

PLANNING AND ZONING BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

MEETING DATE: April 17, 2017

ITEM: **1107 Wallace Drive Plat (2017-076):** Consideration of the Preliminary Plat and Certification of the Final Plat associated with the approved development for a warehouse/storage building with attendant offices fronting both on Wallace Drive and SW 10th Avenue between SW 10th Street and Linton Boulevard.

RECOMMENDATION: Approval of the Preliminary Plat and Certification of the Final Plat

GENERAL DATA:

Owner/Applicant..... Jordan Huffer,
Motorgroup, LLC

Location..... South of SW 10th Street,
between Wallace Drive and
SW 10th Avenue

Property Size..... 0.45 Acres

Future Land Use Map..... CMR (Commerce)

Current Zoning..... LI (Light Industrial)

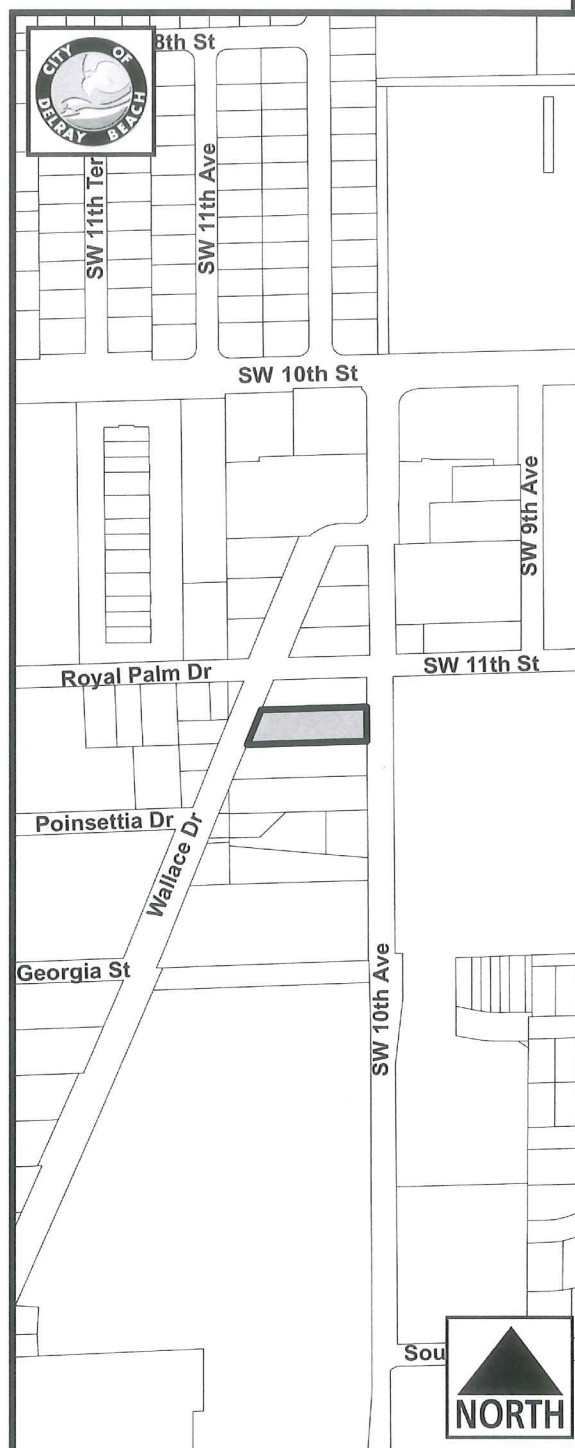
Adjacent Zoning.....North: LI (Light Industrial)
East: RM (Medium Density
Residential)
South: LI (Light Industrial)
West: MIC (Mixed Industrial and
Commercial)

Existing Land Use..... Vacant

Proposed Land Use..... Business Office (Automobile
Brokerage) with accessory
storage

Water Service..... Public Water Existing on
Wallace Drive

Sewer Service..... Public Sewer Existing on
Wallace



ITEM BEFORE THE BOARD

The item before the Board is that of approval of a preliminary plat and certification of a final plat associated with the development of a warehouse/storage building on a property to be platted as **1107 Wallace Drive**. This plat is being processed pursuant to LDR Section 2.4.5(J), Major Subdivisions.

BACKGROUND

The subject property fronts both on Wallace Drive and SW 10th Avenue, between SW 10th Street and Linton Boulevard, located within the Wallace Drive Overlay District. The site consists of one parcel totaling 0.45 acres zoned Light Industrial (LI) and is vacant.

At its meeting on March 22, 2017, the Site Plan Review and Appearance Board (SPRAB) approved the Class V Site Plan, Landscape Plan and Architectural Elevations for the project (2016-246). The approved development consists of the construction of a 7,558 sq. ft. office /storage building that accommodates 6,250 sq. ft. on the ground floor and 1,308 sq. ft. mezzanine level for attendant offices. The proposed use is for an automobile brokerage office with the storage of vehicles located within the building. Other site improvements include the construction of parking lots fronting on Wallace Drive and SW 10th Avenue which accommodates a total of 11 parking spaces; associated landscaping, security perimeter fences and site lighting.

PLAT DESCRIPTION

The platting of the subject property requires a 10 foot right- of-way dedication along Wallace Drive and along SW 10th Street, which results in a 0.414 acre parcel (Parcel A). The plat dedicates 2 small general utility easements (g.u.e.) at the northwest corner of the parcel to accommodate a FPL transformer and a fire line. In addition, drainage easements traverse the parcels which accommodate the project drainage which will be via exfiltration.

PLAT ANALYSIS

Pursuant to **LDR Section 3.1.1** of the Land Development Regulations, prior to approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information in the application, the staff report, or minutes. Findings shall be made by the Board to approve or deny the development application. These findings relate to Future Land Use Map, Concurrency and Consistency with the Comprehensive Plan, and Compliance with the Land Development Regulations.

Section 3.1.1 (A) -Future Land Use Map: The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Future Land Use Map.

The subject property has a Future Land Use Map (FLUM) designation of Commerce (CMR) and a zoning designation of Light industrial (LI) within the Wallace Drive Overlay District. The proposed use of general office (automobile brokerage) with accessory storage is listed as principal uses in the LI zone district. The property to the north, south and west of the proposed development are also designated CMR on the future land use map, while the property to the east (The Groves of Delray), across SW 10th Avenue is designated MD (Medium Density). The properties to the north and south of the proposed development is zoned LI (within the Wallace Drive Overlay District) while the property to the west is zoned

MIC. The property to the east of the proposed development, The Groves at Delray, is zoned RM (Medium Density Residential).

Section 3.1.1 (B) – Concurrency: Pursuant to LDR Section 3.1.1(B) Concurrency as defined pursuant to Objective B-2 of the Future Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water service will be provided via lateral connections to an existing 10" sewer main along the west parcel boundary abutting the Wallace Drive right-of-way. Sewer service is available via an existing 8" sewer main along the west parcel boundary abutting the Wallace Drive right-of-way. The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population based on the current FLUM. The development proposal will have an insignificant impact on these services. Thus, a positive finding with respect to this level of service standard can be made.

Streets and Traffic: The applicant has submitted a traffic study indicating that the proposed project will generate 53 Average Daily Trips (ADT), with 7 AM peak hour trips and 7 PM peak hour trips. The project obtained a letter from the Palm Beach County Traffic Division indicating that the development proposal meets concurrency on June 28, 2016.

Parks and Recreation Facilities: Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

Solid Waste: The proposed 7,558 sq. ft. building warehouse/storage building will generate 19.65 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2046. Thus, a positive finding with respect to this level of service standard can be made.

Drainage: Drainage will be accommodated via an exfiltration trench system on-site. Drainage easements are provided over the exfiltration system. The drainage easements will be dedicated by this plat to the owner of Parcel A (1107 Wallace, LLC), its successors and/or assigns and is the perpetual maintenance obligation of said owner of Parcel A, its successors and/or assigns. There is no negative impact on drainage anticipated as it relates to this level of service standard.

Schools: School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

Section 3.1.1 (C) - Consistency: Pursuant to Section 3.2.1 (Basis for Determining Consistency), the performance standards set forth in Section 3.2.3 (Standards for Site Plan and/or Plat Actions) shall be the basis upon which a finding of overall consistency is to be made.

As described in Appendix "A", a positive finding for consistency can be made as it relates to Standards for Plat Actions.

