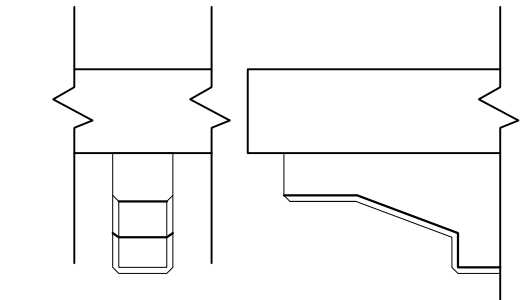


Architectural elevation drawing of a building facade, divided into sections with different proportions and window types. The drawing is labeled with 'TOP', 'MIDDLE', and 'BASE' on the left side, indicating vertical divisions. The horizontal divisions are labeled with 'PROPORTION 1:1', 'PROPORTION 1:1.25', and 'PROPORTION 1:1'. The facade features various window types, including arched windows, rectangular windows, and balconies. The drawing is labeled with 'STOREFRONT' and 'STOREFRONT' at the bottom, indicating the ground floor level. The drawing is labeled with 'WINDOW TYPES' on the left side, indicating the different window styles used in the design.



Key Plan showing the layout of the site, including streets (S.E. 1st Ave., S. Swinton Ave., S.W. 1st Ave., Atlantic Ave., S.W. 1st St.) and blocks (BLOCK 12, BLOCK 10). A north arrow is included, pointing towards the top left, labeled "NORTH (ATLANTIC)".

Revisions	Date
SPRAB RESUBMITTAL	09.06.17
REVISION 1	10.06.17

STOFF COONEY
ARCHITECTS
distinctive inspirational architecture

Scale:	AS NOTED		
Job No.			
Date:	09.06.17	DWD	
Sheets:		of	--

A2.01

LICENSE# AA 26000793

ELEV. +83'-1 1/2" NG.V.D.
 MAX HEIGHT OF: SOFFIT @ GABLE
 or FLAT ROOF

ELEV. +60'-6" NG.V.D.
 TOP OF FOURTH FLOOR DECK
 (12' ABOVE THIRD FLOOR)

ELEV. +48'-6" NG.V.D.
 TOP OF THIRD FLOOR DECK
 (12' ABOVE SECOND FLOOR)

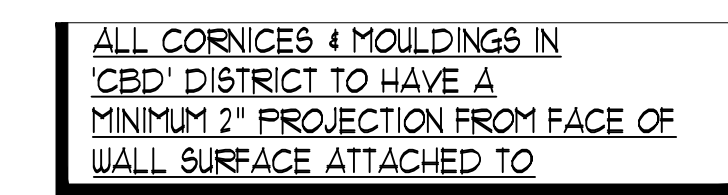
ELEV. +36'-6" NG.V.D.
 TOP OF SECOND FLOOR DECK
 (15' ABOVE FIRST FLOOR)

ELEV. +21'-6" NG.V.D.
 FIRST FLOOR/COURTYARD DECK

ELEV. 13'-1 1/2" NG.V.D.
 AVERAGE CROWN OF ROAD

ELEV. 10'-6" NG.V.D.
 GARAGE DECK
 (-11'-0" FROM TOP OF FIRST FLOOR)

<u>STOREFRONT LEGEND:</u>	
A	= BUILDING WIDTH
B	= RETAIL SPACE WIDTH
C = WINDOW & DOOR OPENINGS EQUAL AT LEAST 80% OF 'B'	
<u>ATLANTIC AVENUE STOREFRONT:</u>	
A	= 380'-0"
B	= 201'-0"
C	= 173'-0"
C/B	= 84%



OVERALL (NORTH) ELEVATION
SCALE: 1:20

STOREFRONT LEGEND:
A = BUILDING WIDTH
B = RETAIL SPACE WIDTH
C = WINDOW & DOOR OPENINGS EQUAL AT LEAST 80% OF 'B'

