



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 131 NE 1st Avenue
Project Location: 131 NE 1st Avenue, Old School Square Historic District
Request: Certificate of Appropriateness
Board: Historic Preservation Board
Meeting Date: March 7, 2018

Board Action:

Approved the COA for demolition of an existing noncontributing one-story duplex structure, and construction of a new two-story, single-family residence with 2-car garage to an existing historic structure located at 131 NE 1st Avenue (6 to 0 vote).

Project Description:

The property is located within the OSSHAD (Old School Square Historic Arts District) zoning district and consists of the South 56' of Lot 3, Block 75, Town of Delray. The 0.17-acre lot measures 56' wide x 134' deep and contains a 1,420 square foot single-story residential duplex. The structure was built in 1954 and according to the City Property cards, the structure had a floorplan consisting of 2 apartments, gable pitch and gravel roof, reinforced concrete structure, block and stucco exterior walls, ornamental exterior trim, interior finish in plaster, and flooring in terrazzo.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965; however, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to “opt-out” of this process.

The current proposal includes demolition of existing 1,420 square foot single-story residential duplex and construction of a new two-story, 3,640 square foot single-family residence with a 2-car garage. New driveways, fencing, and landscaping are also proposed.

Staff supported the Certificate of Appropriateness request.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions: All required actions were taken.

Next Action: HPB action is final.

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: March 7, 2018

ITEM: 131 NE 1st Avenue, Old School Square Historic Arts District – Certificate of Appropriateness (2017-301) for the demolition of an existing noncontributing one-story duplex structure, and construction of a new two-story, single-family residence with 2-car garage.

RECOMMENDATION: Approve the Certificate of Appropriateness

GENERAL DATA:

Owner:..... 131 Investors LLC (Anne Ruskin)

Agent:..... Gary Eliopoulos
GE Architecture, Inc.

Location:..... East side of NE 1st Avenue,
between NE 1st Street and NE 2nd
Street

Property Size:..... 0.17 Acres

Historic District: Old School Square Historic Arts
District (OSSHAD)

Zoning:..... Old School Square Historic Arts
District (OSSHAD)

Adjacent Zoning:.....
North: OSSHAD
East: CBD
South: OSSHAD
West: OSSHAD

Existing Future Land
Use Designation:..... Other Mixed Use (OMU)

Water Service:..... Public water service is provided
on site.

Sewer Service:..... Public sewer service is provided
on site.



ITEM BEFORE THE BOARD

The item before the Board is approval of Certificate of Appropriateness (2017-301) for the demolition of an existing noncontributing one-story duplex structure, and construction of a new two-story, single-family residence with 2-car garage located at **131 NE 1st Avenue, Old School Square Historic District**, pursuant to LDR Section 2.4.6(H).

BACKGROUND

The property is located within the OSSHAD (Old School Square Historic Arts District) zoning district and consists of the South 56' of Lot 3, Block 75, Town of Delray. The 0.17-acre lot measures 56' wide x 134' deep and contains a 1,420 square foot single-story residential duplex. The structure was built in 1954 and according to the City Property cards, the structure had a floorplan consisting of 2 apartments, gable pitch and gravel roof, reinforced concrete structure, block and stucco exterior walls, ornamental exterior trim, interior finish in plaster, and flooring in terrazzo.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965; however, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to "opt-out" of this process.

The subject COA request includes:

1. Demolition of existing 1,420 square foot single-story residential duplex;
2. Construction of a new two-story, 3,640 square foot single-family residence with a 2-car garage; and,
3. Construction of new driveways, fencing, and landscaping.

ANALYSIS OF PROPOSAL

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

ZONING AND USE REVIEW

Pursuant to LDR Section 4.3.4(K), Development Standards, properties located within the Old School Square Historic Arts District (OSSHAD) shall be developed according to the requirements noted in the chart below. As illustrated, the proposal is in compliance with the applicable requirements; therefore, positive findings can be made.

Development Standards	Required	Proposed
Open Space (Minimum, Non-Vehicular)	25%	46%
Setbacks (Minimum): Front (West)	25'	27'-7"
Side Interior (South)	7'-6"	7'-8"
Side Interior (North)	7'-6"	7'-7"
Side Street	15'	N/A
Rear (East)	10'	12'-8"
Height (Maximum)	35'	27'-8 $\frac{7}{8}$ "

SUPPLEMENTAL DISTRICT REGULATIONS

Pursuant to LDR Section 4.6.9(C)(2), Parking Requirements for Residential Uses: two parking spaces per dwelling unit. Tandem parking may be used provided that in the Single Family (R-1 District) or RL District, no required parking space may be located in a required front or street side setback.

Positive findings can be made with respect to this code regulation as the proposed structure includes a two-car garage which includes parking for two vehicles, ensuring required parking is provided for outside of the front or side street setback areas. In addition to the required parking, parking spaces are also provided along the driveway on the West side of the property.

LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E) - Development Standards: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposal meets the applicable standard noted above and its intent by providing for the continued use of the subject property as residential. The existing single-story residential duplex will be demolished and replaced by a new two-story, single-family residence. These changes maintain the historic purpose of the lot as a residential use that is compatible with the Old School Square Historic District (OSSHD).

Pursuant to LDR Section 4.5.1(E)(2)(b)(1) – Major Development.

The subject application is considered "Major Development" as it involves new construction in the OSSHAD district, which requires additional technical and specific regulations to determine appropriateness and compatibility.

Pursuant to LDR Section 4.5.1(E)(3) – Buildings, Structures, Appurtenances and Parking: Buildings, structures, appurtenances and parking shall only be moved, reconstructed, altered, or maintained, in accordance with this chapter, in a manner that will preserve the historical and architectural character of the building, structure, site, or district:

Appurtenances: Appurtenances include, but are not limited to, stone walls, fences, light fixtures, steps, paving, sidewalks, signs, and accessory structures.

Fences and Walls: The provisions of Section 4.6.5 shall apply, except as modified below:

- a. Chain-link fences are discouraged. When permitted, chain-link fences shall be clad in a green or black vinyl and only used in rear yards where they are not visible from a public right of way, even when screened by a hedge or other landscaping.**

The proposal includes chain-link fencing (5'-0" high) with a black coating on the North and South side of the property which is not visible from the right of way. A decorative aluminum fence and gate (5'-0" high) in white finish will be installed on the East and West side of the property.

Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the

Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

Applicable Visual Compatibility Standards

- (a) **Height**: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- (b) **Front Facade Proportion**: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- (c) **Proportion of Openings (Windows and Doors)**: The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- (d) **Rhythm of Solids to Voids**: The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- (e) **Rhythm of Buildings on Streets**: The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- (f) **Rhythm of Entrance and/or Porch Projections**: The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- (g) **Relationship of Materials, Texture, and Color**: The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- (h) **Roof Shapes**: The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- (i) **Walls of Continuity**: Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- (j) **Scale of a Building**: The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - 1. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:

2. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- (k) **Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- (l) **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The agent has submitted the following justification statement:

b. Front Façade Proportion:

"The proposed structure is a 1 ½ story Craftsman bungalow, with the front portion of the structure being 1 story and is in direct proportion to the adjacent structures towards the south. It should be noted that the structure directly to the north is a 2-story apartment building."

c. Proportion of Openings (Windows and Doors):

"The proposed structure has been designed with most of the windows being single hung with 2 over 2 and a transom window, which is very reflective of the historic district. The remainder of the windows are a direct reflection of the interior space (closets, bathrooms etc.) and most are not visible from the public right-of-way. We feel the proposed exterior elevations are a direct reflection and character of the historic district and the various window sizes will have a minimal effect on the neighborhood."

d. Rhythm of Solids to Voids:

"The proposed structure has been designed with historical proportions with regards to architectural elements such as: the front covered porch with tapered columns, brick base, detailed gable ends, Craftsman front door, shingle siding, decorative brackets and shutters."

e. Rhythm of Buildings on Streets:

"As stated above, the proposed structure is extremely compatible with the adjacent structures towards the south and is reflective of the character of the historic neighborhood (front covered porch, the majority of the structure is 1 story and has various detailed gable ends that are a direct reflection of the Craftsman bungalow)."

f. Rhythm of Entrance and/or Porch Projections:

"Again, the proposed structure has been designed with a rhythm that is reflective of the historic district. The proposed front covered porch is more than the required 25'-0" front setback and then the proposed main structure is an additional 6"-0" feet back which helps to reinforce the visual compatibility of the neighborhood."

g. Relationship of Materials, Texture, and Color:

"It was our goal to distribute the decorative shutters across the elevations in areas that they would be most effective from an aesthetic standpoint (seen from the public right-of-way). With respect to our client's overall project budget, we chose to omit shutters in certain areas that would have much less visibility and ultimately contribute minor visual impact overall."

h. Roof Shapes:

"The proposed roof shapes are visually compatible with the surrounding historic district, with various heights (low along the front street scape and stepping up towards the rear of the property which abuts the commercial district). Decorative gable ends on all sides of the proposed structure (horizontal siding, decorative brackets and board and battens)."

i. Walls of Continuity:

"We are proposing decorative aluminum fences for the front and rear of the structure that directly faces the public right-of-way."

j. Scale of a Building:

"The proposed structure has been designated with a front covered porch to break up the Elevations, and the main part of the structure is set back more than the required 7'-0". The proposed 2 story portion of the structure is set back more than 25'-0" from the southern property line."

k. Directional Expression of Front Elevation:

"The proposed structure has been designed with historical proportions with regards to architectural elements such as: the front covered porch with tapered columns, brick base, detailed gable ends, Craftsman front door, shingle siding, decorative brackets and shutters."

l. Architectural Style:

"The proposed Craftsman Bungalow style is very reflective of the historic district, with examples throughout the area."

The proposal for the construction of a new two-story, 3,640 square foot single-family residence with a 2-car garage is appropriate and compatible with the Old School Square Historic District (OSSHD).

The new two-story, single-family residence will enhance the Old School Square Historic District (OSSHD) with the use of authentic Craftsman Bungalow architecture and durable building materials. The proposal includes Berridge "Victorian Single" in charcoal gray for the roof and aluminum exterior light fixtures in a black finish. A combination of exterior base walls painted in Benjamin Moore "Acadia White," exterior porch low walls clad in Mountain Stone "Concord Brick" (brick veneer), smooth stucco exterior walls painted in Benjamin Moore "Brilliant White," and hardieshingle siding in light yellow are proposed. The color scheme is comprised of lap siding, fascia board, and garage doors in Benjamin Moore "Brilliant White" and shutters in Benjamin Moore "Caribbean Coast." White aluminum windows and doors, and a mahogany front door with sidelights are also proposed. A new paver driveway is will be constructed on the East and West side of the property.

The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

Pursuant to LDR Section 4.5.1(F) – Demolitions: Demolition of historic or archaeological sites, or buildings, structures, improvements and appurtenances within historic districts shall be regulated by the Historic Preservation Board and shall be subject to the following requirements:

- (1) No structure within a historic district or on a historic site shall be demolished before a Certificate of Appropriateness has been issued pursuant to Section 2.4.6(H).**
- (2) The application for a Certificate of Appropriateness for demolition must be accompanied by an application for a Certificate of Appropriateness for alterations to the structure or the redevelopment of the property.**
- (3) Demolition shall not occur until a building permit has been issued for the alterations or redevelopment as described in the applicable Certificate of Appropriateness.**
- (4) All structures approved for demolition and awaiting issuance of a building permit for the alterations or redevelopment shall be maintained so as to remain in a**

condition similar to that which existed at time that the Certificate of Appropriateness for demolition was approved unless the Chief Building Official determines that an unsafe building condition exists in accordance with Section 4.5.3(G).

- (5) A Certificate of Appropriateness for demolition of 25% or more of contributing or individually designated structure shall be subject to the following additional requirements:
 - (a) A demolition plan shall accompany the application for a Certificate of Appropriateness for demolition. The plan shall illustrate all portions of the existing structure that will be removed or altered.
 - (b) The Certificate of Appropriateness for demolition and the Certificate of Appropriateness for alternation or redevelopment shall meet the "Additional Public Notice" requirements of LDR Section 2.4.2(B)(1)(j).
- (6) The Board upon a request for demolition by a property owner, shall consider the following guidelines in evaluating applications for a Certificate of Appropriateness for demolition of designated historic sites, historic interiors, or buildings, structures, or appurtenances within designated historic districts:
 - (a) Whether the structure is of such interest or quality that it would reasonably fulfill criteria for designation for listing on the national register.
 - (b) Whether the structure is of such design, craftsmanship, or material that it could be reproduced only with great difficulty or economically nonviable expense.
 - (c) Whether the structure is one of the last remaining examples of its kind in the designated historic district within the city.
 - (d) Whether retaining the structure would promote the general and value of a particular culture and heritage.
 - (e) Whether there are approved plans for immediate reuse of the property if the proposed demolition is carried out, and what effect those plans will have on the historic district designation or the individual designation of the property.
- (7) No decision of the Board shall result in undue economic hardship for the property owner. The Board shall determine the existence of such hardship in accordance with the definition of undue economic hardship found in Section 4.5.1(H).
- (8) The Board's refusal to grant a Certificate of Appropriateness requested by a property owner for the purpose of demolition will be supported by a written statement describing the public interest that the Board seeks to preserve.
- (9) The Board may grant a certificate of appropriateness as requested by a property owner, for demolition which may provide for a delayed effective date. The effective date of the certificate will be determined by the Board based on the relative significance of the structure and the probable time required to arrange a possible alternative to demolition. The Board may delay the demolition of designated historic sites and contributing buildings within historic districts for up to six months while demolition of non-contributing buildings within the historic district may be delayed for up to three months.
- (10) Request for Demolition Justification Statement: A justification statement shall accompany the application for a Certificate of Appropriateness for demolition of any contributing structure in a historic district or individually designated historic structure.
- (11) Salvage and Recordation of Historic Structures:
 - (a) The property owner shall contact the Delray Beach Historical Society for the purpose of salvaging and preserving specified classes of building materials, architectural details and ornaments, fixtures, and the like for reuse in the restoration of the other historic properties. Confirmation of such efforts shall be provided in a written statement and submitted with the other demolition application prior to consideration by the Historic Preservation Board.