Section 3.1.1 (D) - Compliance with the Land Development Regulations:

- **LDR Section 5.3.1(A), Plat Required:** A plat is required for the project, and was included as a condition of site plan approval. The property will be comprised of one Parcel (Parcel A after dedicating two areas of right of way for Wallace Drive and SW 10th Avenue).
- **LDR Section 5.3.1(Right-of-Way Dedication):** Pursuant to LDR Section 5.3.1 and the Transportation Element of the City's Comprehensive Plan, the ultimate right-of-way width for a City or County Collector is 80 feet. The existing right-of-way width for Wallace Drive and for SW 10th Avenue is 60 feet. An additional 10 feet of right of way is dedicated by the proposed plat for both Wallace Drive and SW 10th Avenue, creating 70 feet of right of way for both roads adjacent to this development.
- **LDR Section 6.3.1(Sidewalks):** Pursuant to LDR Section 6.1.3(B)(1), a 5'-wide sidewalk is required. A five-foot sidewalk has been proposed along Wallace Drive and SW 10th Avenue within the public right-of-way.

A complete review for compliance with the Land Development Regulations was completed as part of the Site Plan Review process. In addition to the LDRs specified above, the development proposal was found to be in compliance with the applicable regulations.

Comprehensive Plan Policies: A review of the objectives and policies of the Comprehensive Plan was conducted with Site Plan approval and all applicable objectives or policies along with a discussion on how they were addressed is attached as Appendix "B".

REVIEW BY OTHERS

The subject property is not located within a geographical area requiring review by the City's Advisory Board. Courtesy notices have been sent to the following homeowners Associations:

- Groves of Delray
- Woods of Southridge
- La Paloma

Letters of objection or support, if any, will be presented at the Planning and Zoning Board meeting.

ASSESSMENT AND CONCLUSION

The proposed plat is consistent with the Zoning and Future Land Use Map designation for the subject property. Positive findings can be made with respect to LDR Section 2.4.5(J) (Major Subdivisions), LDR Section 3.1.1 (Required Findings for Land Use and Land Development Applications), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and the Goals, Objectives and Policies of the Comprehensive Plan.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move a recommendation of approval to the City Commission of the Preliminary Plat and certification of the Final Plat for **1107 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(J) (Major Subdivisions), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and Section 3.1.1 (Required Findings for Land Use and Land Development Applications) of the Land Development Regulations, subject to conditions.
- C. Approve the preliminary plat, and require submittal of a final plat to be processed separately.
- D. Deny the preliminary plat and final plat with basis stated.

STAFF RECOMMENDATION

Move a recommendation of approval to the City Commission of the Preliminary Plat and certification of the Final Plat for **1107 Wallace Drive**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(J) (Major Subdivisions), Section 3.2.3 (Standards for Site Plan and/or Plat Actions) and Section 3.1.1 (Required Findings for Land Use and Land Development Applications) of the Land Development Regulations.

Report prepared by: Jasmin Allen, Senior Planner

Attachments:

- Appendix A
- Appendix B
- Survey
- Reduced Plat
- Engineering plans

APPENDIX - A
STANDARDS FOR PLAT ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable	<input checked="" type="checkbox"/>
Meets intent of standard	<input type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- E. Development of vacant land which is zoned for residential shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable	<input checked="" type="checkbox"/>
Meets intent of standard	<input type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- F. Vacant property shall be developed in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable	<input type="checkbox"/>
Meets intent of standard	<input checked="" type="checkbox"/>
Does not meet intent	<input type="checkbox"/>

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable		
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent		

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

Not applicable		
Meets intent of standard	<input checked="" type="checkbox"/>	
Does not meet intent		

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable	<input checked="" type="checkbox"/>	
Meets intent of standard		
Does not meet intent		

<p style="text-align: center;">APPENDIX - B COMPREHENSIVE PLAN POLICIES</p>

Future Land Use Element Objective A-1: Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

The property is bordered by Light Industrial (LI) zoned property to the north and south. RM (Multiple Family Residential) zoned property abuts the property to the east and Mixed Industrial and Commercial (MIC) zoned property abuts the subject property on the west.

There are no special physical or environmental characteristics of the land that would be negatively impacted by the proposed development. The proposed use does not involve activities that would generate noise, odors, pollutants and the use of warehouse/storage will not be incompatible with adjacent residential land uses. Thus no adverse impacts are anticipated. Therefore, based upon the above, no compatibility issues will exist between the proposed development and the surrounding land uses and positive findings can be made with regard to Future Land Use Element Objective A-1.

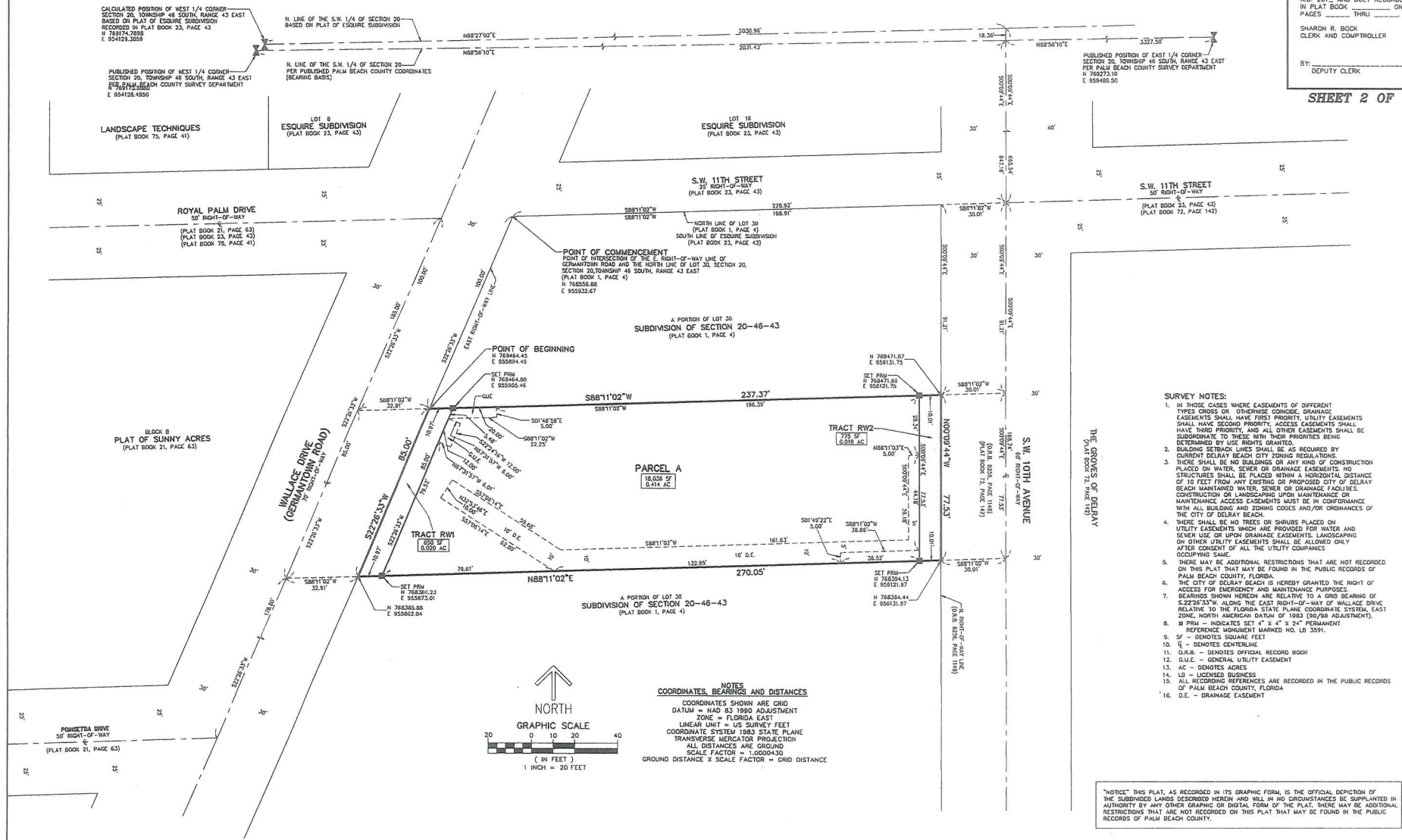
THIS INSTRUMENT WAS PREPARED BY
DAVID P. LINDLEY, PLS
OF
CAULFIELD and WHEELER, INC.
ENGINEERS - PLANNERS - SURVEYORS
7900 GLADES ROAD, SUITE 100
BOCA RATON, FLORIDA 33434 - (561)392-1991

