncombustible Exterior Walls
Wood Truss roof
Interior walls Metal Stud.
Sprinklers (By Others under separate permit)
Manual (By Others)

Fire Suppression:
Fire Alarm

NFPA 150 - 2013 edition

Animal Housing Facility Definition:
"Area of a building or structure where animals are fed, rested, worked, exercised, treated exhibited or used for production." The only activity at this location is "Treated".
<3000 sf
Area Subclassification: Class 2 Facility subclass within building. 6.2.1.2
Animal Classification: A 6.3.1.2

Lighting Protection: Provided per UL Master Label Certification Requirements 9.5, 12.3.4
Operation: Owner will provide an emergency plan per NFPA 4.3.4 including:
Disaster/emergency Management Programs, Drills and Fire Extinguisher Training NFPA 150 12.4

Number of Stories:

1

Building Height

10'

Building Area:

See Area Plans this sheet.

Occupant Load

1/100 SF TOTAL 14 Occupants

Tenant

Single Tenant building.

Travel Distance

Exit Access B - 300' Common Path B - 100'

Fire Resistant Construction

Single Tenant Occupancy

Corridor

None. Single Tenant, circulation is open to lobby. Min. Egress width 36", >44" Provided

Ceiling Height:

8'

Interior Finishes

Required: Class C Provided: Class A
Flooring: Class II

Plumbing Fixtures

Business (no change)
ADAAG Public Restroom - Single User
Staff Restroom / Shower

Structural Design Criteria:

175 mph

Exposure Category:

B

Importance Factor

1.0

Design Pressures (C/Cladding)

See Chart

Sheet Index

Order	Sheet Number	Sheet Name	Project
1	A0.0	Title Sheet	SCAN
2	A1.0	Demolition Plans	SCAN
5	A3.0	Details & Schedules	SCAN
7	A1.1	Architectural Plans	SCAN

ASCE7-10 Wind load Program (30.4 Part 1: Low-Rise Building Wall Components and Cladding)
Wall Components and Cladding (Mean Roof Height $h \leq 60$ ft)

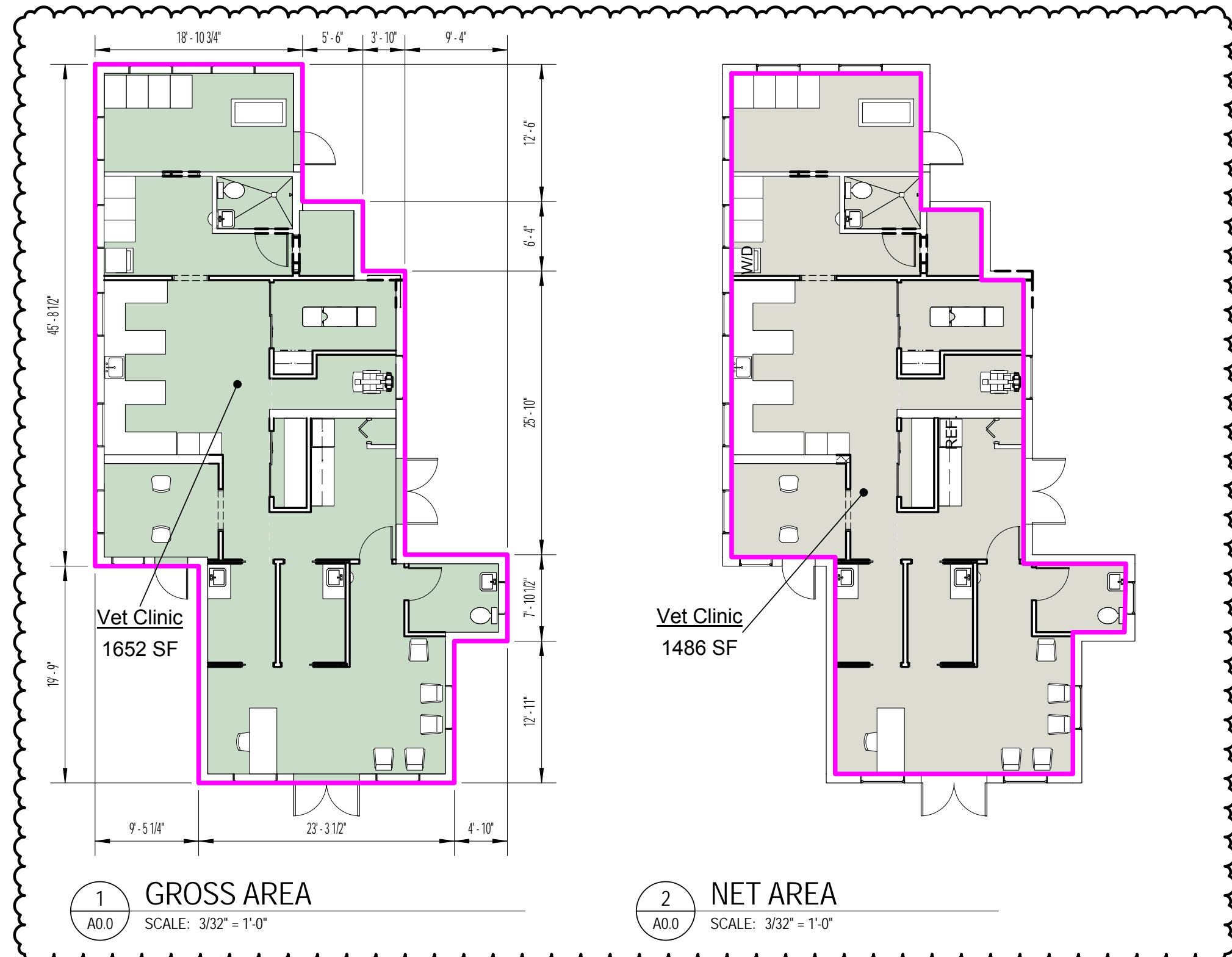
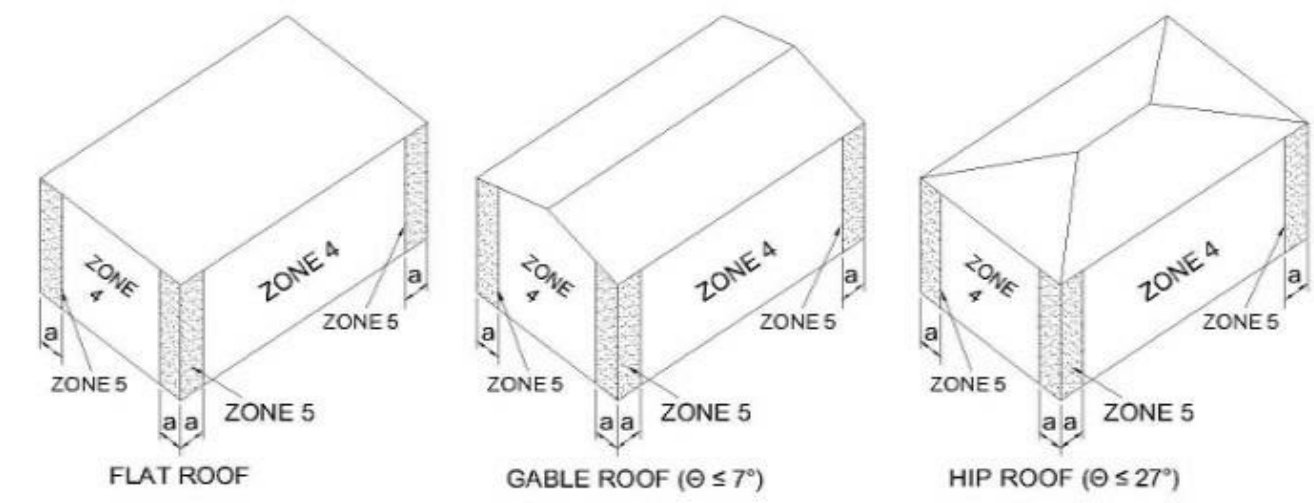
Project: Q Veterinary Delray
Prepared by: of
E-mail:

Input:
FBC 2010 Ultimate Design Wind Speed Vult & Vasd
Wind Speed Vult = 175 mph
Building Exposure = B (Urban & Suburban areas)
Internal Pressure Coefficient GCpi = 0.18 Enclosed Building
Roof angle is less than or equal to 10° or flat (External Pressure Coefficient is reduced 10%)
KZT = 1.00
KD = 0.85
Mean Roof Height = 10 ft

Output:
Velocity Pressure Exposure Coefficient "Kz max." = 0.7
Per Table 30.3-1, page 317
LFR = see Vult = 175 mph
Velocity Pressure (qh LRFD) = 46.65 psf = .00256 "Kz" "Kat" "Kd" "Vult"² a lb/ft² a
Per eq. 30.3-1, page 316
ASD uses Vasd = 135 mph
Velocity Pressure (qh ASD) = 27.99 psf = .00256 "Kz" "Kat" "Kd" "Vasd"² a lb/ft² a

	LRFD (Load Resistance Factor Design)			ASD (Allowable Stress Design)			(Per Figure 30.4-1, Page 335)		
Tributary Area Sq Feet	Positive Zone 4 & 5 psf	Negative Center Zone 4 psf	Negative Corner Zone 5 psf	Positive Zone 4 & 5 psf	Negative Center Zone 4 psf	Negative Corner Zone 5 psf	External Positive GCp	Negative Center GCp	Negative Corner GCp
	10 ft²	20 ft²	30 ft²	40 ft²	50 ft²	60 ft²	70 ft²	80 ft²	90 ft²
10 ft²	50.4	-54.6	-67.2	30.2	-32.7	-40.3	0.90	-0.99	-1.26
20 ft²	48.1	-52.3	-62.7	28.9	-31.4	-37.6	0.85	-0.94	-1.16
30 ft²	45.2	-49.4	-56.8	27.1	-29.6	-34.1	0.79	-0.88	-1.04
40 ft²	43.0	-47.2	-52.3	25.8	-28.3	-31.4	0.74	-0.83	-0.94
50 ft²	40.7	-44.9	-47.9	24.4	-27.0	-28.7	0.69	-0.78	-0.85
60 ft²	37.8	-42.0	-42.0	22.7	-25.2	-25.2	0.63	-0.72	-0.72

Least Width = 32 ft a = 3.2 ft (Zone 5)
10% of least width or 0.4h, whichever is smaller but not less than 3 ft.



Issues

- | | |
|----------|-----------------|
| 170928 | Zoning Review |
| 1 171205 | Review Comments |
| 2 180124 | Zoning Comment |

Q Veterinary
Services INC

Job # 331
Author wsa

Scale
3/32" = 1'-0"