- (b) The Board may, with the consent of the property owner, request that the Delray Beach Historical Society, or the owner, at the owner's expense, record the architectural details for archival purposes prior to demolition.
- i. The recording may include, but shall not be limited to photographs, documents and scaled architectural drawings to include elevations and floor plans.
 - ii. One (1) copy of the recording shall be submitted to the City's Planning and Zoning Department, and one (1) copy shall be submitted to the Delray Beach Historical Society for archiving purposes.

The existing structure is classified as a noncontributing structure as the property owner requested that the subject property not be reclassified as contributing during the 2009 Old School Square Historic District Resurvey. A review of the applicable code requirements relating to demolition of noncontributing structures has been completed and is noted below. The applicant has provided a request for demolition via the subject COA application. The demolition is not proposed to occur until a building permit has been issued for construction of the new structure. It is noted that the existing structure is to be maintained so as to remain in a condition similar to that which existed at the time of the application for the COA. The applicant has not claimed undue economic hardship with respect to the subject COA request. Should the Board deny the request, the Board shall provide an explanation within the motion and a written supporting statement for the record describing the public interest that the Board seeks to preserve. An additional delay period has not been requested and is not anticipated to be necessary.

ALTERNATIVE ACTIONS

A. Continue with direction.

B. Approve Certificate of Appropriateness (2017-301) for the property located at **131 NE 1st Avenue, Old School Square Historic District** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.6(H)(5).

C. Deny Certificate of Appropriateness (2017-301) for the property located at **131 NE 1st Avenue, Old School Square Historic District** by finding that the request and approval thereof is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.6(H)(5).

RECOMMENDATION

COA

Approve the COA for 2017-301 for **131 NE 1st Avenue, Old School Square Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Section 2.4.6(H)(5).

NOTE:

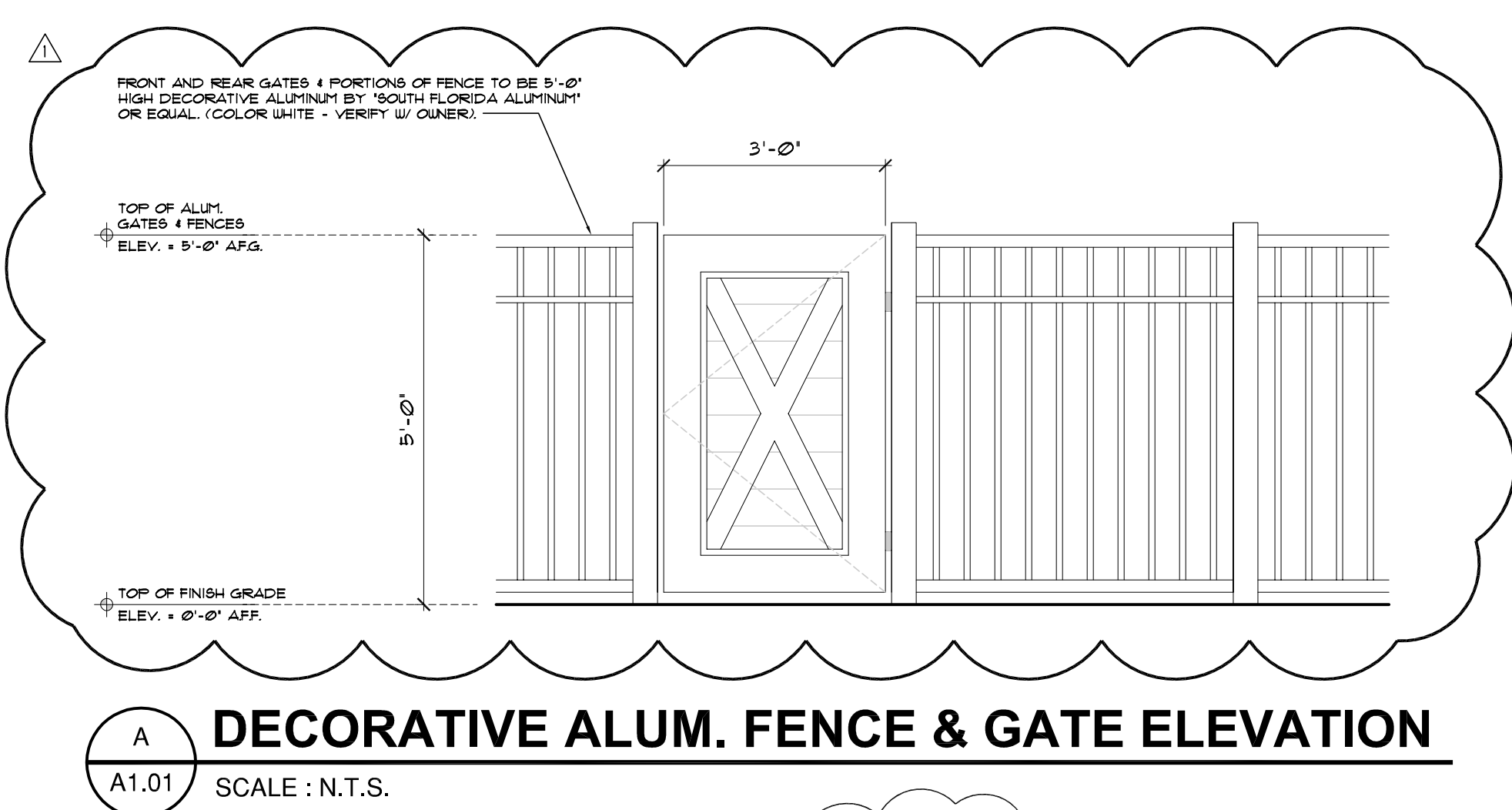
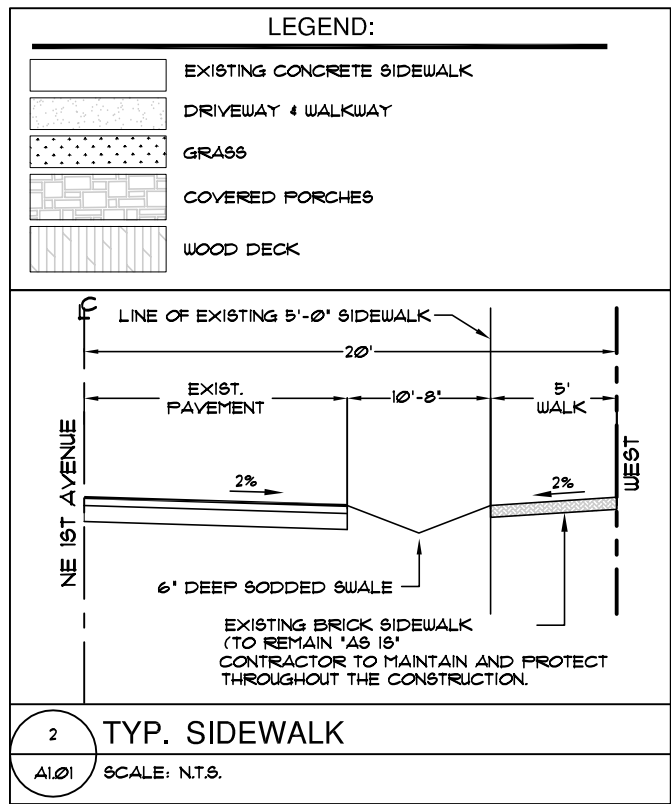
If the COA is approved, the following must be addressed prior to certification:

1. That the plans be updated to replace the operable window facing the air conditioner units and generators on the North elevation with a fixed window.
2. That the fencing and gates proposed be illustrated on the site plan.

Attachments:

- Site plan, elevations, and survey

Report Prepared by: Michelle Hoyland, Principal Planner and Abraham Fogel, Assistant Planner



- NOTES:
- DO NOT SCALE DRAWINGS!
 - FIELD VERIFY ALL DIMENSIONS!
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY (w/ DRAWINGS. (SEE GENERAL NOTES)
 - ALL AREA CALCULATIONS ARE APPROX.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENING SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

DESCRIPTION:

DESCRIPTION: The South 56 feet of Lot 3, Block 15, TOWN OF LINTON (NOW KNOWN AS DELRAY BEACH), Florida, according to the plat thereof as recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida.

SET BACKS:

	REQUIRED	PROVIDED
FRONT	25'-0"	21'-1"
SIDE SETBACK (SOUTH SIDE)	7'-6"	7'-8"
SIDE SETBACK (NORTH SIDE)	7'-1"	7'-1"
SIDE STREET	N/A	N/A
REAR	10'-0"	12'-8"
ALLOWABLE HT.	32'-0"	27'-8" 7/8" MEAN ROOF HEIGHT

ZONING OSSHAD HISTORIC DISTRICT

AREA CALCULATIONS

TWO STORY SINGLE FAMILY RESIDENCE		
GROUND FLOOR UNDER A/C		1574 S/F
COVERED ENTRY PORCH		109 S/F
SIDE COVERED PORCH		438 S/F
2-CAR GARAGE		502 S/F
TOTAL GROUND FLOOR AREA UNDER ROOF		3,023 S/F
SECOND FLOOR UNDER A/C		617 S/F
TOTAL SECOND FLOOR AREA UNDER ROOF		617 S/F
TOTAL FLOOR AREA UNDER A/C		2,591 S/F
TOTAL AREA UNDER ROOF		3,640 S/F
TOTAL SITE AREA		7,559 S/F
TOTAL BLDG FOOTPRINT		3,023 S/F
TOTAL LOT COVERAGE *	3,023 / 7,559	39.8%
TOTAL IMPERVIOUS VS PERVIOUS AREA:		
TOTAL IMPERVIOUS AREA:		4,083 S/F
(BUILDING FOOTPRINT, PAVEMENT, ETC.)		
(NOT INCLUDING APPROX. 329 SQFT. FOR DRIVEWAY CONCRETE RIBBONS IN ROW.)		
TOTAL PERVIOUS AREA (LANDSCAPING)		3,476 S/F
TOTAL IMPERVIOUS AREA *	4,083 / 7,559	54.0%
TOTAL PERVIOUS AREA *	3,476 / 7,559	46.0%
TOTAL PERVIOUS + IMPERVIOUS AREA *	3,476 + 4,083	7,559 + 100%



Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave., Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR PLANNING & ZONING (HFB)
BIDS
PERMIT 2 & 3
CONSTRUCTION

PROJECT TITLE

SINGLE FAMILY RESIDENCE

131 NE 1ST AVENUE
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

- REVISED 2.8.18 AS PER TAC COMMENTS:
- SPECIFIED LOCATION FOR SOLID WASTE BINS - TO BE HOUSED IN GARAGE SPACE
 - FRONT & REAR GATES & FENCES WILL BE ALUMINUM SIDE FENCES WITH VINYL COATING
 - PROVIDED ELEVATION OF PROPOSED FENCE & GATE
 - REMOVED REFERENCE TO R-1-A ZONING DISTRICT.
 - INCREASED DISTANCE OF A/C UNITS FROM PROPERTY LINE AND PROVIDED DIMENSION.
 - PROVIDED ADJACENT PROPERTY DRIVEWAY LOCATIONS & DIMENSIONS.
 - ADJUSTED FRONT SETBACK 5'-0" EAST TO REFLECT 5'-0" RIGHT-OF-WAY DEDICATION ON WEST SIDE OF PROPERTY.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER 619A101