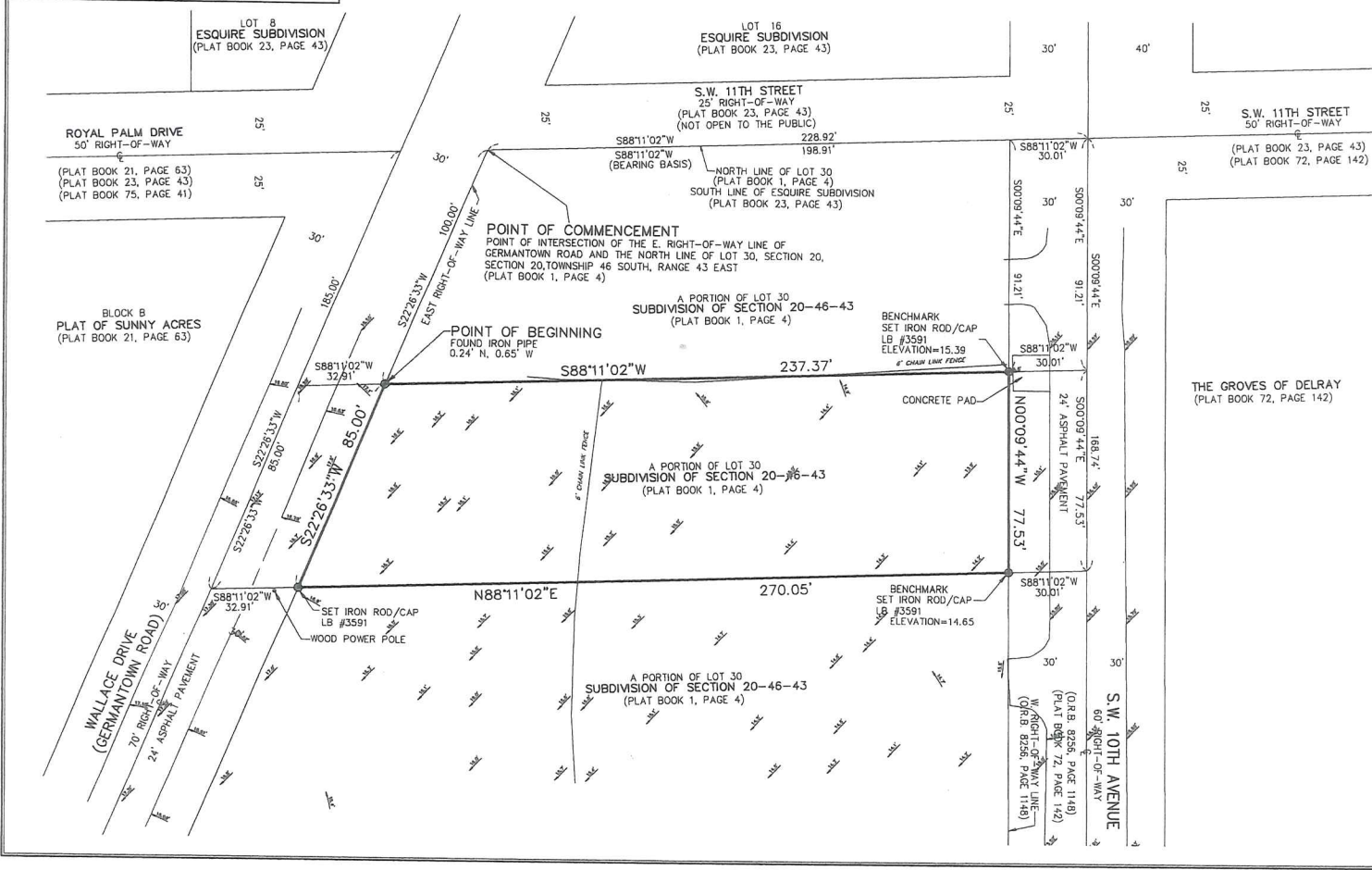
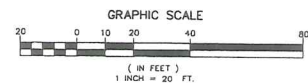
1107 WALLACE DRIVE

BEING A REPLAT OF A PORTION OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST,
AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
LYING IN SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF PALM BEACH
THIS PLAT WAS FILED FOR
RECORD AT _____ M.
THIS _____ DAY OF _____
A.D. 2011 AND DULY RECORDED
IN PLAT BOOK _____ ON
PAGES _____ THRU _____
SHARON R. BOCK
CLERK AND COMPTROLLER
BY: _____
DEPUTY CLERK

SHEET 2 OF 2



[illegible]

1. REPRODUCTIONS OF THIS DEED ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. THE CROCHES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND SEAL OF THE ORIGINAL PRIZED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
3. THIS DEED IS FILED FOR RECORD IN THE PUBLIC RECORDS OF THE COUNTY OF FLORIDA, INSURANCE COMPANY, FILE NUMBER 273881, DATED JANUARY 22, 2018 AT 11:05 A.M.
4. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODESIC VERTICAL.
5. BEARINGS SHOWN HEREON ARE RELATIVE TO A MAGN BEARING OF 5.2378°33" N.
6. THE DISTANCE FROM THE EAST LINE OF THE RAILROAD TO THE FLORIDA STATE PLANNING COORDINATE SYSTEM, EAST TOW, NORTH ANGLE, DATED 1983.
7. THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT.
8. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
9. ADDITIONS OR DELETIONS TO SURVEY MAY BE OTHER THAN THE SIGNING PARTY OR PARTIES.
10. THIS DEED IS THE PROPERTY OF THE SIGNING PARTY OR PARTIES.
11. ADDRESS: TOWNSHIP 37N, COMMUNITY PALM, LOT 15033 0220 N.D. DATE: OCTOBER 15, 1987
12. BEARISH RECORD DESCRIPTION: PALM BEACH COUNTY, BEACHWATER "SOLARGARD", LOT 15033.

DESCRIPTION

A PORTION OF LOT 301, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT OF INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF GERMANTOWN ROAD AND THE NORTH LINE OF LOT 301, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE S.27°29'33"E. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 117.5 FEET TO THE POINT OF BEGINNING; THENCE S.87°10'22"E. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 83.0 FEET; THENCE N.87°10'22"E. A DISTANCE OF 270.0 FEET TO A POINT OF INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF THE PALM BEACH CANAL, AS SHOWN ON THE OFFICIAL RECORD BOOK 8256, PAGE 1148 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE N.00°09'44"E. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 273.7 FEET TO THE POINT OF BEGINNING.

CURRICATE:

I HEREBY CERTIFICATE THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON JANUARY 28, 2016. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.072.

JEFFREY R. WAGNER, PLS
REG. LAND SURVEYOR #5302
STATE OF FLORIDA - LB #359

ADDED	REVISIONS	DATE	BY
ADDED BENCHMARKS		1/20/17	
REUSE 1 REUSE PER CITY COMMENTS		1/20/17	

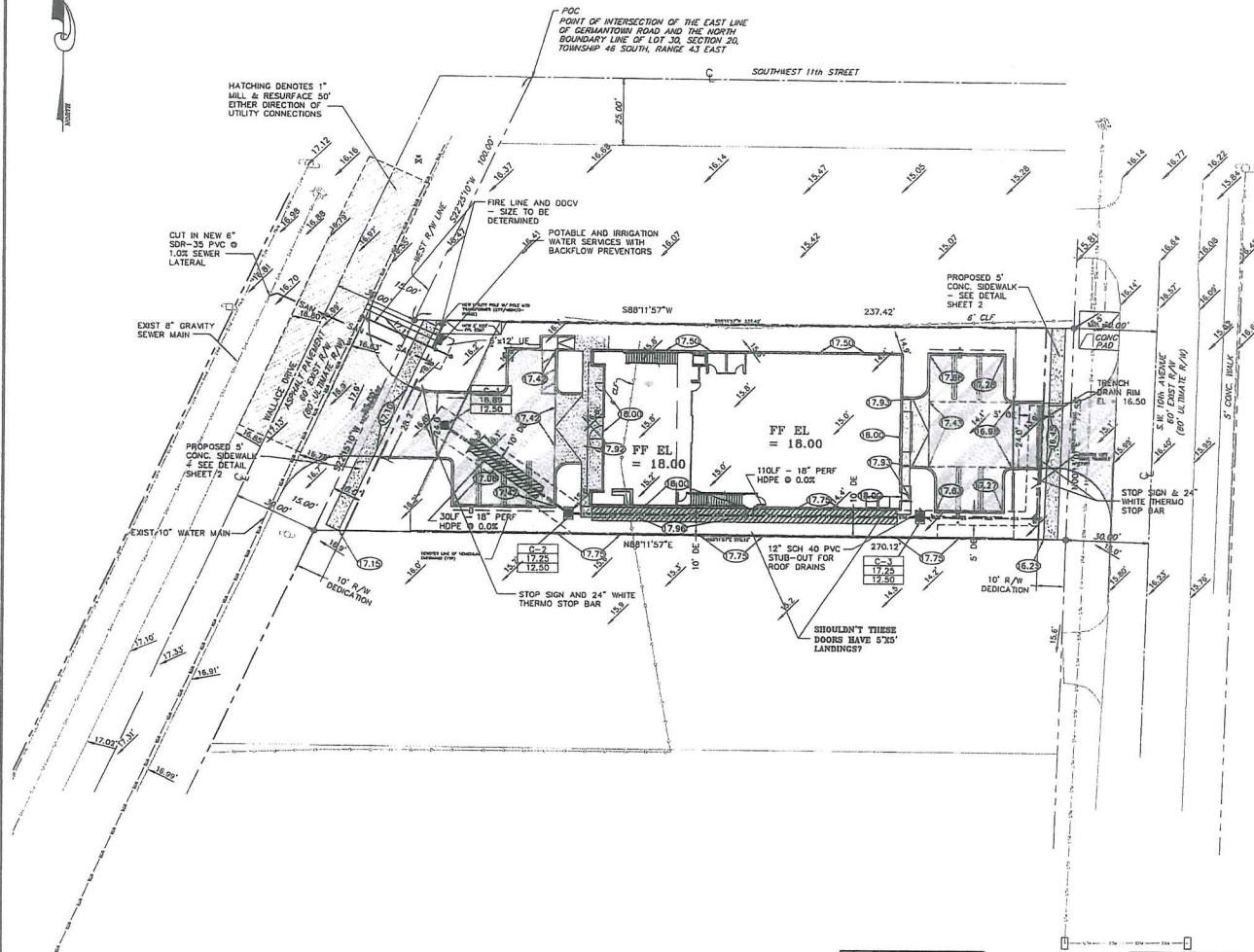
FIELD & WHEELER, INC.
CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE - SURVEYING
7900 GLACES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1091 / FAX (561) 750-1116



