

VICINITY MAP  
N.T.S.

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT 1107 WALLACE, LLC, A FLORIDA LIMITED LIABILITY COMPANY IS THE OWNER OF THE LAND SHOWN ON THIS PLAT OF 1107 WALLACE DRIVE, BEING A REPLAT OF A PORTION OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT OF INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF GERMANTOWN ROAD AND THE NORTH LINE OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE S.22°26'33"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.22°26'33"W., ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 85.00 FEET; THENCE N.88°11'02"E., A DISTANCE OF 270.05 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF S.W. 10TH AVENUE, AS RECORDED IN OFFICIAL RECORD BOOK 8256, PAGE 1148 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE N.00°09'44"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 77.53 FEET; THENCE S.88°11'02"W., A DISTANCE OF 237.37 FEET TO THE POINT OF BEGINNING.

CONTAINING 19,661 SQUARE FEET/0.451 ACRES MORE OR LESS.  
SAID LANDS SITUATE IN SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.

HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS 1107 WALLACE DRIVE AND FURTHER DEDICATES AS FOLLOWS:

1. PARCEL A

PARCEL A RESERVED BY 1107 WALLACE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS FOR PRIVATE PURPOSES AS ALLOWED PURSUANT TO ZONING REGULATIONS OF THE CITY OF DELRAY BEACH

2. TRACTS RW1 AND RW2

TRACTS RW1 AND RW2 ARE DEDICATED TO THE CITY OF DELRAY BEACH AS PUBLIC RIGHT-OF-WAY FOR STREET AND UTILITY PURPOSES.

ALONG WITH THE FOLLOWING EASEMENTS:

THE CITY OF DELRAY BEACH IS HEREBY GRANTED ACCESS FOR EMERGENCY AND MAINTENANCE PURPOSES.

GENERAL UTILITY (G.U.E.) EASEMENTS ARE MADE TO ANY PUBLIC OR PRIVATE UTILITY, SUCH AS BUT NOT LIMITED TO, STORM DRAINAGE, ELECTRIC POWER, GAS SERVICE, TELEPHONE LINES, AND CABLE TELEVISION; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITY AND SERVICES OF ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC FACILITY.

DRAINAGE EASEMENTS (D.E.) ALL DRAINAGE EASEMENTS SHOWN HEREON ARE DEDICATED TO THE OWNERS OF PARCEL A, ITS SUCCESSORS AND/OR ASSIGNS, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF SAID OWNER, WITHOUT RECOURSE TO THE CITY OF DELRAY BEACH.

IN WITNESS WHEREOF, THE ABOVE-NAMED LIMITED LIABILITY COMPANY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS \_\_\_\_\_ AND ITS SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS LIMITED LIABILITY COMPANY, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

1107 WALLACE, LLC,  
FLORIDA LIMITED LIABILITY COMPANY

WITNESS: \_\_\_\_\_ BY: \_\_\_\_\_  
PRINT NAME TITLE

WITNESS: \_\_\_\_\_  
PRINT NAME

ACKNOWLEDGMENT:

STATE OF FLORIDA)  
COUNTY OF PALM BEACH)

BEFORE ME PERSONALLY APPEARED \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS THE AUTHORIZED MEMBER OF 1107 WALLACE, LLC., A FLORIDA LIMITED LIABILITY COMPANY, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE SEAL OF SAID COMPANY AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR COMPANY AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

COMMISSION NUMBER: \_\_\_\_\_ PRINT NAME

# 1107 WALLACE DRIVE

BEING A REPLAT OF A PORTION OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. LYING IN SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

THIS INSTRUMENT WAS PREPARED BY  
DAVID P. LINDLEY, PLS  
OF  
**CAULFIELD and WHEELER, INC.**  
ENGINEERS – PLANNERS – SURVEYORS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434 – (561)392–1991

"NOTICE" THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PALM BEACH COUNTY.

MORTGAGEE'S CONSENT:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE, UPON THE PROPERTY DESCRIBED HEREON, AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORDS BOOK \_\_\_\_\_, AT PAGE \_\_\_\_\_ OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.  
IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS VICE PRESIDENT AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

BANK  
AUTHORIZED TO DO BUSINESS IN FLORIDA

WITNESS: \_\_\_\_\_ BY: \_\_\_\_\_  
PRINT NAME NAME  
VICE PRESIDENT

WITNESS: \_\_\_\_\_  
PRINT NAME

ACKNOWLEDGMENT:

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

BEFORE ME PERSONALLY APPEARED \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED \_\_\_\_\_ AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS \_\_\_\_\_ OF \_\_\_\_\_, A \_\_\_\_\_ AUTHORIZED TO DO BUSINESS IN FLORIDA, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_\_.

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC

COMMISSION NUMBER: \_\_\_\_\_ PRINT NAME

TITLE CERTIFICATION:

COUNTY OF PALM BEACH)  
STATE OF FLORIDA)

I, \_\_\_\_\_, ESQ., A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED TO MIC VENTURE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AND DELWEST VENTURE, LLS, A FLORIDA LIMITED LIABILITY COMPANY; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OF RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATE: \_\_\_\_\_

ATTORNEY NAME \_\_\_\_\_  
ATTORNEY FIRM  
ATTORNEY AT LAW  
LICENSED IN FLORIDA

1107 WALLACE, LLC.

1107 WALLACE, LLC.  
NOTARY

BANK

BANK  
NOTARY

REVIEWING  
SURVEYOR

CITY OF DELRAY BEACH

SURVEYOR

STATE OF FLORIDA  
COUNTY OF PALM BEACH  
THIS PLAT WAS FILED FOR  
RECORD AT \_\_\_\_\_ M.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 201\_\_ AND DULY RECORDED  
IN PLAT BOOK \_\_\_\_\_ ON  
PAGES \_\_\_\_\_ THRU \_\_\_\_\_.

SHARON R. BOCK  
CLERK AND COMPTROLLER

BY: \_\_\_\_\_  
DEPUTY CLERK

TABULAR DATA

NAME	SQUARE FEET	ACRES
PARCEL A	18,036	0.414
TRACT RW1	850	0.020
TRACT RW2	775	0.018
TOTAL	19,661	0.451

## SHEET 1 OF 2

CITY APPROVALS:

THIS PLAT OF 1107 WALLACE DRIVE WAS APPROVED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 201\_\_ BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA.

ATTEST: \_\_\_\_\_  
MAYOR CITY CLERK

AND REVIEWED, ACCEPTED, AND CERTIFIED BY:

DIRECTOR OF PLANNING & ZONING PLANNING & ZONING BOARD  
CHAIRPERSON

CITY ENGINEER

DIRECTOR OF ENVIRONMENTAL SERVICES

REVIEWING SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER, UNDER CONTRACT WITH THE CITY OF DELRAY BEACH, FLORIDA, HAS REVIEWED THIS PLAT OF 1107 WALLACE DRIVE AS REQUIRED BY CHAPTER 177.081(1) FLORIDA STATUTES, AND FINDS THAT IT COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177.081(1), FLORIDA STATUTES.

DATE: \_\_\_\_\_

JOHN T. DOOGAN, P.L.S.  
PROFESSIONAL LAND SURVEYOR, REG. #4409  
STATE OF FLORIDA

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) HAVE BEEN PLACED AS REQUIRED BY LAW AND THAT MONUMENTS HAVE BEEN SET ACCORDING TO SEC. 177.091(9), THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF DELRAY BEACH, FLORIDA.