DRAWING TITLE

PROPOSED SITE PLAN

DATE 7.07.17 DRAWN BY GE

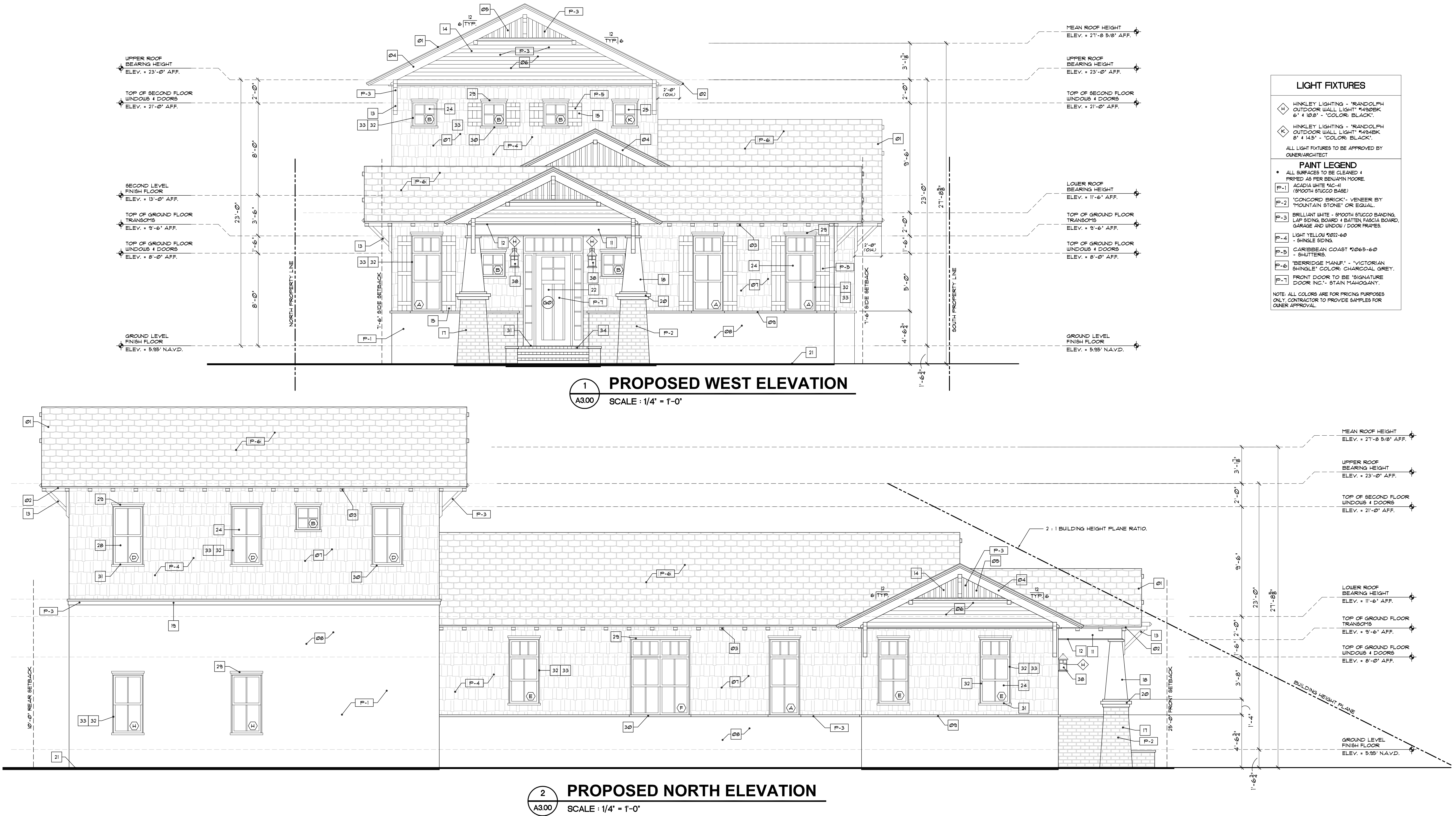
JOB NUMBER 20170619

DRAWING NUMBER

A1.01

PLOTTED 2.8.18 - 10:00 AM

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TRIBUTARY AREA (ft ²)	WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS, COMPONENTS AND CLADDING			
	ZONE (4)		ZONE (5)	
	(+) POSITIVE	(-) NEGATIVE	(+) POSITIVE	(-) NEGATIVE
1 TO 20	43.6	-41.3	43.6	-58.4
21 TO 50	41.3	-45.0	41.3	-53.8
51 TO 100	39.0	-42.1	39.0	-49.3
101 TO 500	37.1	-40.1	37.1	-45.3
501 TO 2500	35.9	-39.6	35.9	-43.0

NOTE:
ZONE 5 IS DEFINED AS ANY DOOR OR WINDOW WITHIN 5'-4" FROM ANY CORNER OF THE BUILDING. ALL OTHER LOCATIONS ARE DEFINED AS ZONE 4.



Architect, Planner and Designer
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ISSUED FOR PLANNING & ZONING (HFB)
BIDS
PERMIT 2 & 8
CONSTRUCTION

PROJECT TITLE
SINGLE FAMILY RESIDENCE

**131 NE 1ST AVENUE
DELRAY BEACH FL.**

CLIENT APPROVAL

REVISIONS
△ REVISED 2.8.18 AS PER TAC COMMENTS:
ADDED NOTE CLARIFYING GLASS IN WINDOWS AND DOORS WILL NOT BE REFLECTIVE.

FILE NUMBER
619A301

DRAWING TITLE
PROPOSED ELEVATIONS

DATE
08.17.17

DRAWN BY
GE/MJ

JOB NUMBER
20170619

DRAWING NUMBER

A3.01

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PLOTTED 2.8.18 - 10:00 AM

LIGHT FIXTURES

H

HINKLEY LIGHTING - "RANDOLPH OUTDOOR WALL LIGHT" #492BK 6" x 10.8" - "COLOR: BLACK".

K

HINKLEY LIGHTING - "RANDOLPH OUTDOOR WALL LIGHT" #494BK 8" x 14.9" - "COLOR: BLACK".

ALL LIGHT FIXTURES TO BE APPROVED BY OWNER/ARCHITECT.

PAIN

LEGEND

•

ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE.

P-1

ACADIA WHITE MAC-41 (SMOOTH STUCCO BASE).

P-2

"CONCORD BRICK" - VENEER BY "MOUNTAIN STONE" OR EQUAL.

P-3

BRIGHT WHITE - SMOOTH STUCCO BANDING, LAP SIDING, BOARD & BATTEN, FASCIA BOARD, GARAGE AND WINDOW / DOOR FRAMES.

P-4

LIGHT YELLOW 1202-60 - SHINGLE SIDING.

P-5

CARIBBEAN COAST 12063-60 - SHUTTERS.