1107 WALLACE DRIVE
BOUNDARY AND TOPOGRAPHIC
SURVEY

DATE	12/21/11
DRAWN BY	JM
F.B./ PG.	ELEC
SCALE	1"=20'

JOB # 4976
SHT. NO. 1
OF 0 SHEETS



NOTE: ALL UTILITY SERVICES ARE TO BE PLACED UNDERGROUND.

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



LOCATION MAP
N.T.S.



NOT FOR CONSTRUCTION

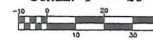
LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- AREA OF PROPOSED ASPHALT PAVING
- PROPOSED CATCH BASIN
- HDPPE
- HIGH-DENSITY POLYETHYLENE PIPE
- 12\"/>

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 20'



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UNLESS SPECIFICALLY NOTED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

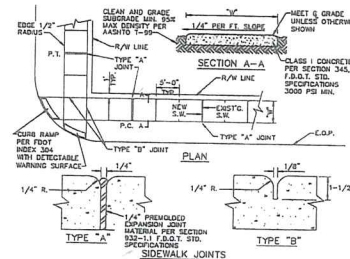
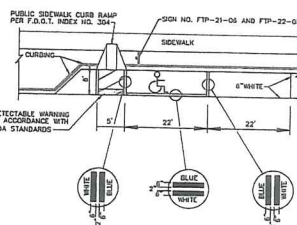
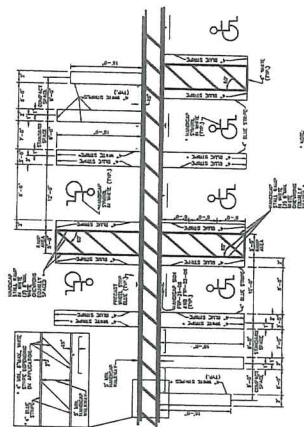
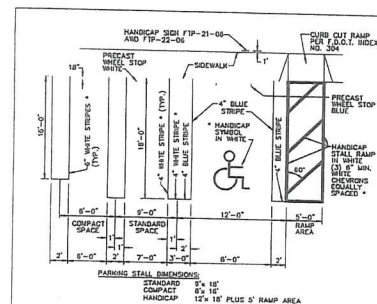


Know what's below.
Call before you dig.

CIVIL SITE IMPROVEMENTS PLAN FOR:
MOTOR GROUP
1107 WALLACE DR
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
200 ALABAMA AVE., SUITE 200
DELRAY BEACH, FLORIDA 33444
Phone: (561) 221-8500 Fax: (561) 221-8555

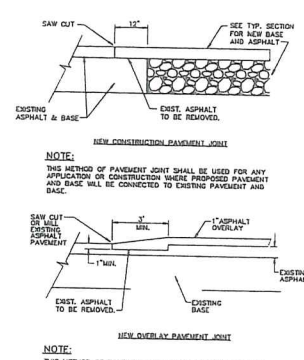
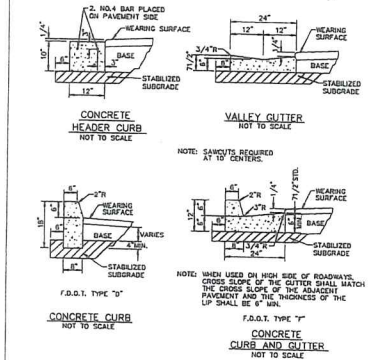
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B.A.B.
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J.A.P.
DATE:
2/03/17
JOB NO.
10046-ENG
SHEET NO.
1 OF 6



NOTE: 1. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH CONCRETE. 2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMP & INTERSECTIONS. 3. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT SLOPE & RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS. 4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP.

LOCATION	THICKNESS
RESIDENTIAL AREAS	4"
COMMERCIAL AREAS	6"
AT DRIVEWAYS & OTHER AREAS	8"

TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES
"A"	INTERSECTIONS
"A"	NEW SIDEWALKS & EXISTING SIDEWALKS
"B"	2'-0" CENTER TO CENTER ON SIDEWALKS
"B"	PLACEMENT OF CURB WITHIN 24 HOURS OF PLACEMENT
"A"	WHERE SIDEWALK ADJACENT TO CONCRETE CURBS, DRIVEWAYS, AND OTHER STRUCTURES



PAVEMENT MARKING SPECIFICATIONS

All pavement markings shall be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.O.D.T. and the manual on uniform traffic control devices (MUTCD).

PERMANENT MARKINGS

Installation:

- All markings shall be installed by the extruded method.
- Markings shall be free of seams, holes, dips, cracks, and other defects.
- Chalk shall be used for all layout markings.

Materials:

- All materials shall be white or yellow.
- Thermoplastic markings shall be used.

Thickness:

- All markings shall be installed to yield 50 mils of material measured above the pavement surface.

Spheres:

- Reflective glass spheres are to be applied to all stripes and markings per F.O.D.T. specifications.

Alternate Material:

- STANMARK marking tape, or equivalent, may be used, as approved or directed by the City Engineer.

Layout:

- Layout shall be made using marking chalk.
- It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Find Pavement Surface:

- Only for backed marking tape is allowed.
- All tape shall be totally removed concurrent with permanent marking placement.

Other Pavement Surface:

- Intermediate pavement surfaces may be marked with F.O.D.T. approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a
(Sheet 1 of 2)

PAVEMENT MARKING SPECIFICATIONS RT 8.1b
(Sheet 2 of 2)

ALL PAVEMENT MARKINGS

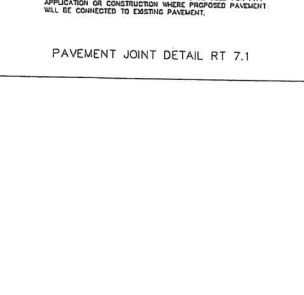
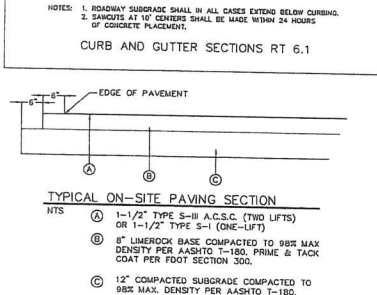
All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be 4" x 4" x 4" in size and shall be installed in the center of the lane.
- R.P.M.s shall be installed using white thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All materials within right-of-way shall be thermoplastic and per F.O.D.T. specifications.
- Pavement marking within private parking lots may be painted according to F.O.D.T. specifications, except for all stop bars adjacent to public right-of-way.



PAVEMENT MARKING SPECIFICATIONS RT 8.1a
(Sheet 1 of 2)

PAVEMENT MARKING SPECIFICATIONS RT 8.1b
(Sheet 2 of 2)

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be 4" x 4" x 4" in size and shall be installed in the center of the lane.
- R.P.M.s shall be installed using white thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All materials within right-of-way shall be thermoplastic and per F.O.D.T. specifications.
- Pavement marking within private parking lots may be painted according to F.O.D.T. specifications, except for all stop bars adjacent to public right-of-way.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a
(Sheet 1 of 2)

PAVEMENT MARKING SPECIFICATIONS RT 8.1b
(Sheet 2 of 2)

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be 4" x 4" x 4" in size and shall be installed in the center of the lane.
- R.P.M.s shall be installed using white thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All materials within right-of-way shall be thermoplastic and per F.O.D.T. specifications.
- Pavement marking within private parking lots may be painted according to F.O.D.T. specifications, except for all stop bars adjacent to public right-of-way.