Title Sheet

A0.0

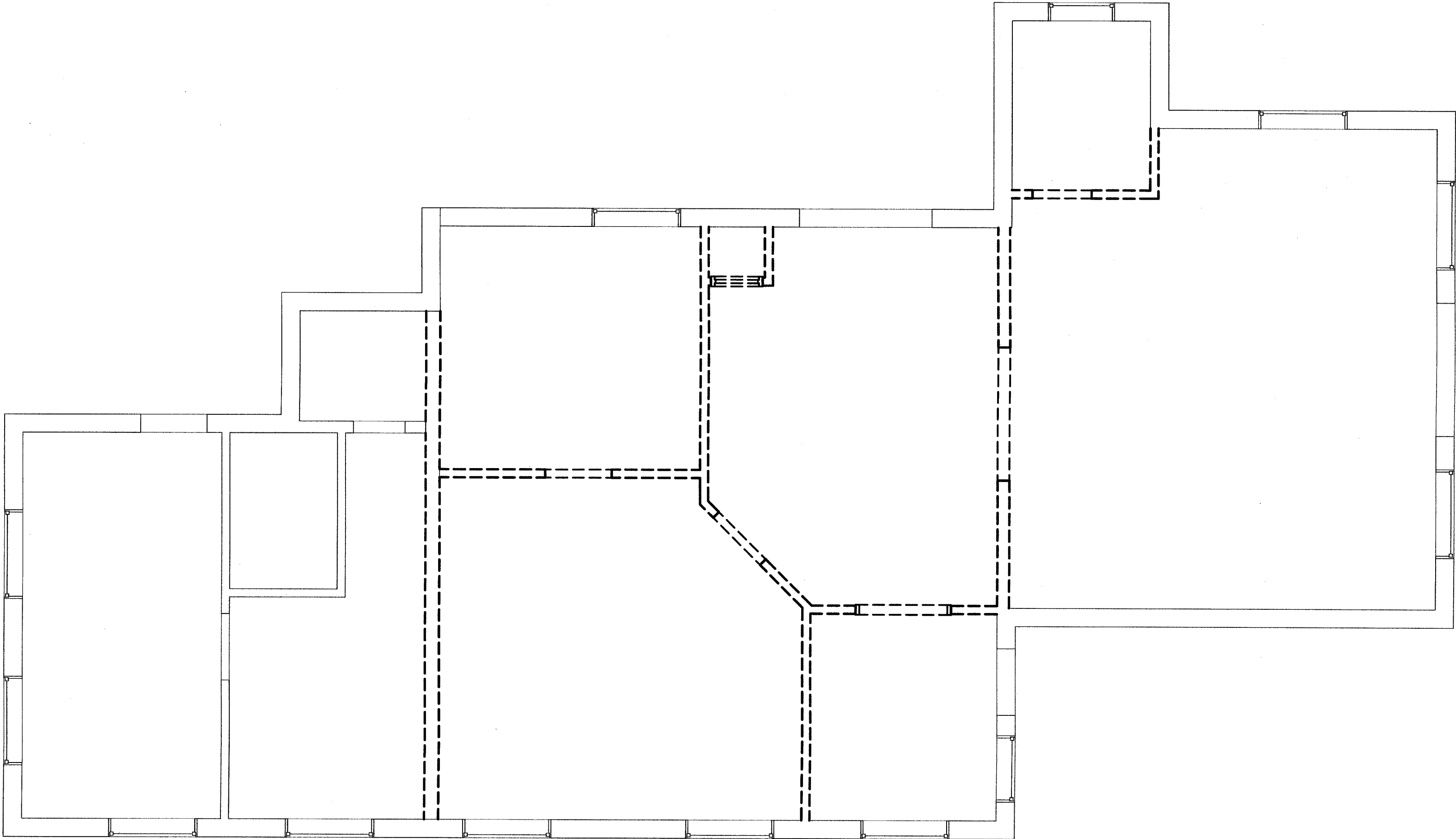
- 1 Contractor shall coordinate all demolition work with subcontractors and vendors. Any discoveries made that are in conflict with the proposed work shall be brought to the Architects and Owner's attention for resolution.
- 2 Subcontractors shall be responsible for investigating and understanding all existing conditions prior to beginning work. Any questions or issues shall be brought to the attention of the Contractor prior to bidding.
- 3 Appropriate care shall be taken to protect existing conditions scheduled to remain from damage due to demolition, dust, and exposure to elements. Items that are removed shall be wrapped and carefully stored for future use.
- 4 Components scheduled for demolition shall be removed with the least possible damage and returned to the owner (via the Contractor) for determination of reuse, salvage or disposal.
- 5 Appropriate contractor shall properly provide temporary support and bracing for all walls, ceilings and other structural elements as required to perform the Work.
- 6 Subcontractors shall schedule all work through the General Contractor.
- 7 Any materials known or suspected to be hazardous shall be brought to the General Contractors attention immediately.
- 8 Any incidental damage to existing conditions that are scheduled to remain shall be repaired or replaced by either the subcontractor or General Trades contractor.
- 9 All pipes, conduits, wiring and items associated with demolished walls shall be re-located, re-used as identified, or properly capped or removed per code requirements.
- 10 All demolition adjacent to work scheduled to remain shall be performed with cutting tools, not chopping tools. Subcontractor is responsible for repair of unanticipated damage caused by vibration and other demolition activity.
- 11 Provide patching and repair of all surfaces affected by the demolition or removal of attached items.

3

Demolition Notes

A1.0

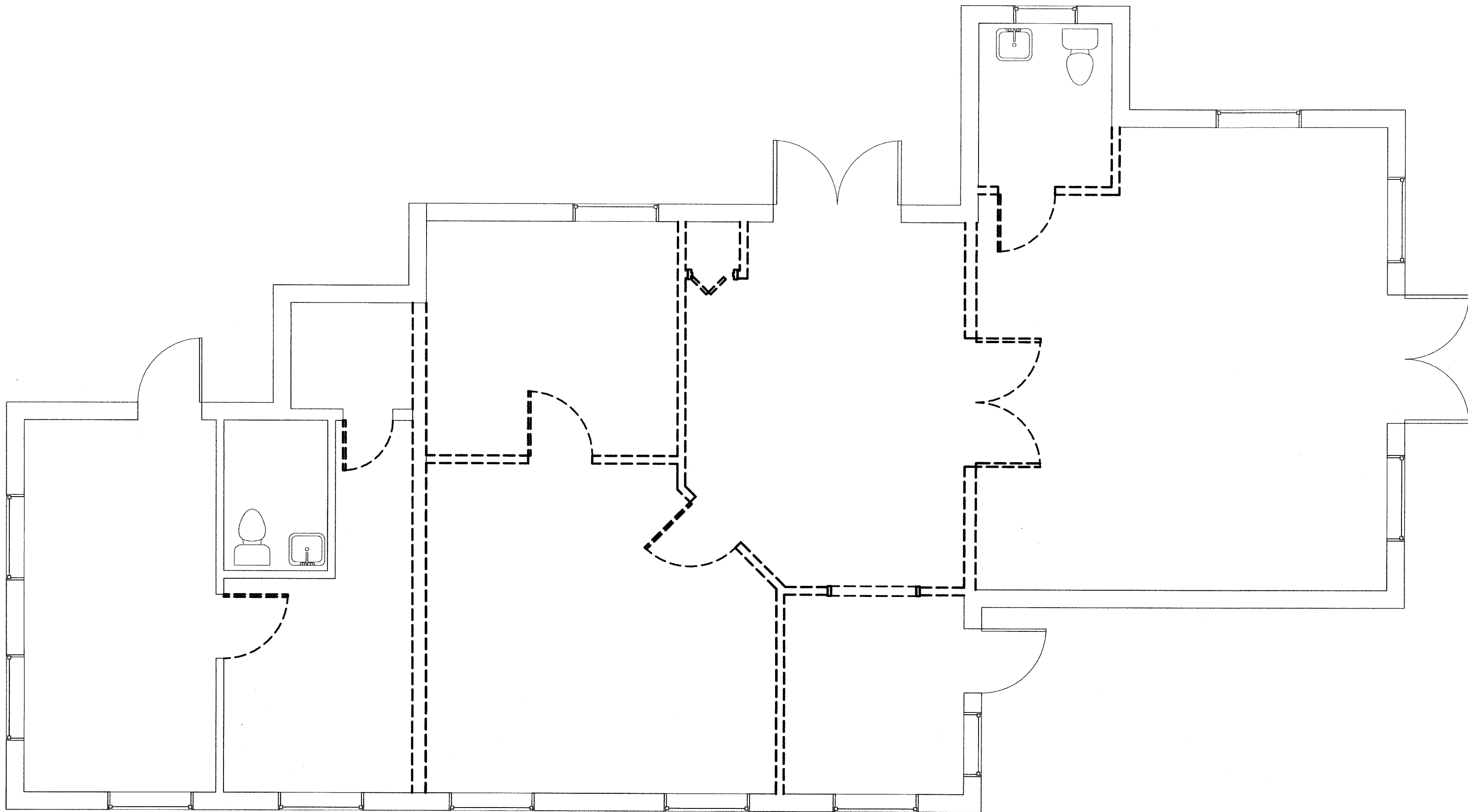
SCALE: 1/12" = 1'-0"