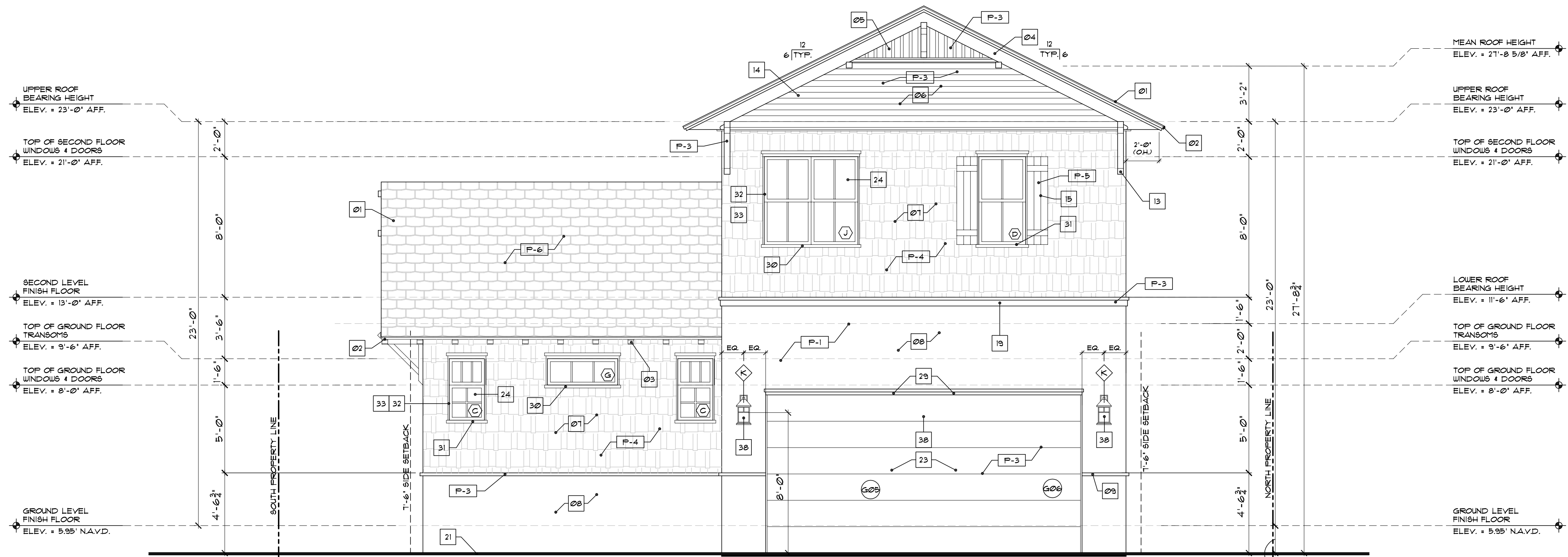
P-6

"BERRIDGE MANUF." - "VICTORIAN SHINGLE" COLOR: CHARCOAL GREY.

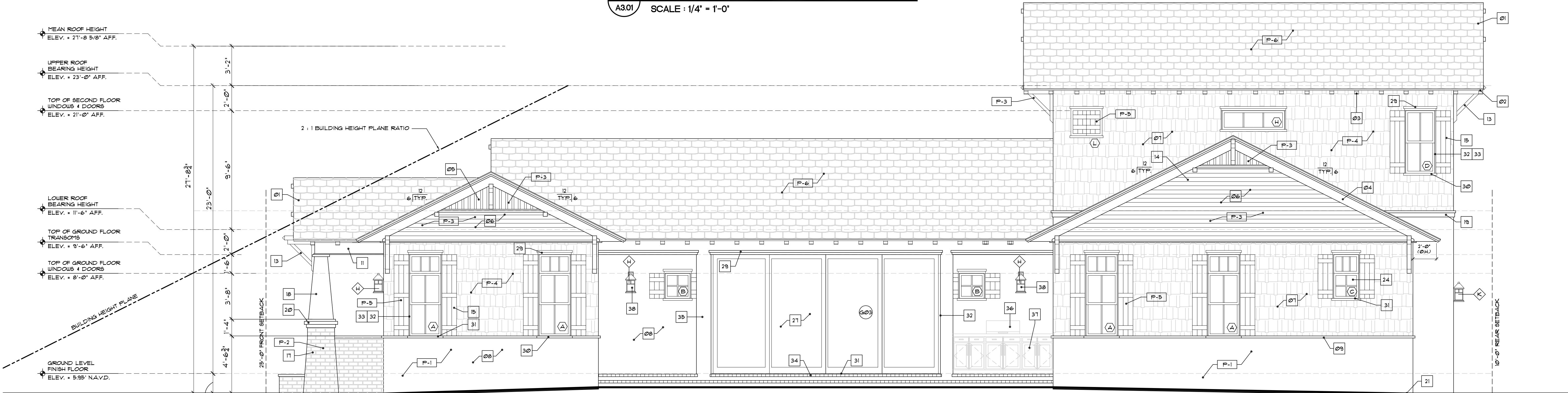
P-7

FRONT DOOR TO BE "SIGNATURE DOOR INC." - STAIN MAHOAGANY.

NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.



1 PROPOSED EAST ELEVATION
A3.01 SCALE : 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A3.01 SCALE : 1/4" = 1'-0"

ELEVATION NOTES

01.

METAL TILE ROOFING SYSTEM "BERRIDGE MANUF." - VICTORIAN SHINGLE - 9" x 12" 24 GA. STEEL - W/ "PARCHMENT" KYNAR 800 PN. OR EQUAL. ON (1) LAYER OF TITANIUM FIBER & (1) LAYER #50 FELT T.T. TO 19/32" APA RATED EXT. GRADE PLYWOOD SHEATHING (TYP.). VERIFY COLOR W/ OWNER (FLORIDA PRODUCT APPROVAL).
02.

CONT. ALUM. DRIFP EDGE ON CONT. P.T. 1" x 2" ON CONT. 2" x 4" SMOOTH CLEAR CEDAR FASCIA - PAINTED.
03.

P.T. 845 2" x 6" DECORATIVE OUTRIGGER - PAINTED - # 24" O.C. STRUCTURALLY ATTACHED TO PRE-ENGINEERED ROOF TRUSS (SEE STRUCTURAL DRAWINGS) AND SUPPORT ON A RAKED 2" x 6" T & G SMOOTH CLEAR CEDAR SCOTT (PAINTED) - (SEE REFLECTIVE CEILING PLAN FOR LAYOUT).
04.

P.T. 845 2" x 10" GABLE "FLY RAFTER" - PAINTED - (TYPICAL AT GABLE END CONDITIONS) - (SEE STRUCT. DUG'S).
05.

STUCCO BOARD & BATTEN SIDING AT TOP OF GABLE, RAISED 2" W/ 1" dp. SMOOTH STUCCO "BATTENS" # 10" O/C ON 3/4" MIN TH. 2-COAT SMOOTH STUCCO FINISH - PAINTED. (TYP.).
06.

1 1/8" 3-COAT SMOOTH STUCCO W/ 6" LAP SIDING - FINISH-PAINTED (NOTE: SCRATCH COAT APPLIED DIRECTLY TO BLOCK PRIOR TO LAP SIDING PVC TRIM) (TYP. AT GABLE ENDS).
07.

6" EXPOSURE SMOOTH FIBER - CEMENTITIOUS "STAGGERED EDGE PANEL" SIDING BY "JAMES HARDIE" OR EQUAL, ATTACHED W/ 2" x 4 P.T. WOOD FIBERING # 24" O.C. (TYP.) - OVER 30" FELT LAPPED. NOTE: P.T. FIBERING TO BE ATTACHED W/ 25 x 25/4" TAPCONS # 24" O.C. (TYP.).
08.

3/4" 2-COATS SMOOTH STUCCO PAINTED FINISH ON 8" CMU.
09.

CONT. 2" HL x 2" dp. STUCCO BANDING. (TYPICAL BETWEEN PERIMETER OF HOUSE BASE AND SHINGLE SIDING CONDITIONS).
10.

8" CONCRETE BLOCK - LOW WALL # COVERED ENTRY PORCH W/ "CONCORD BRICK" - VENEER BY "MOUNTAIN STONE" OR EQUAL. (CONTRACTOR TO PROVIDE SAMPLE FOR OWNER APPROVAL) - INSTALL AS PER MANUF. SPEC'S.
11.

