



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name:	8 East Atlantic Avenue
Project Location:	8 East Atlantic Avenue, Old School Square Historic District
Request:	Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness
Board:	Historic Preservation Board
Meeting Date:	April 4, 2018

Board Action:

Approved the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness for alterations to the front façade and improvements to the exterior dining area for the property located at 8 East Atlantic Avenue (5 to 0 vote, John Klein was absent).

Project Description:

The 0.22 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property consists of the West 26' of Lot 4 (Less the South 14') and Lot 5, Block 69 and contains a two-story Masonry Vernacular commercial building constructed in 1950 which is deemed to be a non-contributing structure.

At its meeting of August 6, 2003, the HPB approved a Class III Site Plan Modification for the conversion of the first floor from retail space into restaurant (while retaining the second floor efficiency apartment). At its meeting of January 7, 2004, the HPB approved a Class I Site Plan Modification and COA (2004-089) for the replacement of the existing paired storefront doors and fixed, storefront windows with new aluminum bi-fold and storefront doors with transom. The proposal also included the elimination of the fixed windows on the West elevation. In 2004, administrative approvals were granted for Class I Site Plan Modifications (2004-264 and 2014-268) to remove lighted bollards, remove landscape strip from the Western perimeter of the property, relocate a guy wire; and, to install removable steel, storm panels for the storefront windows. At its meeting of September 1, 2004, the HPB approved a COA (2004-269) to convert the second floor efficiency apartment to office/storage area associated with the restaurant. The proposal also included installation of a projecting sign on the second floor of the building.

At its meeting of January 15, 2008, the City Commission approved a Waiver and In-Lieu Parking Request (2008-050) to remove four spaces located within the surface parking area immediately adjacent to the West side of the building and fronting Atlantic Avenue. The property owner paid an in-lieu fee for each space removed (total fee \$62,400). Because the new outdoor dining area was classified as a Sidewalk Café, no additional parking was required. A subsequent Class II Site Plan Modification, COA, and Landscape Plan (2008-095) was approved by the HPB on March 19, 2008 to make additional site modifications.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965. However, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were

recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to “opt-out” of this process.

The project proposes front façade improvements to include installation of new clear anodized aluminum storefront doors (folding glass wall panel system) on the North and West elevations, and new canopy painted in Sherwin Williams “Grays Harbor” on the North elevation. Exterior color changes to Sherwin Williams “Grays Harbor” and Sherwin Williams “Real Red” exterior walls and Sherwin Williams “Greek Villa” wall trim. The proposal also includes installation of a new aluminum pergola and retractable fabric shade covering and light gray awning over a portion of the existing outdoor dining area on the West side of the building. A new cabana will be installed in the outdoor area on the West side of the building. A new horizontal aluminum railing will be installed on the North side of the existing outdoor dining area, a wood fence and door are proposed on the South side of the property to the rear of the outdoor dining area, and the existing landscape plan will be modified.

Staff supported the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness request.

The project was approved subject to the condition that the exterior color scheme as well as a study of delineations between the first and second floors be brought back to the Historic Preservation Board (HPB) for review and approval.

Board Comments:

The Board comments were supportive.

Public Comments:

One member of the public asked for clarification on where the new horizontal aluminum railing was proposed.

Associated Actions: All required actions were taken.

Next Action: HPB action is final.

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: April 4, 2018

ITEM: 8 East Atlantic Avenue, Old School Square Historic Arts District – Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for alterations to the front façade and improvements to the exterior dining area.

RECOMMENDATION: Approve the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness

GENERAL DATA:

Property Owner: Sure Ring, Inc.

Applicant:..... Bob Franklin,
Tin Roof Bars

Agent:..... Todd Bundren,
Lawrence Group

Location:..... South side of East Atlantic Avenue,
between South Swinton Avenue and
SE 1st Avenue

Property Size:..... 0.22 Acres

Historic District: Old School Square Historic Arts
District (OSSHAD)

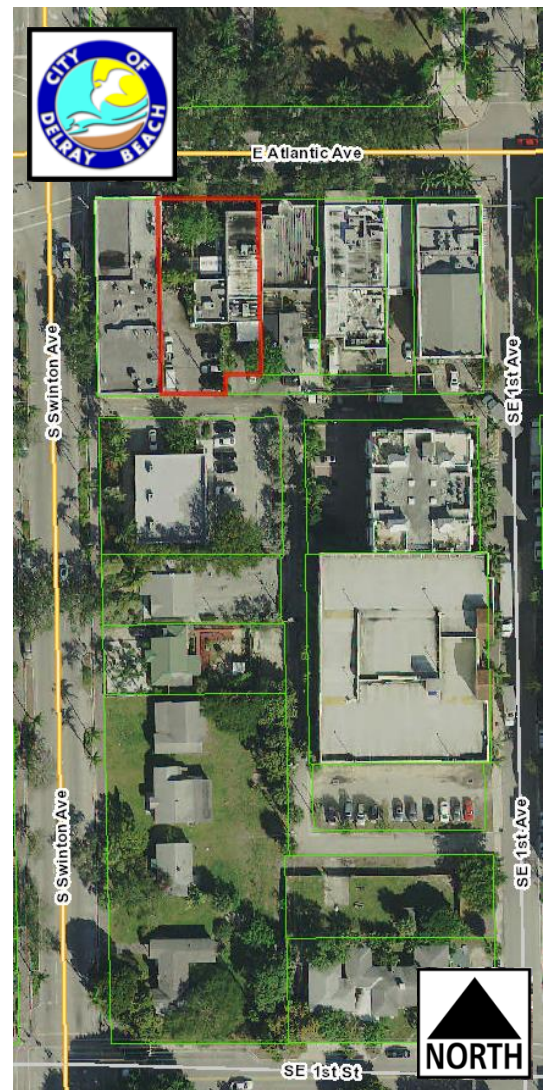
Zoning:..... Old School Square Historic Arts
District (OSSHAD)

Adjacent Zoning:.....
North: OSSHAD
East: OSSHAD
South: OSSHAD
West: OSSHAD

Existing Future Land
Use Designation:..... Other Mixed Use (OMU)

Water Service:..... Public water service is provided
on site.

Sewer Service:..... Public sewer service is provided
on site.



ITEM BEFORE THE BOARD

The item before the Board is approval of Class II Site Plan Modification, Landscape Plan and Certificate of Appropriateness (2018-042) for alterations to the front façade and improvements to the exterior dining area for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District**, pursuant to LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

BACKGROUND

The 0.22 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property consists of the West 26' of Lot 4 (Less the South 14') and Lot 5, Block 69 and contains a two-story Masonry Vernacular commercial building constructed in 1950 which is deemed to be a non-contributing structure.

At its meeting of August 6, 2003, the HPB approved a Class III Site Plan Modification for the conversion of the first floor from retail space into restaurant (while retaining the second floor efficiency apartment). At its meeting of January 7, 2004, the HPB approved a Class I Site Plan Modification and COA (2004-089) for the replacement of the existing paired storefront doors and fixed, storefront windows with new aluminum bi-fold and storefront doors with transom. The proposal also included the elimination of the fixed windows on the West elevation. In 2004, administrative approvals were granted for Class I Site Plan Modifications (2004-264 and 2014-268) to remove lighted bollards, remove landscape strip from the Western perimeter of the property, relocate a guy wire; and, to install removable steel, storm panels for the storefront windows. At its meeting of September 1, 2004, the HPB approved a COA (2004-269) to convert the second floor efficiency apartment to office/storage area associated with the restaurant. The proposal also included installation of a projecting sign on the second floor of the building.

At its meeting of January 15, 2008, the City Commission approved a Waiver and In-Lieu Parking Request (2008-050) to remove four spaces located within the surface parking area immediately adjacent to the West side of the building and fronting Atlantic Avenue. The property owner paid an in-lieu fee for each space removed (total fee \$62,400). Because the new outdoor dining area was classified as a Sidewalk Café, no additional parking was required. A subsequent Class II Site Plan Modification, COA, and Landscape Plan (2008-095) was approved by the HPB on March 19, 2008 to make additional site modifications.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965. However, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to "opt-out" of this process.

The subject Class II Site Plan Modification, Landscape Plan and COA request includes:

- Façade improvements to include installation of new clear anodized aluminum storefront doors (folding glass wall panel system) on the North and West elevations, and new canopy painted in Sherwin Williams "Grays Harbor" on the North elevation;
- Exterior color changes to Sherwin Williams "Grays Harbor" and Sherwin Williams "Real Red" exterior walls and Sherwin Williams "Greek Villa" wall trim;
- Installation of a new aluminum pergola and retractable fabric shade covering and light gray awning over a portion of the existing outdoor dining area on the West side of the building;
- Installation of a new cabana in the outdoor area on the West side of the building;

- Installation of a new horizontal aluminum railing on the North side of the existing outdoor dining area, installation of a wood fence and door on the South side of the property to the rear of the outdoor dining area; and,
- Modification of the existing landscape plan.

ANALYSIS OF SITE PLAN

Pursuant to LDR Section 3.1.1(D), Compliance with LDRs, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. The applicable LDRs have been identified and reviewed throughout this report.

Article 4.4, Base Zoning District Regulations

Pursuant to LDR Section 4.4.24(B)(7), Principal Uses and Structures, Restaurants are a permitted use within the Old School Square Historic Arts District (OSSHAD) and the CBD overlay.

Article 4.6, Supplemental District Regulations

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way.

This requirement has been met as the existing exterior trash enclosure on the South side of the property will remain.

Pursuant to LDR Section 4.6.16(E)(5), trees shall be a species having an average mature spread of crown greater than twenty (20) feet and having trunks which can be maintained in a clean condition with over six (6) feet of clear mature wood. Tree species shall be a minimum of sixteen (16) feet in overall height at the time of planting, with a minimum of six feet of single straight trunk with eight (8) feet of clear trunk, and a seven (7) foot spread of canopy.

The proposal includes removal of the existing 60" DBH (diameter at breast height) Ficus tree located in the center of the exterior dining area on the West side of the building. The replacement tree is a Gumbo Limbo with 20 feet in overall height, 8 feet minimum single straight trunk with 10 feet of clear trunk, and a 9 to 10 foot spread of canopy which exceeds the code requirement. The new tree is proposed to be located along the North property line adjacent to the new horizontal aluminum railing.

