



Planning, Zoning and Building Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 8 East Atlantic Avenue
Project Location: 8 East Atlantic Avenue, Old School Square Historic District
Request: Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness
Board: Historic Preservation Board
Meeting Date: April 4, 2018

Board Action:

Approved the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness for alterations to the front façade and improvements to the exterior dining area for the property located at 8 East Atlantic Avenue (5 to 0 vote, John Klein was absent).

Project Description:

The 0.22 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property consists of the West 26' of Lot 4 (Less the South 14') and Lot 5, Block 69 and contains a two-story Masonry Vernacular commercial building constructed in 1950 which is deemed to be a non-contributing structure.

At its meeting of August 6, 2003, the HPB approved a Class III Site Plan Modification for the conversion of the first floor from retail space into restaurant (while retaining the second floor efficiency apartment). At its meeting of January 7, 2004, the HPB approved a Class I Site Plan Modification and COA (2004-089) for the replacement of the existing paired storefront doors and fixed, storefront windows with new aluminum bi-fold and storefront doors with transom. The proposal also included the elimination of the fixed windows on the West elevation. In 2004, administrative approvals were granted for Class I Site Plan Modifications (2004-264 and 2014-268) to remove lighted bollards, remove landscape strip from the Western perimeter of the property, relocate a guy wire; and, to install removable steel, storm panels for the storefront windows. At its meeting of September 1, 2004, the HPB approved a COA (2004-269) to convert the second floor efficiency apartment to office/storage area associated with the restaurant. The proposal also included installation of a projecting sign on the second floor of the building.

At its meeting of January 15, 2008, the City Commission approved a Waiver and In-Lieu Parking Request (2008-050) to remove four spaces located within the surface parking area immediately adjacent to the West side of the building and fronting Atlantic Avenue. The property owner paid an in-lieu fee for each space removed (total fee \$62,400). Because the new outdoor dining area was classified as a Sidewalk Café, no additional parking was required. A subsequent Class II Site Plan Modification, COA, and Landscape Plan (2008-095) was approved by the HPB on March 19, 2008 to make additional site modifications.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965. However, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were

recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to “opt-out” of this process.

The project proposes front façade improvements to include installation of new clear anodized aluminum storefront doors (folding glass wall panel system) on the North and West elevations, and new canopy painted in Sherwin Williams “Grays Harbor” on the North elevation. Exterior color changes to Sherwin Williams “Grays Harbor” and Sherwin Williams “Real Red” exterior walls and Sherwin Williams “Greek Villa” wall trim. The proposal also includes installation of a new aluminum pergola and retractable fabric shade covering and light gray awning over a portion of the existing outdoor dining area on the West side of the building. A new cabana will be installed in the outdoor area on the West side of the building. A new horizontal aluminum railing will be installed on the North side of the existing outdoor dining area, a wood fence and door are proposed on the South side of the property to the rear of the outdoor dining area, and the existing landscape plan will be modified.

Staff supported the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness request.

The project was approved subject to the condition that the exterior color scheme as well as a study of delineations between the first and second floors be brought back to the Historic Preservation Board (HPB) for review and approval.

Board Comments:

The Board comments were supportive.

Public Comments:

One member of the public asked for clarification on where the new horizontal aluminum railing was proposed.

Associated Actions: All required actions were taken.

Next Action: HPB action is final.

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: April 4, 2018

ITEM: 8 East Atlantic Avenue, Old School Square Historic Arts District – Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for alterations to the front façade and improvements to the exterior dining area.

RECOMMENDATION: Approve the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness

GENERAL DATA:

Property Owner: Sure Ring, Inc.