8" x 12" CONCRETE BEAM UNRAFFED W/ 1" x AZEK TRIM BOARDS W/ PAINTED FINISH TO BE CENTERED OVER DECORATIVE TAPERED COLUMNS BELOW.
12.

CONT. 1" TH. x 1" TH. "AZEK" TRIM BOARDS TOP & BOTTOM. (TYPICAL AT ENTRY PORCH CONC. BEAM).
13.

4" x 6" SMOOTH CLEAR CEDAR, DECORATIVE WOOD BRACKETS - PAINTED - (SEE TYPICAL DETAIL).
14.

ALL GABLE ROOFS TO RECEIVE ADDITIONAL TRUSS BRACING TO MEET WIND CYCLING REQUIREMENTS - (SEE STRUCTURAL DUG'S).
15.

DECORATIVE ALUMINUM WINDOW SHUTTERS TO HAVE 2" SPACERS # 12063-60 - VERIFY W/ OWNER ON COLOR.
16.

ALL WINDOW SHUTTERS TO RECEIVE 1" ALUMINUM CAST SHUTTER STAY (DOGS) W/ 4" STAINLESS STEEL LAG SCREW WASHER & COTTER KEY - BLACK POWDER COAT FINISH. VERIFY W/ OWNER.
17.

TAPERED CONC. COLUMN PEDESTALS # COVERED ENTRY PORCH W/ "CONCORD BRICK" - VENEER BY "MOUNTAIN STONE" OR EQUAL. (CONTRACTOR TO PROVIDE SAMPLE FOR OWNER APPROVAL) - INSTALL AS PER MANUF. SPEC'S.
18.

DECORATIVE "CRAFTSMAN" TAPERED COLUMN SLEEVES BY "ARCHITECTURAL STONEWORK" OR EQUAL OVER STRUCTURAL STEEL COLUMNS. (SEE STRUCTURAL DUG'S FOR SIZE AND CONNECTIONS. CONTRACTOR TO PROVIDE SAMPLE FOR APPROVAL PRIOR TO FABRICATION).
19.

(2) LAYER STEP RAISED HORIZONTAL STUCCO BANDING W/ 2 1/4" x 2 1/2" TOP LAYER W/ LOWER LAYER BEING 1/4" x 1" PROJECTION - LOCATED # UNDERSIDE OF 2ND SHINGLE SIDING - PAINTED - SLOPED FOR POSITIVE DRAINAGE.
20.

STUCCO BANDING W/ 3 1/4" x 2 1/2" TOP LAYER & 3" HL x 2" dp. LOWER LAYER # ENTRY COLUMN PEDESTAL CAP.
21.

EXTERIOR STUCCO TO EXTEND A MIN. 1'-0" BELOW GRADE (TYP. # ENTIRE PERIMETER).
22.

FRONT DOOR TO BE "SIGNATURE DOOR INC." - STAIN MAHOAGANY & INSTALLED BY "COASTAL SUPPLY" OR EQ. PROVIDE CERTIFICATE OF COMPLIANCE W/ WIND & IMPACT REQ'TS.
23.

ALL OVERHEAD GARAGE DOOR SHALL MEET DADE COUNTY WIND CYCLING AND IMPACT TESTING REQUIREMENTS. PROVIDE CERTIFICATE OF COMPLIANCE BY "EDL" OR EQUAL (TYPICAL). - CONTRACTOR TO VERIFY W/ GARAGE DOOR MANUF. PROPER CLEARANCE REQUIRED FOR APPLIED STRIP DOWN 5/16" PK "AZEK" COMPOSITE TRIM (OR EQUAL) FOR DECORATIVE VERTICAL PANELS ON EXT. SIDE. (NOTE: ALL HORIZONTAL CUTS TO BE MADE # 45 DEGREE DOWNWARD ANGLE).
24.

3 1/4" RAISED CONCRETE RAIN WATER EDGE (TYP. AT GARAGE DOOR) NOTE: CONCRETE THRESHOLD TO BE RECESSED TO RECEIVE PAVERS TO THE BACK SIDE OF THE GARAGE DOORS (TYP.).
25.

"F61" SINGLE HUNG, CASEMENT AND/OR FIXED ALUM. WINDOWS TO BE IMPACT RESISTANT, DOUBLE-GLAZED TINTED GLASS W/ AN AVG. U-FACTOR EQUAL TO 0.889 AND AVG. SHGC EQUAL TO 0.6 WITH 03 FENESTRATION VALUE (SEE ENERGY CALC'S) AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). - COLOR WHITE (VERIFY W/ OWNER). (NOTE: REFLECTIVE GLASS IS NOT PERMITTED).
26.

"F61" - FAUX - FIXED WINDOW W/ INTERIOR SIDE TO BE PAINTED BLACK. (NOTE: REFLECTIVE GLASS IS NOT PERMITTED).
27.

"F61" 180 SERIES ALUM. SLIDERS DOORS - (OR EQUAL) - W/ DOUBLE-GLAZED TINTED GLASS W/ AN AVG. U-FACTOR EQUAL TO 0.889 AND AVG. SHGC EQUAL TO 0.6 WITH 03 FENESTRATION VALUE TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.). (NOTE: REFLECTIVE GLASS IS NOT PERMITTED).
28.

EGRESS TYPE WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS & PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" W/ 24" HT. AND 91 SQ. FT. AREA THE BOTTOM OF THE OPENING SHALL BE NOT MORE THAN 44" FROM THE FINISH FLOOR LEVEL. NOR SHALL ANY PART OF THE OPERATING MECHANISM BE PLACED HIGHER THAN 54" FROM THE FIN. FLOOR.
29.

2" HL W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - (LOWER BAND 2" HL W/ 1" PROJECTION # STUCCO) TYP. AT WINDOW & DOOR HEADERS - SEE TYPICAL DETAIL.
30.

2" HL W/ 1 1/2" PROJECTION SMOOTH STUCCO BANDING - TYP. AT WINDOW SILLS - SEE TYPICAL DETAIL.
31.

ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLS TO BE SET IN MASTIC OVER (1) LAYER OF "GRACE VYCOR PLUS" OR EQUAL & CONCRETE THRESHOLD. CONCRETE SILL.
32.

ALL EXTERIOR DOORS & WINDOWS TO HAVE "VULKEM" CAULKING # BUCK-O-MAT/ALUM. FRAME CONDITIONS (TYP.).
33.

ALL WINDOWS TO HAVE 1" x P.T. WD BUCKS ANCHORED TO CONC AS PER PRODUCT APPROVAL.
34.

PORCHES TO RECEIVE LIMESTONE PAVERS (COLOR & STYLE TO BE SELECTED BY OWNER) NON-SLIP W/ EASED EDGE AT THE OUTER EDGE. ENTIRE DECK TO BE MUDBET & GROUTED OVER 125' LIQUID WATERPROOFING ON CONCRETE DECK. "VULKEM 360" OR EQUAL (TYP.).
35.