Site Plan Technical Items

While the revised site plan is adequate for review, the following site plan technical items still remain outstanding, and will need to be addressed prior to site plan certification and permit issuance:

1. That the site data table be revised to show the required building height maximum and include the number of seats that is proposed.
2. That the center line dimensions of East Atlantic Avenue be revised to show the same measurement on the existing and proposed site plan.
3. That the elevations include height dimensions for the new pergola and outdoor storage areas.
4. That the elevations indicate the material of the new cabana;
5. That the new roof top units be relocated 10 feet from the roof edge, or guardrail/shielding be installed.

SECTION 4.5.1 HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E) - **Development Standards**: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The exterior alterations include new clear anodized aluminum storefront doors (folding glass wall panel system); new canopy on the front façade (North) to be painted in Sherwin Williams "Grays Harbor"; installation of a new horizontal aluminum railing (color will match clear anodized aluminum doors) along the north side of the existing outdoor dining area; and, installation of a 8' wood fence and door on the South side of the property to the rear of the outdoor dining area. Additionally, new cabana is proposed on the West side of the in the outdoor area, this area will also be utilized as an outside platform for performances when needed. The proposal includes installation of a new white, aluminum, pergola with retractable gray fabric shade covering over a portion of the existing outdoor dining area immediately west of the existing building.

The exterior color scheme will be changed to Sherwin Williams "Grays Harbor" and Sherwin Williams "Real Red" exterior walls and Sherwin Williams "Greek Villa" wall trim. The spaces that characterize the property are being preserved by maintaining indoor seating and the exterior dining area. The exterior alterations to the non-contributing structure are compatible with the massing, size, scale, and architectural features in the Old School Square Historic District (OSSHD). The proposal meets the applicable standards noted above and their intent as the proposed changes ensure appropriate alterations to the exterior of the structure. Overall, the proposed changes protect the historic integrity of the existing structure and its environment by allowing modernization of the structure with durable materials.

Pursuant to LDR Section 4.5.1(E)(2)(c)(2) – Minor Development.

The subject application is considered "Minor Development" as it involves modification to an existing non-contributing structure in the OSSHD district which is subject to CBD regulations.

Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated

property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

Applicable Visual Compatibility Standards

- (b) **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- (c) **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- (g) **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- (l) **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The proposed exterior alterations to the non-contributing structure are appropriate and compatible with the Old School Square Historic Arts District (OSSHAD) and Central Business District (CBD) Architectural Design Guidelines. The new clear anodized aluminum storefront doors (folding glass wall panel system) on the front façade (North) will not modify the existing proportion of openings. The existing fencing and patio entry door will be replaced with a new horizontal aluminum railing on the front façade (North) that will match the color of the clear anodized aluminum doors. A new canopy painted in Sherwin Williams “Grays Harbor” will be installed on the front façade (North). These changes will not substantially alter the existing front façade proportion of the structure. On the West elevation, the new clear anodized aluminum storefront doors (folding glass wall panel system) will require the installation of larger openings than the existing doors. These changes are visually compatible to other restaurants on East Atlantic Avenue that maximize visibility with large windows and glass panel doors. A new white, aluminum, pergola with retractable fabric shade covering and light gray awning is proposed over a portion of the existing outdoor dining area on the West elevation. Also, a new cabana is proposed in the outdoor area on the West side of the property.

The paint pattern of the building exterior will include Sherwin Williams “Grays Harbor” and Sherwin Williams “Real Red” exterior walls and Sherwin Williams “Greek Villa” wall trim. The installation of an 8’ wood fence on the South side of the outdoor dining area is also proposed. The relationship of the materials, texture, and color contribute to the “Old Delray Beach” feeling and atmosphere of the Old School Square Historic Arts District (OSSHAD). The proposal creates a cohesive design by introducing only one architectural style. The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

REVIEW BY OTHERS

The Downtown Development Authority (DDA) reviewed and approved the request at its meeting on March 12, 2018.

ALTERNATIVE ACTIONS

A. Continue with direction.

B. Approve the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

C. Deny the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District** by finding that the request and approval thereof is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

RECOMMENDATION

Site Plan and COA

Approve the Class II Site Plan Modification and COA (2018-042) for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(G)(5) and 2.4.6(H)(5).

Landscape Plan

Approve the Landscape Plan for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(H)(5).

Architectural Elevations

Approve the Architectural Elevations for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(I)(5) and 4.5.1(E)(7).

NOTES:

If the COA is approved, the following must be addressed prior to certification:

1. That the site data table be revised to show the required building height maximum and include the number of seats that is proposed;
2. That the center line dimensions of East Atlantic Avenue be revised to show the same measurement on the existing and proposed site plan;
3. That the elevations include height dimensions for the new pergola and outdoor storage areas;
4. That the elevations indicate the material of the new cabana; and,
5. That the new roof top units be relocated 10 feet from the roof edge, or guardrail/shielding be installed.

Attachments:

- Site Plan/Floor Plan
- Elevations
- Landscape Plan
- Photometric Plan
- Survey

Report Prepared by: Abraham Fogel, Assistant Planner and Michelle Hoyland, Principal Planner