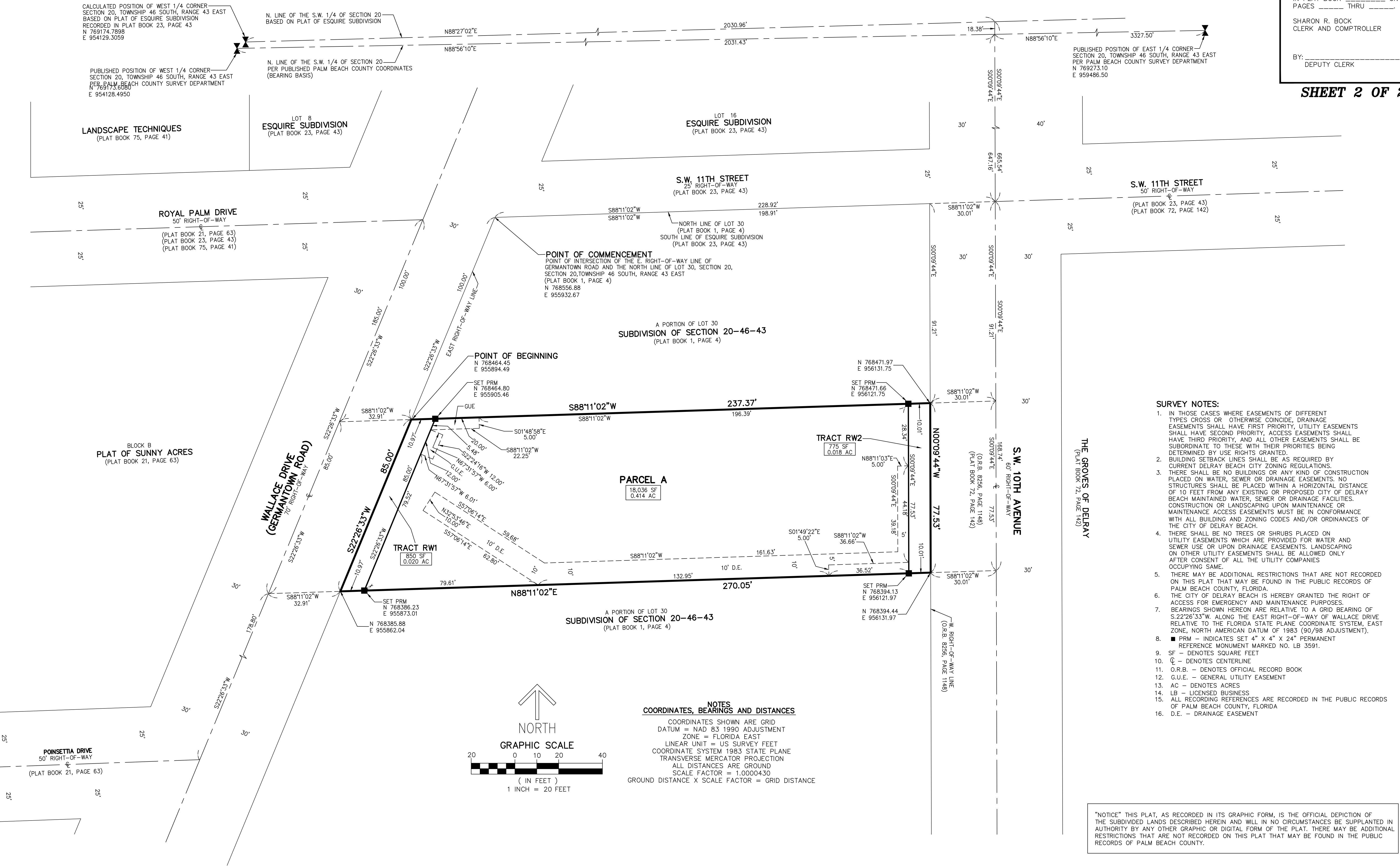
DATE: \_\_\_\_\_

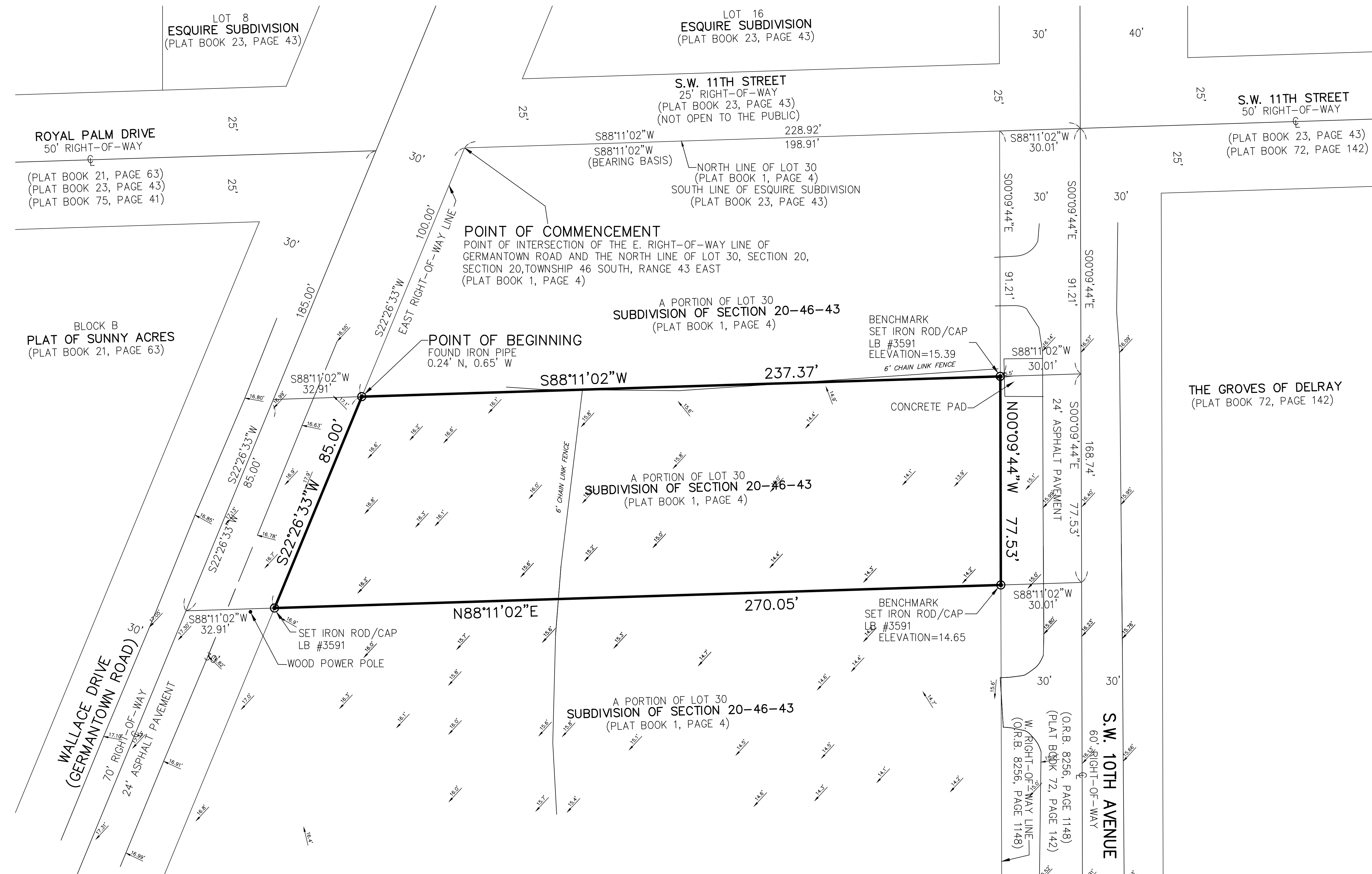
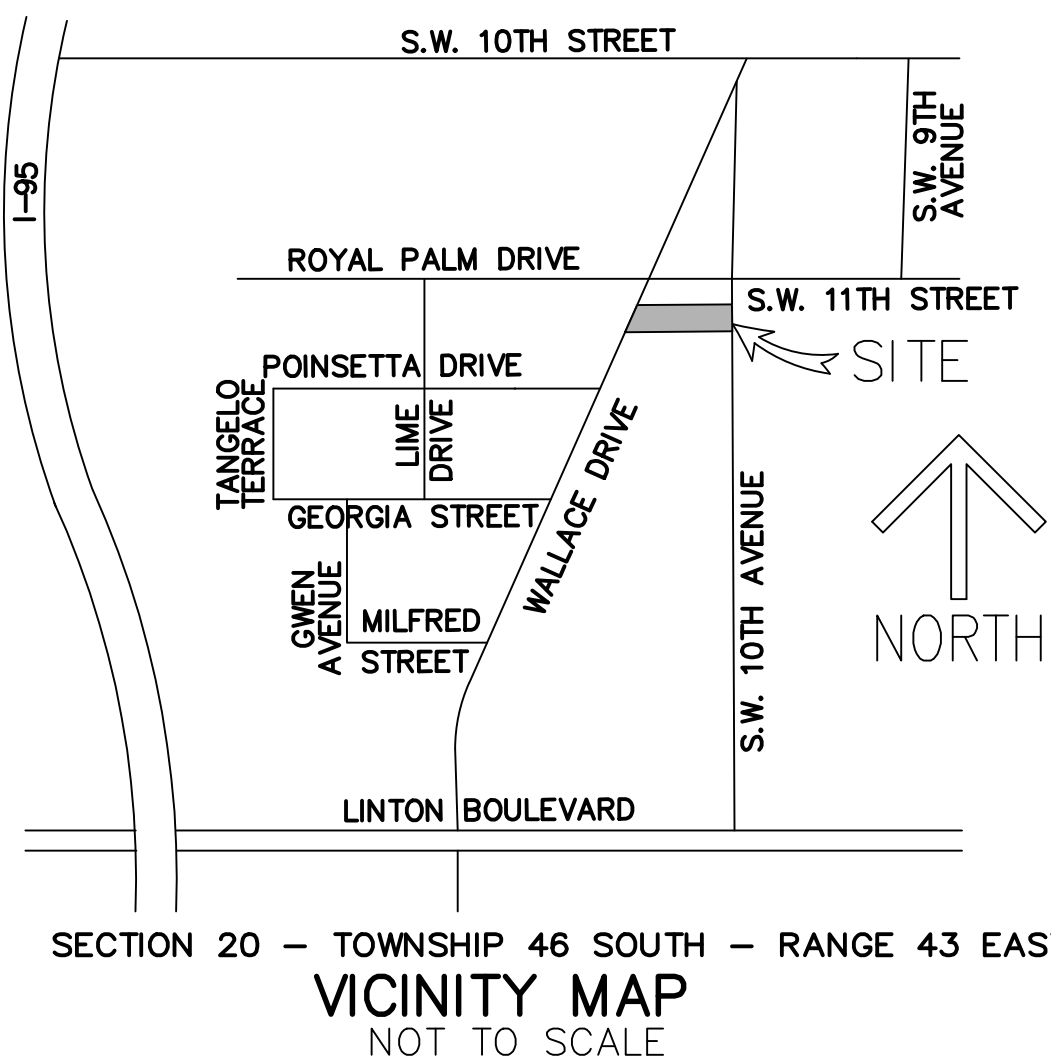
DAVID P. LINDLEY, P.L.S.  
REG. LAND SURVEYOR #5005  
STATE OF FLORIDA  
LB #3591  
CAULFIELD AND WHEELER, INC.  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434  
CERTIFICATE OF AUTHORIZATION NUMBER LB3591  
561–392–1991

THIS INSTRUMENT WAS PREPARED BY  
DAVID P. LINDLEY, PLS  
OF  
**CAULFIELD and WHEELER, INC.**  
ENGINEERS — PLANNERS — SURVEYORS  
7900 GLADES ROAD, SUITE 100  
BOCA RATON, FLORIDA 33434 — (561)392-1991

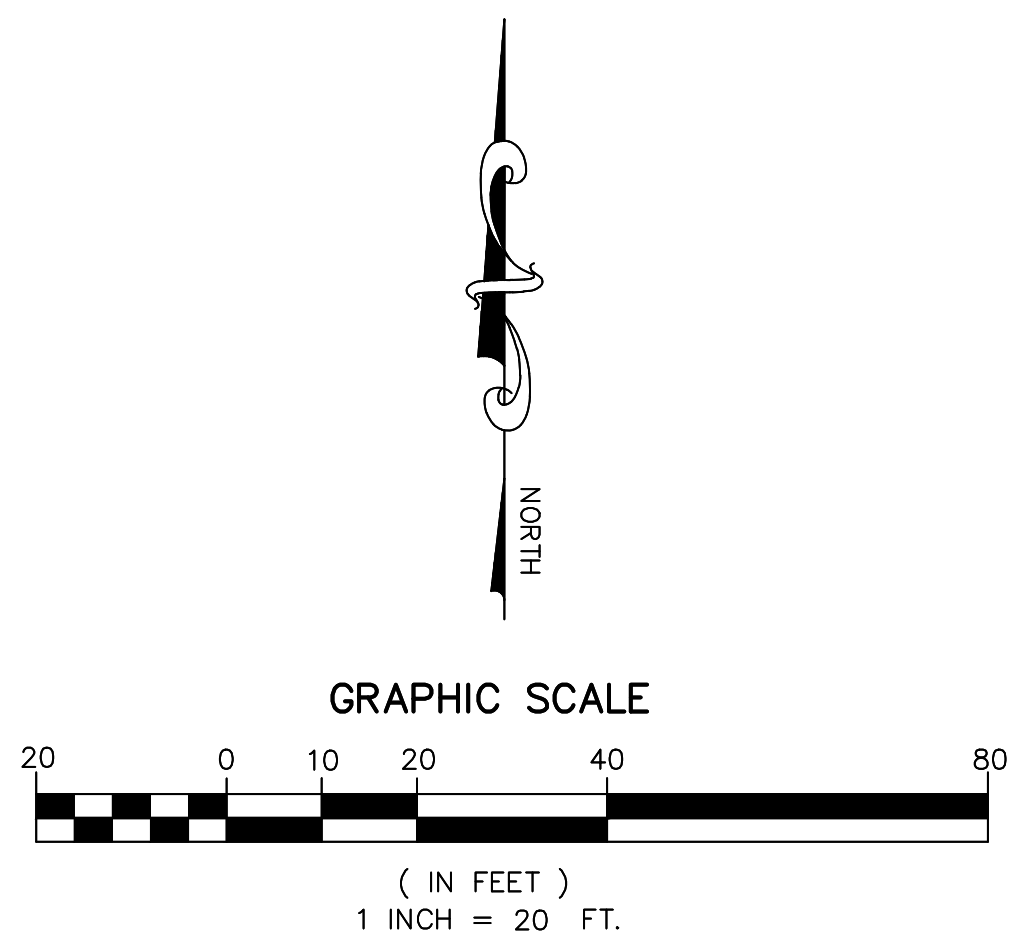
# 1107 WALLACE DRIVE

BEING A REPLAT OF A PORTION OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST,  
AS RECORDED IN PLAT BOOK 1, PAGE 4, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.  
LYING IN SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA





A/C - AIR CONDITIONER	SQ. FT. - SQUARE FEET
ALUM. - ALUMINUM	TYP. - TOWNSHIP
B.F. - BUFFER EASEMENT	TYP. - TYPICAL
C.O. - CLEANOUT	U.E. - UTILITY EASEMENT
CLF. - CHAIN LINK FENCE	W.M. - WATER METER
CONC. - CONCRETE	W.E. - WATER EASEMENT
D.V. - COVERED DRAINAGE EASEMENT	S.E. - SANITARY EASEMENT
ELEC. - ELECTRIC	☀️ - LIGHT POLE
ELEV. - ELEVATION	🔥 - FIRE HYDRANT
EQUIP. - EQUIPMENT	🚰 - CATCH BASIN
ESMT. - EASEMENT	💧 - WATER VALVE
EXIST. - EXISTING	Ⓢ - SET 5/8" IR/CAP LB 3591
F.L.P. - FLORIDA POWER & LIGHT	② - SANITARY MANHOLE
FIN. - FINISHED	③ - DRAINAGE MANHOLE
FUR. - FLOOR	🌳 - WOOD POWER POLE (UNLESS NOTED)
FND. - FOUND	℄ - CENTER LINE
IR./CAP. - IRON ROD & CAP	
INV. - INVERT	
IRR. - IRRIGATION	
L.A.E. - LIMITED ACCESS EASEMENT	
O/S - BUILDING OFFSET	📏 - EXISTING ELEVATION
P.R. - OFFICIAL RECORD BOOK	
P.B. - PLAT BOOK	🚦 - TRAFFIC SIGN
P.S. - PALM BEACH COUNTY RECORD	
P.O.B. - POINT OF BEGINNING	— OR — - ELECTRICAL WIRES OVERHEAD
P.O.C. - POINT OF COMMENCEMENT	↪️ - ANCHOR
P.R.M. - PERMANENT REFERENCE MONUMENT	🔍 - WATER METER
PROP. - PROPOSED	🚧 - RPZ
R - RADIUS	☀️ - GROUND LIGHT
R/W - RIGHT-OF-WAY	✋️ - ELECTRIC HAND HOLE
RGE. - RANGE	Ⓔ - IRRIGATION CONTROL VALVE
SEC. - SECTION	
Δ - DELTA (CENTRAL ANGLE)	



**NOTES**

1. REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. SURVEY MAPS, COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
3. LANDS SHOWN HEREON WERE ABSTRACTED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; FUND FILE NUMBER 273681; DATED JANUARY 22, 2016 AT 11:00 P.M.
4. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
5. BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF S.22°26'33"W. ALONG THE EAST RIGHT-OF-WAY OF WALLACE DRIVE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (90/98 ADJUSTMENT). T
6. REDESCRIPTION "SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT.
7. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. FILE # ZONE: 18; COMMUNITY PANEL NO. 120192 0220 B; DATE: OCTOBER 15, 1982
10. BENCHMARK ORIGIN DESCRIPTION: PALM BEACH COUNTY BENCHMARK "SCHARZOPF"; ELEVATION = 17.200

**DESCRIPTION:**

A PORTION OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT OF INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF GERMANTOWN ROAD AND THE NORTH LINE OF LOT 30, SECTION 20, TOWNSHIP 46 SOUTH, RANGE 43 EAST ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE S.22°26'33"W. ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.22°26'33"W., ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 85.00 FEET; THENCE N.88°11'02"E., A DISTANCE OF 270.05 FEET TO A POINT OF INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF S.W. 10TH AVENUE, AS RECORDED IN OFFICIAL RECORDS OF THE COUNTY OF PALM BEACH, FLORIDA; THENCE S.88°11'02"E., A DISTANCE OF 237.37 FEET TO THE POINT OF BEGINNING.

**CERTIFICATE:**

I HEREBY CERTIFICATE THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEILED UNDER MY DIRECTION ON JANUARY 28, 2016. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.072.