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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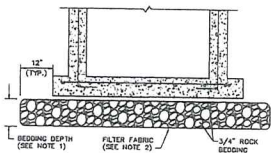
NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS
1	11/30/16	1. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH CONCRETE.
2	11/30/16	2. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT RAMP & INTERSECTIONS.
3	11/30/16	3. ALL SIDEWALKS SHALL INCLUDE ADA COMPLIANT SLOPE & RUNNING SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
4	11/30/16	4. CURB RAMP DETECTABLE WARNING SURFACE SHALL EXTEND THE FULL WIDTH OF THE RAMP.

NOT VALID WITHOUT
DATE: 11/30/16
DRAWN BY: J.A.P.
CHECKED BY: J.A.P.
DATE: 11/30/16
JOB NO. 10046-DTL
SHEET NO. 2 OF 6

PAVING & DRAINAGE DETAILS FOR:
MOTOR GROUP
1107 WALLACE DR
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
1107 WALLACE DRIVE, SUITE 100
DELRAY BEACH, FLORIDA 33444
PHONE: (561) 224-6500 FAX: (561) 224-6558

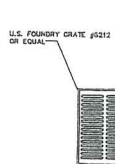


NOTES:

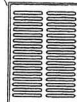
1. BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
2. ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 965.

STANDARD BEDDING D 3.1

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
"C"	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
"E"	3'-0"	4'-5"	U.S. FOUNDRY No. 6250	24" R.C.P.	36" R.C.P.



TYPE "C"

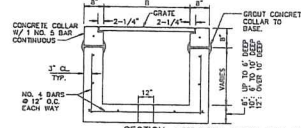
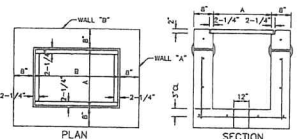


TYPE "E"

NOTES:

1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS).
2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6" OF PAVEMENT USE U.S.F. 4160-6210.

TYPE C & E INLET GRATE DETAIL D 6.1

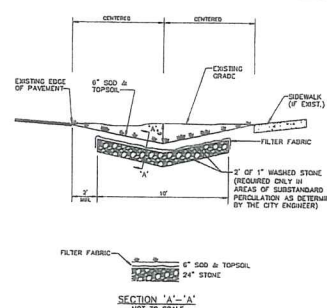


INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
"C"	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
"E"	3'-0"	4'-5"	U.S. FOUNDRY No. 6250	24" R.C.P.	36" R.C.P.

NOTES:

1. INLET TO BE PRECAST WITH CLASS "A" 4000 P.S.I. CONCRETE.
2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
3. 12" DIA. W/ 1/2" DIA. HOLES REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WELLS.
4. 18" DUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
5. SEE BEDDING DETAIL D 3.1.
6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

TYPE C & E INLET DETAIL D 7.1



NOTE:

1. CONTRACTOR TO REPLACE ALL IRRIGATION TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

SWALE REPLACEMENT DETAIL D10.1

"NOT FOR CONSTRUCTION"

PAVING & DRAINAGE DETAILS FOR:
MOTOR GROUP

1107 WALLACE DR
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
208 P. O. BOX 1000, DELRAY BEACH, FLORIDA 33444
Phone: (561) 371-8000 Fax: (561) 371-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
11/30/10
JOB NO.
10045-DTL
SHEET NO.
3 OF 6



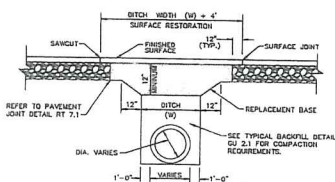
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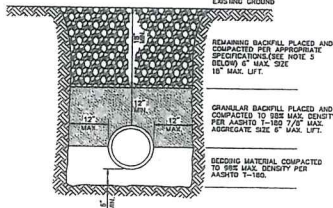
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1. REPLACEMENT BASE TO BE AT MIN. 12" THICK.
2. BASE MATERIAL SHALL BE PLACED IN TWO LIFTS AND EACH LIFT COMPACTED TO 95% MAXIMUM DENSITY PER AASHTO T-99 (MAX. LIFT THICKNESS = 8").
- 2a. 12" EXCAVATABLE FLOUSABLE FILL MIN. 100 P.S.I. MAY BE USED IN LIEU OF 12" BASE.
3. ASPHALT CONCRETE PAVEMENT DRIVE SHALL BE MECHANICALLY SAVED.
4. ALL DISTURBED PAVEMENT MARKINGS SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.
5. SURFACE MATERIAL SHALL BE F.D.O.T. TYPE 5-1 OR 5-2 ASPHALTIC CONC. MIN. THICKNESS 1 1/2".
6. ANY PAVT. CUTS SHALL BE COLD PATCHED AT END OF EACH WORKING DAY TO FACILITATE UNIMPEDED TRAFFIC FLOW.

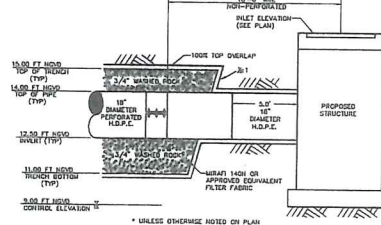
PAVEMENT REPAIR DETAIL GU 1.1



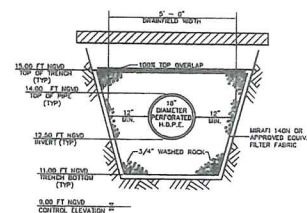
NOTES:

1. UNSUITABLE IN-SITU MATERIALS SUCH AS WOOD, DEBRIS AND LARGE ROCKS SHALL BE REMOVED. BEDDING MATERIAL AND BACKFILL CONSISTING OF WASHED AND GRADED LIME/CEMENT 3/4" - 7/8" SIZING.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE RAINHOLES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUD, AND DEBRIS.
5. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASON, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION DOWN TO THE BEDDING MATERIAL, THEN BACKFILL FOLLOWING THE ABOVE PROCEDURES.

TYPICAL BACKFILL DETAIL GU 2.1



PERFORATED PIPE TRENCH
N.T.S.



PERFORATED PIPE TRENCH
N.T.S.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.
- COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR IT SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.
- SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.
- LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- MUCK AND PEAT - IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A WIDTH OF TEN FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.
- WHERE SOO IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOO.
- CLEARING AND GRUBBING - WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.
- CLUMPS - WHERE CLUMPS OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER.
- PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.
- TACK COAT - BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION. TACK COAT SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
- ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS.
- ALL CONCRETE SHALL DEVELOP 2500 P.S.I. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 P.S.I. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-10-001, WHERE APPLICABLE.
- SEQUENCE OF CONSTRUCTION - THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
- INLETS AND MANHOLES - ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
- GRADE ELEVATIONS REFER TO THE FLOWLINE OF THE GRADE.
- GRADES SHOWN ARE FINISHED GRADES.
- MINIMUM ROAD CROWN ELEVATION SHALL BE EL. TBO N.G.V.D.
- REINFORCED CONCRETE PIPE - THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
- CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
- PIPE BACKFILL - REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
- PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAUP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

CITY OF DELRAY BEACH GENERAL NOTES

- ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRONMENTAL ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.
- CONTRACTOR TO FIELD VERIFY EXIST LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THEIR ORIGINAL CONTENT.
- NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
- NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10-Feet FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.
- NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2.
- ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.
- CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312.
- THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.
- UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.
- ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.
- ALL CITY OF DELRAY BEACH 2014 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBO (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMITS' CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL DEVELOP 2500 P.S.I. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 P.S.I. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- ENVIRONMENTAL ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
- ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. B.24.5.1.
- ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
- ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
- THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST E.D.).
- LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX B13 OF THE FDOT DESIGN STANDARDS (LATEST E.D.).