2

DEMOLITION REFLECTED CEILING PLAN

1/4" = 1'-0"



1

DEMOLITION PLAN

1/4" = 1'-0"

Issues
170504
Bid & Permit

Q Veterinary
Services INC

Job # 331
Author Wsa+gen
Scale As indicated
Demolition Plans

AERIAL VIEW



DRAWING LIST

SP1 Site Plan, Location Plan, Notes & Aerial View
Photometric Building 1201, 1203 Photometric Plan

PROPERTY INFORMATION

LOCATION ADDRESS:
1201 N FEDERAL HWY,
DELRAY BEACH, FL 33483

PROPERTY OWNER:
DELRAY OASIS BUSINESS PARK LLC.

PARCEL CONTROL NUMBER:
12-43-46-09-08-001-0060

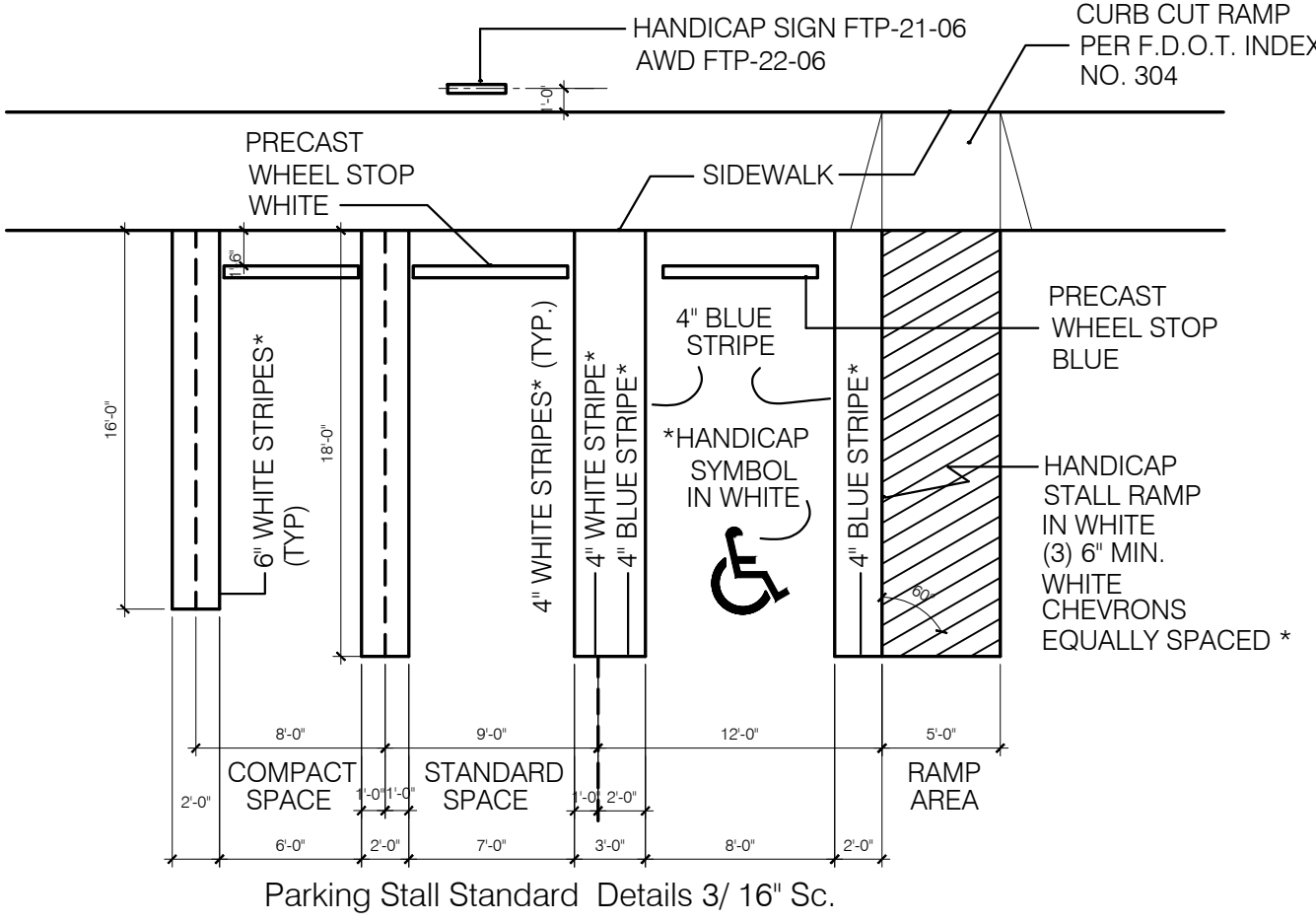
ZONING DISTRICT:
GC - GENERAL COMMERCIAL

