



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 105 NE 1<sup>st</sup> Street  
**Project Location:** 105 NE 1<sup>st</sup> Street, Old School Square Historic District  
**Request:** Architectural Elevations and Certificate of Appropriateness  
**Board:** Historic Preservation Board  
**Meeting Date:** June 6, 2018

**Board Action:**

Approved the Architectural Elevations and Certificate of Appropriateness for alterations to the elevations for Phase II of the approved project formerly known as Hyatt Place associated with the construction of a new 26,166 sq. ft. two-story office building on the property located at 105 NE 1st Street (3 to 1 vote, Budano, Harden, and Sherman were absent).

**Project Description:**

The 0.53 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property contains a parking lot that will be eliminated to construct a two-story office building.

The property contained the former Neal's Market, constructed in 1954 by Mr. O.D. Priest, a member of one of the early Delray pioneering families. The market was a commercial, masonry vernacular building. At its meeting of October 4, 2000, the Historic Preservation Board (HPB) approved a COA, Demolition Request, Site Plan, Landscape Plan and Design Elements for Neal's Market townhouses with conditions. The development proposal included the construction of a three-story, ten unit townhouse development. Subsequently, Neal's Market was demolished and the HPB approved an extension of the COA and Class V Site Plan approval at its February 6, 2002 meeting. The Neal's Market townhome project was never constructed.

At its meeting of January 4, 2006, the HPB approved a Class V site plan for Pineapple Grove Limited. The approval was for a new mixed-use project containing 5,764 square feet of office, 4,868 square feet of restaurant, 5,385 square feet of retail floor area, 8 townhouses, and 30 condominium units. The project was never constructed.

At its meeting of August 19, 2009, the HPB approved a Class IV Site Plan Modification, Landscape Plan, Elevations, and Waiver Requests for a development on property fronting NE 2nd Avenue/Pineapple Grove Way and the subject property. This development proposal consisted of 119 hotel rooms, 2,322 square feet of retail, 4,356 square feet of restaurant, 33,350 square feet of office, and a single-family residence. A revised project for Hyatt Place was approved by HPB at its meeting of April 6, 2011. The proposal included a Class IV Site Plan Modification, Landscape Plan, Elevations, and Waiver Requests for construction of a 134-room hotel along Pineapple Grove Way with 2,100 square feet of retail, 1,666 square feet of lounge, meeting rooms, café, pool, and gym, two-story parking facility, along with a 45-space parking lot on NE 1st Avenue as part of Phase I. Construction of a 26,166 square feet two-story office building was approved as part of Phase II. All aspects of Phase I were completed with the Hyatt Place project. The subject request is for modification to Phase II of the development approval, specifically architectural elevation changes to the 26,166 sq. ft. two-story office building.

Staff supported the Architectural Elevations and Certificate of Appropriateness request.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

One member of the public (neighboring property owner) discussed privacy concerns regarding the second-floor window openings on North side of the structure.

**Associated Actions:** All required actions were taken.

**Next Action:** HPB action is final unless appealed by the City Commission.

# HISTORIC PRESERVATION BOARD

## CITY OF DELRAY BEACH

## STAFF REPORT

**MEETING DATE:** June 6, 2018

**ITEM:** 105 NE 1<sup>st</sup> Street, Old School Square Historic Arts District – Architectural Elevations and Certificate of Appropriateness (COA) 2018-055 for alterations to the elevations for Phase II of the approved project formerly known as Hyatt Place associated with the construction of a new 26,166 sq. ft. two-story office building.

**RECOMMENDATION:** Approve the Architectural Elevations and Certificate of Appropriateness

### GENERAL DATA:

Owner/Applicant..... KCMCL Pineapple Grove LLC

Agent:..... Shannon Lee, Kolter Urban LLC

Location:..... Northeast Corner of NE 1<sup>st</sup> Street and NE 1<sup>st</sup> Avenue

Property Size:..... 0.53 Acres

Historic District: ..... Old School Square Historic District (OSSHD)

Zoning:..... Old School Square Historic Arts District (OSSHAD)

Adjacent Zoning:.....

North:	OSSHAD
East:	CBD
South:	OSSHAD
West:	OSSHAD

Existing Future Land Use Designation:..... Other Mixed Use (OMU)

Water Service:..... Public water service is provided on site.

Sewer Service:..... Public sewer service is provided on site.