GENERAL NOTES

DEFINITIONS

- CITY - THE CITY OF DELRAY BEACH
- CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
- ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

PROCEDURE

- A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INSTALLATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
- ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
- A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COUPLERS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.
- ALL APPLICABLE PERMITS MUST BE OBTAINED WITH REFERENCES TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE. ONLY THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL NOTIFY THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICT AND THE UTILITY ADJUSTMENTS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
- THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
- CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
- FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. EXHAUSTION FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.
- PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND BRIDGE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-1-00-00-PM (LATEST EDITION) UNLESS SHOWN OTHERWISE.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY.
- PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 353-BU FOR PROTECTION OF UNDERGROUND GAS PIPE.
- CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
- GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
- CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL NECESSARY LIGHTING. FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MANAGEMENT PLAN PRIOR TO CONSTRUCTION.
- EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
- ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY REMOVED FROM THE SITE IN AN AREA AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
- ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
- ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKINGS SHALL BE Laid OUT USING MARKING CALL. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF PAVED SURFACES.
- ENVIRONMENTAL (EPA) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH ENVIRONMENTAL REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
- CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED TO OCCUR DURING THE CITY PEAK HOURS OF THE CITY. SCHEDULING OF SERVICE BREAK REPAIR WILL BE MADE BY THE CITY.
- SITE INFORMATION BASED ON A SURVEY PREPARED BY: CAULFIELD & WHEELER, INC.
- THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE BARRIAGE RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.
- RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA GAS UTILITY, RESPECTIVELY. CALL UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.

NOT FOR CONSTRUCTION

PAVING & DRAINAGE DETAILS FOR:
MOTOR GROUP

1107 WALLACE DR
DELRAY BEACH, FLORIDA

ENGINEERS • ENVIRONMENTAL CONSULTANTS
ENVIRONMENTAL ASSOCIATES, INC.
1107 WALLACE DR
DELRAY BEACH, FLORIDA 33444
(561) 243-7320
FAX (561) 243-7320

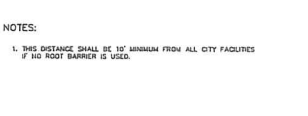
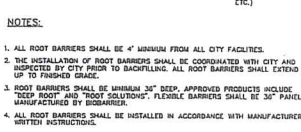
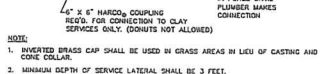
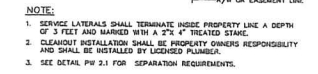
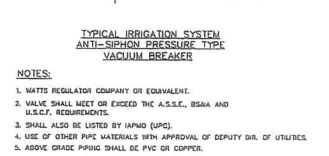
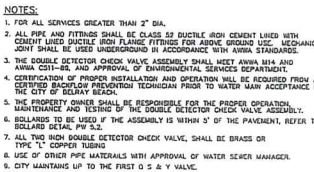
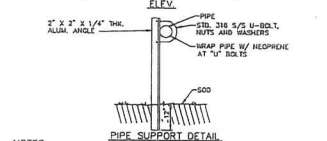
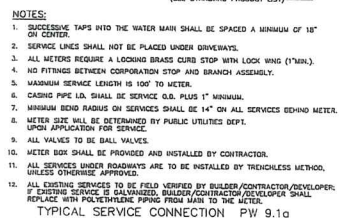
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4 OF 6

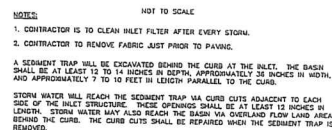
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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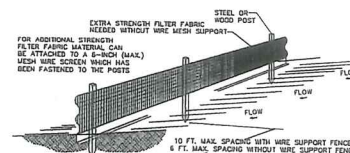




INLET FILTER DETAIL D 8.1

- 1. THE INTENT OF ENROD CONTROL MEASURES INDICATES IMMEDIATE ACTION IS REQUIRED TO PROVIDE A BARRIER TO GRASSHOPPER SILENT AND SEVERE ON THE PLANT. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 2. APPROVED ENROD AND SEVERANT CONTROL MEASURES SHALL BE INSTALLED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 3. INSPECTION OF ALL ENROD CONTROL MEASURES SHALL BE CONDUCTED WEEKLY TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER APPROPRIATE MEASURES.
- 5. ADDITIONAL ENROD AND SEVERANT CONTROL MEASURES MAY BE REQUIRED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 6. FAILURE TO PROPERLY MAINTAIN AND MAINTAIN ENROD CONTROL, PRACTICES SHALL BE REQUIRED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 7. MAINTAIN GRASSHOPPER CONTROL BY PROTECTING BY PLANT AND GRADED ROADS AS PER SILENT PROTECTION SITE.
- 8. MAINTAIN PROTECTION SITE SHALL BE BASED WITH GRASSHOPPER SITE, WHICH PRACTICAL.
- 9. ENROD CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GRASSHOPPER CONTROL IS ESTABLISHED.
- 10. WHENEVER PESTICIDE, NATURAL VEGETATION SHALL BE RELEASED AND PROTECTED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED. THE MEASURES SHOULD BE DESIGNED TO PREVENT GRASSHOPPER FROM BEING DEEMED AS AVOIDING TO BE AVOIDED. EFFECTIVENESS IS NOT GUARANTEED.
- 11. DISCHARGE FROM DRAINAGE OPERATIONS SHALL BE ATTENDED TO IN A

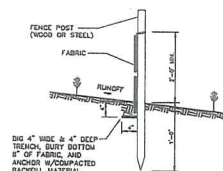
EROSION CONTROL NOTES DETAIL D9.1



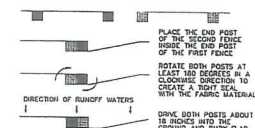
NOTES:

1. THE HEIGHT OF A SIFT FENCE SHALL NOT EXCEED 36 INCHES (30 GA.)
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE TRENCH AND THE WIDTH OF 10 FEET.
3. POSTS SHALL BE SPACED A MAXIMUM OF 3 FEET APART AT THE BARBED LOOSE END OF THE FABRIC. THE FABRIC SHALL BE SECURED TO THE GROUND AT LEAST AT 12 INCHES (30 GA.) WITH STRAIN STRENGTH FABRIC (10 GA.)
4. THE FABRIC SHALL BE ELEVATED APPROXIMATELY 4 INCHES (10 GA.) WIDE AND 4 INCHES (10 GA.) DEEP ABOVE THE LINE OF POSTS AND UPGRADE FROM THE BARBER.
5. THE FABRIC SHALL BE FASTENED TO THE UPGRADE SIDE OF THE POSTS USING HEAVY WIRE OR RINGS. THE FABRIC SHALL BE FASTENED TO THE DOWNSLOPE SIDE OF THE POSTS USING HEAVY WIRE OR RINGS. THE FABRIC SHALL EXTEND INTO THE TRENCH A MINIMUM OF 3 INCHES (30 GA.) SHALL NOT EXTEND MORE THAN 12 INCHES (30 GA.) INTO THE TRENCH.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR NAILS TO THE FENCE, 12 INCHES (30 GA.) ABOVE THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (30 GA.) ABOVE THE ORIGINAL GROUND.
7. THE FABRIC SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2

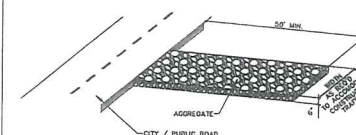


SILT FENCE SECTION
NOT TO SCALE



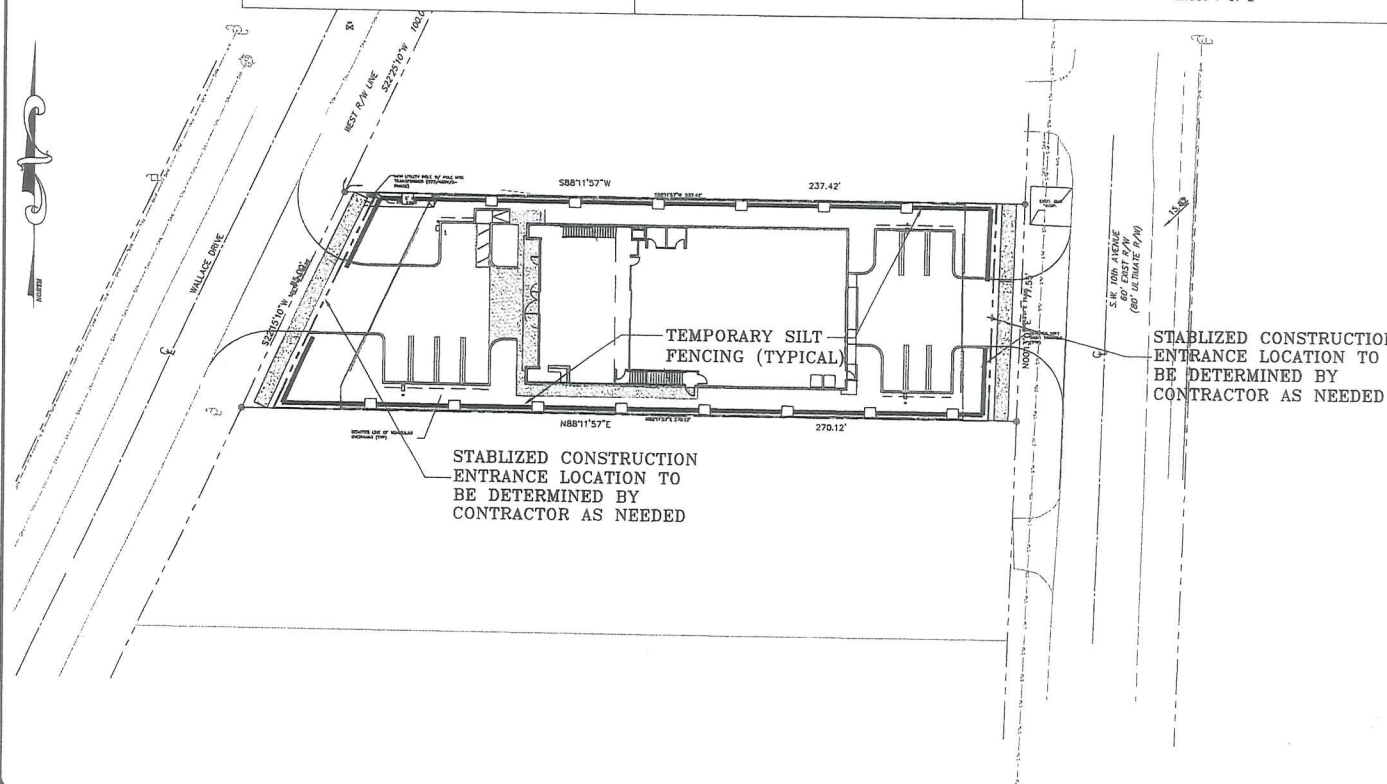
ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE
CONSTRUCTED AND CONTAIN AN AGGREGATE
LAYER (FOOT AGGREGATE NO.1), AT LEAST
6-INCHES THICK. IT MUST EXTEND TO THE
WIDTH OF THE VEHICULAR INGRESS AND
EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C