Tin Roof

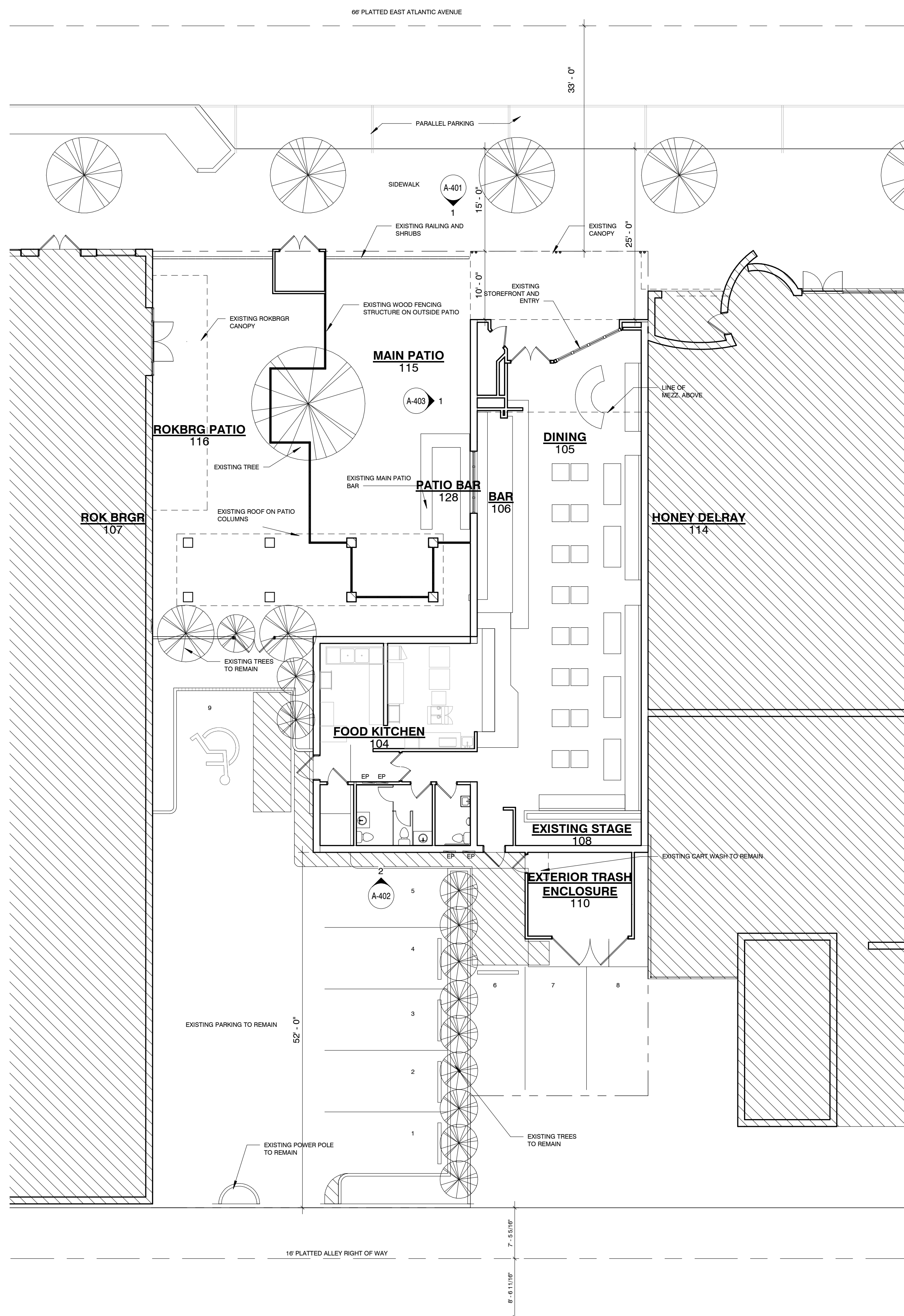
Tin Roof DelRay Beach, LLC



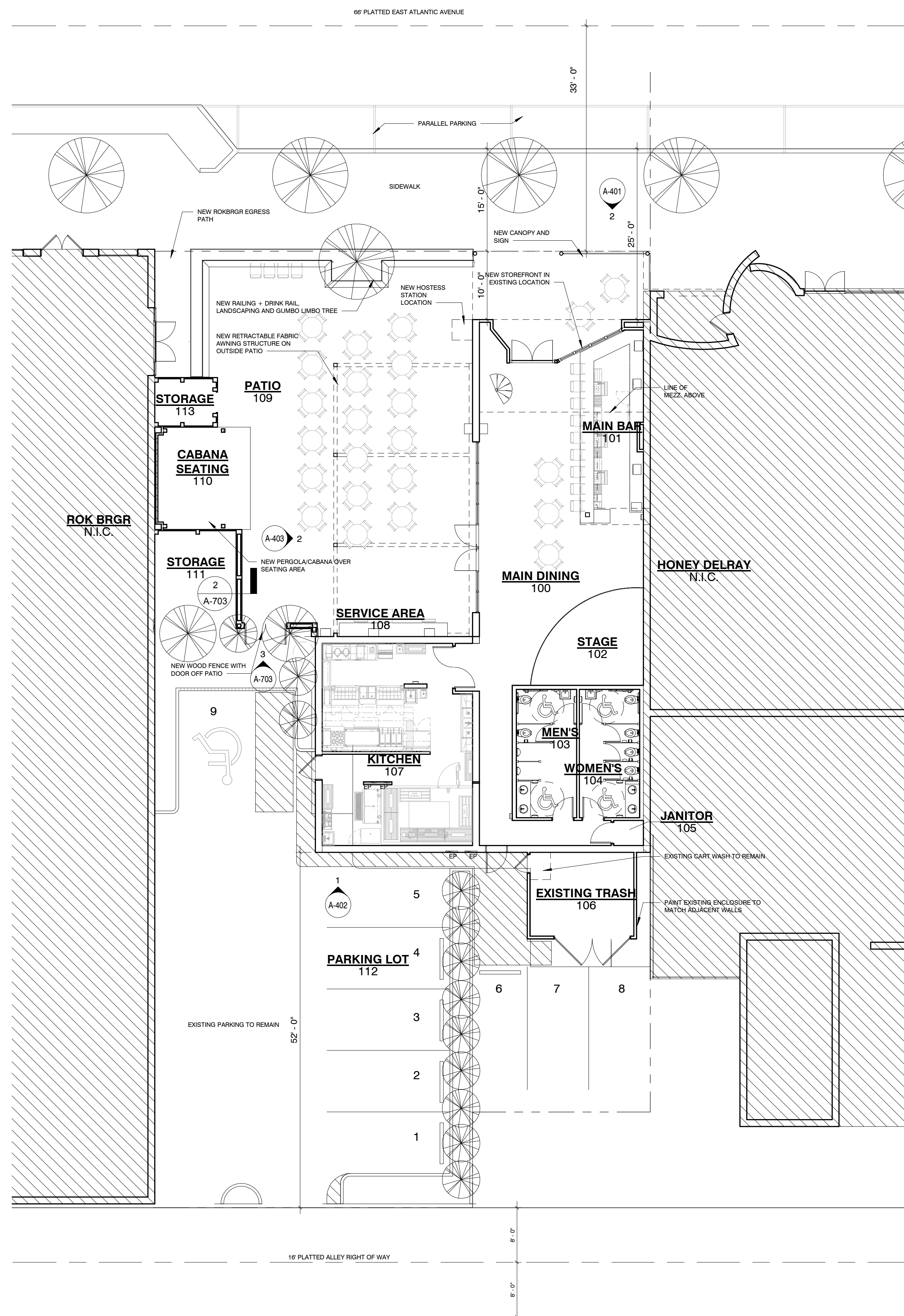
Project Number: Q1759

**LAWRENCE
GROUP**

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f 314.231.0816



2	EXISTING OVERALL SITE PLAN
A-101	1" = 10'-0"



1	PROPOSED OVERALL SITE PLAN
A-101	1" = 10'-0"

Austin Charlotte New York St. Louis

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f 314.231.0816

Project Team:
Structural

McComas Engineering, Inc.
1717 E 116th Street #200
Carmel, IN 46032
317-249-4786
317-580-0402

MEP

G&W Engineers
92 Mill Hill Road
Bloomsdale, MO 63627
314-737-4217
314-469-5420

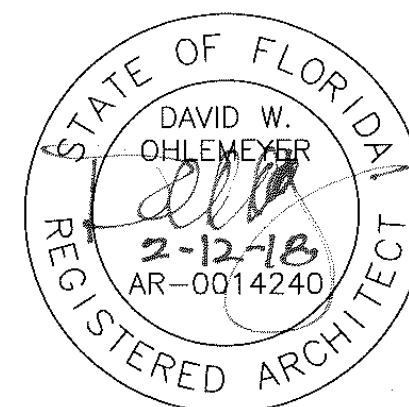
Food
Service

Singer Equipment Company
180 Heller Place
Bellmawr, NJ 08031
855-559-4150
856-559-4199

Civil

Consultant 4 Company
Consultant 4 Address
Consultant 4 City, State ZIP
Consultant 4 Phone
Consultant 4 Fax

Professional Seal



Project Title

PROJECT DESCRIPTION

Tin Roof

8 EAST ATLANTIC AVENUE, DELRAY BEACH, FL
33444

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Sheet Title

Composite
Overlay

Project Number

Q1759

Drawn By
RE

Issue Date

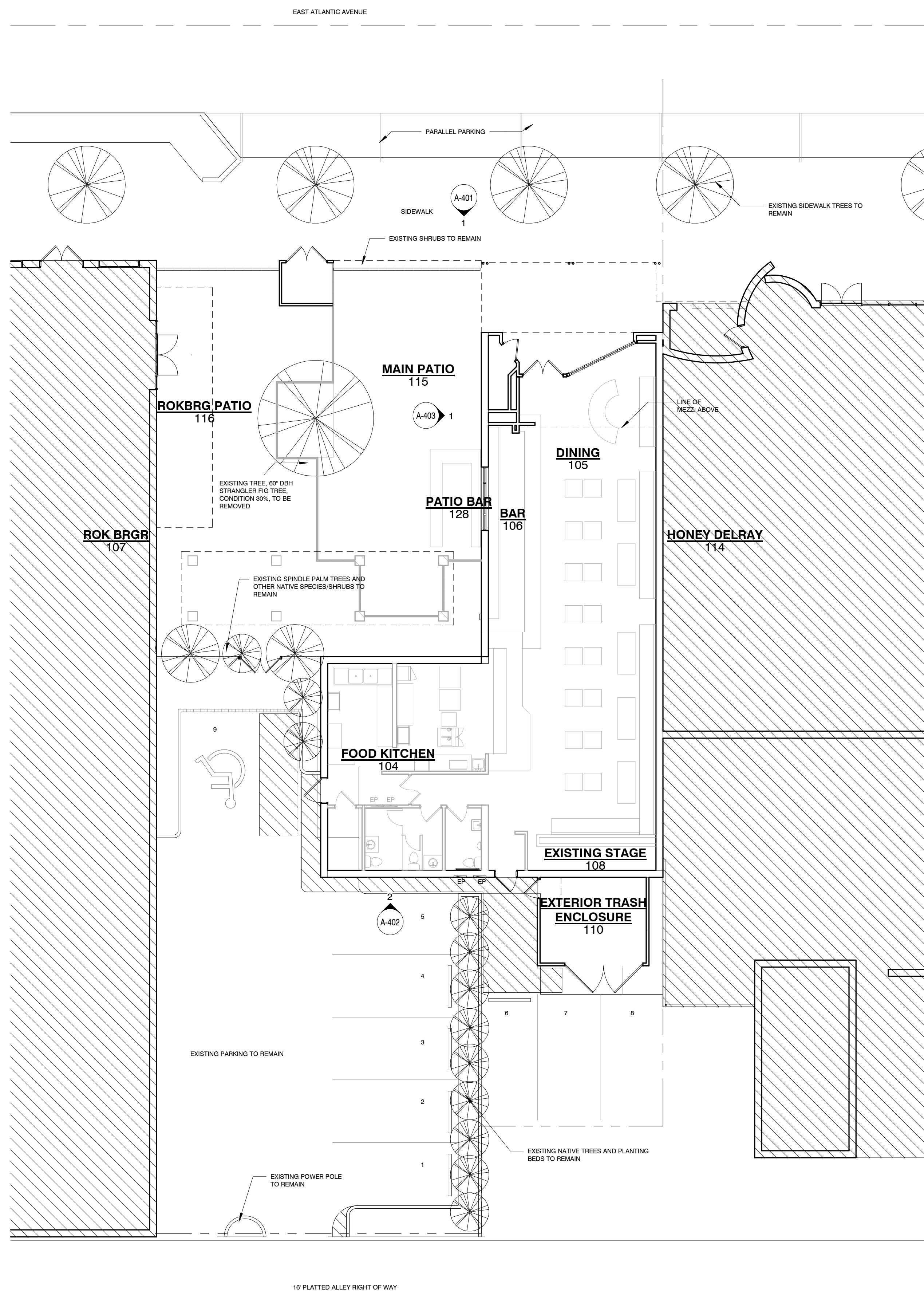
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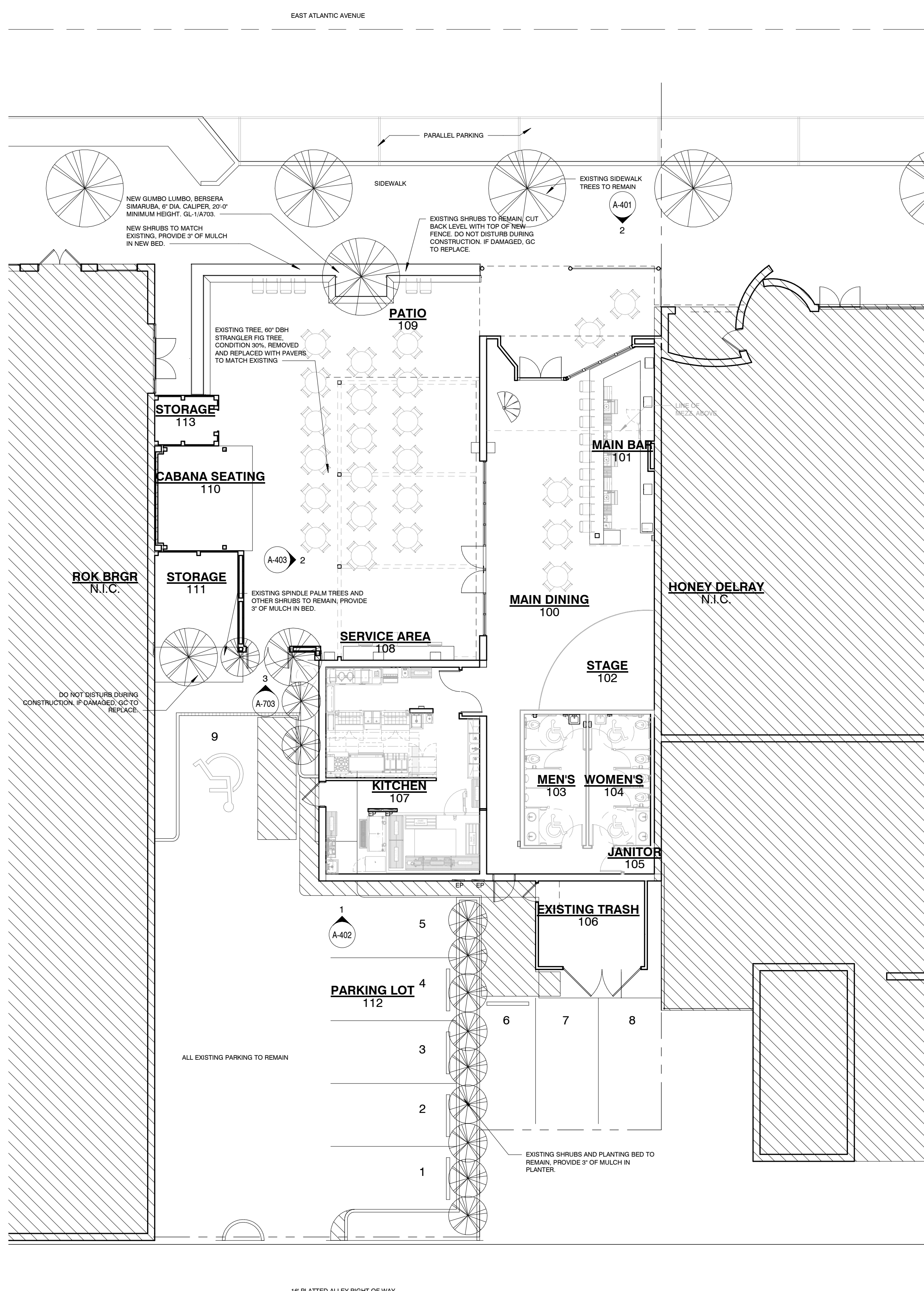
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A