JEFFREY R. WAGNER, PLS  
REG. LAND SURVEYOR #5302  
STATE OF FLORIDA - LB #3591

[illegible]

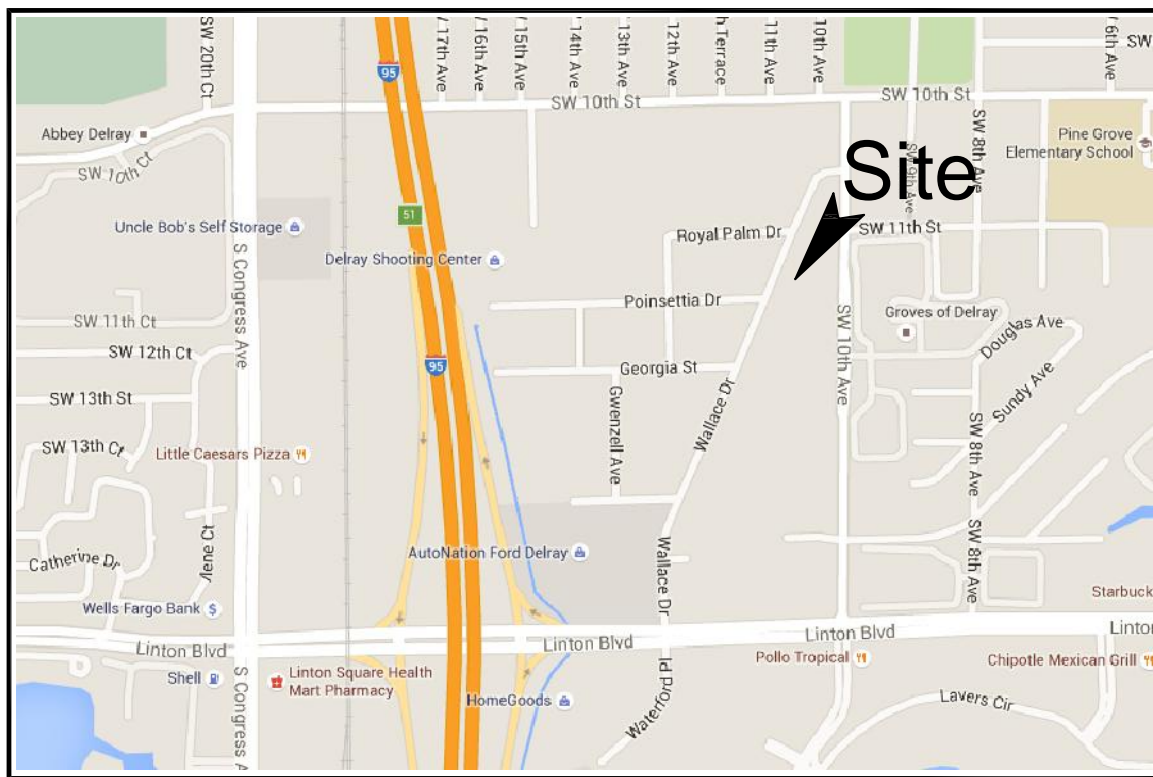
**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452

1107 WALLACE DRIVE  
BOUNDARY AND TOPOGRAPHIC  
SURVEY

DATE	12/21/16
DRAWN BY	JC
F.B./ PG.	ELEC
SCALE	1"=20'

JOB # 4976
SHT.NO. 1
OF 0 SHEETS





"NOT FOR CONSTRUCTION"

PROPERTY LINE	
	SECTION IDENTIFIER
	PLAN PAGE
	DETAIL PAGE
	PROPOSED ELEVATION
	DIRECTION OF FLOW
	EXISTING ELEVATION
	DENOTES AREA OF PROPOSED ASPHALT PAVING
	PROPOSED CATCH BASIN
	HDPE
	DENOTES 12" PERF HDPE PIPE
	5' WIDE X 4' DEEP ROCK TREE (BOTTOM EL= 11.00)
	STRUCTURE NUMBER
	RIM ELEVATION
	INVERT ELEVATION
	PROPOSED WATER METER
	EXISTING MANHOLE
	C.O. SANITARY SEWER CLEANOUT
	SINGLE SANITARY SERVICE W CLEANOUT

**CIVIL SITE IMPROVEMENTS PLAN FOR:**

# MOTOR GROUP

1107 WALLACE DR  
DELRAY BEACH, FLORIDA



**EnviroDesign  
Associates Inc.**  
[www.envirodesign.com](http://www.envirodesign.com)

**ENGINEERS • ENVIRONMENTAL CONSULTANTS**

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FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506  
298 Pineapple Grove Way Delray Beach, Florida 33444  
Phone: (561) 274-6500 Fax: (561) 24-8558

DRAWN  
B.A.B.

CHECK  
J.A.P.

DATE:  
2/03

JOB N  
16045

SHEET  
1

1 OF 6

**NOTE: ALL UTILITY SERVICES ARE TO BE PLACED UNDERGROUND.**

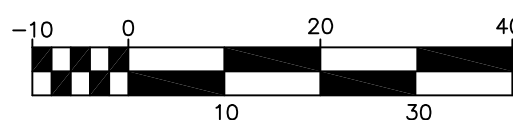
NOTE: CONTRACTOR TO FIELD  
VERIFY EXACT LOCATION, SIZE, AND  
DEPTH OF ALL EXISTING UTILITIES  
AT TIME OF CONSTRUCTION AND  
REPORT ANY DISCREPANCIES TO  
ENVIRODESIGN ASSOCIATES, INC.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW  
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 20'



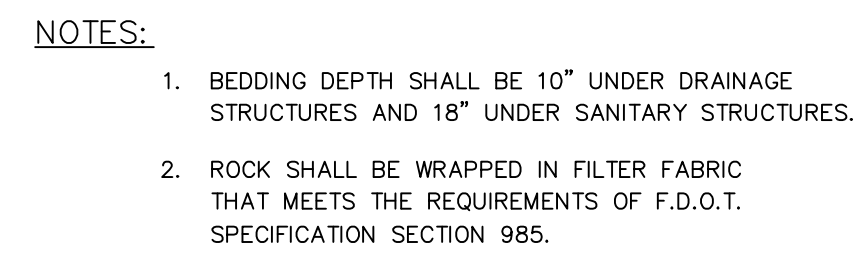
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ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

Know what's **below**.  
**Call** before you dig

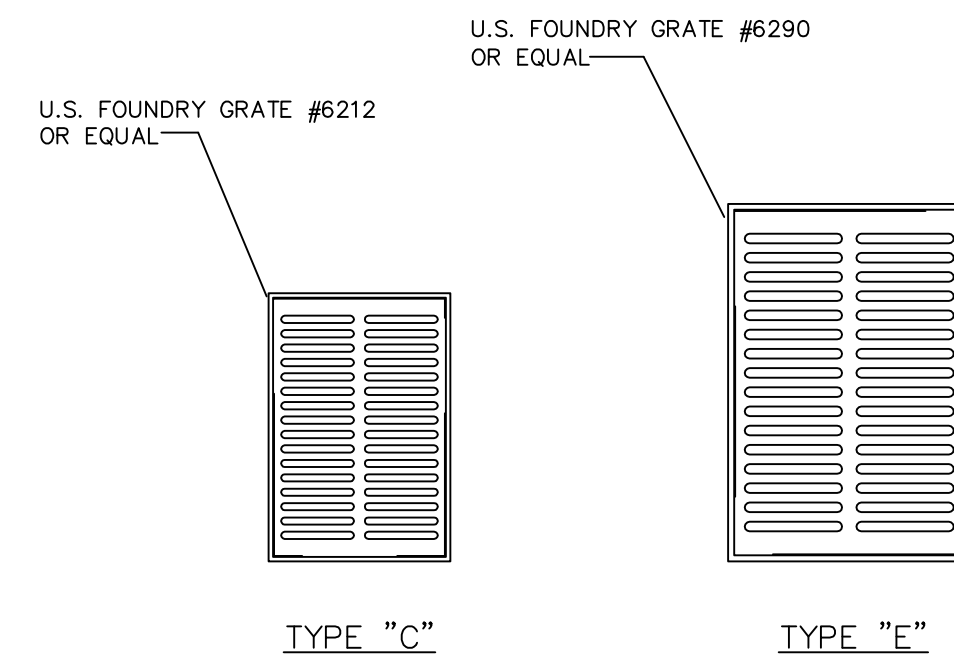






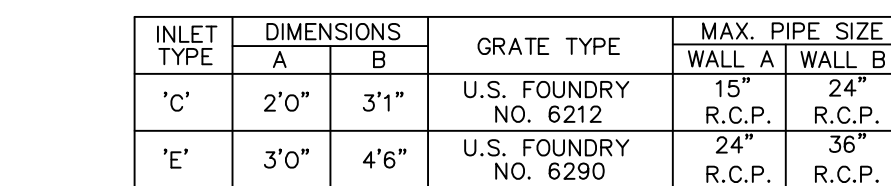


STANDARD BEDDING D 3.1



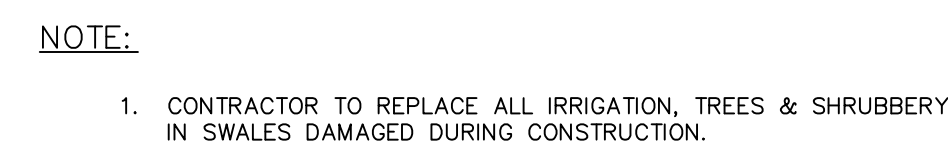
- NOTES:**
1. ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
  2. WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

TYPE C &amp; E INLET GRATE DETAIL D 6.1

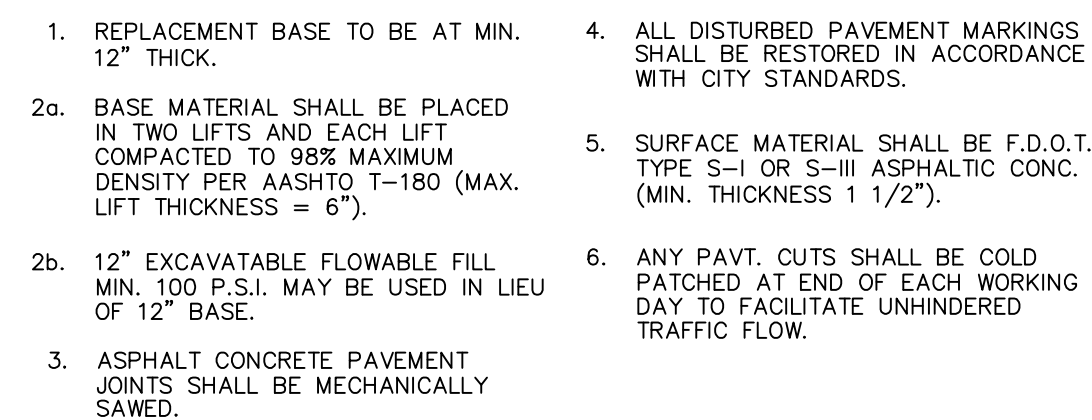


- NOTES:**
1. INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
  2. ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
  3. 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WELLFIELDS.
  4. 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
  5. SEE BEDDING DETAIL D 3.1
  6. ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

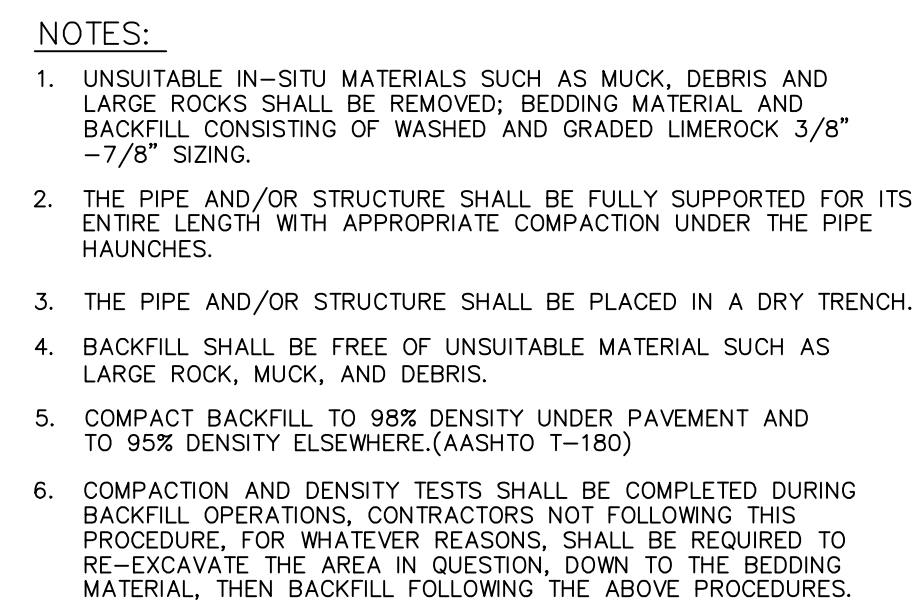
TYPE C & E INLET DETAIL D 7.1



SWALE REPLACEMENT DETAIL D10.1



PAVEMENT REPAIR DETAIL GU 1.1



TYPICAL BACKFILL DETAIL GU 2.1



CALL 48 HOURS BEFORE YOU DIG.


IT'S THE LAW  
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

"NOT FOR CONSTRUCTION"

**PAVING & DRAINAGE DETAILS FOR:**  
**MOTOR GROUP**  
 1107 WALLACE DR  
 DELRAY BEACH, FLORIDA

 **EnviroDesign  
Associates Inc.**  
www.envirodesign.com

**ENGINEERS • ENVIRONMENTAL CONSULTANTS**

ORATORY • CERAMICS • BIOREMEDIATION  
298 Pippenger Avenue, Suite 33444  
Way Denary Beach, Florida  
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:  
B.A.B.

CHECKED:  
J.A.P.

DATE:  
11/30/16

JOB NO.  
16045-DTL

SHEET NO.  
26



PAVING, GRADING AND DRAINAGE NOTES	
1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.	11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY CUTTER, TYPE "T" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.	12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS. COMPRESSIVE STRENGTH.
3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.	13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-10-001, WHERE APPLICABLE.
4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.	14. SEQUENCE OF CONSTRUCTION – THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
5. MUCK AND PEAT – IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.	15. INLETS AND MANHOLES – ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.	16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
7. CLEARING AND GRUBBING – WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.	17. GRADES SHOWN ARE FINISHED GRADES.
8. GUMBO – WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.	18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. TBD' N.G.V.D.
9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.	19. REINFORCED CONCRETE PIPE – THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.
10. TACK COAT – BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.	20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
	21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.
	22. PIPE BACKFILL – REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.
	23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.
	24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.

CITY OF DELRAY BEACH GENERAL NOTES	
1. ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.	
2. CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.	
3. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.	
4. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER.	
5. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2	
6. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS.	
7. CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312.	
8. THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT.	
9. UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK.	
10. ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION.	
11. ALL CITY OF DELRAY BEACH 2014 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.	

GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COAST TO THE OWNER.	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
5. ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBD (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.i
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)

GENERAL NOTES

DEFINITIONS

- CITY – THE CITY OF DELRAY BEACH
- CONTRACTOR – UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS
- ENGINEER – ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION

PROCEDURE

- A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES.
- ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
- A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91.
- ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
- THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
- CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
- FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.

- PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-3-89-004-PS (LATEST REVISION) UNLESS SHOWN OTHERWISE.
- AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY.
- PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES.
- CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
- GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE.
- CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
- EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
- ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
- ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED.
- ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.
- EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS.
- CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK-IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY.
- SITE INFORMATION BASED ON A SURVEY PREPARED BY: CAULFIELD & WHEELER, INC.
- THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION.
- RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES.



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"NOT FOR CONSTRUCTION"

PAVING & DRAINAGE DETAILS FOR:

MOTOR GROUP

1107 WALLACE DR

DELRAY BEACH, FLORIDA



ENGINEERS • ENVIRONMENTAL CONSULTANTS

FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506  
298 Pineapple Grove Way Delray Beach, Florida 33444  
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:  
B.A.B.

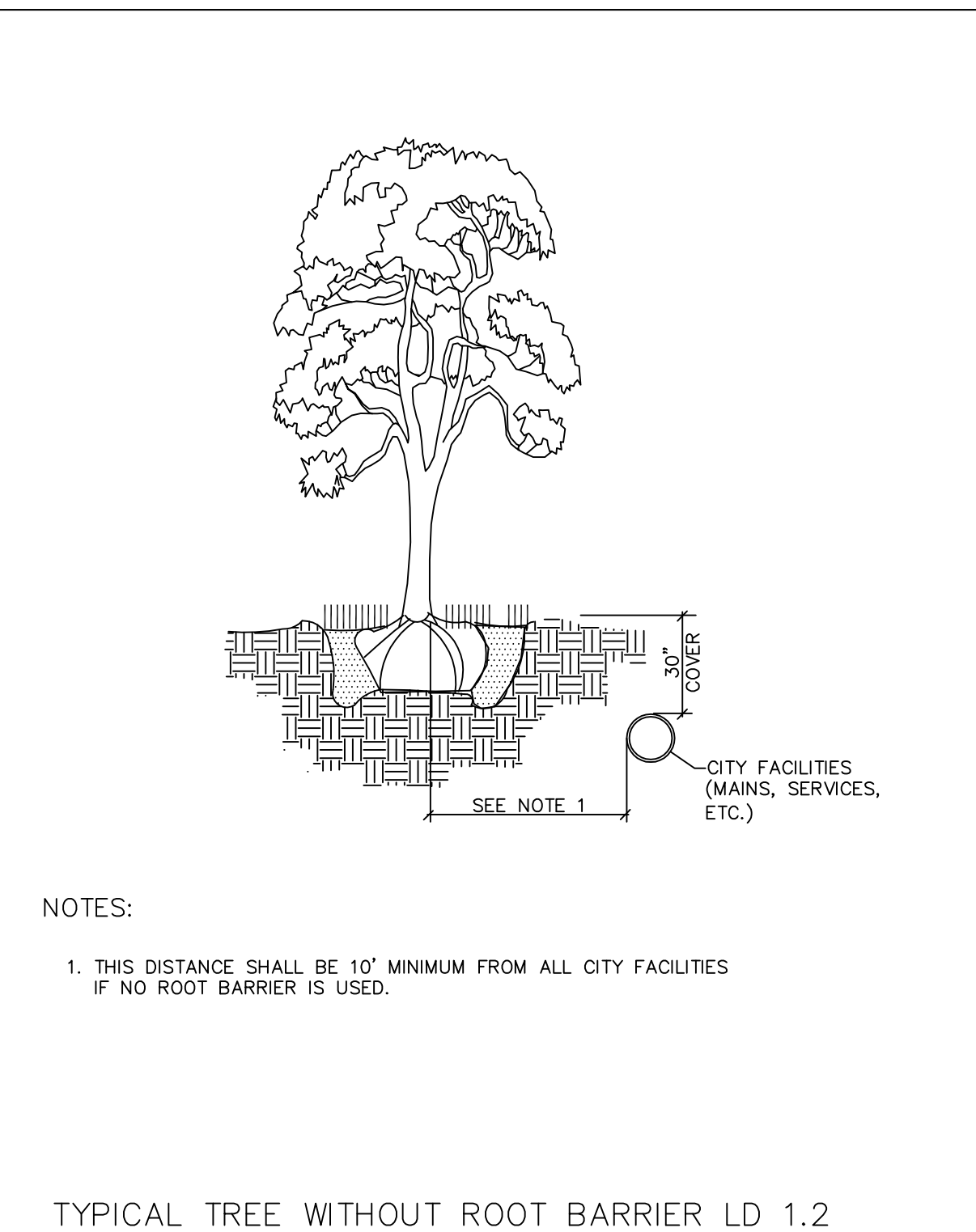
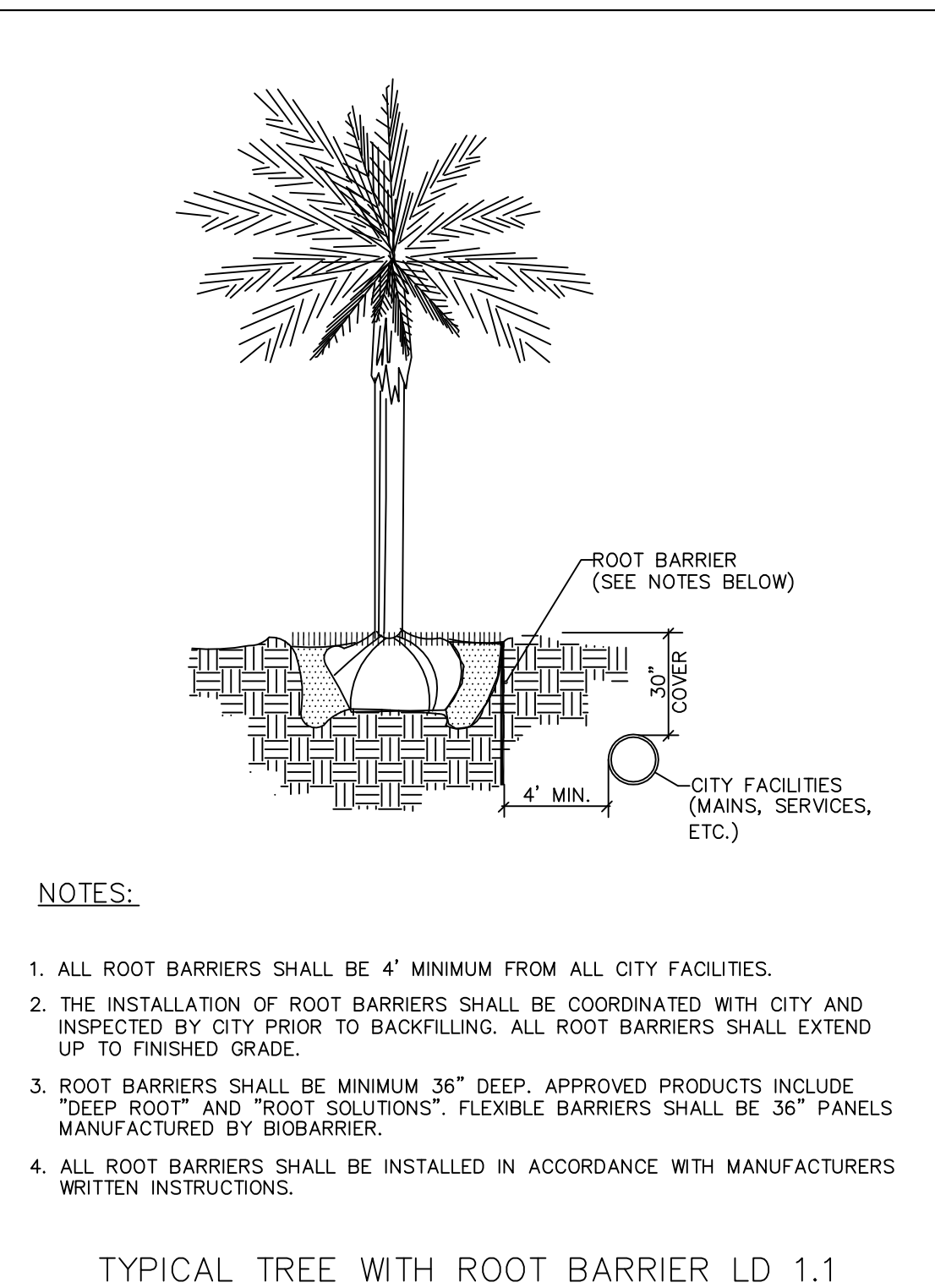
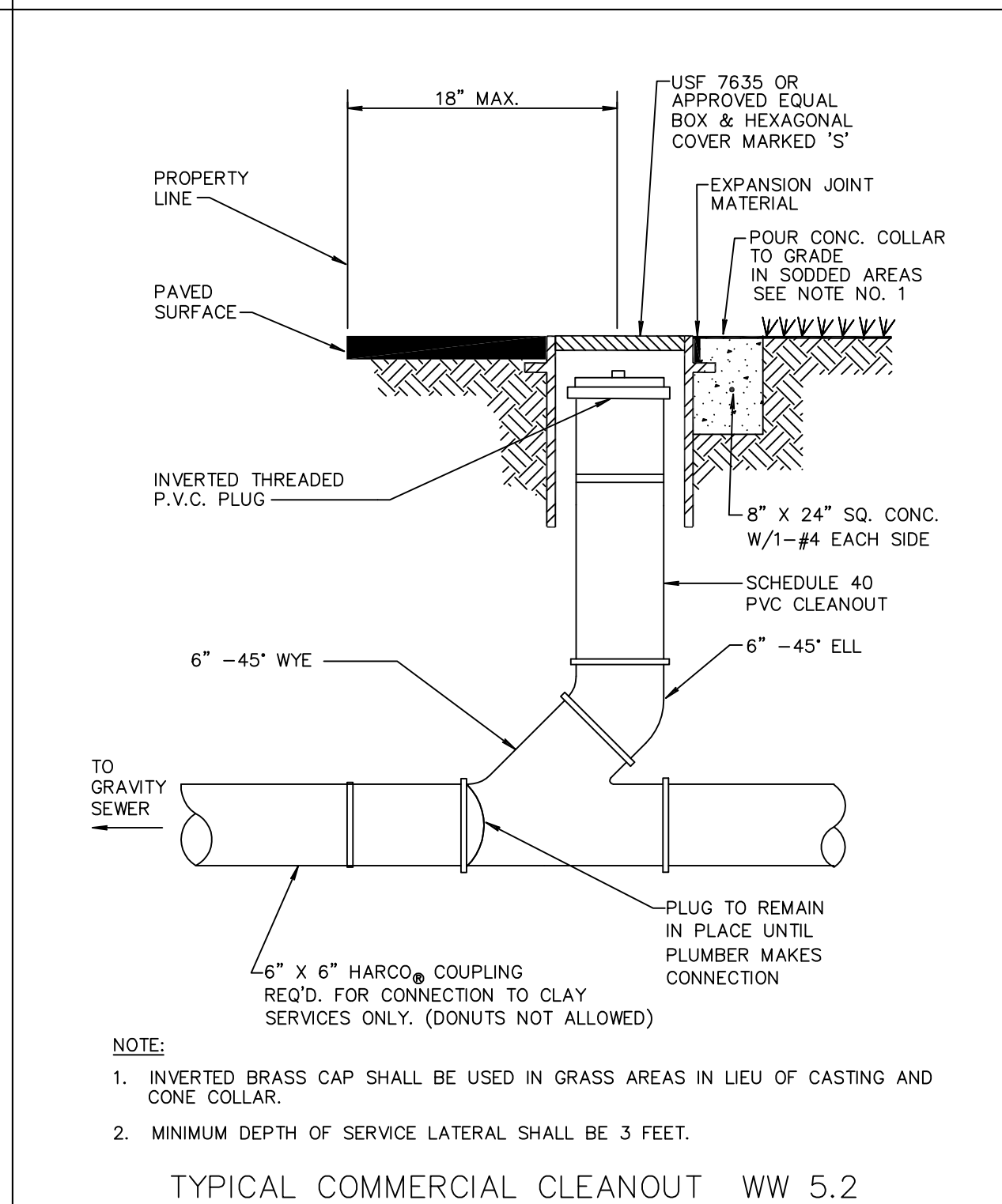
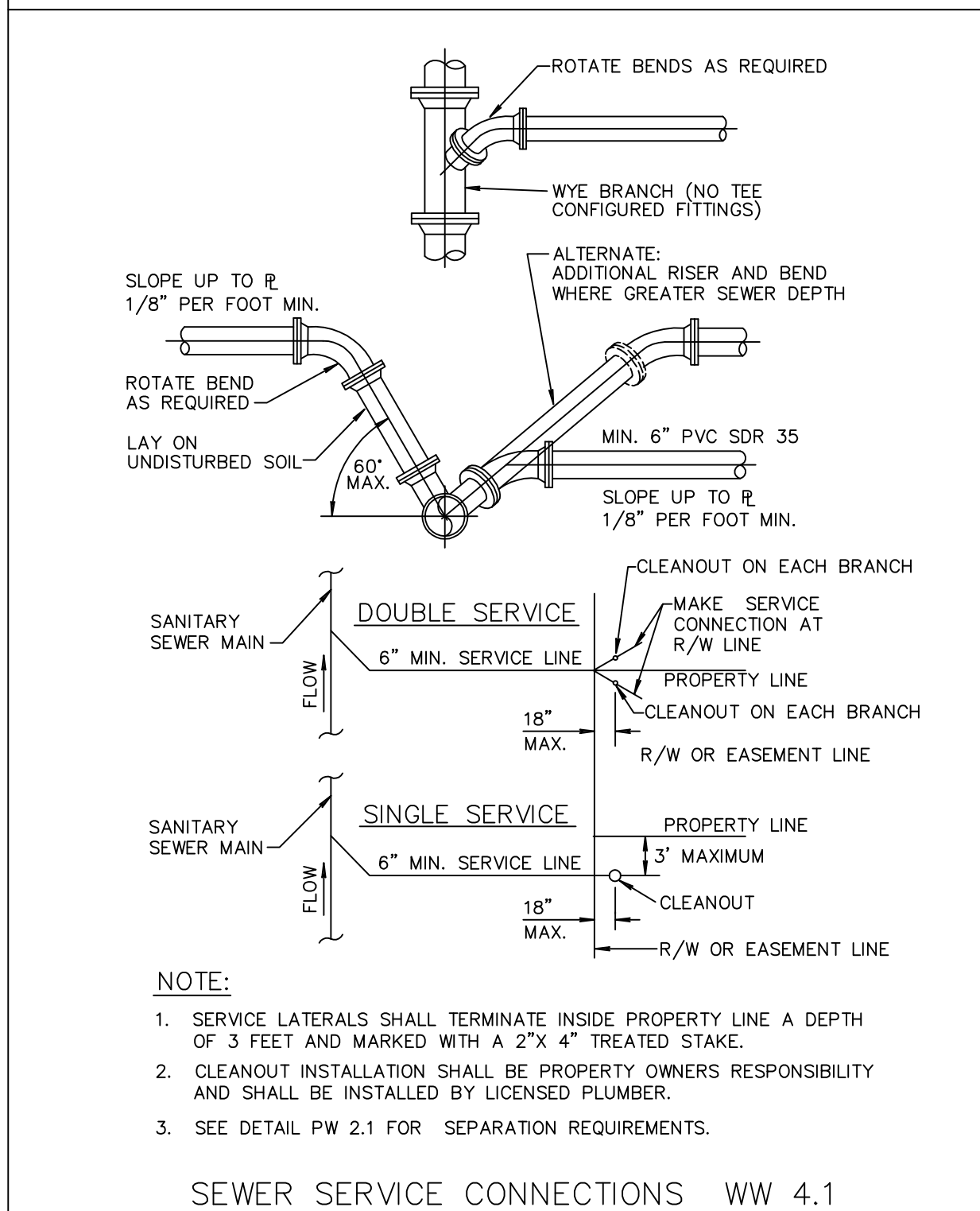
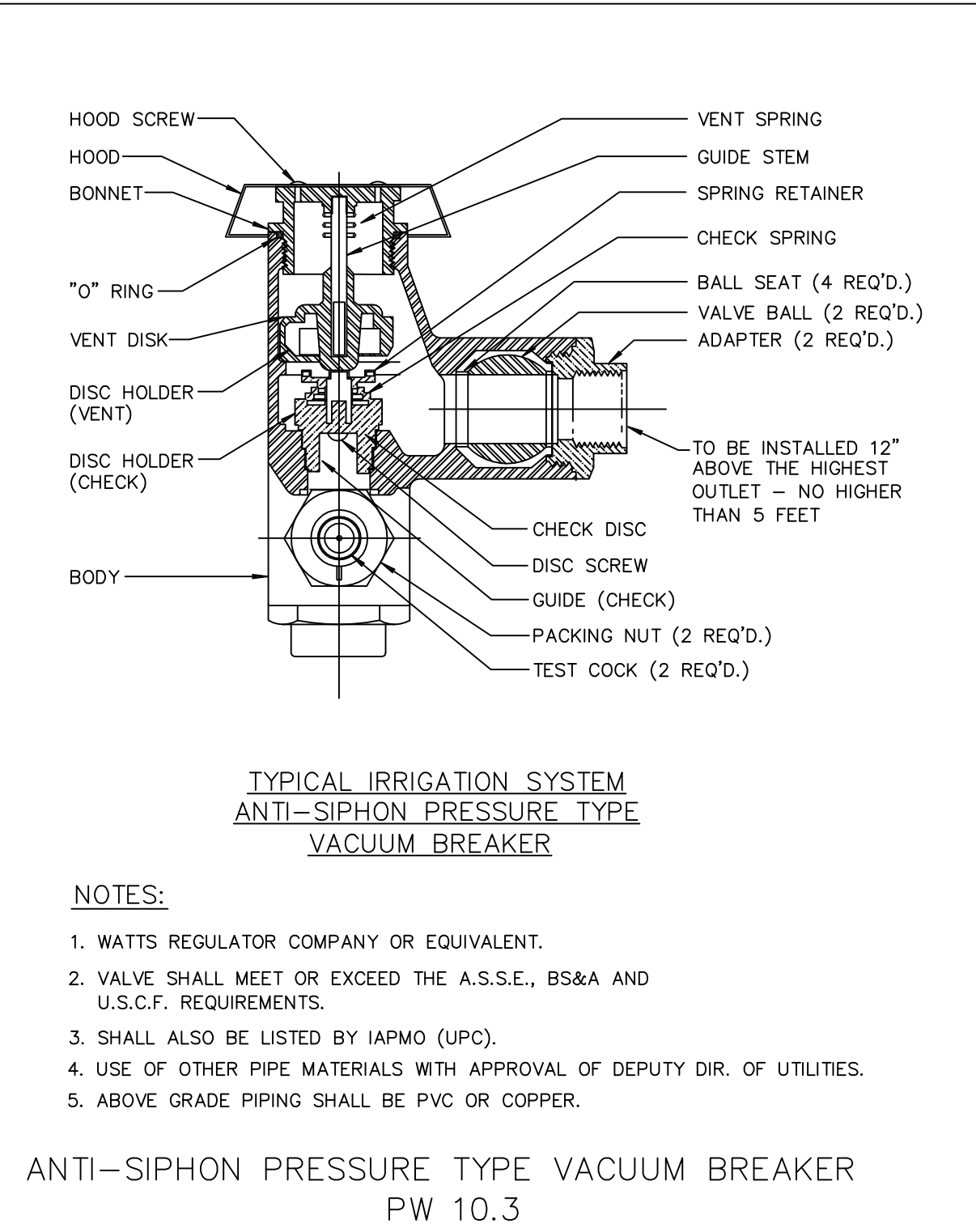
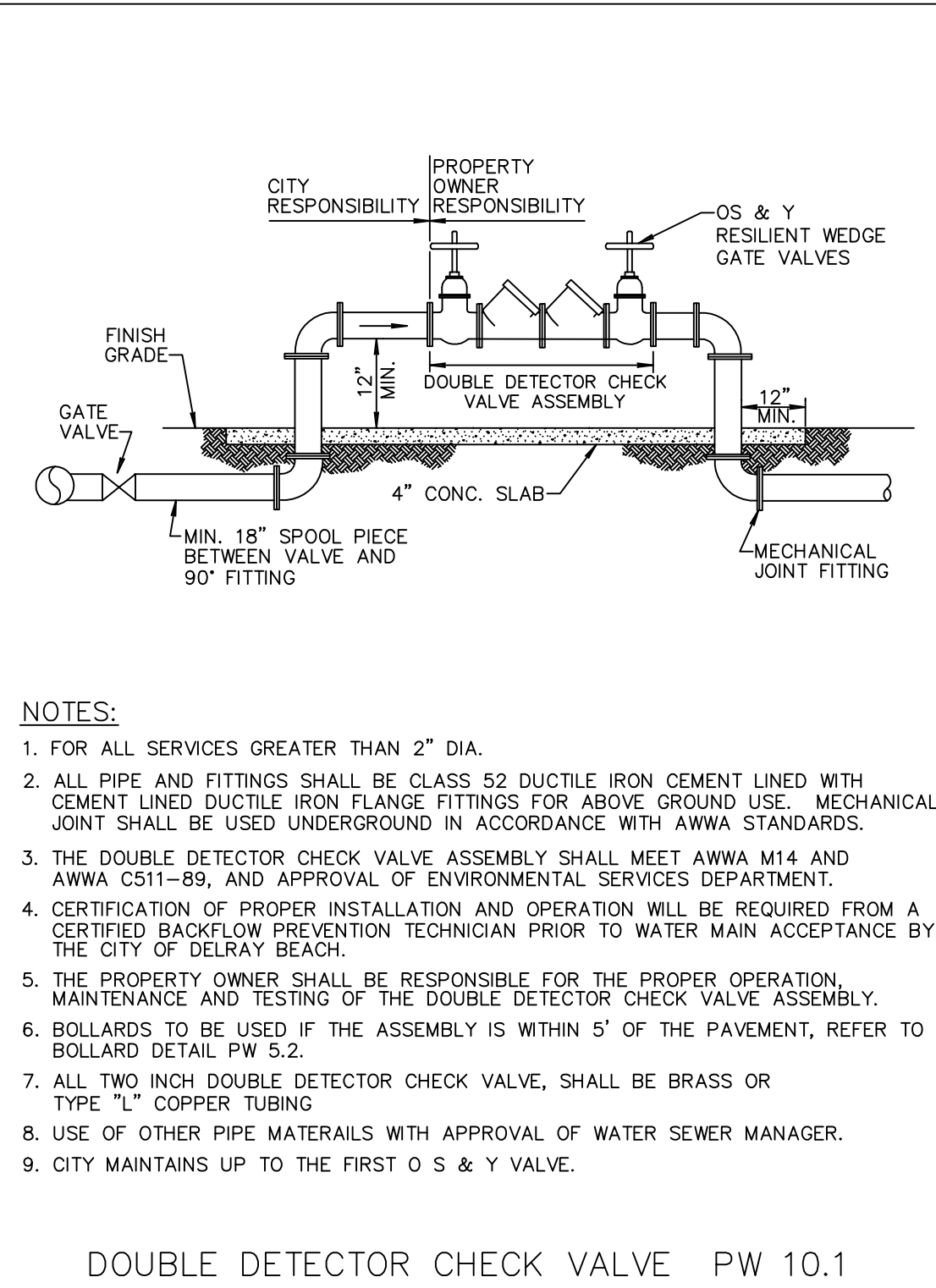
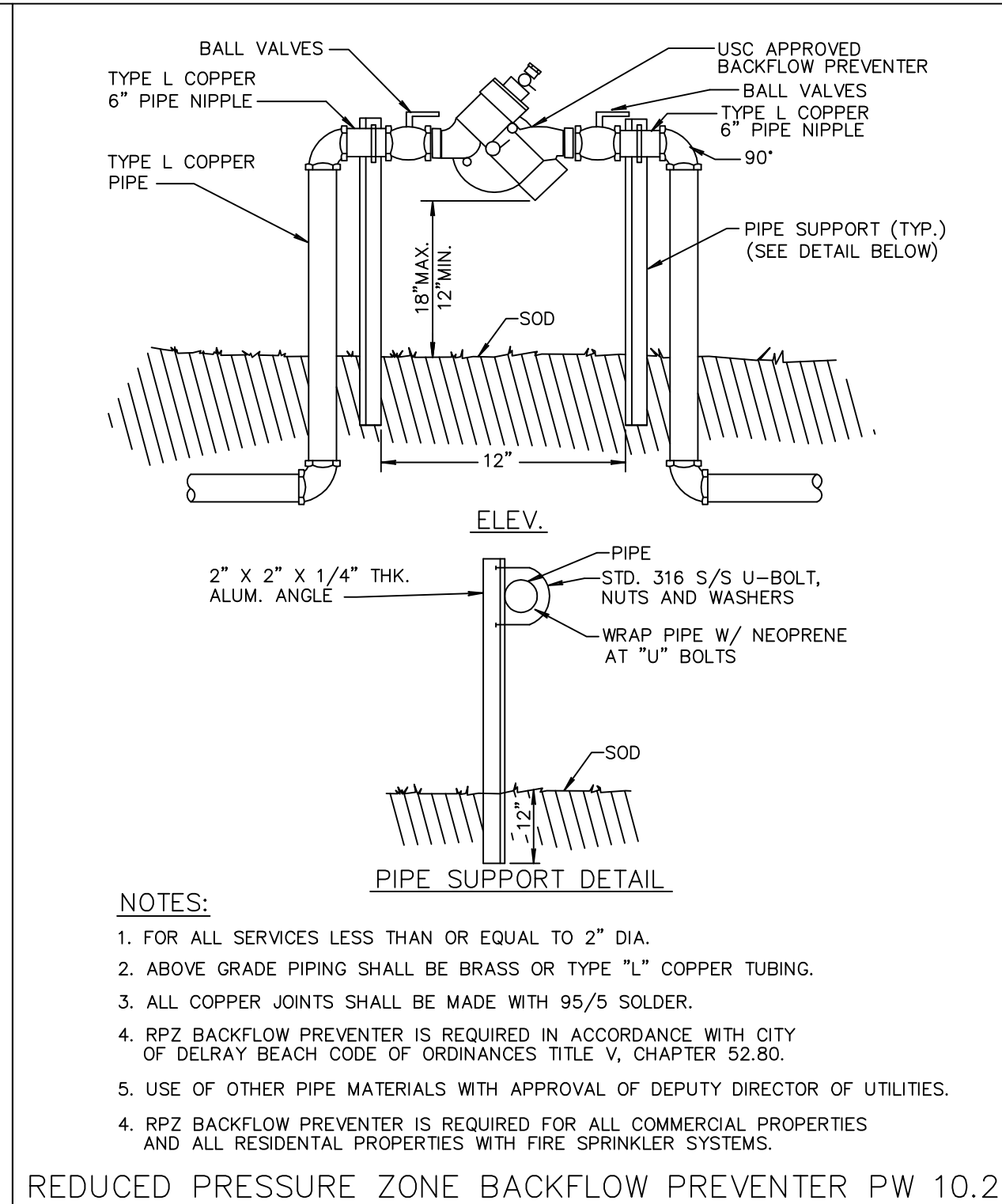
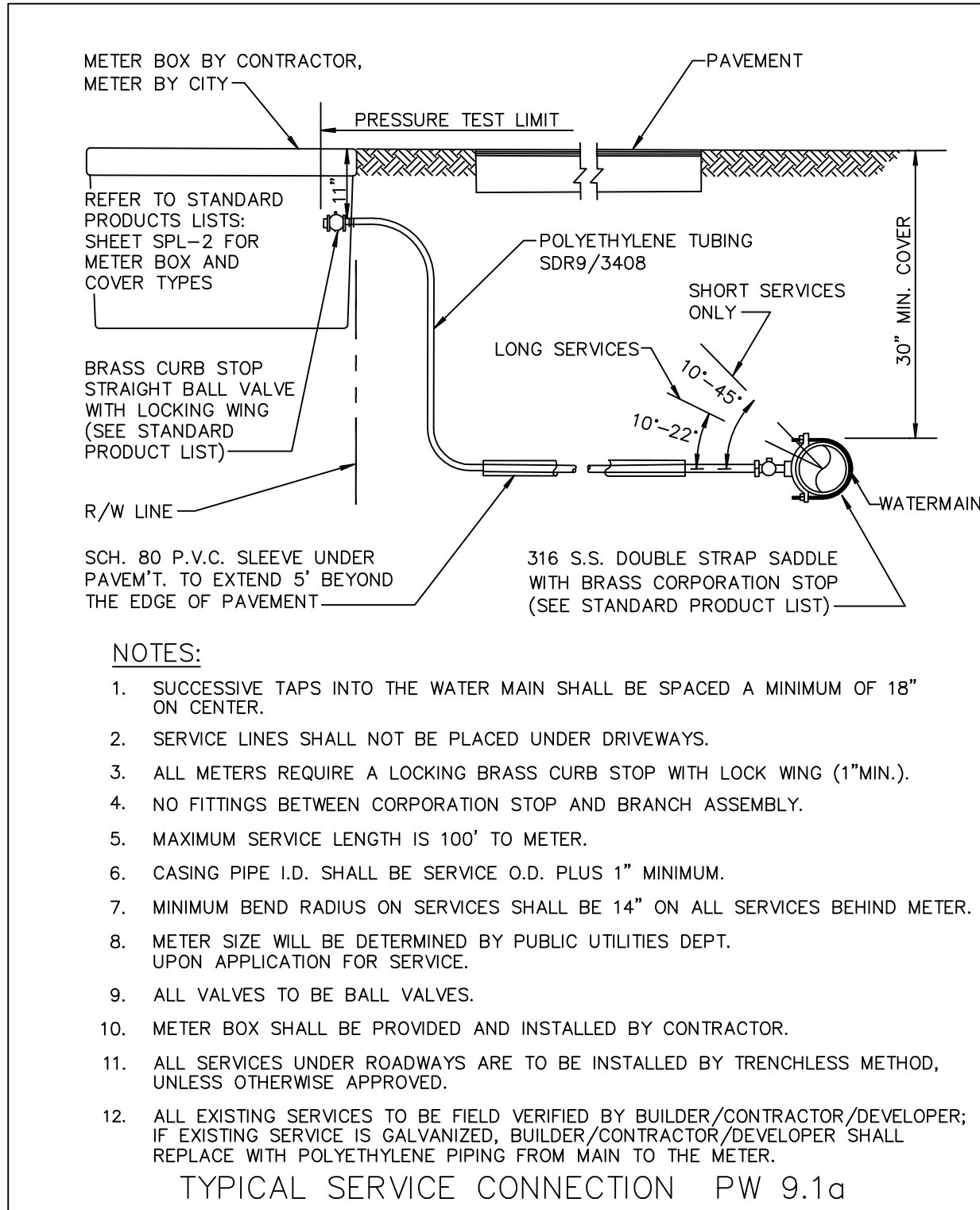
CHECKED:  
J.A.P.