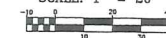


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SCALE: 1" = 20'



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POLLUTION PREVENTION PLAN FOR:

 **EnviroDesign
Associates Inc.**
www.envirodesign.com

ENGINEERS • ENVIRONMENTAL CONSULTANTS

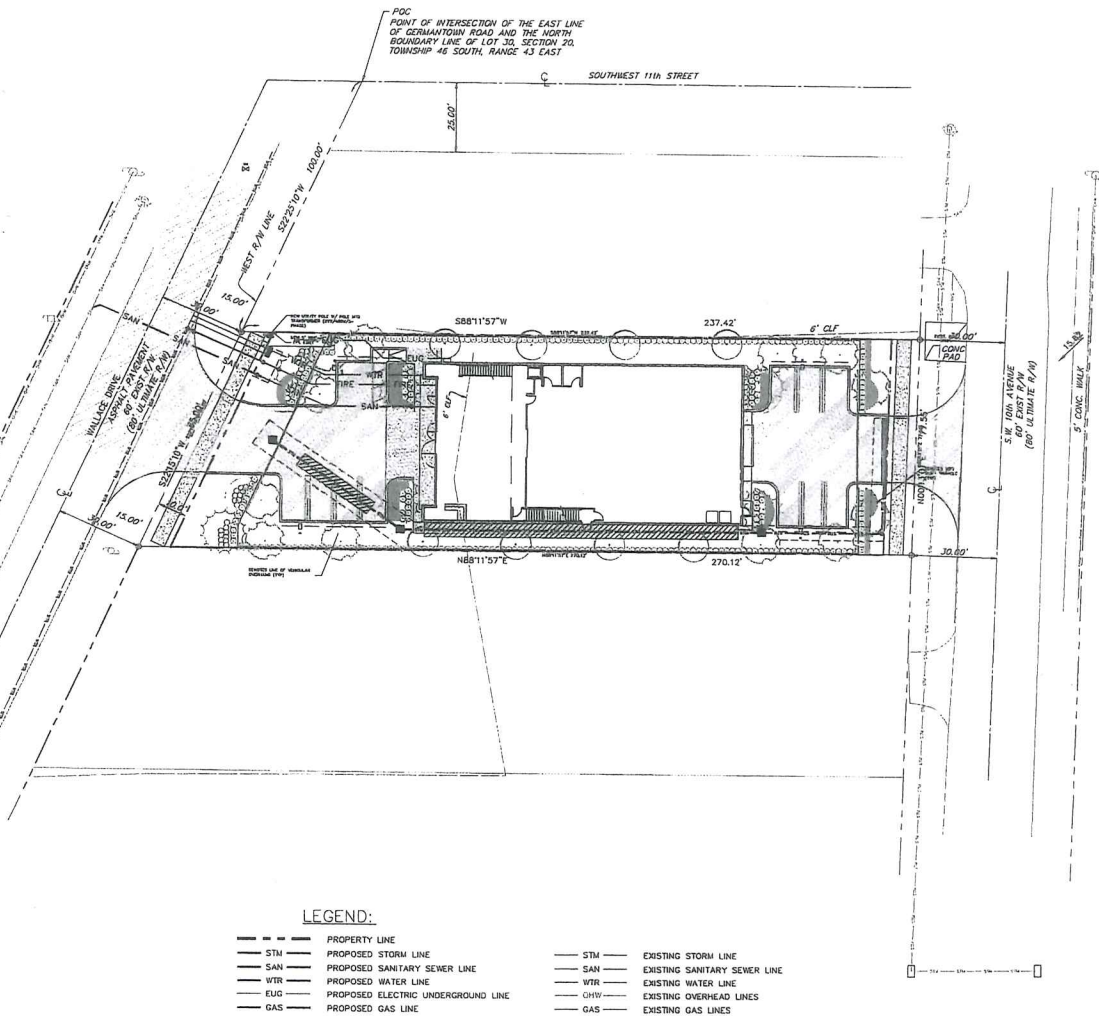
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
238 Westwinds Grove Way Delray Beach, Florida 33444
(561) 369-1100
Fax: (561) 369-1101

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CHECKED:	J.A.B.

DATE: 2/03/17

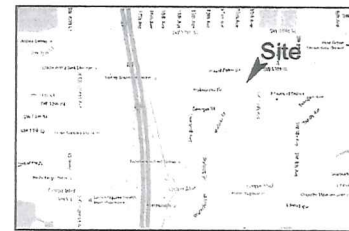
SHEET NO. 6 OF 6

[illegible][illegible]



LEGEND:

- | | | | |
|-----|------------------------------------|-----|------------------------------|
| --- | PROPERTY LINE | --- | EXISTING STORM LINE |
| --- | PROPOSED STORM LINE | --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE | --- | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE | --- | EXISTING OVERHEAD LINES |
| --- | PROPOSED ELECTRIC UNDERGROUND LINE | --- | EXISTING GAS LINES |
| --- | PROPOSED GAS LINE | | |



LOCATION MAP
N.T.S.



UTILITY PROVIDER SIGNOFF:

FPL:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
COMCAST:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
AT&T:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
FPL:	SIGNATURE _____	TITLE _____
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SCALE: 1" = 20'
0 10 20 30 40

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NO.	DATE	REVISIONS	BY
1	11/25/16	UPDATE TO MATCH SITE PLAN CHANGES	BAJ

COMPOSITE UTILITY PLAN FOR:
MOTOR GROUP
1107 WALLACE DR
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION NO. 6355
288
Phone: (561) 274-8500 Fax: (561) 274-8558