Applicant:..... Bob Franklin,
Tin Roof Bars

Agent:..... Todd Bundren,
Lawrence Group

Location:..... South side of East Atlantic Avenue,
between South Swinton Avenue and
SE 1st Avenue

Property Size:..... 0.22 Acres

Historic District: Old School Square Historic Arts
District (OSSHAD)

Zoning:..... Old School Square Historic Arts
District (OSSHAD)

Adjacent Zoning:.....
 North: OSSHAD
 East: OSSHAD
 South: OSSHAD
 West: OSSHAD

Existing Future Land
 Use Designation:..... Other Mixed Use (OMU)

Water Service:..... Public water service is provided
 on site.

Sewer Service:..... Public sewer service is provided
 on site.



ITEM BEFORE THE BOARD

The item before the Board is approval of Class II Site Plan Modification, Landscape Plan and Certificate of Appropriateness (2018-042) for alterations to the front façade and improvements to the exterior dining area for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District**, pursuant to LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

BACKGROUND

The 0.22 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property consists of the West 26' of Lot 4 (Less the South 14') and Lot 5, Block 69 and contains a two-story Masonry Vernacular commercial building constructed in 1950 which is deemed to be a non-contributing structure.

At its meeting of August 6, 2003, the HPB approved a Class III Site Plan Modification for the conversion of the first floor from retail space into restaurant (while retaining the second floor efficiency apartment). At its meeting of January 7, 2004, the HPB approved a Class I Site Plan Modification and COA (2004-089) for the replacement of the existing paired storefront doors and fixed, storefront windows with new aluminum bi-fold and storefront doors with transom. The proposal also included the elimination of the fixed windows on the West elevation. In 2004, administrative approvals were granted for Class I Site Plan Modifications (2004-264 and 2014-268) to remove lighted bollards, remove landscape strip from the Western perimeter of the property, relocate a guy wire; and, to install removable steel, storm panels for the storefront windows. At its meeting of September 1, 2004, the HPB approved a COA (2004-269) to convert the second floor efficiency apartment to office/storage area associated with the restaurant. The proposal also included installation of a projecting sign on the second floor of the building.

At its meeting of January 15, 2008, the City Commission approved a Waiver and In-Lieu Parking Request (2008-050) to remove four spaces located within the surface parking area immediately adjacent to the West side of the building and fronting Atlantic Avenue. The property owner paid an in-lieu fee for each space removed (total fee \$62,400). Because the new outdoor dining area was classified as a Sidewalk Café, no additional parking was required. A subsequent Class II Site Plan Modification, COA, and Landscape Plan (2008-095) was approved by the HPB on March 19, 2008 to make additional site modifications.

The structure is classified as noncontributing to the Old School Square Historic District. The 2009 Old School Square Historic District Resurvey recommended that the subject property be reclassified as contributing, as the Period of Significance was being expanded to include those eligible resources constructed between 1944 and 1965. However, the owner requested that the subject property not be reclassified. Upon adoption of Ordinance 10-10 on June 1, 2010, the Period of Significance for the Old School Square Historic District was expanded to 1965, and 10 of the properties that were recommended for reclassification were not reclassified to contributing, including the subject property, because the property owners elected to "opt-out" of this process.

The subject Class II Site Plan Modification, Landscape Plan and COA request includes:

- Façade improvements to include installation of new clear anodized aluminum storefront doors (folding glass wall panel system) on the North and West elevations, and new canopy painted in Sherwin Williams "Grays Harbor" on the North elevation;
- Exterior color changes to Sherwin Williams "Grays Harbor" and Sherwin Williams "Real Red" exterior walls and Sherwin Williams "Greek Villa" wall trim;
- Installation of a new aluminum pergola and retractable fabric shade covering and light gray awning over a portion of the existing outdoor dining area on the West side of the building;
- Installation of a new cabana in the outdoor area on the West side of the building;

- Installation of a new horizontal aluminum railing on the North side of the existing outdoor dining area, installation of a wood fence and door on the South side of the property to the rear of the outdoor dining area; and,
- Modification of the existing landscape plan.

ANALYSIS OF SITE PLAN

Pursuant to LDR Section 3.1.1(D), Compliance with LDRs, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request. The applicable LDRs have been identified and reviewed throughout this report.