### ITEM BEFORE THE BOARD

The item before the Board is approval of Architectural Elevations and Certificate of Appropriateness (COA) 2018-055 for alterations to the elevations for Phase II of the approved project formerly known as Hyatt Place associated with the construction of a new 26,166 sq. ft. two-story office building on the property located at **105 NE 1<sup>st</sup> Street, Old School Square Historic District**, pursuant to Land Development Regulations (LDR) Sections 2.4.5(I)(5), 2.4.6(H)(5) and 4.5.1(E)(7).

### BACKGROUND/PROJECT DESCRIPTION

The 0.53 acre subject property is located within the OSSHAD (Old School Square Historic Arts District) zoning district; the Central Business District (CBD) zoning overlay and the Old School Square Historic District (OSSHD). The property contains a parking area that will be eliminated to construct a two-story office building.

The property contained the former Neal's Market, constructed in 1954 by Mr. O.D. Priest, a member of one of the early Delray pioneering families. The market was a commercial, masonry vernacular building. At its meeting of October 4, 2000, the Historic Preservation Board approved a COA, Demolition Request, Site Plan, Landscape Plan and Design Elements for Neal's Market townhouses with conditions. The development proposal included the construction of a three-story, ten unit townhouse development. Subsequently, Neal's Market was demolished and none of the conditions of approval were addressed. At its meeting of February 6, 2002, the HPB approved an extension of a COA and Class V Site Plan approval for Neal's Market townhomes. The project was never constructed.

At its meeting of January 4, 2006, the Historic Preservation Board (HPB) approved a Class V site plan for Pineapple Grove Limited. The project proposal included 8 townhouses, 5,764 square feet of office, 4,868 square feet of restaurant, 5,385 square feet of retail floor area, and 30 condominium units. The project was never constructed.

At its meeting of August 19, 2009, the HPB approved a Class IV Site Plan Modification, Landscape Plan, Elevations, and Waiver Requests for a development on property fronting NE 2<sup>nd</sup> Avenue/Pineapple Grove Way and the subject property. This development proposal consisted of 119 hotel rooms, 2,322 square feet of retail, 4,356 square feet of restaurant, 33,350 square feet of office, and a single family residence. The approval included a waiver from the sight visibility and window transparency requirements. The plans were not certified because the conditions of approval were not addressed. A revised project was reviewed by HPB at its meeting of April 6, 2011. The development proposal for Hyatt Place included a Class IV Site Plan Modification, Landscape Plan, Elevations, and Waiver Requests. The project received approval for construction of a 134-room hotel along Pineapple Grove Way with 2,100 square feet of retail, 1,666 square feet of lounge, meeting rooms, café, pool, and gym, two-story parking facility, along with a 45-space parking lot along NE 1st Avenue as part of Phase I. Construction of a 26,166 square feet two-story office building was approved as part of Phase II. All aspects of Phase I were completed with the Hyatt Place project. The subject request is for modification to Phase II of the development approval, specifically as follows:

- Architectural elevation changes to the 26,166 sq. ft. two-story office building.

### ANALYSIS

**Pursuant to LDR Section 3.1.1(D), Compliance with LDRs, whenever an item is identified elsewhere in these Land Development Regulations (LDRs), it shall specifically be addressed by the body taking final action on a land development application/request.** The applicable LDRs have been identified and reviewed throughout this report. The Hyatt Place project was approved prior to the 2015 adoption of the form-based code amendments to the CBD and the architectural elevation changes were reviewed by the current code requirements to establish consistency. The project changes do not trigger the requirements of the current CBD regulations for the site plan which was approved in 2011.

**Pursuant to LDR Section 4.4.13(E)(2), Streetscape Standards: Buildings with retail or commercial uses in the ground story shall detail and design any remaining front setback area**

within the 15-foot wide minimum streetscape area using a hardscape design. This portion may be used to accommodate outdoor dining areas, subject to Section 6.3. Landscaping comprised of plants in removable planters, palms, and/or ground planting may be installed adjacent to the building provided it does not obstruct views into storefront windows.

The proposed/as approved project provides a streetscape area of 10 feet where 15 feet is required. This is considered an approved/legal non-conformity by the current LDRs.

**Pursuant to LDR Section 4.4.13(F), Architectural Standards:** to ensure high quality architecture in the downtown area, the following architectural standards apply to all buildings in the Central Business District Sub-districts and in the OSSHAD with CBD Overlay. In addition to the standards in Section 4.6.18, the following standards apply in all CBD Sub-districts.