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1	EXISTING OVERALL LANDSCAPE PLAN
A-103	1" = 10'-0"



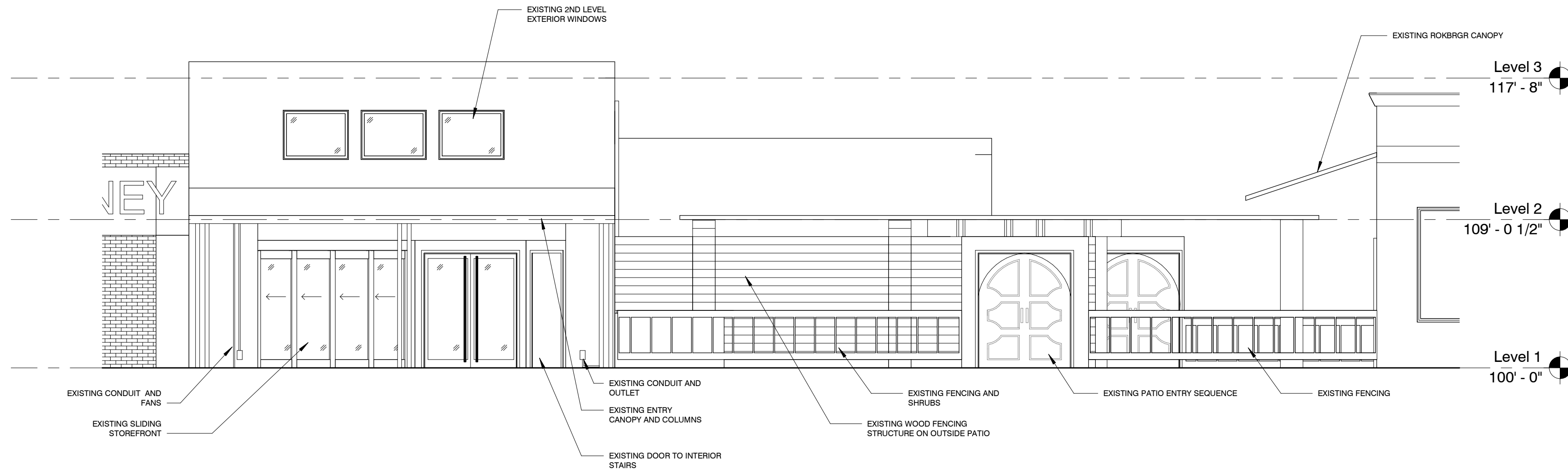
**SEE SHEET A-703 FOR ADDITIONAL PLANTING INFORMATION.

2 | PROPOSED OVERALL LANDSCAPE PLAN
A-103 | 1" = 10'-0"

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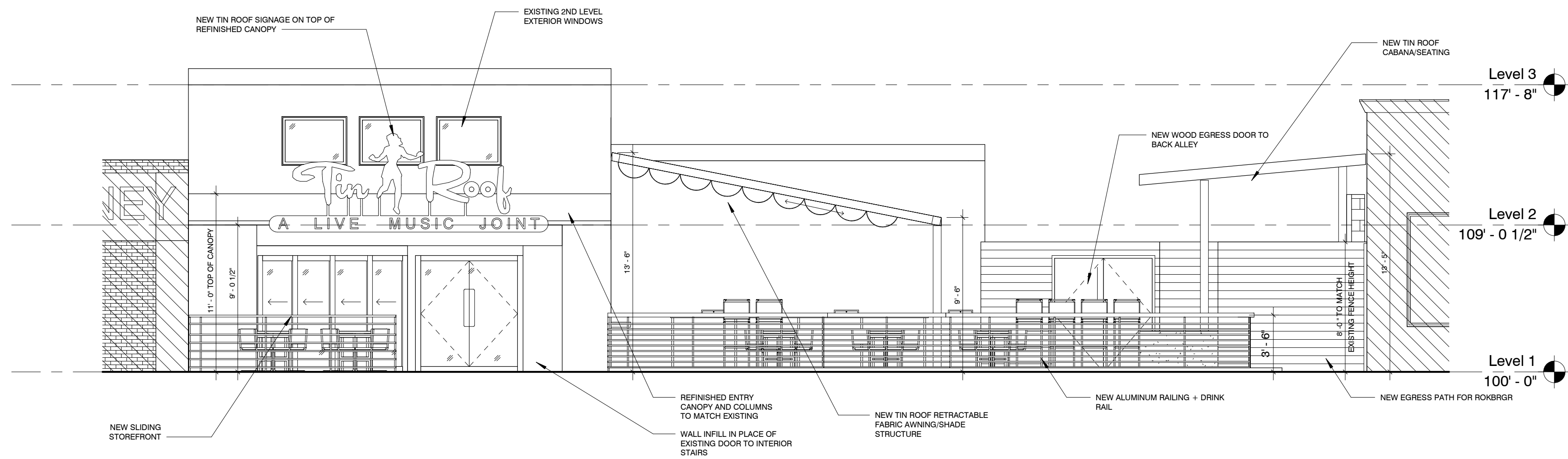
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1 | EXISTING NORTH ELEVATION

A-401	$3/16'' = 1'-0''$
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2 | PROPOSED NORTH ELEVATION

A-401	$3/16'' = 1'-0''$
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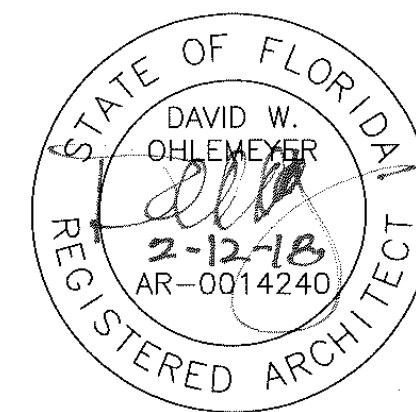
Austin Charlotte New York St. Louis

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Project Team:

Structural	McComas Engineering, Inc. 1717 E 11th Street #200 Carmel, IN 46032 317-249-4786 317-580-0402
MEP	G&W Engineers 92 Mill Hill Road Bloomfield, MO 63627 314-737-4217 314-469-5420
Food Service	Singer Equipment Company 180 Heller Place Bellmawr, NJ 08031 855-559-4150 856-559-1199
Civil	Consultant 4 Company Consultant 4 Address Consultant 4 City, State ZIP Consultant 4 Phone Consultant 4 Fax

Professional Seal



Project Title

PROJECT DESCRIPTION

Tin Boof

8 EAST ATLANTIC AVENUE, DELRAY BEACH, FL
33444

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Sheet Title

North
Elevations

Project Number: _____ Sheet Number: _____

Q1759

Drawn B

BE

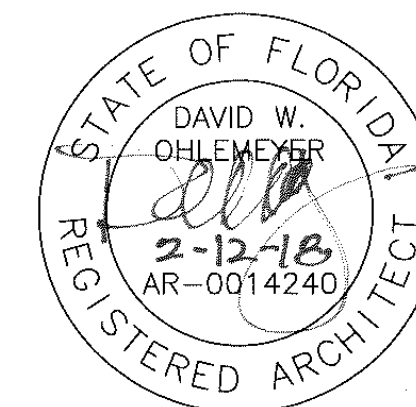
Issue Date:
03/21/2015

A-401

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Project Team:	
Structural	McComas Engineering, Inc. 1717 E 116th Street #200 Carmel, IN 46032 317-249-4786 317-580-0402
MEP	G&W Engineers 102 Mill Hill Road Bloomfield, MO 63627 314-737-4217 314-469-5420
Food Service	Singer Equipment Company 180 Heller Place Bellaire, NJ 08031 855-559-4150 855-559-4199
Civil	Consultant 4 Company Consultant 4 Address Consultant 4 City, State ZIP Consultant 4 Phone Consultant 4 Fax