Article 4.4, Base Zoning District Regulations

Pursuant to LDR Section 4.4.24(B)(7), Principal Uses and Structures, Restaurants are a permitted use within the Old School Square Historic Arts District (OSSHAD) and the CBD overlay.

Article 4.6, Supplemental District Regulations

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way.

This requirement has been met as the existing exterior trash enclosure on the South side of the property will remain.

Pursuant to LDR Section 4.6.16(E)(5), trees shall be a species having an average mature spread of crown greater than twenty (20) feet and having trunks which can be maintained in a clean condition with over six (6) feet of clear mature wood. Tree species shall be a minimum of sixteen (16) feet in overall height at the time of planting, with a minimum of six feet of single straight trunk with eight (8) feet of clear trunk, and a seven (7) foot spread of canopy.

The proposal includes removal of the existing 60" DBH (diameter at breast height) Ficus tree located in the center of the exterior dining area on the West side of the building. The replacement tree is a Gumbo Limbo with 20 feet in overall height, 8 feet minimum single straight trunk with 10 feet of clear trunk, and a 9 to 10 foot spread of canopy which exceeds the code requirement. The new tree is proposed to be located along the North property line adjacent to the new horizontal aluminum railing.

Site Plan Technical Items

While the revised site plan is adequate for review, the following site plan technical items still remain outstanding, and will need to be addressed prior to site plan certification and permit issuance:

1. That the site data table be revised to show the required building height maximum and include the number of seats that is proposed.
2. That the center line dimensions of East Atlantic Avenue be revised to show the same measurement on the existing and proposed site plan.
3. That the elevations include height dimensions for the new pergola and outdoor storage areas.
4. That the elevations indicate the material of the new cabana;
5. That the new roof top units be relocated 10 feet from the roof edge, or guardrail/shielding be installed.

SECTION 4.5.1 HISTORIC PRESERVATION DISTRICTS AND SITES

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E) - **Development Standards**: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The exterior alterations include new clear anodized aluminum storefront doors (folding glass wall panel system); new canopy on the front façade (North) to be painted in Sherwin Williams "Grays Harbor"; installation of a new horizontal aluminum railing (color will match clear anodized aluminum doors) along the north side of the existing outdoor dining area; and, installation of a 8' wood fence and door on the South side of the property to the rear of the outdoor dining area. Additionally, new cabana is proposed on the West side of the in the outdoor area, this area will also be utilized as an outside platform for performances when needed. The proposal includes installation of a new white, aluminum, pergola with retractable gray fabric shade covering over a portion of the existing outdoor dining area immediately west of the existing building.

The exterior color scheme will be changed to Sherwin Williams "Grays Harbor" and Sherwin Williams "Real Red" exterior walls and Sherwin Williams "Greek Villa" wall trim. The spaces that characterize the property are being preserved by maintaining indoor seating and the exterior dining area. The exterior alterations to the non-contributing structure are compatible with the massing, size, scale, and architectural features in the Old School Square Historic District (OSSHD). The proposal meets the applicable standards noted above and their intent as the proposed changes ensure appropriate alterations to the exterior of the structure. Overall, the proposed changes protect the historic integrity of the existing structure and its environment by allowing modernization of the structure with durable materials.

Pursuant to LDR Section 4.5.1(E)(2)(c)(2) – Minor Development.

The subject application is considered "Minor Development" as it involves modification to an existing non-contributing structure in the OSSHD district which is subject to CBD regulations.