12" x 12" COLUMN - FRONT SIDE TO BE 6" x 12" CONC. (SEE STRUCT. DUG'S) BACK SIDE TO BE FRAMED 6" x 12" TO RECEIVE "PHANTOM SCREEN" MOTORIZED RETRACTABLE SCREEN SYSTEM (SEE MANUF. FOR INSTALLATION INSTRUCTIONS). (TYP. AT REAR COVERED PORCH).
36.

42" BUILT-IN 8.5. OUTDOOR BARBECUE GRILL W/ ROTISSERIE - VERIFY W/ OWNER. (WEST SIDE OF COVERED PORCH).
37.

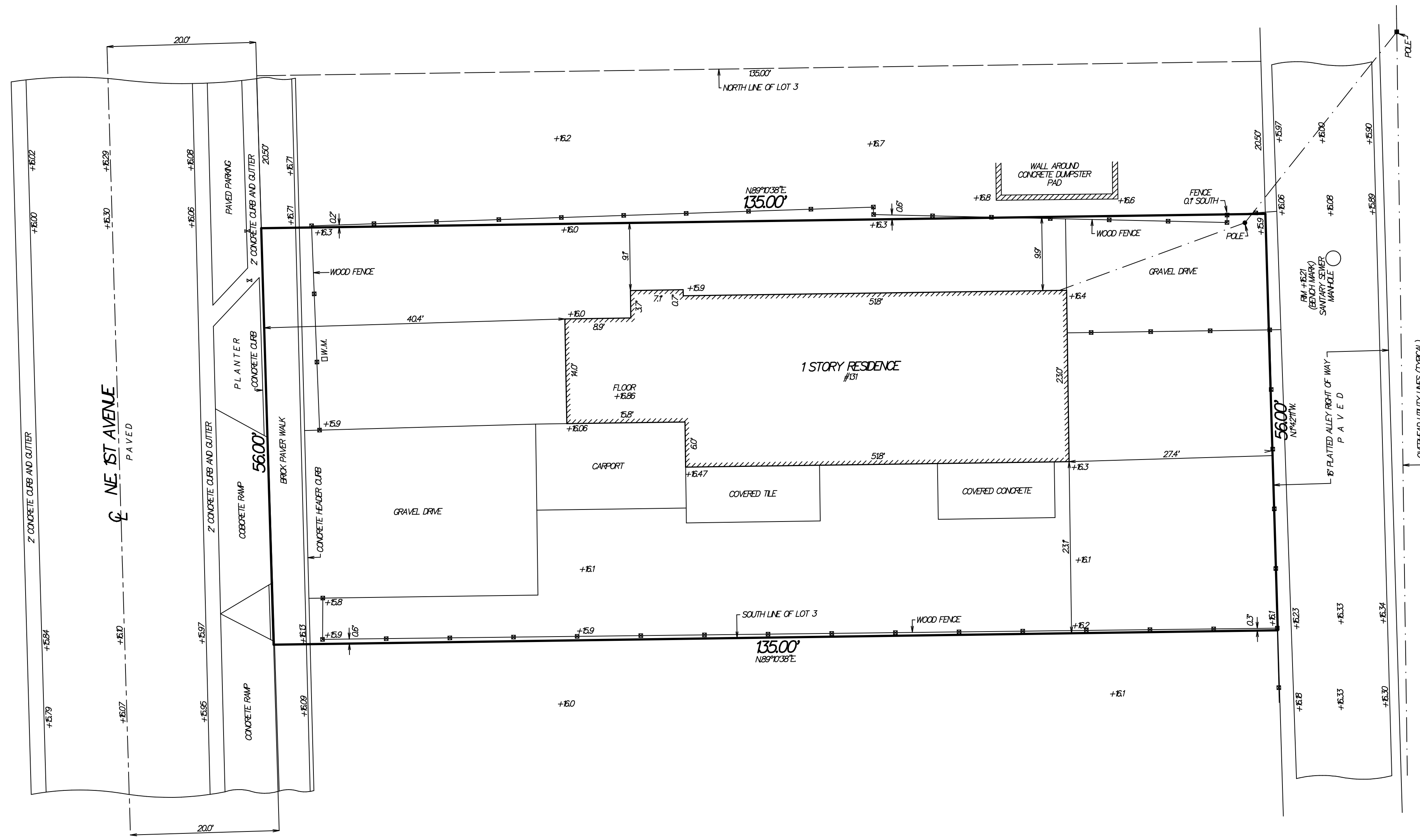
BUILT-IN OUTDOOR KITCHEN CABINETS - SHOWN FOR PRICING ONLY. CONTRACTOR TO PROVIDE SHOP DUG'S FOR OWNER APPROVAL.
38.

SEE ELECTRICAL DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECS (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
39.

SEE ROOF PLAN FOR BUILT-UP CRICKET FOR POSITIVE DRAINAGE.

TRIBUTARY AREA (ft ²)	WIND PRESSURES (PSF) EXTERIOR DOORS, WINDOWS, WALLS, COMPONENTS AND CLADDING			
	ZONE (4)		ZONE (5)	
	(+) POSITIVE	(-) NEGATIVE	(+) POSITIVE	(-) NEGATIVE
1 TO 20	43.6	-47.3	43.6	-58.4
21 TO 50	41.3	-45.0	41.3	-53.8
51 TO 100	39.0	-42.7	39.0	-49.3
101 TO 150	37.1	-40.7	37.1	-45.3
151 TO 250	35.3	-39.6	35.3	-43.0

NOTE:
ZONE 5 IS DEFINED AS ANY DOOR OR WINDOW WITHIN 9'-4" FROM ANY CORNER OF THE BUILDING. ALL OTHER LOCATIONS ARE DEFINED AS ZONE 4



SURVEYOR'S REPORT / LEGEND:

CL = CENTERLINE
WM = WATER METER
THE SOUTH LINE OF LOT 3, BLOCK 75, TOWN OF LINTON IS ASSUMED TO BEAR N89°10'38"E.
+E121 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: PALM BEACH COUNTY BENCH MARK "D-32"
FLOOD ZONE: X
COMMUNITY PANEL NO. 12502 0979
SUFFIX: F
MAP REVISED: OCT. 5, 2017
NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.
THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE. WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.
NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS.

DESCRIPTION:

THE SOUTH 56.0 FEET OF LOT 3, BLOCK 75, TOWN OF LINTON (NOW DELRAY BEACH), ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 3, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF AS-BUILT SURVEY
SITE ADDRESS: 131 NE 1ST AVENUE
DELRAY BEACH, FLORIDA 33444

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY DEC. 13, 2017	PAGE NO. 69	SCALE: 1" = 10'
FIELD BOOK D.315		ORDER NO.: 17-25db