Professional Seal



Project Title

PROJECT DESCRIPTION

Tin Roof

8 EAST ATLANTIC AVENUE, DELRAY BEACH, FL
33444

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Sheet Title

West Elevations

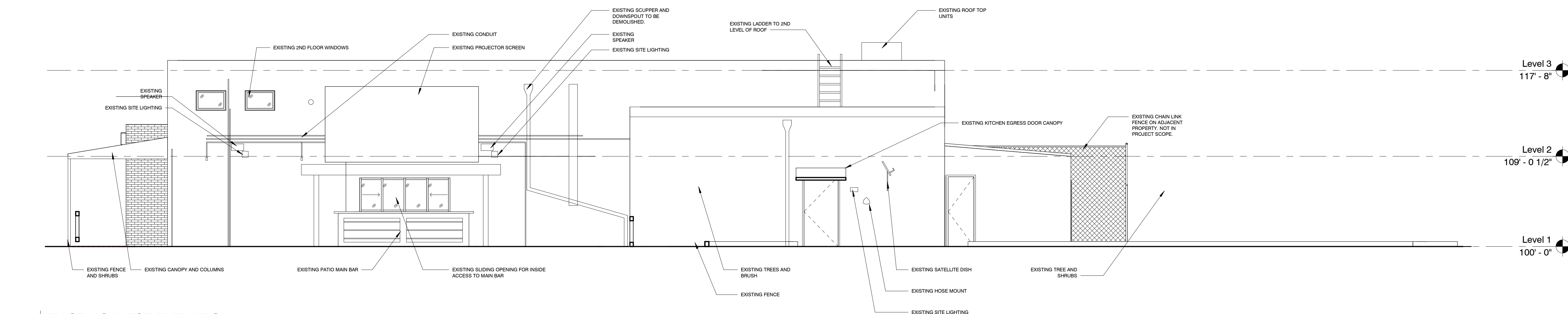
Project Number:
Q1759

Drawn By:
BE

Issue Date:
03/21/2018

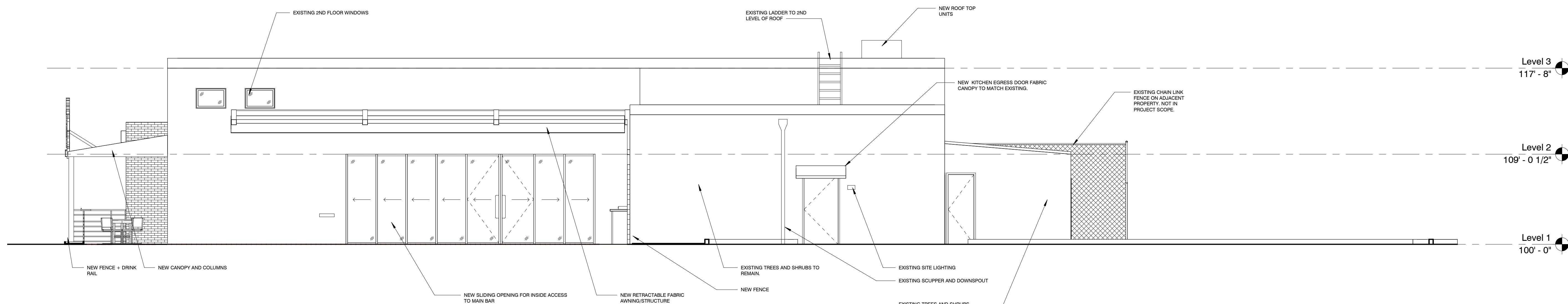
Sheet Number

A-403



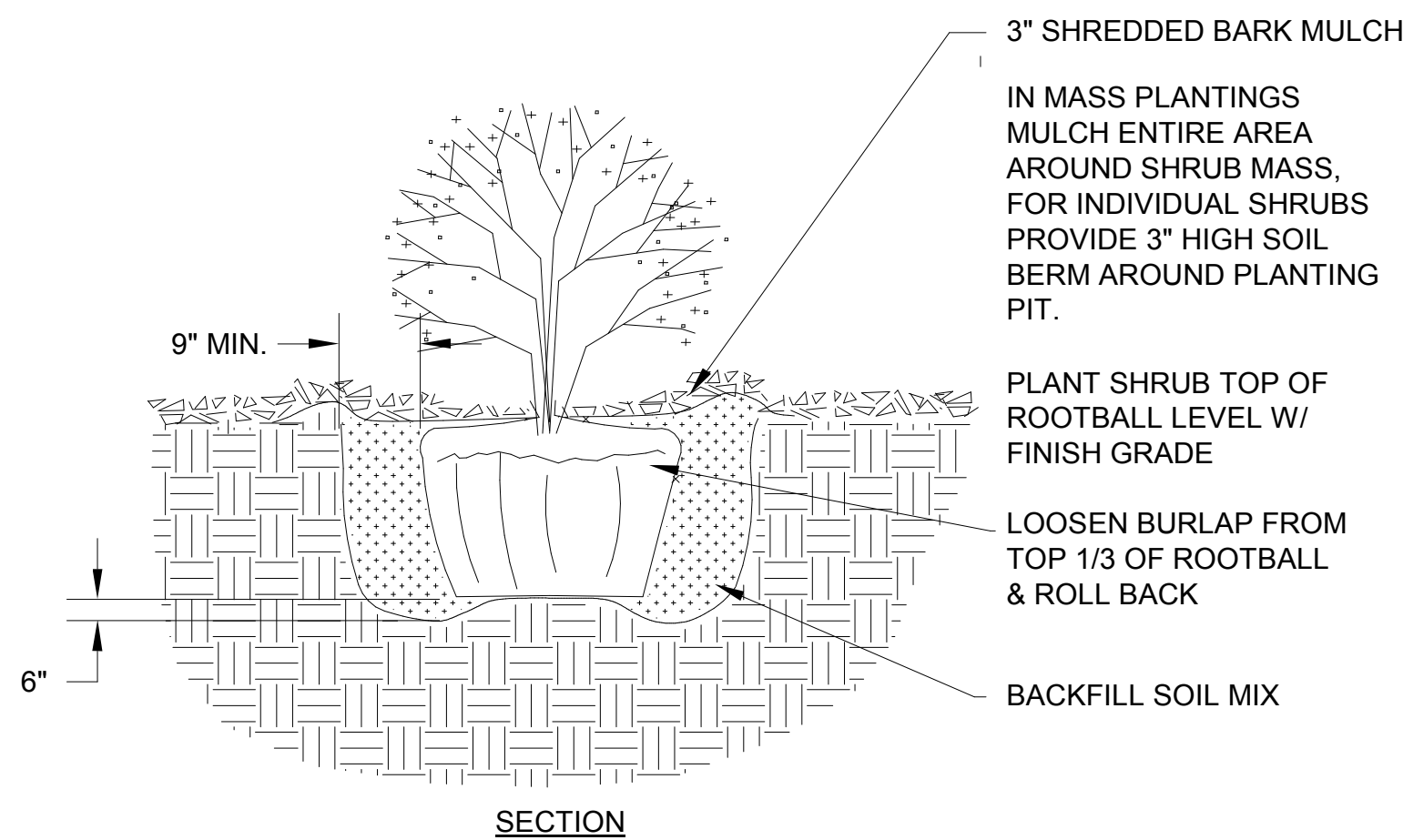
1 | EXISTING WEST ELEVATION

A-403	$3/16'' = 1'-0''$
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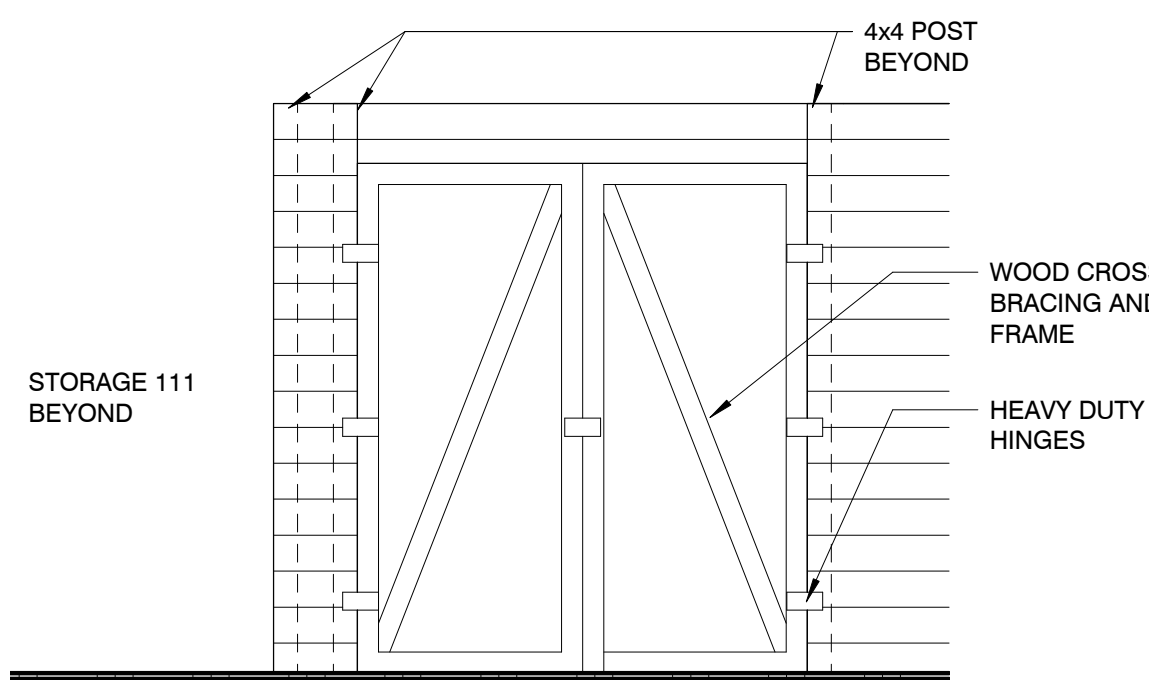
2 | PROPOSED WEST ELEVATION

A-403	$3/16'' = 1'-0''$
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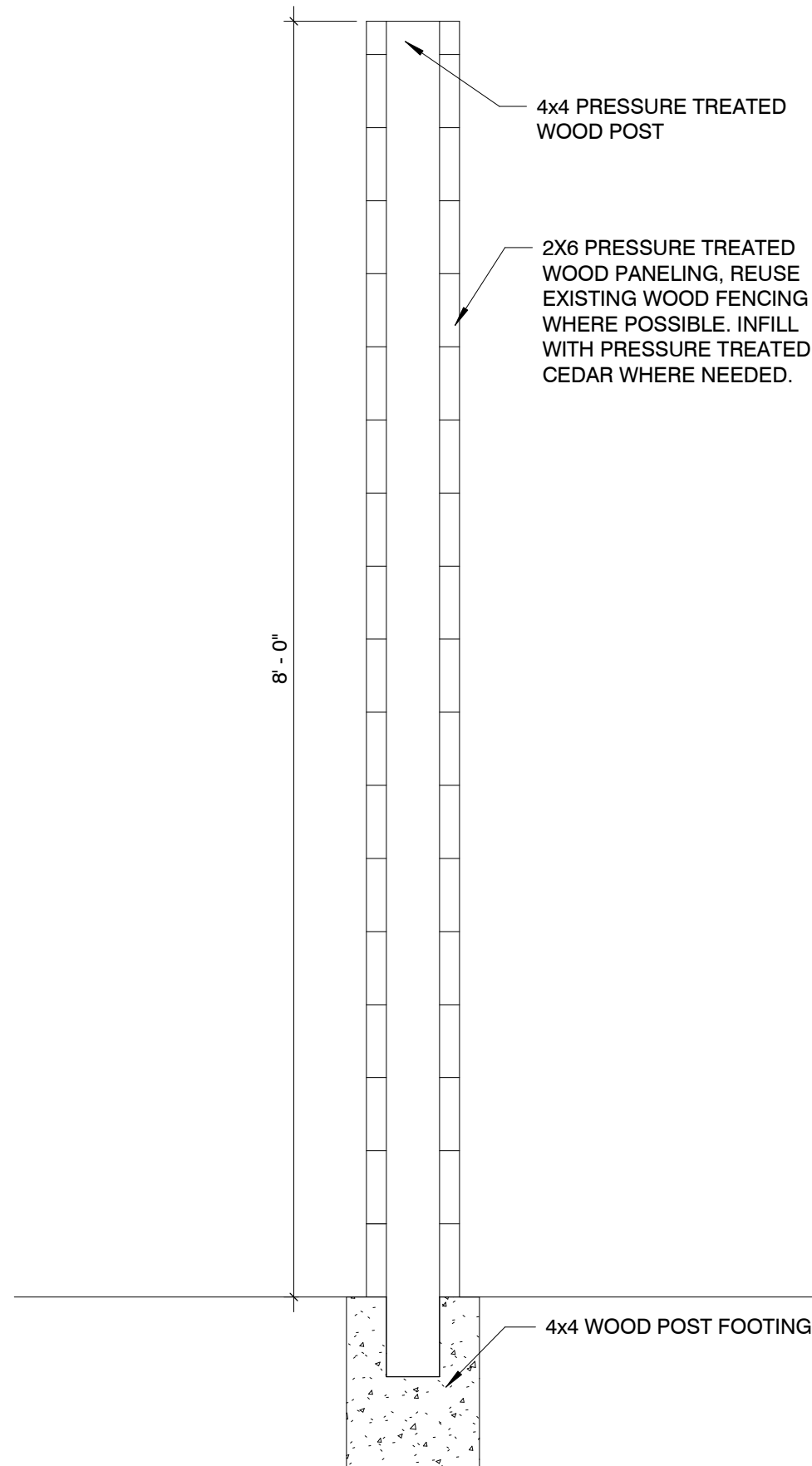
- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
 3. WATER THOROUGHLY FOLLOWING PLANTING.