DATE:  
11/30/16

JOB NO.  
16045-DTL

SHEET NO.  
4 OF 6





CALL 48 HOURS BEFORE YOU DIG.

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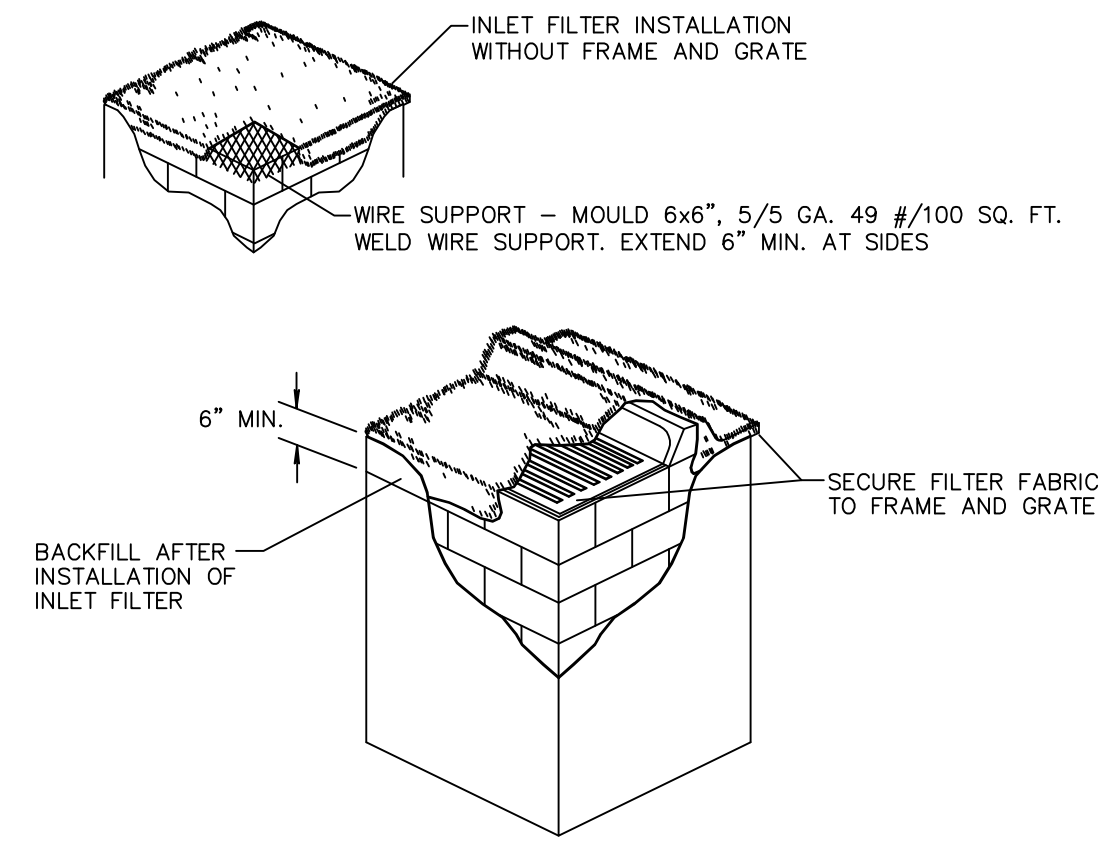
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"NOT FOR CONSTRUCTION"

WATER & WASTEWATER DETAILS FOR:				NOT VALID WITHOUT ENGINEER'S SEAL				BY:			
MOTOR GROUP				NO.				REVISIONS:			
1107 WALLACE DR				DATE:				NO.			
DELRAY BEACH, FLORIDA				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
FL REG # 42696				NO.				FL REG # 42696			
ENVIRODESIGN ASSOCIATES, INC.				DATE:				NO.			
www.envirodesign.com				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
ENGINEERS • ENVIRONMENTAL CONSULTANTS				NO.				FL REG # 42696			
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506				DATE:				NO.			
298 Pineapple Grove Way Delray Beach, Florida 33444				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
Phone: (561) 274-6500				NO.				FL REG # 42696			
Fax: (561) 274-8558				DATE:				NO.			
DRAWN:				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
B.A.B.				NO.				FL REG # 42696			
CHECKED:				DATE:				NO.			
J.A.P.				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
DATE:				NO.				FL REG # 42696			
11/30/16				DATE:				NO.			
JOB NO.				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			
16045-DTL				NO.				FL REG # 42696			
SHEET NO.				DATE:				NO.			
5 OF 6				NOT VALID WITHOUT ENGINEER'S SEAL				JOSEPH A. PIKE, P.E.			





NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

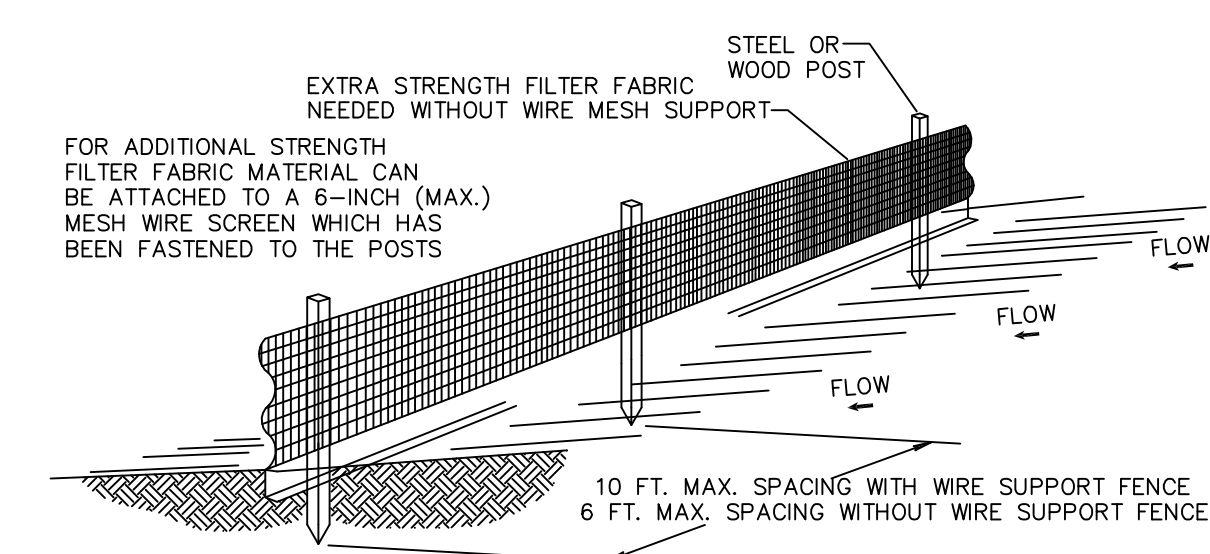
A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D 8.1

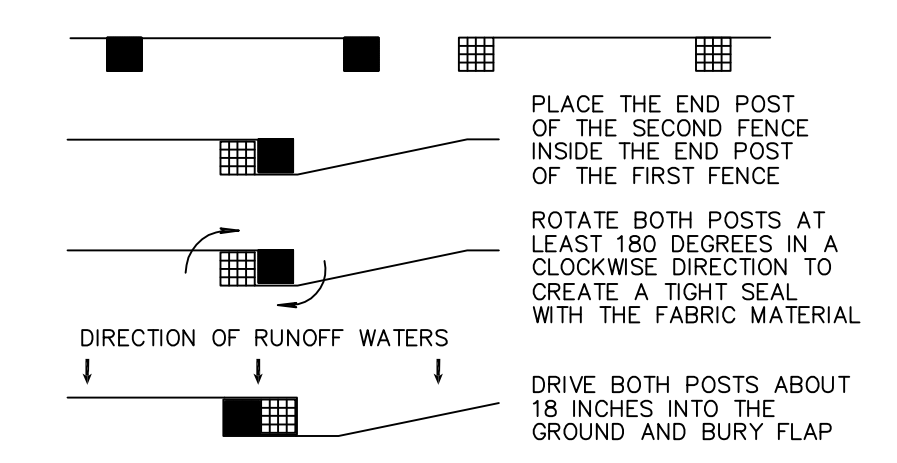
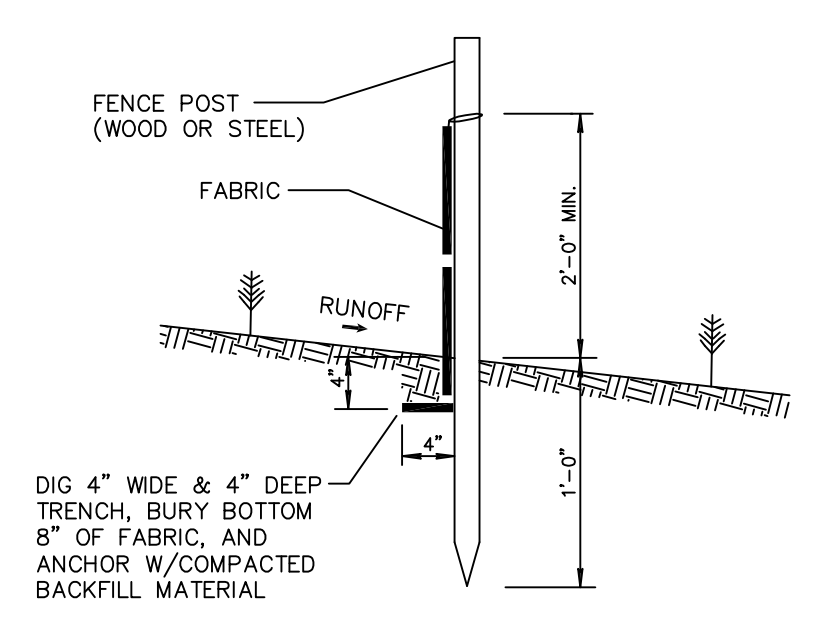
- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT. REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL D9.1

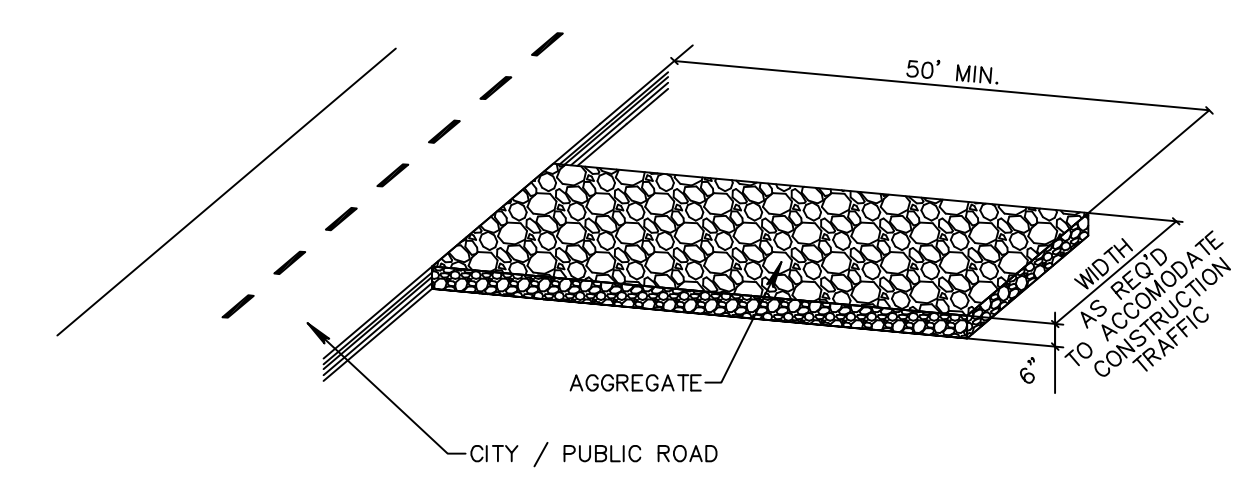


- NOTES:
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
  - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  - ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
  - ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a  
Sheet 1 of 2