Pursuant to LDR Section 4.5.1(E)(7) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated

property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

Applicable Visual Compatibility Standards

- (b) **Front Façade Proportion:** The front façade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- (c) **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- (g) **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the façade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- (i) **Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The proposed exterior alterations to the non-contributing structure are appropriate and compatible with the Old School Square Historic Arts District (OSSHAD) and Central Business District (CBD) Architectural Design Guidelines. The new clear anodized aluminum storefront doors (folding glass wall panel system) on the front façade (North) will not modify the existing proportion of openings. The existing fencing and patio entry door will be replaced with a new horizontal aluminum railing on the front façade (North) that will match the color of the clear anodized aluminum doors. A new canopy painted in Sherwin Williams “Grays Harbor” will be installed on the front façade (North). These changes will not substantially alter the existing front façade proportion of the structure. On the West elevation, the new clear anodized aluminum storefront doors (folding glass wall panel system) will require the installation of larger openings than the existing doors. These changes are visually compatible to other restaurants on East Atlantic Avenue that maximize visibility with large windows and glass panel doors. A new white, aluminum, pergola with retractable fabric shade covering and light gray awning is proposed over a portion of the existing outdoor dining area on the West elevation. Also, a new cabana is proposed in the outdoor area on the West side of the property.

The paint pattern of the building exterior will include Sherwin Williams “Grays Harbor” and Sherwin Williams “Real Red” exterior walls and Sherwin Williams “Greek Villa” wall trim. The installation of an 8’ wood fence on the South side of the outdoor dining area is also proposed. The relationship of the materials, texture, and color contribute to the “Old Delray Beach” feeling and atmosphere of the Old School Square Historic Arts District (OSSHAD). The proposal creates a cohesive design by introducing only one architectural style. The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

REVIEW BY OTHERS

The Downtown Development Authority (DDA) reviewed and approved the request at its meeting on March 12, 2018.

ALTERNATIVE ACTIONS

A. Continue with direction.

B. Approve the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

C. Deny the Class II Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2018-042) for the property located at **8 East Atlantic Avenue, Old School Square Historic Arts District** by finding that the request and approval thereof is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(G)(5), 2.4.5(H)(5), 2.4.5(I)(5), 2.4.6(H)(5), and 4.5.1(E)(7).

RECOMMENDATION

Site Plan and COA

Approve the Class II Site Plan Modification and COA (2018-042) for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(G)(5) and 2.4.6(H)(5).

Landscape Plan

Approve the Landscape Plan for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(H)(5).

Architectural Elevations

Approve the Architectural Elevations for **8 East Atlantic Avenue, Old School Square Historic Arts District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(I)(5) and 4.5.1(E)(7).

NOTES:

If the COA is approved, the following must be addressed prior to certification:

1. That the site data table be revised to show the required building height maximum and include the number of seats that is proposed;
2. That the center line dimensions of East Atlantic Avenue be revised to show the same measurement on the existing and proposed site plan;
3. That the elevations include height dimensions for the new pergola and outdoor storage areas;
4. That the elevations indicate the material of the new cabana; and,
5. That the new roof top units be relocated 10 feet from the roof edge, or guardrail/shielding be installed.

Attachments:

- Site Plan/Floor Plan
- Elevations
- Landscape Plan
- Photometric Plan
- Survey

Report Prepared by: Abraham Fogel, Assistant Planner and Michelle Hoyland, Principal Planner



Project Team:

Structural	McComas Engineering, Inc. 1717 E 116th Street #200 Carmel, IN 46032 317-249-4786 317-580-0402
MEP	G&W Engineers 92 Mill Hill Road Bloomsdale, MO 63627 314-737-4217 314-469-5420
Food Service	Singer Equipment Company 180 Heller Place Bellmawr, NJ 08031 855-559-4150 856-559-4199
Civil	Consultant 4 Company Consultant 4 Address Consultant 4 City, State ZIP Consultant 4 Phone Consultant 4 Fax



Project Title:

PROJECT DESCRIPTION
Tin Roof
 8 EAST ATLANTIC AVENUE, DELRAY BEACH, FL
 33444

The Professional Architect's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or part, or for any other purpose or project without the written consent of the architect.