DESCRIPTION OF WORK

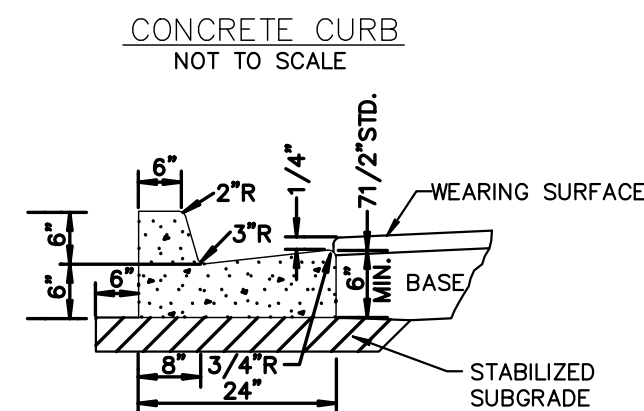
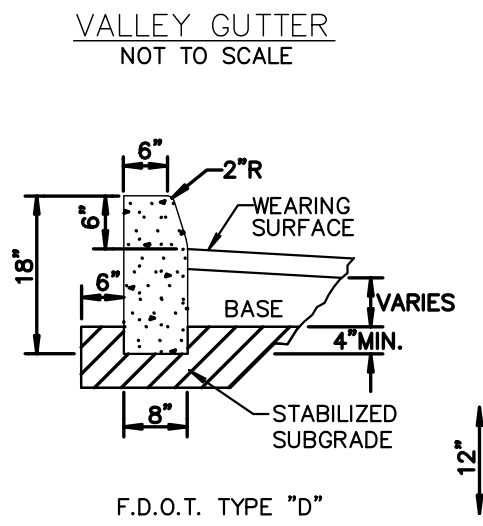
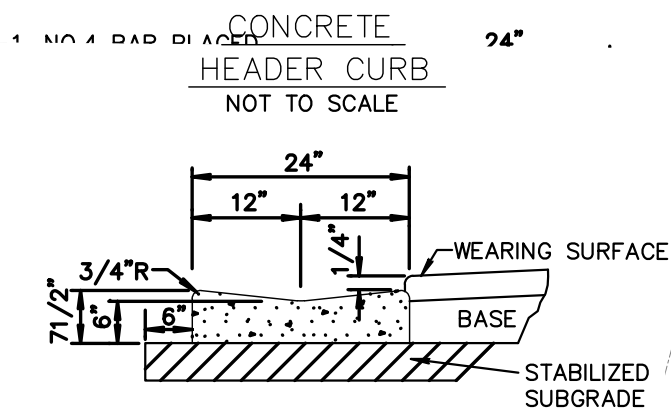
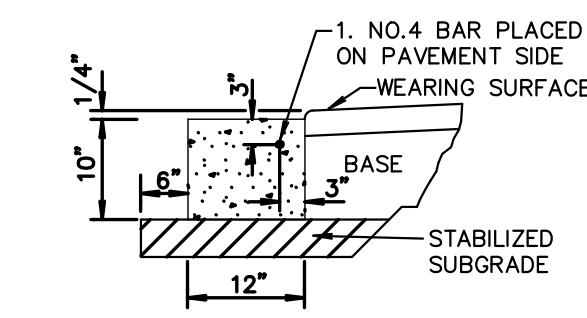
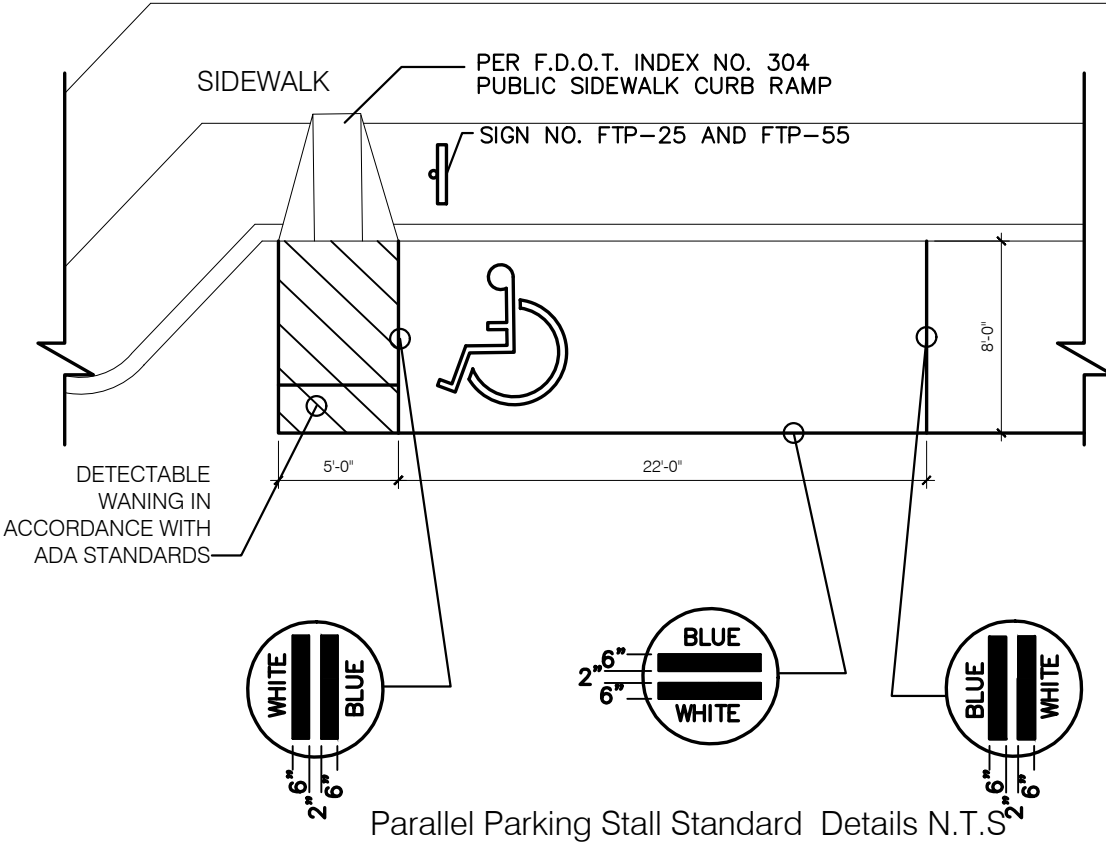
This is a Class III Modification Site Plan, we are providing additional parking and new landscaping