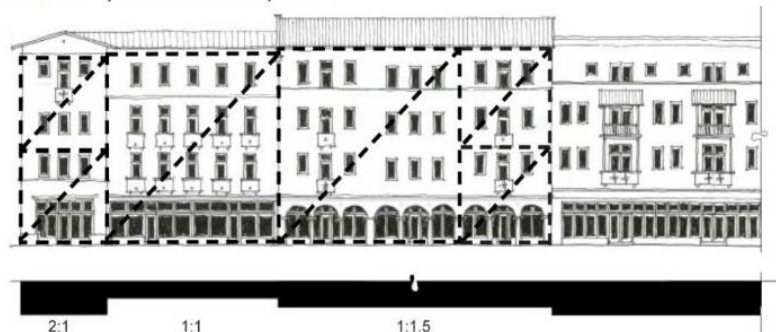
- (1) ***Required standards.*** In addition to the standards in this section, all buildings shall follow the Delray Beach Architectural Design Guidelines. Properties located within a Historic District or Individually Designated Sites, as listed on the Local Register of Historic Places in Section 4.5.1(I), shall also comply with the Visual Compatibility Standards of Section 4.5.1(E)(7).

The property is located within the Old School Square Historic District and the CBD Overlay; thus, shall comply with CBD Architectural Standards and the Visual Compatibility Standards of LDR Section 4.5.1(E)(7).

**Pursuant to LDR Section 4.4.13(F)(2)(a), Building Articulations:** Buildings articulations that respond to the site's unique urban condition, such as but limited to, locations on corners, near public open spaces, terminating the visual axis of a street, and/or that emphasize main building entries, shall be clearly expressed in the design.

1. Building articulations in the form of a change in building height and building placement shall be incorporated so that building façade proportions do not exceed height to width ratios of 3:1 or 1:3.
2. Building articulations shall be reinforced by changes in roof design, fenestration patterns, or architectural elements.

Figure 4.4.13-2 Façade Articulation Proportions



Building articulations are reinforced by changes in roof design and architectural elements. The roof design includes a sloped metal roof (mill finish galvalume plus), flat roof with a decorative aluminum bracket (white) with a wood soffit and aluminum railing (dark bronze). The project proposal meets the requirements of the code for height to width ratios of 3:1 or 1:3.

**Pursuant to LDR Section 4.4.13(F)(2)(b), Tripartite composition (base, middle, top).** All buildings shall have a clearly expressed base, middle, and top in the façade design.

1. **Base.** The building base demonstrates the building is solidly anchored to the ground. The base may be configured in a number of ways, including, but not limited to the following:
  - a. A thickening of the lower portion of the wall surface, accompanied by a change in material or color;

- b. **The base of a storefront frontage type; or**
  - c. **The first story of buildings three or more stories tall, demarcated by a cornice or molding.**
- 2. **Top.** The building top may be demonstrated in a number of ways, including, but not limited to the following:
  - a. **A change in fenestration patterns;**
  - b. **Placement of architectural elements such as balconies, cornice line, and moldings;**
  - c. **The parapet or roofline in buildings one to three stories tall; or**
  - d. **A setback at the top story.**

The exterior walls are proposed in a smooth stucco finish (Benjamin Moore "White Opulence"). The base is defined by a smooth stucco banding (Benjamin Moore "Monterey White") that delineates the first floor. A change in material is introduced with Eldorado Precast Stone (Snowdrift Longitude24) below window openings (aluminum framed storefront system in dark bronze with clear Low-E glass) which create a well-defined base. The decorative aluminum brackets (white) with a wood soffit define the top of the building.

**Pursuant to LDR Section 4.4.13(F)(3), Appropriate Architectural Styles: The "Delray Beach Central Business District Architectural Design Guidelines", adopted by Ordinance 28-15 on December 8, 2015, identifies seven architectural styles as appropriate for downtown Delray Beach based on historical precedent, climate, and building scale. Defining characteristics and character examples are provided for each of the styles as guidance.**

**(a) Permitted architectural styles. One of the following architectural styles shall be identified on permit application drawings and the building design shall reflect the defining characteristics outlined in the "Delray Beach Central Business District Architectural Design Guidelines" document:**

- 1. **Florida Vernacular;**
- 2. **Anglo-Caribbean;**
- 3. **Mediterranean Revival;**
- 4. **Classical Tradition;**
- 5. **Art Deco;**
- 6. **Masonry Modern;**
- 7. **Main Street Vernacular.**