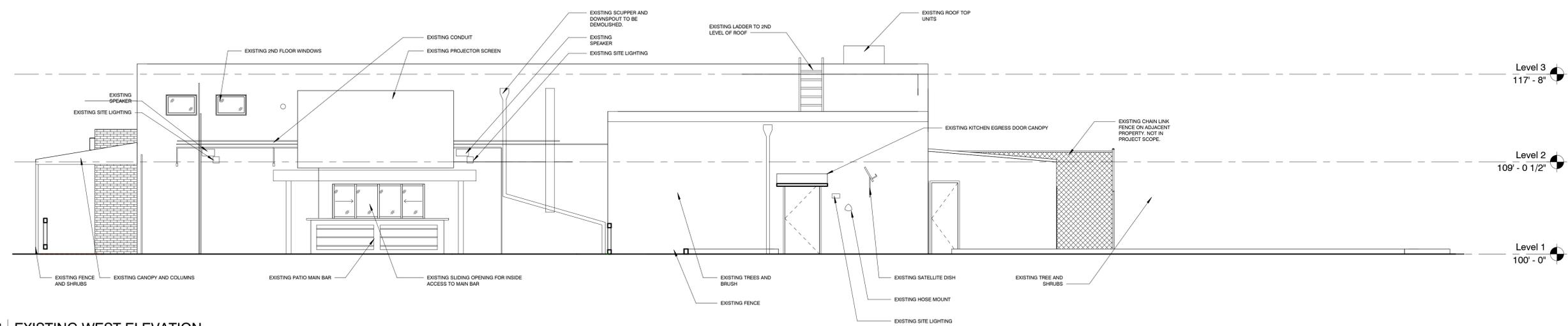
No.	Description	Date

Sheet Title:

West Elevations
 Project Number: Q1759
 Drawn By: BE
 Issue Date: 03/21/2018
 Sheet Number: **A-403**

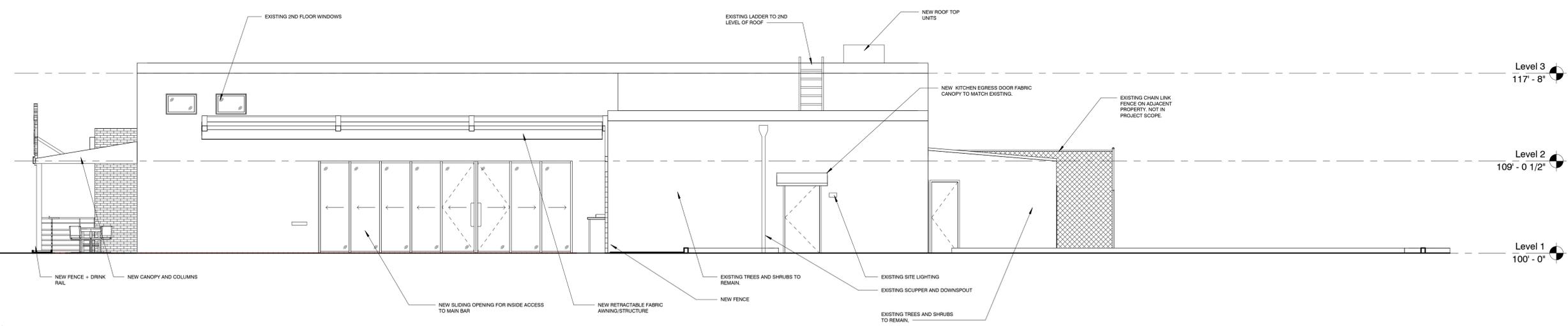
3/21/2018 4:17:44 C:\Users\beversgerd\Documents\BIM\LOCAL\1759_TinRoof\DelrayBeach_2_C_west_v18_bramden.eversgerd@hellawrencegroup.com.rvt

LGA.3.0



1 EXISTING WEST ELEVATION

A-403 3/16" = 1'-0"



2 PROPOSED WEST ELEVATION

A-403 3/16" = 1'-0"

CELESTIAL LIGHTING
HYDRAS STL Series
120V Exterior LED Light String
HYDRAS STL Series
120V Exterior LED Light String
HYDRAS STL Series
120V Exterior LED Light String

TYPE A GLOBE LIGHT
120V Exterior LED Light String HYDRAS STL Series
HYDRAS STL shown mounted with drop, to flat secure surface such as beam or buss. Specify mounting plates with cable ties. Fasten at least every 6 feet.