SHRUB PLANTING



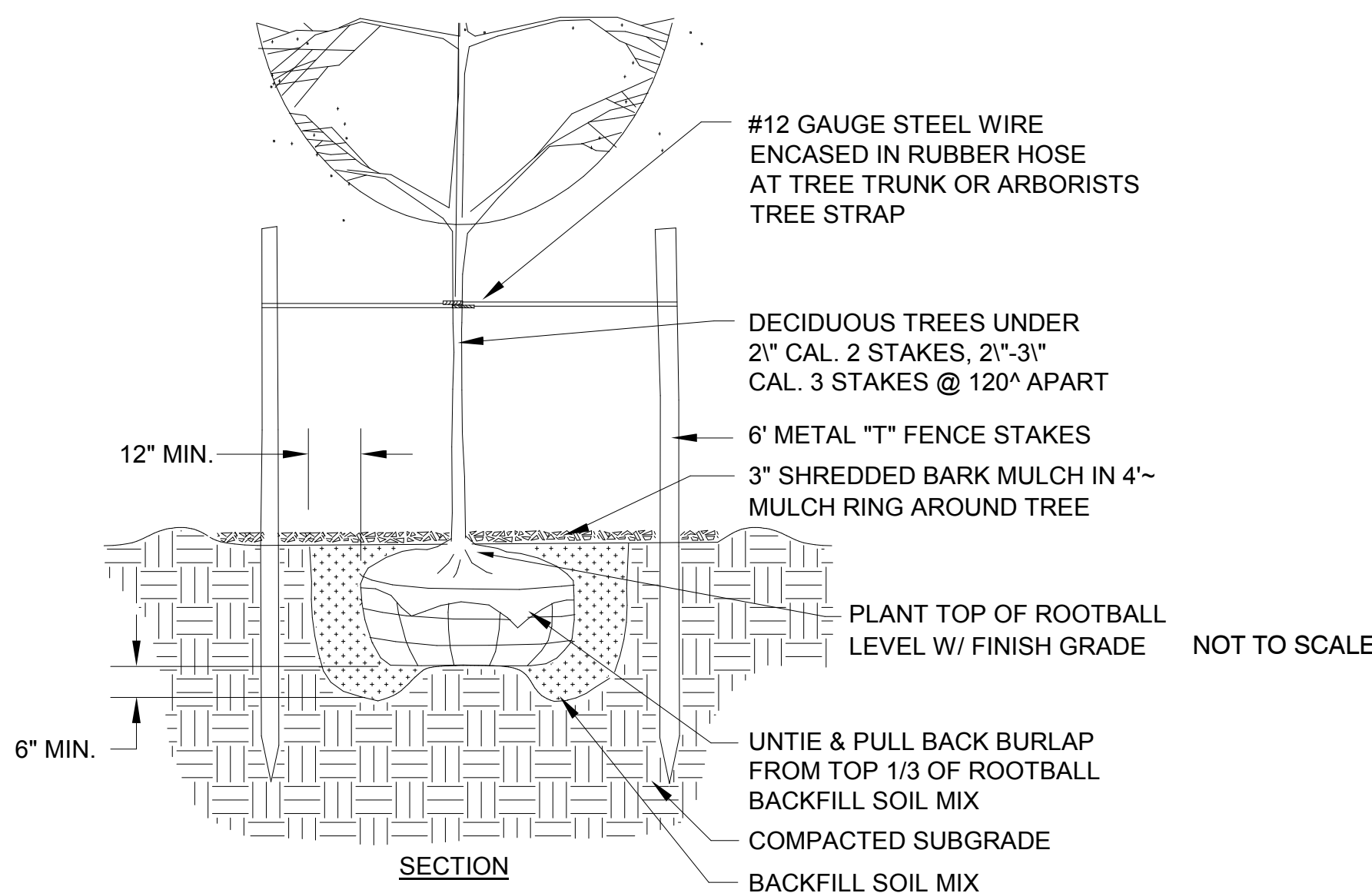
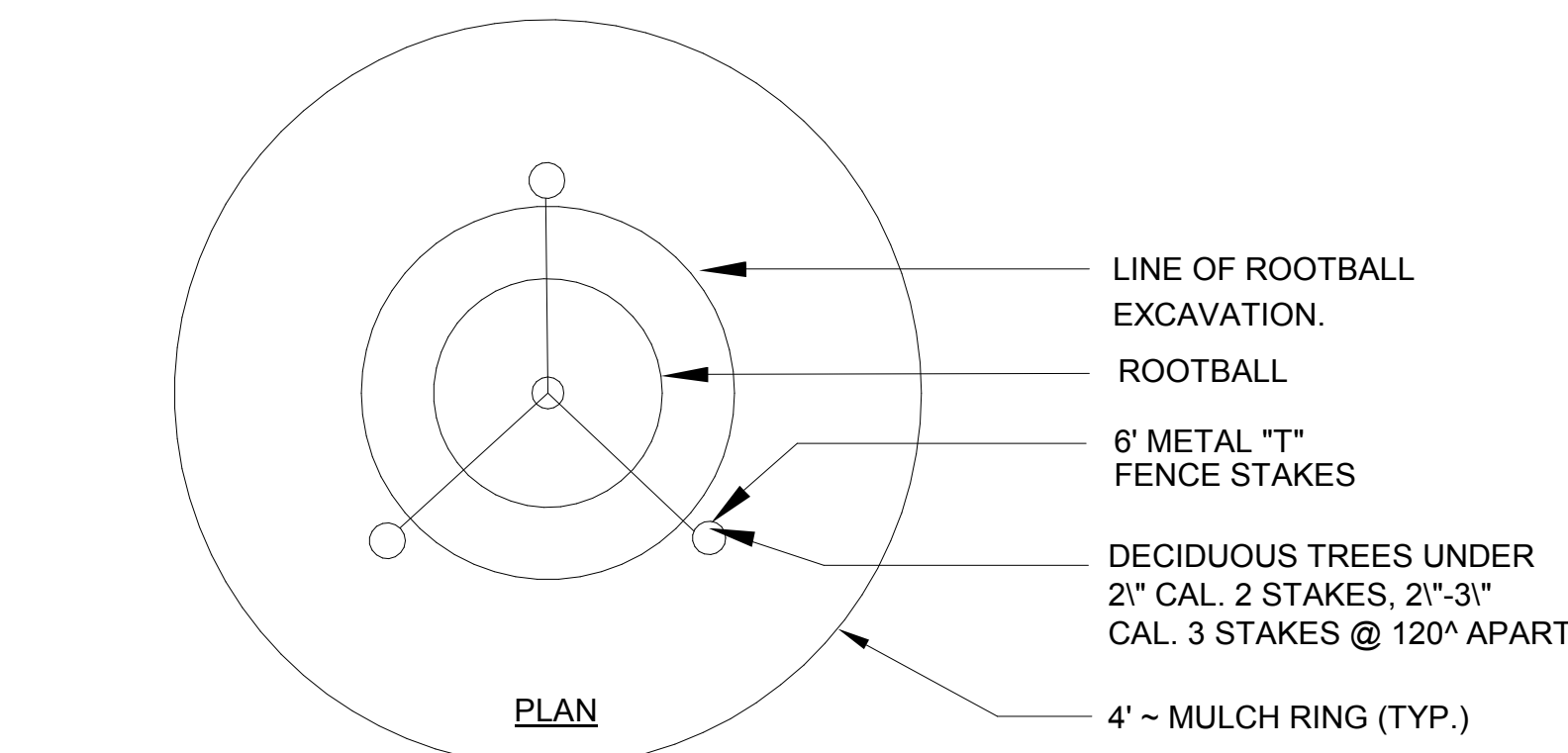
3 | INTERIOR ELEVATION-STORAGE 111 GATE

A-703	$3/8'' = 1'-0''$
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2 | WOOD FENCE DETAIL

A-703	$1'' = 1'-0''$
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- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 2. DO NOT DISTURB ROOT BALL WHEN PLANTING OR STAKING.
 3. WATER THOROUGHLY FOLLOWING PLANTING.

TREE PLANTING AND STAKING

TAG	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS*AT TIME OF PLANTING	QUANTITY
GL-1	BURSERA SIMARUBA	GUMBO LUMBO	20' OVERALL HEIGHT 8' MIN. SINGLE STRAIGHT TRUNK WITH 10' CLEAR OF CLEAR TRUNK 9-10' SPREAD OF CANOPY	1

EXISTING NATIVE SOIL WITHIN ALL LANDSCAPE ISLANDS, INTERIOR LANDSCAPE STRIPS AND PERIMETER LANDSCAPE STRIPS SHALL BE EXCAVATED DOWN TO A DEPTH OF THIRTY (30) INCHES BELOW EXISTING GRADE. A SUITABLE PLANTING MIXTURE OF FIFTY/FIFTY (50/50), SIXTY/FORTY (60/40) (SAND/TOPSOIL) OR AS OTHERWISE INDICATED BY THE REGISTERED LANDSCAPE ARCHITECT, SHALL EITHER BE BACKFILLED IN PLACE OF THE NATIVE SOIL OR EFFICIENTLY MIXED WITH THE NATIVE SOIL TO CREATE AN OPTIMUM ENVIRONMENT FOR SUCCESSFUL ROOT DEVELOPMENT. IF NATIVE SOIL IS TO BE MIXED, IT SHALL FIRST BE SCREENED TO REMOVE ROCKS AND DEBRIS LARGER THAN ONE-HALF (1/2) INCH IN DIAMETER PRIOR TO MIXING.