**(b) Mixing of styles is not permitted; however, projects comprised of multiple buildings may use more than one style, provided each building uses one style (e.g. an Anglo-Caribbean building next to a Florida Vernacular building), and façade portions of long buildings may use different styles provided each portion uses one style.**

The 2011 approval included a Contemporary architectural style; the proposal has been revised to an Anglo-Caribbean architectural style. A decorative grille on the parapet was replaced by a decorative aluminum bracket (white) with a wood soffit that is compatible with the proposed architectural style. Anglo-Caribbean architecture is permitted by the CBD Design Guidelines and embodies architectural styles identified within OSSHD, such as: Queen Anne and French Colonial. Staff identifies the change in architectural style as an improvement from the design that was previously approved and acknowledges that, although this style is not exemplified in nearby properties, it does contribute to the "Old Delray Beach" feeling and atmosphere of OSSHD while also providing for an acceptable transition between styles of the adjacent CBD/Pineapple Grove Main Street area and OSSHD.

#### **Architectural Elevations and COA Technical Items:**

The following technical items will need to be addressed prior to certification and permit issuance:

- 1. That building width dimensions be provided on sheet A3.0.1 and A3.0.2
- 2. That a note be added to indicate the color of the decorative aluminum brackets and the type of material that will be used for the wood soffit on sheet A3.0.1 and A3.0.2.
- 3. That a note be added to indicate the material and color of the balcony railings on sheet A3.0.1.
- 4. That a window and door schedule which provides window and door type, material, configuration, dimensions, and profile drawings be included on a separate plan sheet.



## **SECTION 4.5.1 HISTORIC PRESERVATION DISTRICTS AND SITES**

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

### **LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

Pursuant to LDR Section 4.5.1(E) - **Development Standards**: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

#### **Standard 1**

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

#### **Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The changes to the approved elevations are in relation to the architectural style of the structure and do not change the form of the building. The window openings (aluminum framed storefront system in dark bronze with clear Low-E glass) that "sit" on a defined building base lend a more residential nature to the proposed office building and help protect the historic integrity of the property and its environment. The massing of the building is mitigated by the forecourts that create a building setback which give the building a residential feel by separating the massing of the structure. The alternation of architectural elements such as awnings (black canvas) and aluminum overhangs (eyebrow in dark bronze) on the first floor and balconies with dark bronze aluminum railing and changes in roof design on the second floor also break up the massing of the building by giving the appearance of separate structures; thus, the proposal is compatible with the massing, size, scale, and architectural features of the residential character of the OSSHD and uses along NE 1st Street.

#### **Pursuant to LDR Section 4.5.1(E)(2) – Major and Minor Development.**

All development on properties in the OSSHAD district which are subject to CBD regulations pursuant to LDR Section 4.4.24(B)(12) is "Minor Development".

Pursuant to LDR Section 4.5.1(E)(7) - **Visual Compatibility Standards**: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

#### **Applicable Visual Compatibility Standards**

- (a) Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development.
- (b) Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- (c) Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- (d) Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- (e) Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- (f) Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- (g) Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- (h) Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- (i) Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- (j) Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development.
- (k) Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- (l) Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.

The front façade proportion of the proposed office is compatible with the Hyatt Place Hotel and Arts Garage on NE 1st Street and the forecourts help mitigate the overall size of the structure and create building widths that are compatible with the residential uses along NE 1st Street and within OSSHD. The proportion of windows and doors is compatible with commercial uses in the historic district that seek to maximize visibility with large windows and doors. On the first floor, the window openings (aluminum framed storefront system in dark bronze with clear Low-E glass) that “sit” on the Eldorado Precast Stone (Snowdrift Longitude24) lend a more residential nature to the proposed office building. Wall mounted fixtures (bronze finish) are proposed on the first floor. Aluminum framed doors (dark bronze) are proposed on the first and second floor. On the second floor, applied aluminum shutters



(dark bronze) are used on select windows to create visual interest. The project proposal has a consistent rhythm of solids to voids on the South and West elevations, as well as the North and East elevations which are not visible from the right of ways (NE 1st Street and NE 1st Avenue). Applied aluminum shutters (dark bronze) are proposed on a portion of the North elevation where the fire stairwell is located to maintain the rhythm of solids to voids despite the lack of openings. The forecourts create a variation of height and width that is characteristic of Anglo-Caribbean architecture. This architectural style is permitted within the Central Business District Architectural Design Guidelines and embodies styles permitted in OSSHD. The directional expression of the front elevation is characterized by building entrances with archways and forecourts. The choice of materials and colors are compatible with Anglo-Caribbean architecture and overall, the project proposal only introduces elements of one architectural style. Authentic materials such as wood (which is also commonly used in Anglo-Caribbean architecture) are proposed in the wood soffits of the decorative aluminum brackets and the ceilings of the forecourts. The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

#### ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Approve the Architectural Elevations and Certificate of Appropriateness (2018-055) for **105 NE 1<sup>st</sup> Street, Old School Square Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Sections 2.4.5(I)(5), 2.4.6(H)(5) and 4.5.1(E)(7).
- C. Deny the Architectural Elevations and Certificate of Appropriateness (2018-055) for **105 NE 1<sup>st</sup> Street, Old School Square Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof does not meet the criteria set forth in the Land Development Regulations Sections 2.4.5(I)(5), 2.4.6(H)(5) and 4.5.1(E)(7).

#### RECOMMENDATION

Approve the Architectural Elevations and COA for 2018-055 for **105 NE 1<sup>st</sup> Street, Old School Square Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Section 2.4.5(I)(5), 2.4.6(H)(5) and 4.5.1(E)(7).

#### NOTE:

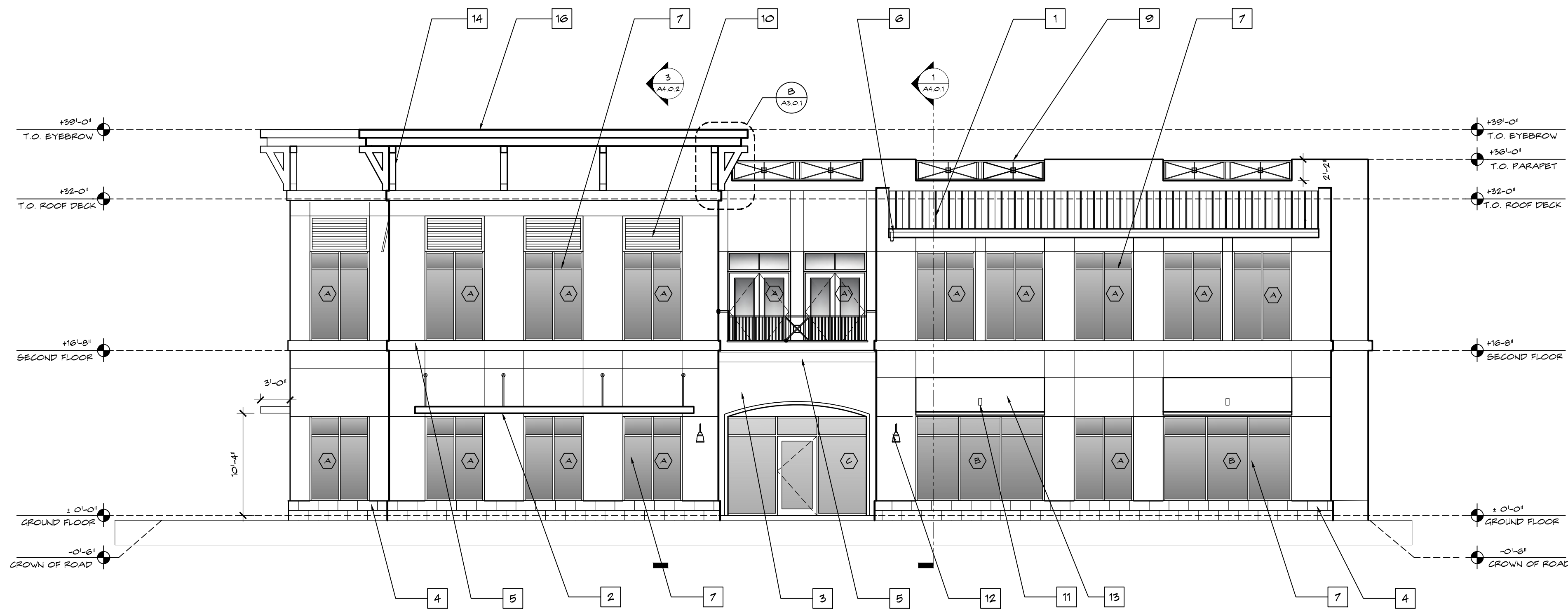
If the COA is approved, the following must be addressed prior to certification:

- 1. That building width dimensions be provided on sheet A3.0.1 and A3.0.2
- 2. That a note be added to indicate the color of the decorative aluminum brackets and the type of material that will be used for the wood soffit on sheet A3.0.1 and A3.0.2.
- 3. That a note be added to indicate the material and color of the balcony railings on sheet A3.0.1.
- 4. That a window and door schedule which provides window and door type, material, configuration, dimensions, and profile drawings be included on a separate plan sheet.