TYPE B ROPE LIGHT
NOVA FLEX DESIGN 64
NOVA FLEX Design 64 is ideal for architectural task lighting.

DESIGN 64
243-308 lumens per foot
NOVA FLEX Design 64 is ideal for architectural task lighting.

Job Name:
Type:

LOW PROFILE: NF-T-LP-1M/2M
Our most popular low-profile channel
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

STANDARD: NF-T-S/SNAP-1M/2M
Our most popular channel
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

ANGLED: NF-T-A/SNAP-1M/2M
Mounts at 45° angle
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

WINGED: NF-T-DW/SNAP-1M/2M
For recessed applications
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic RGB, White 60, White 120

DEEP: NF-T-D/SNAP-1M/2M
Our widest channel
Compatibility: All

LIGHT BAR: NF-T-LB-1M/2M
Our most popular fixture channel
Compatibility: All
End cap extends 0.38" from end of track

PANEL OPTIONS
CLEAR 5% LIGHT LOSS
SOFT 20% LIGHT LOSS

MOUNTING CLIPS
Mounting clips snap on to the back of aluminum channels and can slide to desired location
Note: Light Bar mounts at end caps

RIBBON SUPPORT CLIPS
Provide extra support for projects without channels. Available in Soft and Hard
Note: Only Soft clips work with 240 and RGB Series
NF-CLIPS-S NF-CLIPS-H
Clips add 0.125" to height of lights

E-SERIES HARDWARE
DIMMABLE WITH STANDARD MAGNETIC LOW VOLTAGE (MLV) / INCANDESCENT TRIAC DIMMERS. SEE POWER SUPPLY SPECS FOR TESTED DIMMERS.

ELECTRONIC HARDWARE
120 VAC Switch (non-dimming)
120 VAC Switch (non-dimming)
*Only NF-PS-CL150W12V-HW AND NF-PS-CL100W24V-HW will have a ground wire

PLUG AND PLAY
MAGNETIC HARDWARE
DIMMER MUST BE MAGNETIC LOW VOLTAGE. SEE POWER SUPPLY SPECS FOR OUR FAVORITES.

Footcandle Summary (Based on one Gamma LED medium base lamp)
Clear Lamp
Frosted Lamp
Milky White Lamp

How to Specify HYDRAS STL Series
HYA-STL- LED Lamp
Socket Spacing
Mounting Plate with Cable Tie
Cable Ties

Specifications subject to change without notice
© Celestial Lighting
www.celestialighting.com Phone: 562-802-8811

NOVA FLEX
DESIGN 64
NOVA FLEX Design 64 is ideal for architectural task lighting.

Job Name:
Type:

LOW PROFILE: NF-T-LP-1M/2M
Our most popular low-profile channel
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

STANDARD: NF-T-S/SNAP-1M/2M
Our most popular channel
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

ANGLED: NF-T-A/SNAP-1M/2M
Mounts at 45° angle
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic White 60, White 120

WINGED: NF-T-DW/SNAP-1M/2M
For recessed applications
Compatibility: Design 64, 128, 160, Pro 60, 120;
Dynamic RGB, White 60, White 120

DEEP: NF-T-D/SNAP-1M/2M
Our widest channel
Compatibility: All

LIGHT BAR: NF-T-LB-1M/2M
Our most popular fixture channel
Compatibility: All
End cap extends 0.38" from end of track

PANEL OPTIONS
CLEAR 5% LIGHT LOSS
SOFT 20% LIGHT LOSS

MOUNTING CLIPS
Mounting clips snap on to the back of aluminum channels and can slide to desired location
Note: Light Bar mounts at end caps