PARKING REQUIREMENT

Building	Use/ Occupancy	Parking requirement	Space Gross SQFT	Parking spaces required
Building 1235	Veterinary Clinic	4.5 spaces per 1000 SF	1,652	7.4
Building 1237	Professional office	4.0 spaces per 1000 SF	400	1.6
Total Required Parking Spaces				9
Parking Space Type				Provided
Handicap parking - 2 between 26 & 50				1
Compact parking - 30%				6
Regular parking				6
Total Parking Spaces Provided				13
Bicycle Parking Spaces Provided				5



- PARKING STALL DIMENSIONS:
STANDARD 9' X 18'
COMPACT 8' X 16'
HANDICAP 12' X 18' PLUS 5' RAMP AREA
- * NOTES:
1. ON LIGHT COLORED SURFACE I.E. CONCRETE ALL HANDICAP MARKING SHALL BE BLUE AND STANDARD PARKING STRIPING SHALL BE 3" WHITE WITH 1" BLACK BORDER.
2. ALL STRIPPING WITHIN PUBLIC RIGHT-OF-WAY SHALL BE 6 INCHES.
3. ALL MEASUREMENTS ARE FROM CENTER LINE.
4. ALL COMPACT SPACES MUST HAVE "COMPACT" STENCILED WITH BLACK PAINT ON WHEEL STOP.
5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE.
6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC RW SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R-1.

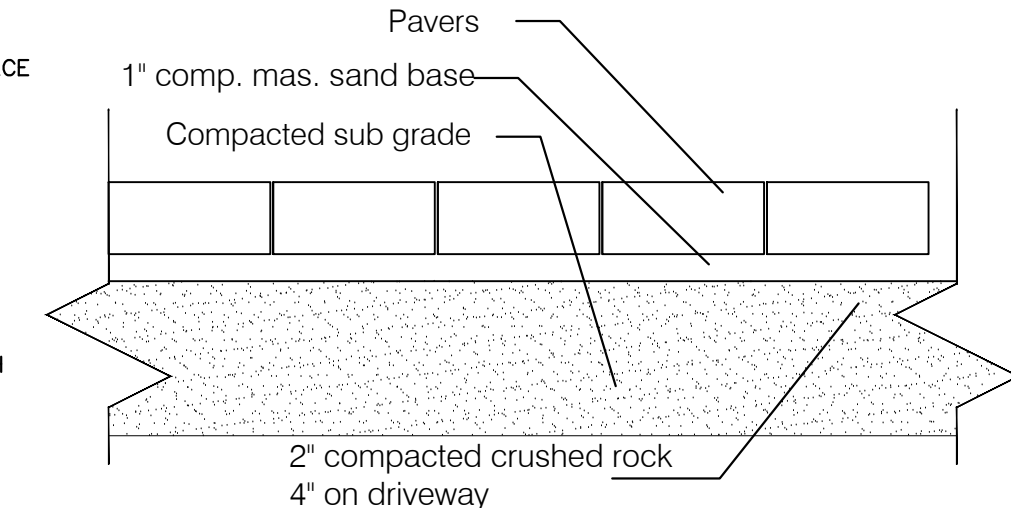


NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" MIN.

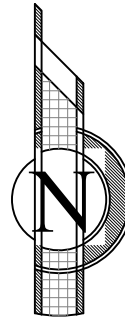
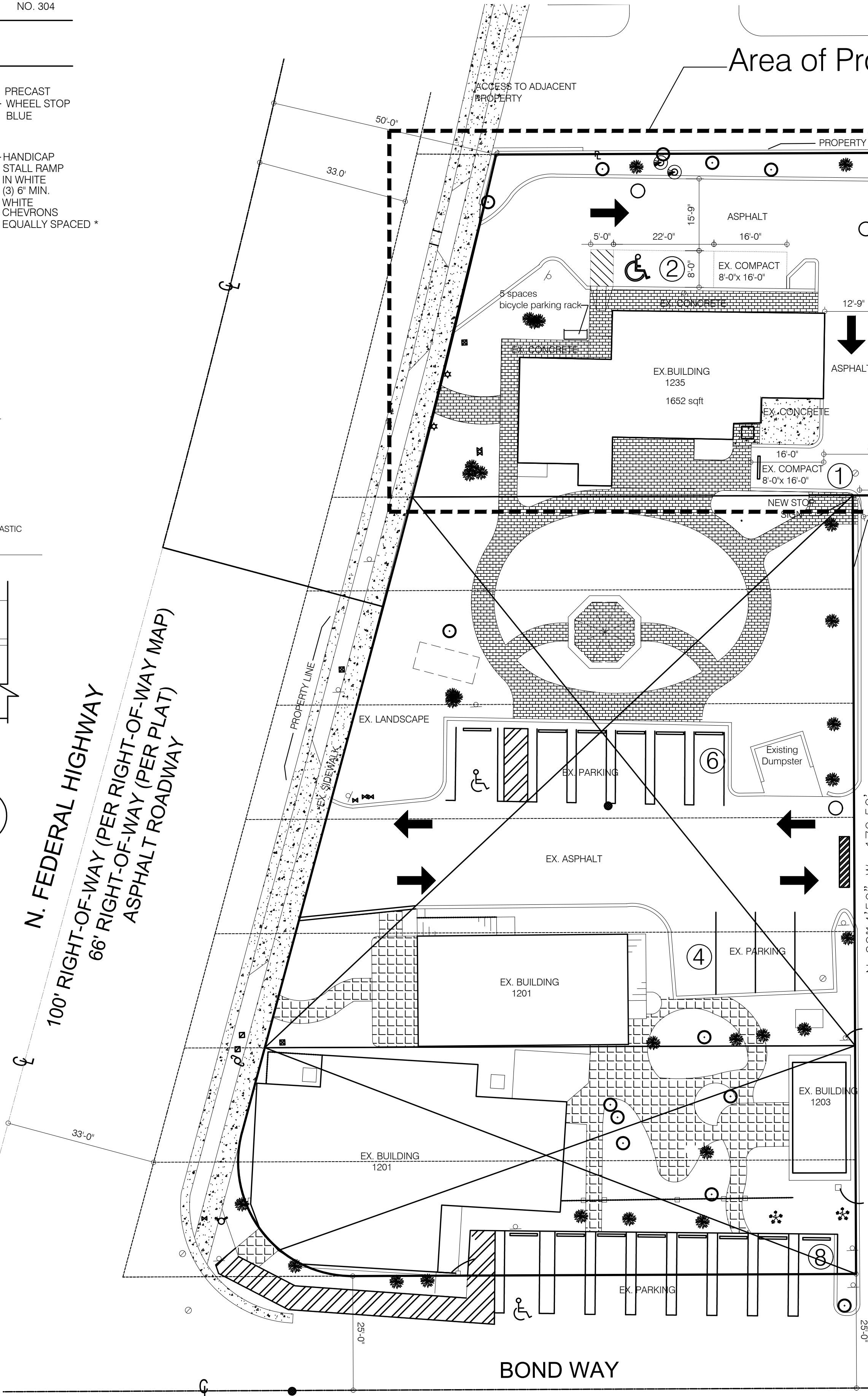
F.D.O.T. TYPE "F"