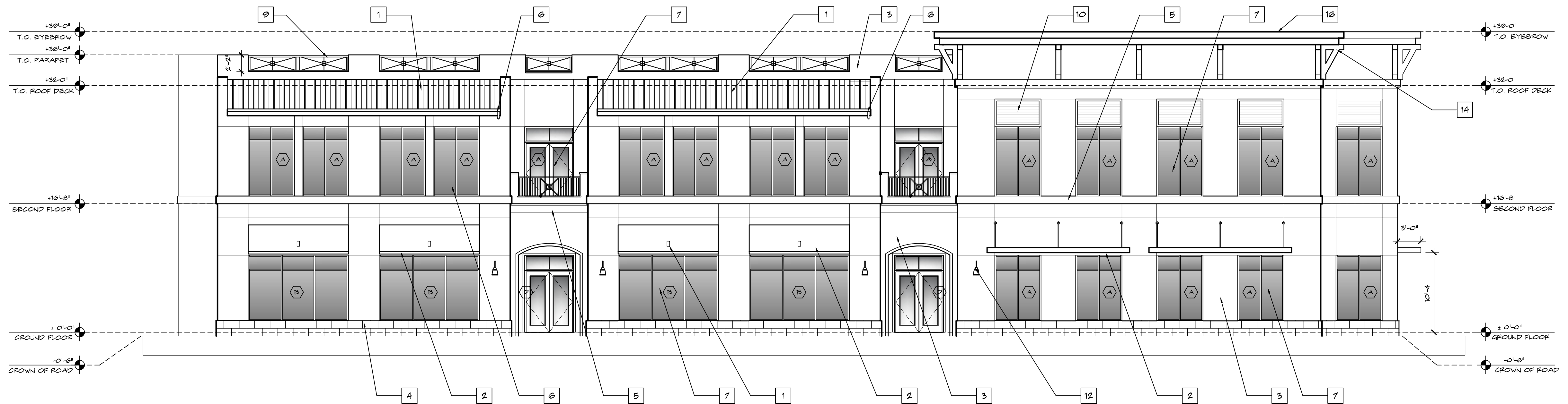
#### Attachments:

- Elevations

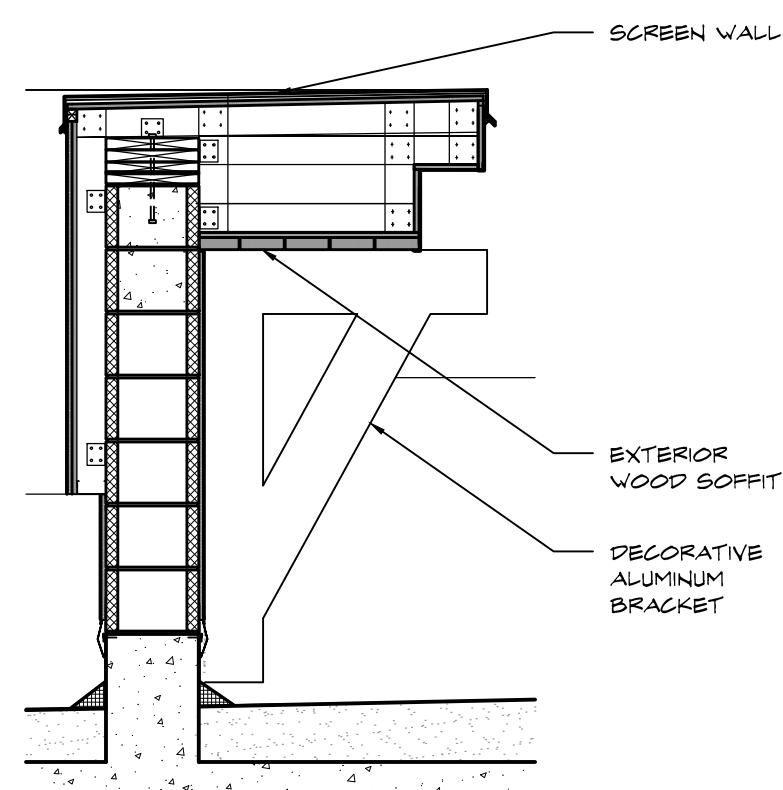
**Report Prepared By:** Abe Fogel, Assistant Planner