PLANTING NOTES

1. SCOPE OF WORK - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL ITEMS SHOWN ON THE PLANS. PLANTING SHALL NOT PROCEED WITHOUT ARCHITECT'S APPROVAL OF LOCATIONS.
2. EXISTING UTILITIES - PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL NOTIFY LOCAL UTILITY LOCATION SERVICE TO IDENTIFY ANY UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF POTENTIAL DISCREPANCIES OR OBSTACLES. REPAIR ANY DAMAGE DONE TO EXISTING UTILITIES. CALL 1-800-DIG-RITE FOR UNDERGROUND UTILITY LOCATION TWO DAYS (2) PRIOR TO EXCAVATION.
3. PLANTING MIX - PLANTING MIX SHALL BE A 50/50 BLEND OF TOPSOIL AND COMPOST.
4. PLANTING BED - REMOVE EXISTING MATERIAL TO A DEPTH OF 6" AND REPLACE WITH THE SPECIFIED PLANTING MIX. ROTOTILL AREA TO A MINIMUM DEPTH OF 8". DISPOSE OF EXCAVATED MATERIAL OFF SITE. ALLOW FOR SPECIFIED MULCH DEPTH. DO NOT ROTOTILL AROUND EXISTING TREES, TURN SOIL AND MIX BY HAND SHOVEL.
5. WEED FABRIC - INSTALL 5 OZ. WEED BARRIER FABRIC OVER ALL SHRUB AREAS AFTER SOIL PREPARATION WHERE INDICATED. FABRIC SHALL BE EQUAL TO DEWITT WEED BARRIER 12 YR. SECURE WITH ANCHOR PINS AND OVERLAP EDGES BY 12". AFTER PLANTING, COVER ALL FABRIC WITH SPECIFIED DEPTH OF MULCH.
6. TREE PLANTING - EXCAVATE PIT SLIGHTLY SHALLOWER AND 2 TO 3 TIMES THE WIDTH OF THE ROOT BALL OR CONTAINER. FILL PIT WITH WATER AND ENSURE DRAINAGE WITHIN 24 HOURS. PRIOR TO PLANTING REMOVE CONTAINER AND/OR WIRE BASKET AND/OR LOOSEN NYLON STRINGS AND BURLAP FROM TOP 1/3 OF ROOT BALL. CENTER TREE WITHIN PIT. BACKFILL WITH A BLEND OF EXCAVATED SOIL (FREE OF FIST SIZED STONES & LARGER) AND PLANTING MIX. WATER AND TAMP SOIL IN 6" LIFTS. INSERT ONE AGRIFORM FERTILIZER TABLET PER CALIPER INCH OF TREE. BACKFILL WITH SOIL UNTIL THE PLANTING IS LEVEL WITH THE SURROUNDING SURFACE AND THE CROWN OF THE PLANT IS AT FINISHED GRADE. BUILD-UP A UNIFORM 5" WATERING BASIN AROUND TREE WITH SOIL NOT MULCH.
7. SHRUB PLANTING - SPACE PLANT MATERIAL AS SHOWN ON DRAWINGS AND ADJUST AS NEEDED PRIOR TO DIGGING OPERATION. DIG SHRUB PIT TO THE SAME DEPTH AS ROOT BALL AND TWO TIMES (2X) LARGER THAN THE DIAMETER OF THE ROOT BALL. BACKFILL WITH APPROPRIATE PLANTING MIX AND WATER THOROUGHLY AFTER PLANTING. INSERT TWO (2) AGRIFORM TABLETS PER SHRUB PIT. CROWN OF ROOT BALL TO MATCH FINISHED GRADE.
8. SHRUB & GROUND COVER PLANTING - SEE PLANTING BED PREPARATION. LAYOUT PLANT MATERIAL UNIFORMLY AND USE TRIANGLE SPACING FOR MASS PLANTINGS. BACKFILL PLANT MATERIAL WITH PLANTING MIX. FERTILIZE AND WATER THOROUGHLY AFTER PLANTING.
9. FERTILIZER - APPLY ONE APPLICATION OF MEDINA ROOT STIMULATOR PER MANUFACTURER'S RECOMMENDATIONS AFTER INITIAL PLANTING. APPLY A NUTRIENT ORGANIC SLOW RELEASE GRANULE NITROGEN FERTILIZER AS FOLLOWS: 3 LBS. PER TREE, 25 LBS. /1000 S.F. IN TOP 5" OF PLANTING SOIL IN SHRUB AND GROUND COVER BEDS.
10. MULCH - AFTER PLANTING, MULCH ALL PLANTING BEDS AND TREES WITH 3" MINIMUM DEPTH OF SHREDDED LEAF MULCH UNLESS NOTED OTHERWISE. ALLOW FOR 25% TO 30% COMPACTION. INSTALL MULCH FLUSH WITH TOP OF CURB, SIDEWALK, OR EDGER. KEEP MULCH 4" AWAY FROM TREE TRUNK.
11. GUARANTEE - GUARANTEE ALL LABOR, MATERIAL, AND PLANTS (TREES, SHRUBS, PERENNIALS) FOR ONE YEAR UPON COMPLETION AND FINAL ACCEPTANCE OF ALL WORK BY OWNER. REPLACE ALL DEAD AND UNHEALTHY PLANT MATERIALS AND PLANT MATERIALS THAT HAVE PARTIALLY DIED WHERE SHAPE, SIZE OR SYMMETRY HAS BEEN DAMAGED. THIS GUARANTEE DOES NOT APPLY WHERE PLANT MATERIAL DIES, AFTER ACCEPTANCE OF WORK, DUE TO IMPROPER MAINTENANCE, HAIL, WIND, LIGHTNING, FIRE, FREEZE, DROUGHT, INSECT, DISEASE DAMAGE, THEFT, FLOOD, OR VANDALISM.
12. CLEAN-UP - ALL ROAD AND WALK SURFACES SHALL BE KEPT CLEAR AND CLEAN OF MUD AND DEBRIS AT ALL TIMES. AT COMPLETION OF WORK REMOVE ALL TRASH, WASTE, AND EQUIPMENT. LEAVE THE SITE CLEAN.
13. TEMPORARY IRRIGATION - CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION AT ALL TURF AND LANDSCAPED AREAS NOT IRRIGATED WITH THE PERMANENT IRRIGATION SYSTEM. THE TEMPORARY SYSTEM SHALL REMAIN IN OPERATION FOR NO LESS THAN 90 DAYS AND UNTIL TURF IS FULLY ESTABLISHED. ALL TEMPORARY COMPONENTS SHALL BE REMOVED NO MORE 7 DAYS AFTER WRITTEN NOTICE FROM THE OWNER.
14. MAINTENANCE - CONTRACTOR SHALL CONTINUE TO MAINTAIN ALL LANDSCAPE AREAS UNTIL FINAL ACCEPTANCE BY OWNER. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: REPLACING DEAD OR UNHEALTHY PLANTS, MOWING, WATERING, WEEDING, CULTIVATING, AND MULCHING TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.

1. VERIFY ALL PLANT QUANTITIES. PLANT QUANTITIES ON PLANS PREVAIL OVER THOSE LISTED IN PLANT LIST.
2. ALL NEW TREES, SHRUBS, AND PERENNIALS SHALL HAVE A MINIMUM ONE YEAR WARRANTY. PLANTS THAT ARE MORE THAN 25% DEAD SHALL BE REPLACED.
3. VERIFY SITE CONDITIONS, INCLUDING UNDERGROUND UTILITIES PRIOR TO START OF WORK. REPORT TO OWNER'S REPRESENTATIVE ANY CONDITION THAT MAY AFFECT CONTRACT. CONTRACTOR SHALL REPAIR ANY DAMAGE TO SITE ELEMENTS DUE TO CONTRACTOR'S ACTIVITY AT NO EXTRA COST TO OWNER.
4. COORDINATE SCHEDULE AND INSTALLATION OF LANDSCAPING WITH THE OWNER'S REPRESENTATIVE. STAKE NEW TREE LOCATIONS AND BED LOCATIONS. PLACE SHRUBS AND PERENNIALS IN ORIGINAL CONTAINERS FOR MINOR ADJUSTMENTS.
5. MULCH ENTIRE SHRUB PLANTING AREAS WITH 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH. PROVIDE 4-FOOT DIA. MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH. GROUND COVER BEDS TO RECEIVE MIN. 2" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
6. LINES AND GROUPINGS OF A SPECIES OF TREES SHALL BE MATCHED FOR SIZE AND FORM.
7. ALL DISTURBED AREAS OUTSIDE OF PLANT BEDS, PAVING AND STRUCTURES SHALL BE SODDED.
8. BY SUBMITTING A BID ON THESE PLANS, THE CONTRACTOR IS TAKING RESPONSIBILITY FOR ATTAINING THE PLANTS AS SPECIFIED ON THE PLANT LIST OR ON THE PLANS. ANY REQUEST FOR SUBSTITUTIONS SHOULD BE SUBMITTED FOR APPROVAL A MINIMUM OF 30 CALENDAR DAYS PRIOR TO INSTALLATION. NO SUBSTITUTIONS WILL BE CONSIDERED AT TIME OF PLANTING. ANY QUESTIONS ABOUT THE SPECIFIED PLANTS, CALL LANDSCAPE ARCHITECT.
9. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE ARCHITECT. MINOR IN-FIELD ADJUSTMENTS MAY BE REQUIRED. NOTIFY THE ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO PLANTING.
10. PERENNIAL BEDS SHALL HAVE A MINIMUM 8" DEPTH SOIL MIX OF THREE EQUAL PARTS OF COURSE SAND, COMPOST AND EXISTING SOIL. ADD LOCALLY AVAILABLE WORM CASTINGS AT A RATE OF 5 POUNDS PER 100 SQUARE FEET AND AS RECOMMENDED BY MANUFACTURER.
11. ALL PLANTING BED EDGES SHALL HAVE A SPADE CUT EDGE PER DETAIL.