CONCRETE CURB AND GUTTER
NOT TO SCALE

N. FEDERAL HIGHWAY
100' RIGHT-OF-WAY (PER RIGHT-OF-WAY MAP)
66' RIGHT-OF-WAY (PER PLAT)
ASPHALT ROADWAY



TYPICAL PAVER DETAIL
N.T.S.



Proposed Site Plan 1/16" Sc.

Refer to Landscape Plan for Site Plan Calculations



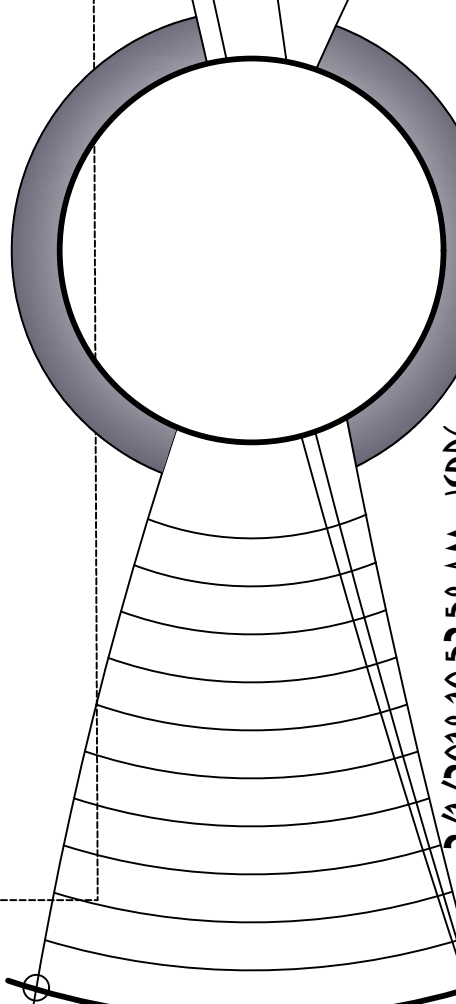
SITE LOCATION MAP N.T.S.



LEVEL 2 ALTERATION
REMODELING FOR:
DELRAY OASIS BUSSINES PARK
1201 N. FEDERAL HWAY
DELRAY BEACH, FL.

JOHN SHERMAN REED
ARCHITECT
FL LICENSE# AR9571

JSR DESIGN GROUP INC.
1 WEST CAMINO REAL SUITE 107E
BOCA RATON, FL 33432
PH: 561-362-7203
AA26002033



2/1/2018 10:52:58 AM JSR.DWG

- All designs and concepts are the property of JSR Design Group Inc. and may not be modified or copied without written permission by the architect.
- Contractor to verify all written dimensions (Not scaled) & notify architect of any discrepancies or omissions. Construction shall not proceed until said discrepancies or omissions have been resolved by architect.
- Contractor to verify and approve all shop drawings and dimensions before having drawings reviewed and accepted by the architect prior to construction.

16516

SP1

BOUNDARY SURVEY

of
12011/1205/1235 N FEDERAL
HIGHWAY, DELRAY BEACH,
FLORIDA 33483

LEGEND

- A/C -AIR CONDITIONER
- AL -ARC LENGTH
- (C) -CALCULATED
- D.E. -DRAINAGE EASEMENT
- (M) -MEASURED
- P.B. -PLAT BOOK
- R -RADIUS
- (R) -RECORD
- U.E. -UTILITY EASEMENT
- WM -WATER METER
- # -NUMBER
- ASPHALT
- CONCRETE
- PAVER/BRICK
- WOOD
- LIGHT POLE

FOUND 1/2"
IRON ROD
AND CAP
AT POINT
OF CURVATURE

N. FEDERAL HIGHWAY
100' RIGHT-OF-WAY (PER RIGHT-OF-WAY MAP)
66' RIGHT-OF-WAY (PER PLAT)
ASPHALT ROADWAY
LESS WEST 17'
BUILDING CORNER 0.4' E
50.0'