ATLANTIC AVENUE STOREFRONT:
A = 380'-0"
B = 201'-0"
C = 173'-0"
C/B = 84%

LEFT (NORTH) ELEVATION
SCALE: 1/8"=1'-0"

SWINTON AVENUE

MIDTOWN DELRAY

BLDG 2 - MEDITERRANEAN REVIVAL RAISED PLANTERS AND RETAINING WALLS - STAIRS REFER TO L.S.A. DRAWINGS

BLDG 1 - MEDITERRANEAN REVIVAL STAIRS

BLDG 1 - ANGLO CARIBBEAN STAIRS

SW 1ST AVENUE

BLDG 1 - ANGLO CARIBBEAN STAIRS

BLDG 1 - ANGLO CARIBBEAN STAIRS

BLDG 1 - ART DECO STAIRS

RAISED PLANTERS AND RETAINING WALLS - REFER TO L.S.A. DRAWINGS

ELEV. +13'-1 1/2" NGVD. MAX HEIGHT OF: SOFFIT @ GABLE or FLAT ROOF

ELEV. +60'-6" NGVD. TOP OF THIRD FLOOR DECK (12" ABOVE THIRD FLOOR)

ELEV. +48'-6" NGVD. TOP OF FOURTH FLOOR DECK (12" ABOVE SECOND FLOOR)

ELEV. +36'-6" NGVD. TOP OF SECOND FLOOR DECK (11'0" ABOVE FIRST FLOOR)

ELEV. +21'-6" NGVD. FIRST FLOOR

ELEV. +19'-1 1/2" NGVD. AVERAGE CROWN OF ROAD

ELEV. +13'-1 1/2" NG.V.D.
MAX HEIGHT OF: SOFFIT @ GABLE
or FLAT ROOF

12'-3/4"

ELEV. +6'0"-6" NG.V.D.
TOP OF FOURTH FLOOR DECK
(12' ABOVE THIRD FLOOR)

12'-0"

ELEV. +4'8"-6" NG.V.D.
TOP OF THIRD FLOOR DECK
(12' ABOVE SECOND FLOOR)

12'-0"

ELEV. +3'6"-6" NG.V.D.
TOP OF SECOND FLOOR DECK
(11'0" ABOVE FIRST FLOOR)

12'-0"

SW 1ST AVENUE

ELEV. +2'1"-6" NG.V.D.
FIRST FLOOR

12'-0"

8'-3/4"

ELEV. 19'-1 1/2" NG.V.D.
AVERAGE CROWN OF ROAD

ELEV. 10'-6" NG.V.D.
GARAGE DECK (11'-0" FROM TOP OF FIRST FLOOR)

MATERIAL LEGEND							
MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION
(00)	CONCRETE "S" STYLE ROOF TILE	(004)	STUCCO TRIM	(007)	IMPACT RESISTANT WINDOW OR DOOR REFER TO WINDOW AND DOOR SCHEDULES (T.B.D.)	(010)	FABRIC LINING
(002)	STANDING SEAM METAL ROOF	(005)	STUCCO DETAILING	(008)	POWDERCOATED ALUMINUM SHUTTER/LOVERED PANEL	(011)	SMOOTH STUCCO SIDING. SEE COLOR PALETTE FOR SELECTION
(003)	SMOOTH STUCCO FINISH. SEE COLOR PALETTE FOR SELECTION	(006)	POWDER COATED ALUMINUM RAILINGS; NOTE: RAILINGS CONSTRUCTED SO THAT 4" SPHERE SHALL NOT PASS.	(009)	PAINTED WOOD BRACKETS/CORBELS/OUTRIGGERS	(012)	SMOOTH AZEK SIDING/COLUMN. SEE COLOR PALETTE FOR SELECTION
SEE COLOR SELECTION SHEET IN THIS SET FOR MORE INFORMATION. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION ON LOCATION OF HARDSCAPE, PAVING AND RAMPS.				(013)			
				MECHANICAL EQUIPMENT BEYOND, RECESSED IN ROOF HANGAR, OR CONCEALED BY VENT ANGLE.			