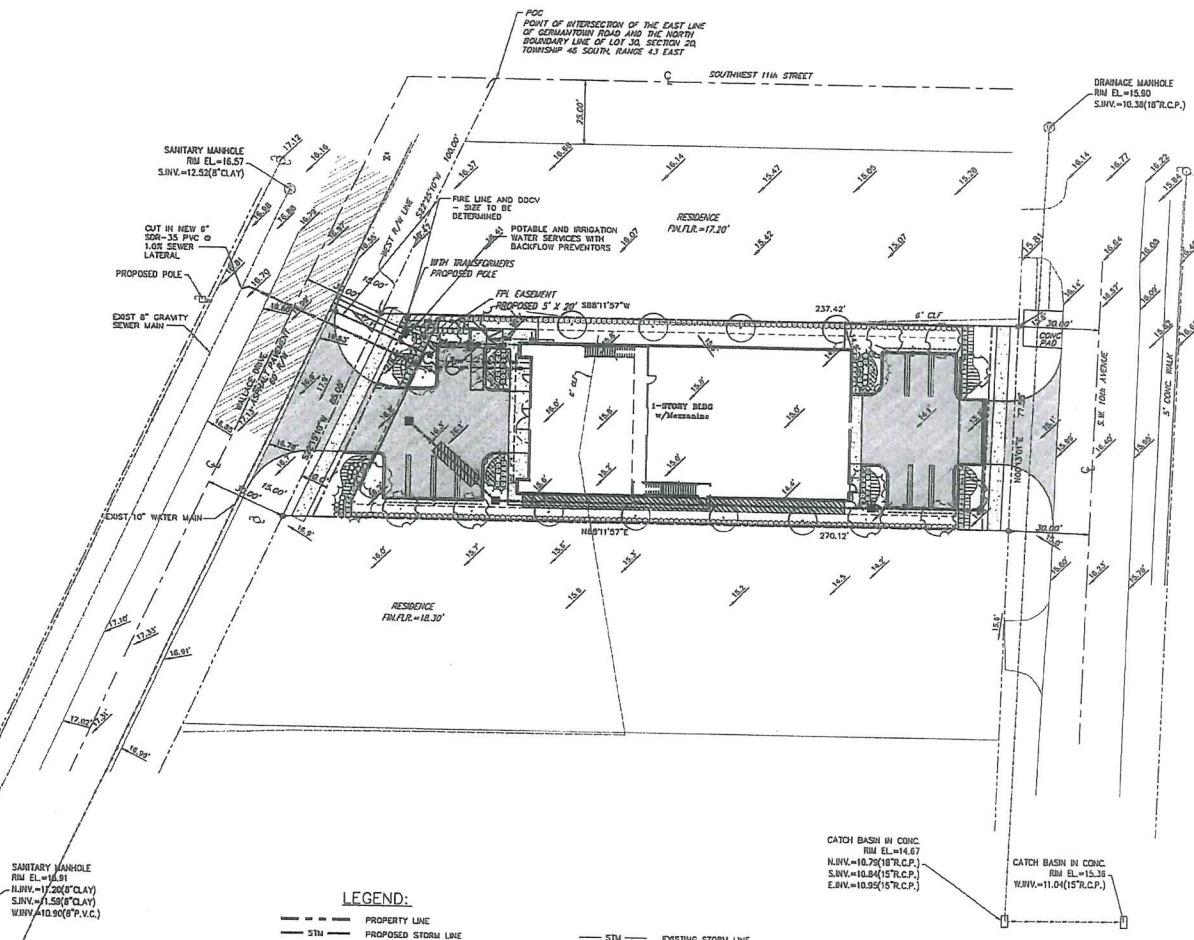
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B.A.B.
CHECKED:
J.A.P.
DATE:
2/03/17
JOB NO.
16045-ENG
SHEET NO.
1 of 1



LOCATION MAP
N.T.S.



NOT FOR CONSTRUCTION



LEGEND:

- | | | | |
|-----|------------------------------------|-----|------------------------------|
| --- | PROPERTY LINE | --- | EXISTING STORM LINE |
| --- | PROPOSED STORM LINE | --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE | --- | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE | --- | EXISTING OVERHEAD LINES |
| --- | PROPOSED ELECTRIC UNDERGROUND LINE | --- | EXISTING GAS LINES |
| --- | PROPOSED GAS LINE | | |

UTILITY PROVIDER SIGNOFF:
FPL: *[Signature]* DATE: 1-12-2017
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

CONTRACT: _____
SIGNATURE: _____ TITLE: _____
PRINT NAME: _____ DATE: _____
A.S.D.: _____
SIGNATURE: _____ TITLE: _____
PRINT NAME: _____ DATE: _____
F.P.C.: _____
SIGNATURE: _____ TITLE: _____
PRINT NAME: _____ DATE: _____

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SCALE: 1" = 20'
1" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20"



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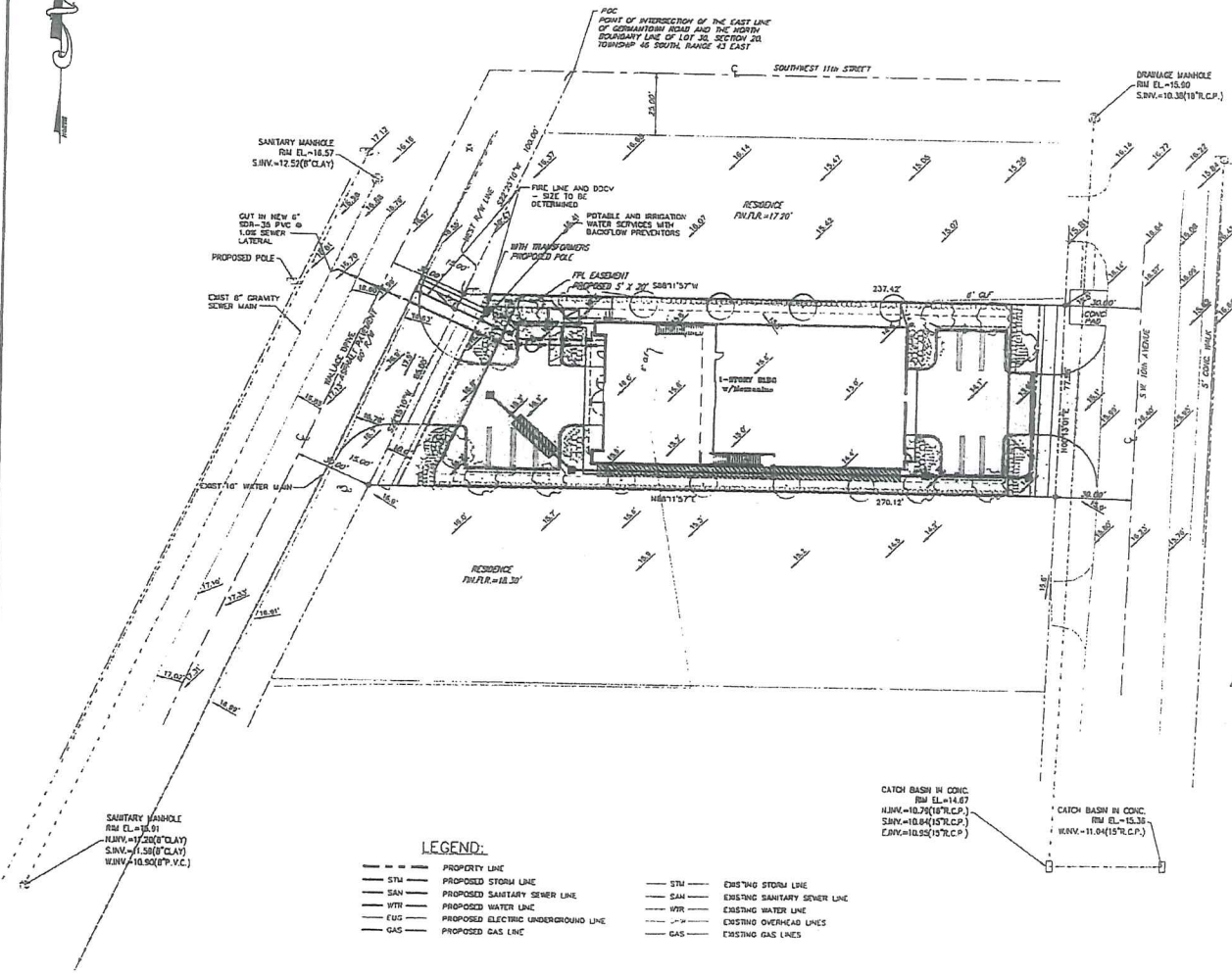
COMPOSITE UTILITY PLAN FOR:	
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1107 WALLACE DR	
DELRAY BEACH, FLORIDA	
ENGINEERS - ENGINEERING ASSOCIATES, INC.	
2301 N. W. 11th Ave., Suite 200, Delray Beach, FL 33444	
Phone: (561) 977-1000 Fax: (561) 977-1001	
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CHECKED:	J.A.P.
DATE:	7/27/18
JOB NO.	18045-ENG
SHEET NO.	1 of 1



LOCATION MAP
N.T.S.



"NOT FOR CONSTRUCTION"



- LEGEND:
- | | | | |
|-----|------------------------------------|-----|------------------------------|
| --- | PROPERTY LINE | --- | EXISTING STORM LINE |
| --- | PROPOSED STORM LINE | --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE | --- | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE | --- | EXISTING OVERHEAD LINES |
| --- | PROPOSED ELECTRIC UNDERGROUND LINE | --- | EXISTING GAS LINES |
| --- | PROPOSED GAS LINE | | |

UTILITY PROVIDER SIGNOFF:

PTL	SIGNATURE	DATE
FOOT	SIGNATURE	DATE
COG	SIGNATURE	DATE
FOOT	SIGNATURE	DATE
AT&T	SIGNATURE	DATE
FOOT	SIGNATURE	DATE
FOOT	SIGNATURE	DATE

ATT
GEORGE THOMAS
12-16-2016

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Deerfield Beach, FL 33442
Phone: (561) 794-8000 Fax: (561) 794-8008

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DATE:
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16646-ENG
SHEET NO.
1 OF 1