2 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



1 WEST ELEVATION  
SCALE: 1/8"=1'-0"



DETAIL AT  
**SCREEN WALL**  
SCALE: 1/2"=1'-0"



**A SOUTH & WEST ELEVATION ARTICULATION**  
SCALE: 1/8"=1'-0"

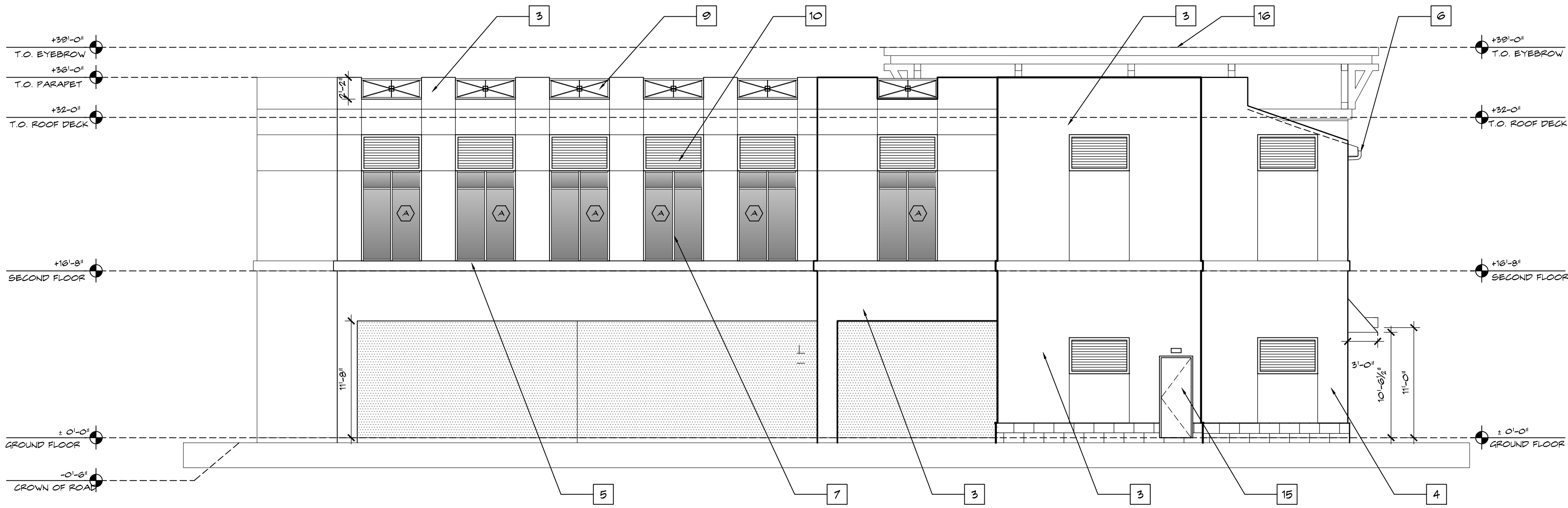


### ELEVATION NOTES

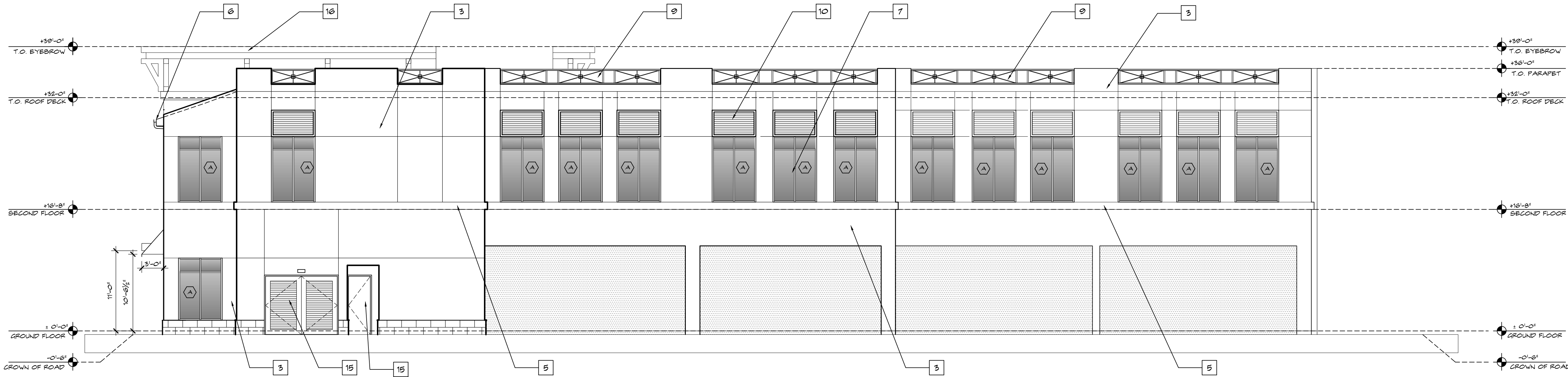
1. GROUND FLOOR WALL MINIMUM TRANSPARENCY AREA CALCULATIONS:  
(75% REQUIRED)  
N.E. 1ST STREET - 60% PROVIDED  
N.E. 1ST AVENUE - 60% PROVIDED
2. ALL STOREFRONT & GLASS AREAS ABUTTING THE STREET ARE TO BE TRANSPARENT, NON-SOLAR, NON-MIRRORF & LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.
3. ALL WINDOWS AND GLASS AREAS TO BE NON-SOLAR OR MIRRORF AND TO HAVE A LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.