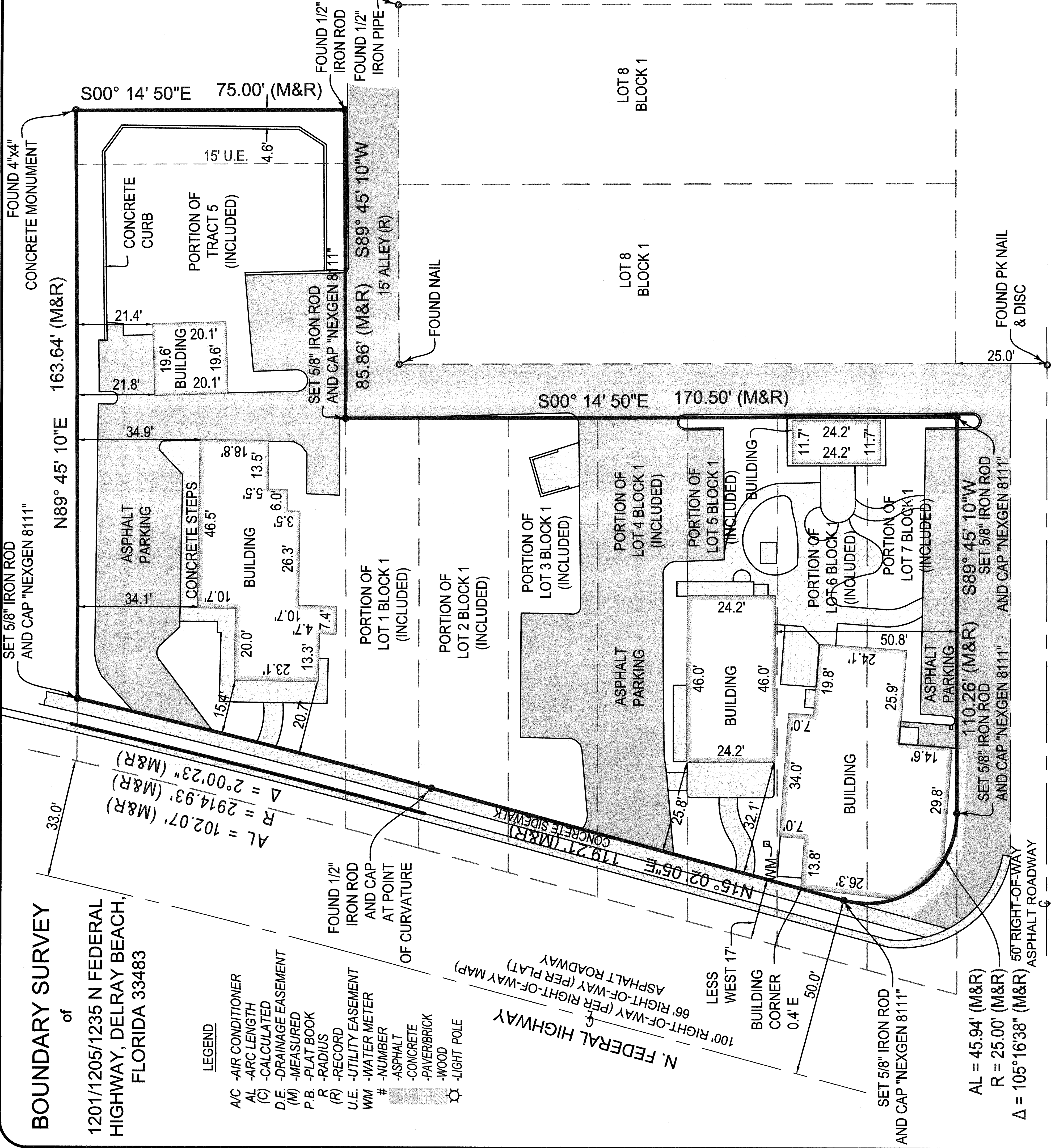
AL = 102.07' (M&R)
R = 2914.93' (M&R)
 $\Delta = 2^{\circ}00'23''$ (M&R)

119.27' (M&R)
CONCRETE SIDEWALK

AL = 45.94' (M&R)
R = 25.00' (M&R)
 $\Delta = 105^{\circ}16'38''$ (M&R)

50' RIGHT-OF-WAY
ASPHALT ROADWAY

BOND WAY



LEGAL DESCRIPTION:

PARCEL 1

LOTS 1,2,3,4 AND 5, BLOCK 1, LESS THE W 17 FEET THEREOF, KENMONT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 65, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 2:

LOTS 6 AND 7, BLOCK L, LESS THE WEST 17 FEET THEREOF, KENMONT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 65, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 3

ALL THAT PART OF TRACT 5 IN HARRY SEEMILLER SUBDIVISION OF PARTS OF LOTS 36, 1, 2, AND 3 OF SECTION 9, TOWNSHIP 46 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT WHERE THE SOUTH BOUNDARY LINE OF SAID TRACT 5 INTERSECTS THE EAST BOUNDARY LINE OF FEDERAL HIGHWAY AND RUNNING THENCE EAST ALONG THE SOUTH BOUNDARY LINE OF TRACT 5, A DISTANCE OF 200 FEET THENCE DUE NORTH A DISTANCE OF 75 FEET; THENCE WEST PARALLEL WITH THE SOUTH LINE OF SAID TRACT 5, A DISTANCE OF 200 FEET MORE OR LESS TO THE EAST BOUNDARY OF THE FEDERAL HIGHWAY; THENCE SOUTH ALONG THE EAST BOUNDARY LINE OF THE FEDERAL HIGHWAY TO THE POINT OF BEGINNING.

FLOOD ZONE:

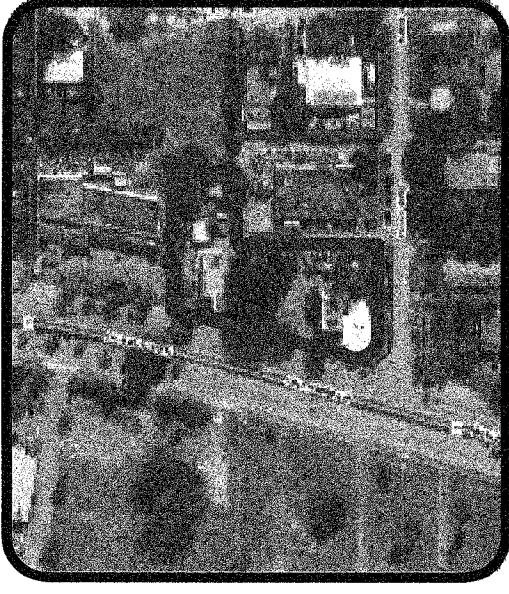
1201920208B
EFF. 10/15/1982
ZONE C

CERTIFIED TO:

HOWARD DEAN PROPERTIES, LLC AND DNA PROPERTIES, LLC
COHEN, NORRIS, WOLMER, RAY, TELEPMAN AND COHEN
U.S. CENTURY BANK, A FLORIDA BANKING CORPORATION, ITS
SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR
WESTCOR LAND TITLE INSURANCE COMPANY

NEXGEN
SURVEYING, LLC.

1973 PGA BLVD SUITE C
NORTH PALM BEACH, FL 33408
www.NexGenSurveying.com
PHONE: 561.508.6272
FAX: 561.508.6309



AERIAL PHOTOGRAPH
(NOT TO SCALE)



SCALE: 1"=30'