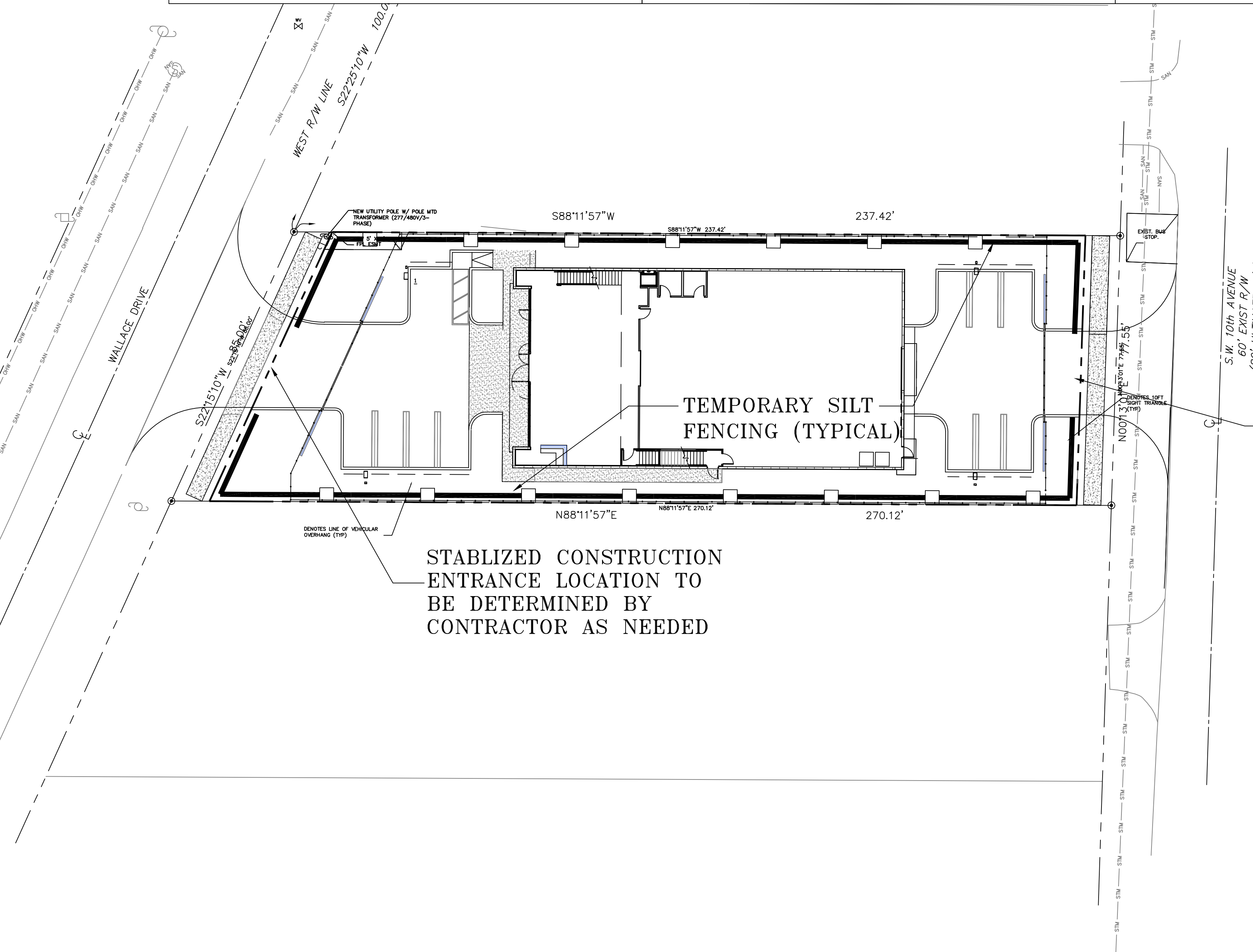


SILT FENCE INSTALLATION DETAIL D 9.1b  
Sheet 2 of 2



NOTE:  
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C



STABILIZED CONSTRUCTION ENTRANCE LOCATION TO BE DETERMINED BY CONTRACTOR AS NEEDED

STABILIZED CONSTRUCTION ENTRANCE LOCATION TO BE DETERMINED BY CONTRACTOR AS NEEDED

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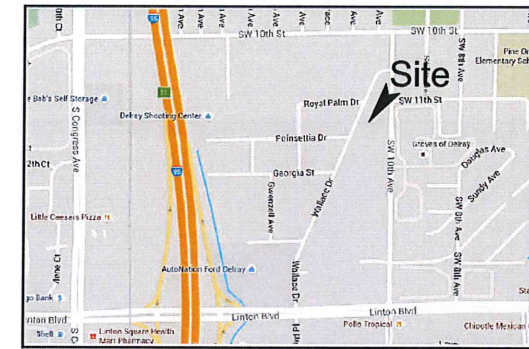
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BY: BAB		REVISIONS: UPDATE TO MATCH SITE PLAN CHANGES		NO. DATE 11/30/16		NOT VALID WITHOUT ENGINEER'S SEAL		JOSEPH A. PIKE, P.E. FL REG # 42696	
POLLUTION PREVENTION PLAN FOR: MOTOR GROUP 1107 WALLACE DR DELRAY BEACH, FLORIDA									
EnviroDesign Associates Inc. www.envirodesign.com ENGINEERS • ENVIRONMENTAL CONSULTANTS FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-6500 Fax: (561) 274-8558									
DRAWN: B.A.B.		CHECKED: J.A.P.		DATE: 2/03/17		JOB NO. 16045-ENG		SHEET NO. 6 OF 6	





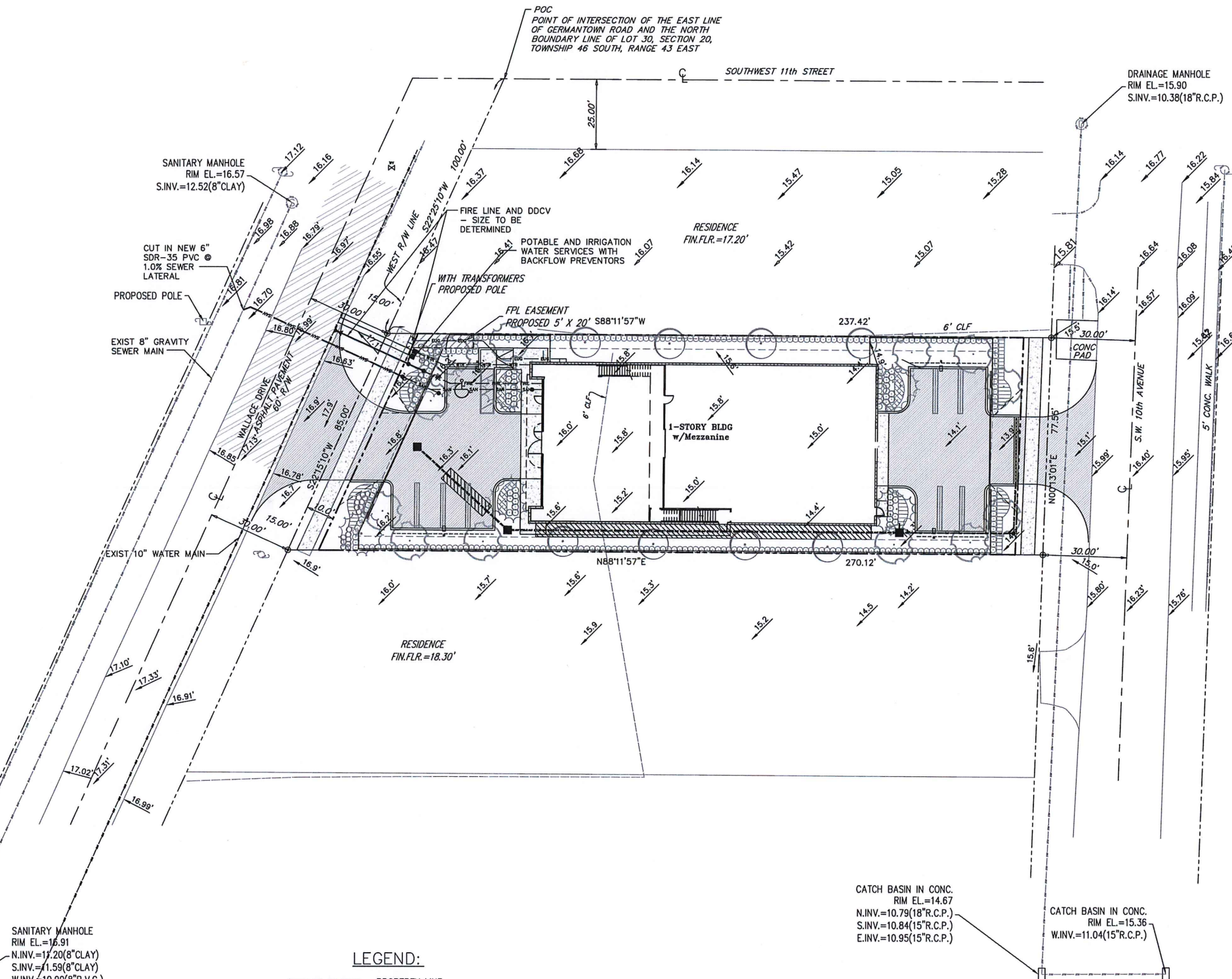




LOCATION MAP  
N.T.S.



"NOT FOR CONSTRUCTION"



SANITARY MANHOLE  
RIM EL.=16.91  
N.INV.=17.20(8"CLAY)  
S.INV.=11.59(8"CLAY)  
W.INV.=10.90(8"P.V.C.)

LEGEND:

---	PROPERTY LINE	---	STM	EXISTING STORM LINE
---	PROPOSED STORM LINE	---	SAN	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE	---	WTR	EXISTING WATER LINE
---	PROPOSED WATER LINE	---	OHV	EXISTING OVERHEAD LINES
---	PROPOSED ELECTRIC UNDERGROUND LINE	---	GAS	EXISTING GAS LINES
---	PROPOSED GAS LINE			

CATCH BASIN IN CONC.  
RIM EL.=14.67  
N.INV.=10.79(18"R.C.P.)  
S.INV.=10.84(15"R.C.P.)  
E.INV.=10.95(15"R.C.P.)

CATCH BASIN IN CONC.  
RIM EL.=15.36  
W.INV.=11.04(15"R.C.P.)

UTILITY PROVIDER SIGNOFF:

FPL: Signature Signature  
PRINT NAME: PRINT NAME DATE: 1-12-2017

COMCAST: SIGNATURE: \_\_\_\_\_ TITLE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

AT&T: SIGNATURE: \_\_\_\_\_ TITLE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

FPU: SIGNATURE: \_\_\_\_\_ TITLE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_



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COMPOSITE UTILITY PLAN FOR:  
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1107 WALLACE DR  
DELRAY BEACH, FLORIDA

EnviroDesign Associates, Inc.  
298 Pineapple Grove Way  
Delray Beach, FL 33444  
Phone: (561) 274-6500 Fax: (561) 274-8558

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B.A.B.

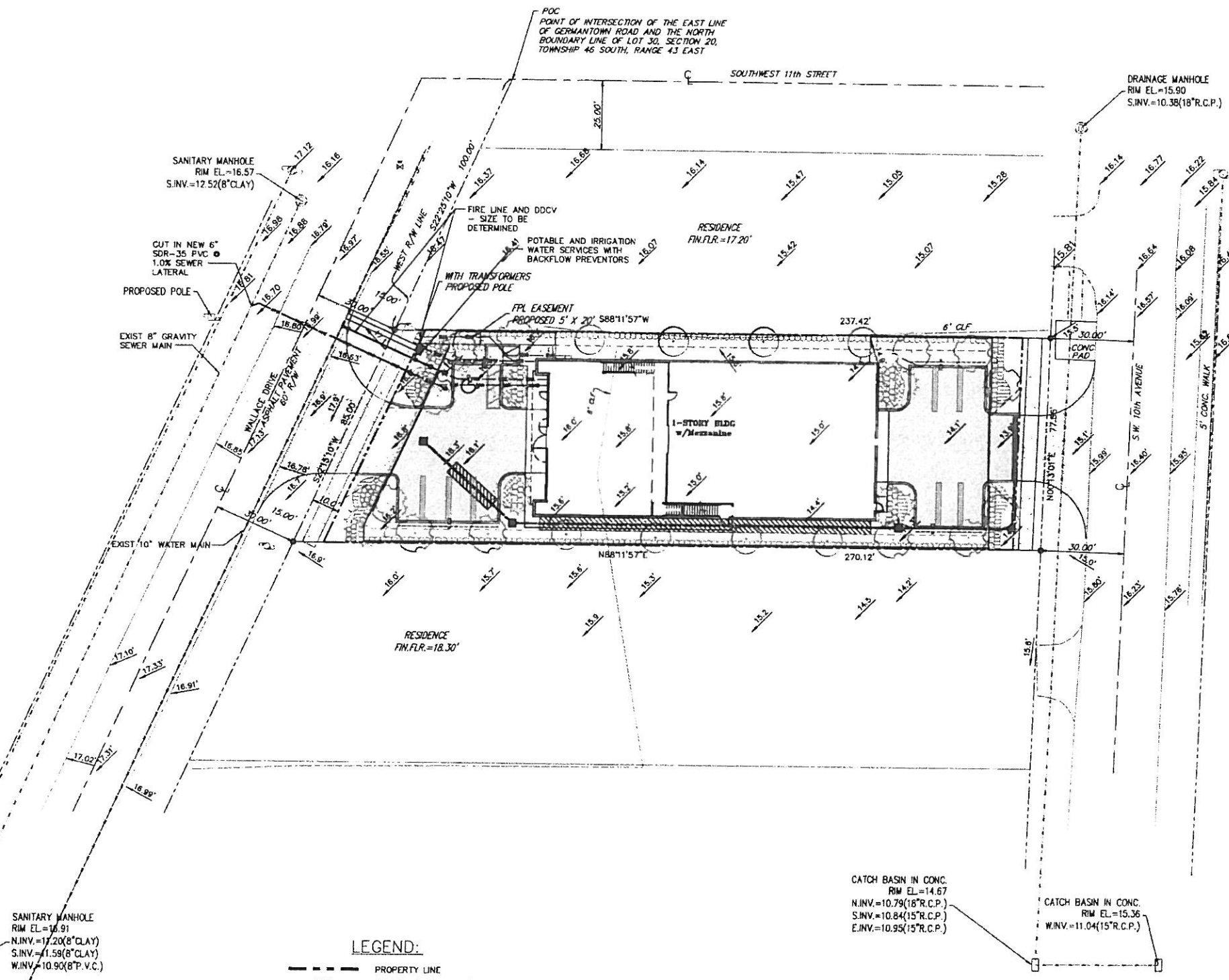
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J.A.P.