RIBBON SUPPORT CLIPS
Provide extra support for projects without channels. Available in Soft and Hard
Note: Only Soft clips work with 240 and RGB Series
NF-CLIPS-S NF-CLIPS-H
Clips add 0.125" to height of lights

Footcandle Summary (Based on one Gamma LED medium base lamp)
Clear Lamp
Frosted Lamp
Milky White Lamp

How to Specify HYDRAS STL Series
HYA-STL- LED Lamp
Socket Spacing
Mounting Plate with Cable Tie
Cable Ties

Specifications subject to change without notice
© Celestial Lighting
www.celestialighting.com Phone: 562-802-8811

McGraw-Edison
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

DESCRIPTION
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

TYPE C & D

POWER AND LUMENS

LightSquare (A7)	Cylinder (B2C) and Quarter Sphere (B5S)	Transoid (S2T) and Wedge (S2W)
Drive Current (mA)	350 450 600 850 1000 1200	350 450 600 800 1000 1200
Power (Watts)	120-277V 20.3 25.4 33.4 43.9 55.1 66.2	120-277V 20.3 25.4 33.4 43.9 55.1 66.2
Current (A)	120V 0.17 0.22 0.29 0.38 0.48 0.56 0.17 0.22 0.29 0.38 0.48 0.56	277V 0.09 0.10 0.13 0.17 0.21 0.25 0.09 0.10 0.13 0.17 0.21 0.25
Power (Watts)	347V or 480V 23.3 28.7 36.6 48.5 60.7 70.1 23.3 28.7 36.6 48.5 60.7 70.1	347V 0.07 0.08 0.11 0.15 0.18 0.21 0.07 0.08 0.11 0.15 0.18 0.21
Current (A)	480V 0.06 0.06 0.08 0.11 0.13 0.16 0.06 0.06 0.08 0.11 0.13 0.16	

Optics
T2
T3
T4W
S2
S3
S4
S4L/S4R
RW

LUMEN MAINTENANCE

Current	Ambient Temperature	25000 Hours*	50000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
1.5A	Up to 40°C	>95%	>91%	>80%	>20,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
90°C	1.02
75°C	1.01
25°C	1.00
49°C	0.99

THROUGH BACK BOX
Cylinder
Quarter Sphere
Transoid
Wedge

WALL MOUNT LUMINAIRE
1 LightSquare Solid State LED
HOOK-N-LOCK MOUNTING

CERTIFICATION DATA
UL/UL Listed
LM79 LM80 Compliant
PSE (Japan)
Design Lights Consortium "Qualified" (DLC) v2.0

ENERGY DATA
Electronic LED Driver
+0.3 Power Factor
±20% Total Harmonic Distortion
120-277V/50-60Hz, 347V/60Hz, 480V/60Hz
80°C Maximum Temperature
80°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
10 lbs. (4.5 kg)

EATON
Power Quality Division
www.designlights.com
TDS1400EN
January 18, 2018 3:54 PM

ISC/ISS/IST/ISW IMPACT ELITE LED
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

DESCRIPTION
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

TYPE C & D

POWER AND LUMENS

LightSquare (A7)	Cylinder (B2C) and Quarter Sphere (B5S)	Transoid (S2T) and Wedge (S2W)
Drive Current (mA)	350 450 600 850 1000 1200	350 450 600 800 1000 1200
Power (Watts)	120-277V 20.3 25.4 33.4 43.9 55.1 66.2	120-277V 20.3 25.4 33.4 43.9 55.1 66.2
Current (A)	120V 0.17 0.22 0.29 0.38 0.48 0.56 0.17 0.22 0.29 0.38 0.48 0.56	277V 0.09 0.10 0.13 0.17 0.21 0.25 0.09 0.10 0.13 0.17 0.21 0.25
Power (Watts)	347V or 480V 23.3 28.7 36.6 48.5 60.7 70.1 23.3 28.7 36.6 48.5 60.7 70.1	347V 0.07 0.08 0.11 0.15 0.18 0.21 0.07 0.08 0.11 0.15 0.18 0.21
Current (A)	480V 0.06 0.06 0.08 0.11 0.13 0.16 0.06 0.06 0.08 0.11 0.13 0.16	