Austin Charlotte New York St. Louis

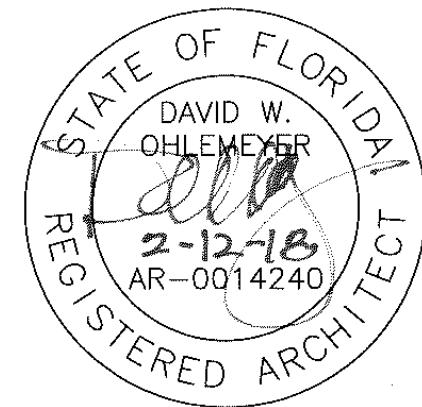
Office: Lawrence Group
St. Louis, MO 63102
p 314.231.5700
f 314.231.0816

Project Team:

Structural	McComas Engineering, Inc. 1717 E 116th Street #200 Carmel, IN 46032 317-249-4786 317-580-0402
MEP	G&W Engineers 92 Mill Hill Road Bloomdsale, MO 63627 314-737-4217 314-469-5420
Food Service	Singer Equipment Company 180 Heller Place Bellmawr, NJ 08031 855-559-4150 856-559-4199

Civil	Consultant 4 Company
	Consultant 4 Address
	Consultant 4 City, State ZIP
	Consultant 4 Phone
	Consultant 4 Fax

Professional Seal



Project Title

Tin Roof

PROJECT DESCRIPTION

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Sheet Title



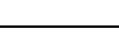
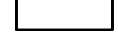
Landscape Details

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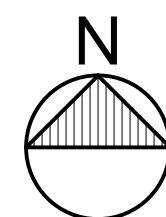
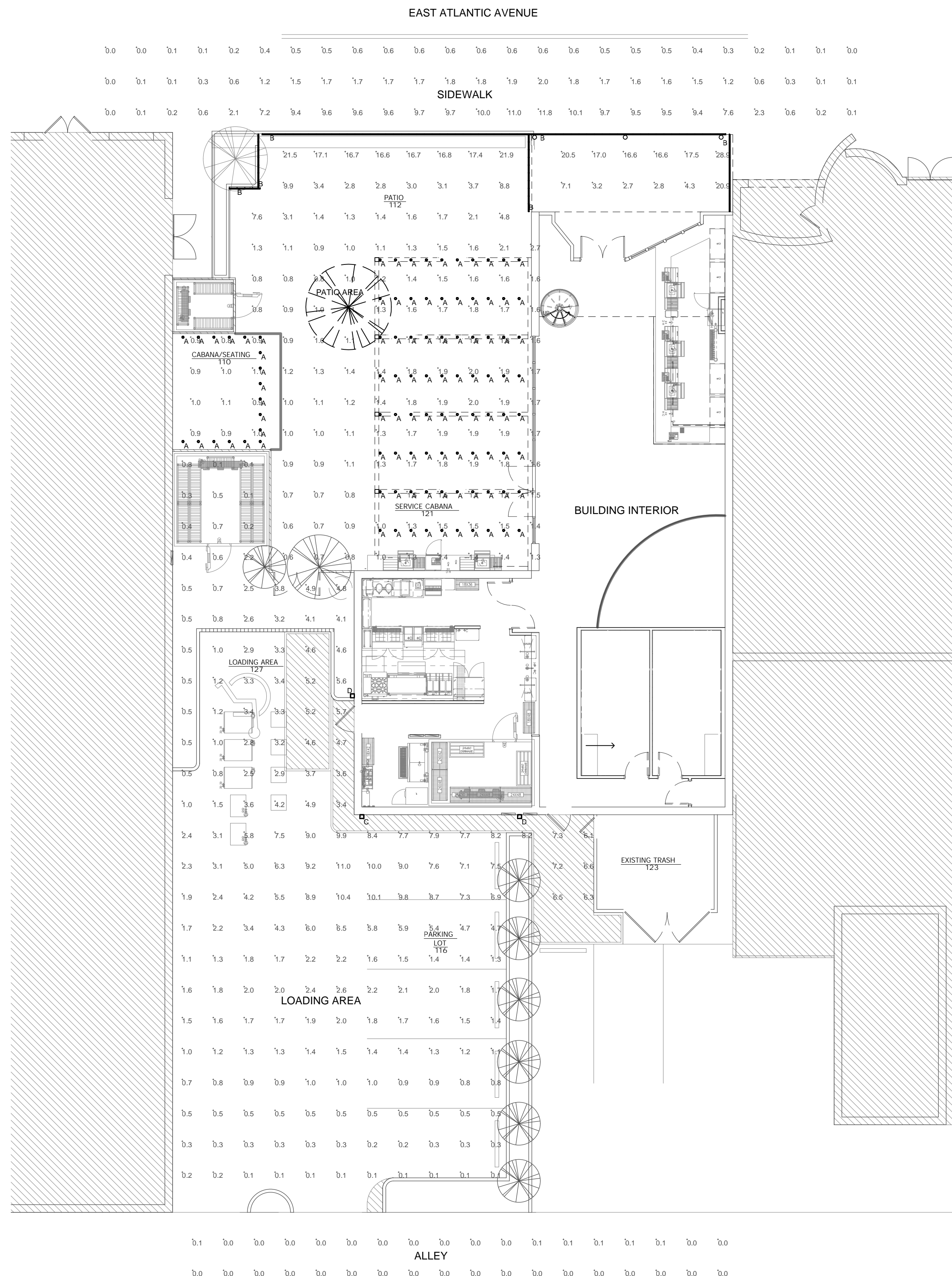
Q1759
Drawn By:
BE
Issue Date:
03/21/2018

Sheet Number

A-703

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	98	GLOBE LIGHTS		120V 2W Mounting Height = 8'-0"		1	CL-GC-18-IES	150	0.9	2.1
	B	91	ROPE LIGHT		1 FT Mounting Height = 3'-0"	49	1	NF-DS-0-64-24V-2700K (11t).IES	250	0.9	3.048
	C	1	EATON - McGRW-EDISON (FORMER COOPER LIGHTING)	IST-AF-1000-LED-E1-T4FT	IMPACT ELITE LED TRAPEZOID LUMINAIRE LIGHT SQUARE WITH ACCUED OPTICS-TYPE IV FORWARD THROW Mounting Height = 11'-0"	(16) 4000K CCT, 70 CRI LED's ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER	16	IST-AF-1000-LED-E1-T4FT.ies	382.3241	0.9	54.6
	D	2	EATON - McGRW-EDISON (FORMER COOPER LIGHTING)	IST-AF-800-LED-E1-SL2	IMPACT ELITE LED TRAPEZOID LUMINAIRE LIGHT SQUARE WITH ACCUED OPTICS-TYPE II W/SPILL CONTROL Mounting Height = 11'-0"	(16) 4000K CCT, 70 CRI LED's ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER	16	IST-AF-800-LED-E1-SL2.ies	308.9538	0.9	43.5

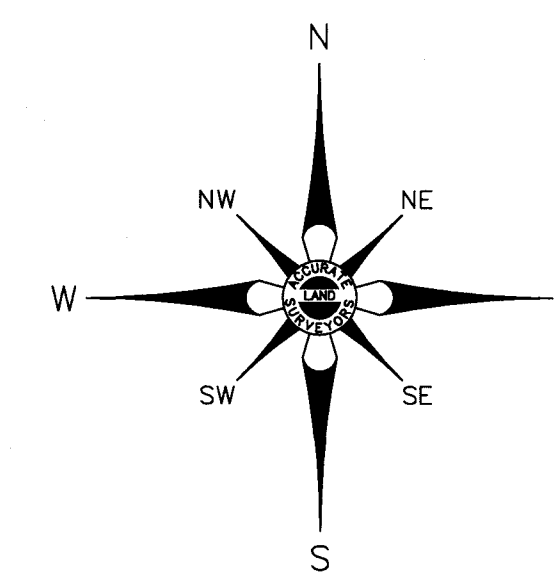
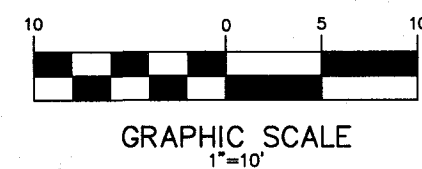
Statistics							
Description	Symbol	Avg	Max	Mn	Max/Min	Avg/Min	Avg/Max
Alley	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
Loading Area	+	2.8 fc	11.0 fc	0.1 fc	110.0:1	28.0:1	0.3:1
Patio Area (Specialty Lighting)	+	3.5 fc	28.9 fc	0.6 fc	48.2:1	5.8:1	0.1:1
Sidewalk	+	2.6 fc	11.8 fc	0.0 fc	N/A	N/A	0.2:1



SITE LIGHTING - PHOTOMETRIC CALCULATIONS

SCALE: 1" = 10'-0"

PRELIMINARY - NOT FOR CONSTRUCTION - 03/05/2018



ACCURATE LAND SURVEYORS, INC.
L.B. #3635

1150 E. ATLANTIC BLVD.
POMPANO BEACH
FLORIDA 33060

TEL. (954) 782-1441
FAX. (954) 782-1442

BOUNDARY & TOPOGRAPHIC SURVEY

LEGEND OF ABBREVIATIONS:

[illegible]

LEGAL DESCRIPTION:

THE WEST 26 FEET OF LOT 4, EXCEPT THE SOUTH 14 FEET THEREOF, ALL OF LOT 5, MCGINLEY & GOSMAN'S SUBDIVISION OF BLOCK 69, DELRAY BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 43, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

STREET ADDRESS:

8 E ATLANTIC AVENUE DELRAY BEACH, FL 33444

CERTIFY TO:

1. SURE RING INC.

NOTES:

1. UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N/A.
3. THE SURVEY SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
4. OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
5. THE SURVEY SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
6. THE SURVEY SHOWN HEREON WERE NOT ABSTRACTED FOR THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN.
7. THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY.
8. THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.

FLOOD ZONE DATA:

FLOOD ZONE: X
BASE FLOOD ELEVATION: N/A
CONTROL PANEL NUMBER: 125102-0979-F
EFFECTIVE: 10/5/2017
REVISED:

	<u>ELEVATIONS:</u>
--	--------------------

REFERENCE BENCHMARK:
FDOT BRASS DISK 8069305C03 ELEV:18.589'NAVD

DATE OF FIELD SURVEY: 02-02-2018		DRAWN BY: ER	
FIELD BOOK: 18-0356		CHECKED BY: RLT	
REVISIONS		DATE	BY
CHANGE SCALE 1":20' TO 1":10'		03-05-18	AL/RLT

CERTIFICATION:

THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF
BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND
IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT
STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF
PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 54-17, FLORIDA
ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA
STATUTES.

Not 22- 3-7-18
ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

SHEET 1 OF 1	SCALE 1"=10'	SKETCH NUMBER SU-18-0356
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