DATE:  
7/27/16

JOB NO.  
16045-ENG

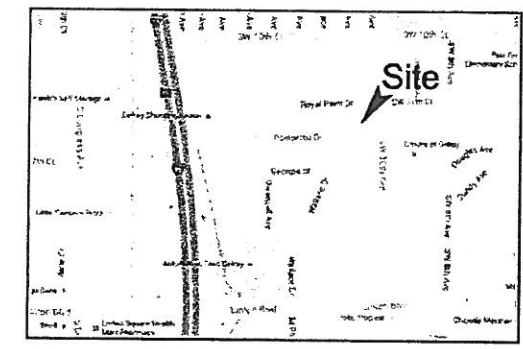
SHEET NO.  
1 OF 1





**LEGEND:**

- |     |                                    |     |                              |
|-----|------------------------------------|-----|------------------------------|
| --- | PROPERTY LINE                      | --- | EXISTING STORM LINE          |
| --- | PROPOSED STORM LINE                | --- | EXISTING SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER LINE       | --- | EXISTING WATER LINE          |
| --- | PROPOSED WATER LINE                | --- | EXISTING OVERHEAD LINES      |
| --- | PROPOSED ELECTRIC UNDERGROUND LINE | --- | EXISTING GAS LINES           |
| --- | PROPOSED GAS LINE                  |     |                              |




**LOCATION MAP**  
N.T.S.



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	PRINT NAME _____	DATE _____
COMCAST:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
AT&T:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____
FLU:	SIGNATURE _____	TITLE _____
	PRINT NAME _____	DATE _____

ATT   
**GEORGE THOMAS**  
12-16-2016

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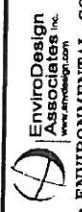
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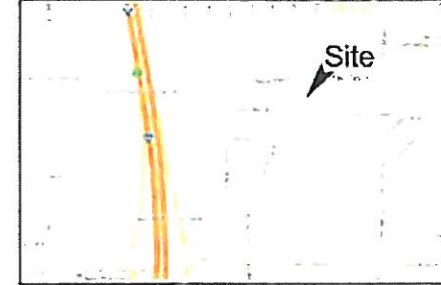
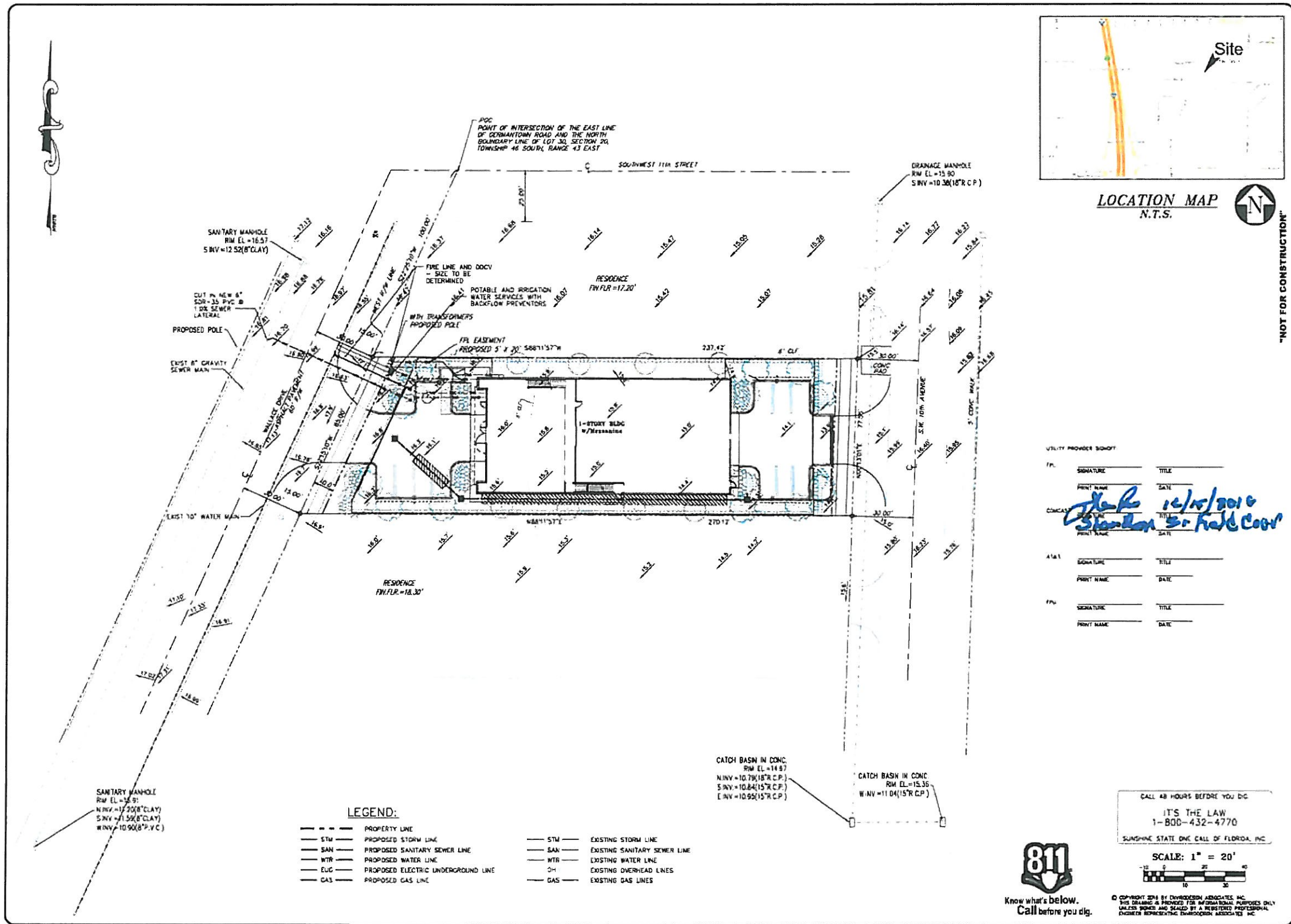
COMPOSITE UTILITY PLAN FOR:  
**MOTOR GROUP**  
1107 WALLACE DR  
DELRAY BEACH, FLORIDA

**ENGINEERS** • ENVIRONMENTAL CONSULTANTS  
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506  
290 Pineapple Grove Way Delray Beach, Florida 33444  
Phone: (561) 274-8500 Fax: (561) 274-8559

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J.A.P.  
DATE:  
7/27/16  
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SHEET NO.  
**1 OF 1**







LOCATION MAP  
N.T.S.

UTILITY PROVIDER SIGNOFF

TYPE	SIGNATURE	TITLE
FW	<i>[Signature]</i>	SAF
CONCAS	<i>[Signature]</i>	SAF
AL	<i>[Signature]</i>	SAF
FW	<i>[Signature]</i>	SAF



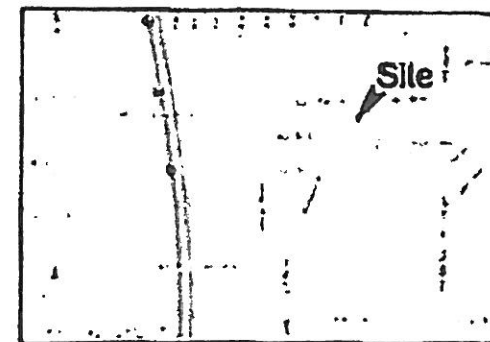
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MOTOR GROUP	
1107 WALLACE DR	
DELRAY BEACH, FLORIDA	
ENGINEERS - ENVIRONMENTAL ASSOCIATES, INC.	
2796 SOUTHWEST 11TH AVENUE, SUITE 200, DELRAY BEACH, FL 33444	
PHONE (561) 274-6500 FAX (561) 274-6508	
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CHECKED: J.A.P.	
DATE: 7/27/16	
JOB NO. 10045-ENG	
SHEET NO. 1 OF 1	





LOCATION MAP  
N.T.S.

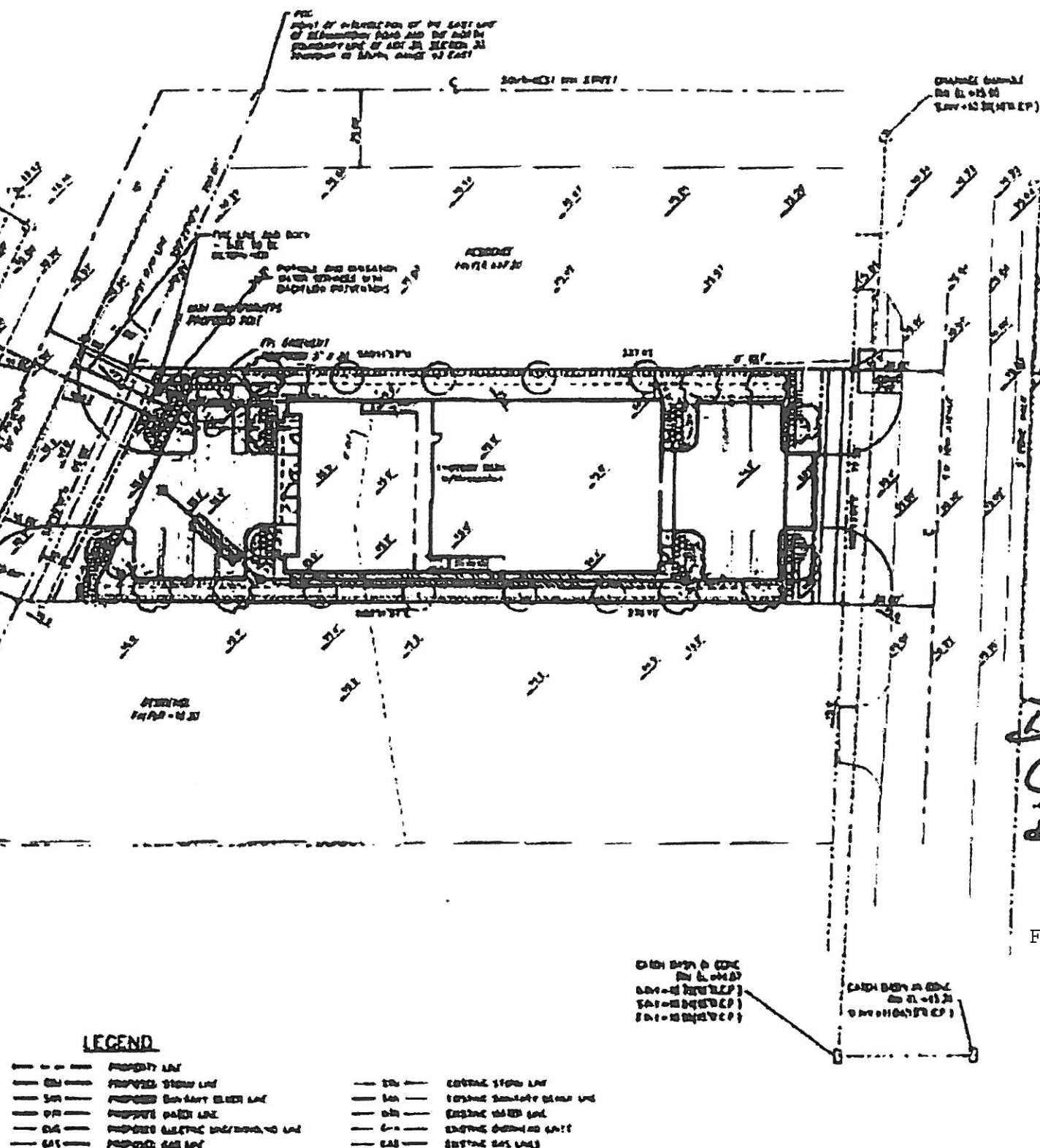


1

COMPOSITE UTILITY PLAN FOR:  
MOTOR GROUP  
1107 WALLACE DR

**INTERNATIONAL COMMUNITARIAN**  
 Association  
 1000 University Ave.  
 New York, N.Y. 10017

DEATH:
R.A.A.
CHARGES:
I.A.F.
DATE:
7/27/16
AGE:
10013-ENG
SERIAL:
1 of 1



DALE BUTCHER  
CONSTRUCTION MANAGER  
DALE BUTCHER  
12-16-16

Florida Public Utilities Company



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