Optics
T2
T3
T4W
S2
S3
S4
S4L/S4R
RW

LUMEN MAINTENANCE

Current	Ambient Temperature	25000 Hours*	50000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
1.5A	Up to 40°C	>95%	>91%	>80%	>20,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
90°C	1.02
75°C	1.01
25°C	1.00
49°C	0.99

THROUGH BACK BOX
Cylinder
Quarter Sphere
Transoid
Wedge

WALL MOUNT LUMINAIRE
1 LightSquare Solid State LED
HOOK-N-LOCK MOUNTING

CERTIFICATION DATA
UL/UL Listed
LM79 LM80 Compliant
PSE (Japan)
Design Lights Consortium "Qualified" (DLC) v2.0

ENERGY DATA
Electronic LED Driver
+0.3 Power Factor
±20% Total Harmonic Distortion
120-277V/50-60Hz, 347V/60Hz, 480V/60Hz
80°C Maximum Temperature
80°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
10 lbs. (4.5 kg)

EATON
Power Quality Division
www.designlights.com
TDS1400EN
January 18, 2018 3:54 PM

ISC/ISS/IST/ISW IMPACT ELITE LED
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

DESCRIPTION
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/UL listed for wet locations.

TYPE C & D

POWER AND LUMENS

LightSquare (A7)	Cylinder (B2C) and Quarter Sphere (B5S)	Transoid (S2T) and Wedge (S2W)
Drive Current (mA)	350 450 600 850 1000 1200	350 450 600 800 1000 1200
Power (Watts)	120-277V 20.3 25.4 33.4 43.9 55.1 66.2	120-277V 20.3 25.4 33.4 43.9 55.1 66.2
Current (A)	120V 0.17 0.22 0.29 0.38 0.48 0.56 0.17 0.22 0.29 0.38 0.48 0.56	277V 0.09 0.10 0.13 0.17 0.21 0.25 0.09 0.10 0.13 0.17 0.21 0.25
Power (Watts)	347V or 480V 23.3 28.7 36.6 48.5 60.7 70.1 23.3 28.7 36.6 48.5 60.7 70.1	347V 0.07 0.08 0.11 0.15 0.18 0.21 0.07 0.08 0.11 0.15 0.18 0.21
Current (A)	480V 0.06 0.06 0.08 0.11 0.13 0.16 0.06 0.06 0.08 0.11 0.13 0.16	

Optics
T2
T3
T4W
S2
S3
S4
S4L/S4R
RW

LUMEN MAINTENANCE

Current	Ambient Temperature	25000 Hours*	50000 Hours*	100000 Hours*	Theoretical L70 (Hours)*
1.5A	Up to 40°C	>95%	>91%	>80%	>20,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
90°C	1.02
75°C	1.01
25°C	1.00
49°C	0.99

THROUGH BACK BOX
Cylinder
Quarter Sphere
Transoid
Wedge

WALL MOUNT LUMINAIRE
1 LightSquare Solid State LED
HOOK-N-LOCK MOUNTING

CERTIFICATION DATA
UL/UL Listed
LM79 LM80 Compliant
PSE (Japan)
Design Lights Consortium "Qualified" (DLC) v2.0

ENERGY DATA
Electronic LED Driver
+0.3 Power Factor
±20% Total Harmonic Distortion
120-277V/50-60Hz, 347V/60Hz, 480V/60Hz
80°C Maximum Temperature
80°C Ambient Temperature Rating

SHIPPING DATA
Approximate Net Weight:
10 lbs. (4.5 kg)

EATON
Power Quality Division
www.designlights.com
TDS1400EN
January 18, 2018 3:54 PM