## MATERIAL LEGEND

- 1 METAL ROOF (ENGLERT MILL FINISH GALVALUME-PLUS)  
4.5/12" TYP. SLOPE
- 2 ALUMINUM OVERHANG (DARK BRONZE)
- 3 SMOOTH STUCCO (BENJAMIN MOORE WHITE OPULENCE  
OC-89)
- 4 ELDORADO PRECAST STONE (SNOWDRIFT LONGITUDE24)
- 5 STUCCO BANDING (MONTEREY WHITE)
- 6 METAL GUTTER (ENGLERT MILL FINISH GALVALUME-PLUS)
- 7 ALUMINUM FRAMED STOREFRONT SYSTEM (DARK  
BRONZE) W/ CLEAR LOW E GLASS
- 8 NOT IN USE
- 9 ALUMINUM RAILING (DARK BRONZE)
- 10 APPLIED ALUMINUM SHUTTER (DARK BRONZE)
- 11 LIGHT SOURCE BEHIND CANVAS AWNING
- 12 WALL MOUNTED LIGHTING FIXTURE
- 13 CANVAS AWNINGS (BLACK)
- 14 DECORATIVE ALUMINUM BRACKET WITH WOOD SOFFIT
- 15 HOLLOW METAL DOOR (BLACK)
- 16 SCREIN WALL @ ROOF FOR MECH. EQUIPMENT



2 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



1 EAST ELEVATION  
SCALE: 1/8"=1'-0"

## ELEVATION NOTES

- GROUND FLOOR WALL MINIMUM TRANSPARENCY AREA CALCULATIONS: (75% REQUIRED)  
N.E. 1ST STREET - 60% PROVIDED  
N.E. 1ST AVENUE - 60% PROVIDED
- ALL STOREFRONT & GLASS AREAS ABUTTING THE STREET ARE TO BE TRANSPARENT, NON-SOLAR, NON-MIRRORRED W/ LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.
- ALL WINDOWS AND GLASS AREAS TO BE NON-SOLAR OR MIRRORRED AND TO HAVE A LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.

## MATERIAL LEGEND

- METAL ROOF (ENGLERT MILL FINISH GALVALUME-PLUS) 4.5°/12° TYP. SLOPE
- ALUMINUM OVERHANG (DARK BRONZE)
- SMOOTH STUCCO (BENJAMIN MOORE WHITE OPULENCE OC-69)
- ELDORADO PRECAST STONE (SNOWDRAFT LONGITUDE24)
- STUCCO BANDING (MONTEREY WHITE)
- METAL GUTTER (ENGLERT MILL FINISH GALVALUME-PLUS)
- ALUMINUM FRAMED STOREFRONT SYSTEM (DARK BRONZE) W/ CLEAR LOW E GLASS
- NOT IN USE
- ALUMINUM RAILING (DARK BRONZE)
- APPLIED ALUMINUM SHUTTER (DARK BRONZE)
- LIGHT SOURCE BEHIND CANVAS AWNING
- WALL MOUNTED LIGHTING FIXTURE
- CANVAS AWNINGS (BLACK)
- DECORATIVE ALUMINUM BRACKET WITH WOOD SOFFIT
- HOLLOW METAL DOOR (BLACK)
- SCREEN WALL @ ROOF FOR MECH. EQUIPMENT