

RESOLUTION NO. 84-18

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA, AUTHORIZING THE CITY TO SELL TO BUYER CERTAIN REAL PROPERTY IN PALM BEACH COUNTY, FLORIDA, AS DESCRIBED HEREIN; AND HEREBY EXECUTING A QUIT CLAIM DEED STATING THE TERMS AND CONDITIONS THEREOF.

WHEREAS, the City of Delray Beach, Florida ("City") is willing to convey certain property located on a portion of the northern twenty (20) feet of the lot located at 998 Pelican Lane, Town of Gulfstream, Florida ("Property") to Douglas B. Bowring and Emily G. Bowring, ("Buyers"). The Buyers currently own the remainder of the lot at 998 Pelican Lane; and

WHEREAS, according to a Quit Claim Deed dated April 26, 1958, attached as Exhibit "A", the Property is approximately 550 feet in size and was conveyed to the City for the purpose of "road, street, and public utility purposes"; and

WHEREAS, a portion of the Property is presently paved and used to widen the intersection and facilitate turns at Pelican Lane and Andrews Avenue.

WHEREAS, the City previously owned and maintained a sewer pipe near the Property, but that pipe was removed in 2000.

WHEREAS, the City has no file with respect to the Property and has no record of requesting or accepting the Quit Claim attached hereto, and has no current need for the Property, as it is located within the Town of Gulfstream and not in the City of Delray Beach; and

WHEREAS, the Buyers have requested the City quit claim its interest in the Property to Buyers. In exchange, Buyers will grant to the Town of Gulfstream an exclusive easement over this Property for right-of-way purposes.

WHEREAS, the City desires to convey this Property to the Buyers subject to the Town of Gulfstream accepting a right-of-way easement over the area. The City shall be responsible for recording both the quit-claim deed and the easement in order to ensure that this condition is met.

WHEREAS, it is in the best interest of the City of Delray Beach, Florida, to convey the Property to Buyer; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA, AS FOLLOWS:

Section 1. That the City Commission of the City of Delray Beach, Florida, as Seller, hereby agrees to sell Property to Douglas B. Bowring and Emily G. Bowring, as Buyers, for a purchase price of ten dollars (\$10) and other good and valuable consideration; said Property being described as follows:

A part of Lot 25 of Model Land Company's Subdivision in Section 9, Township 46 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows:

Beginning at a point in the North line of said Lot 25, according to the plat thereof recorded in Plat Book 8, Page 40, of the Public Records of Palm Beach County, Florida at a distance of 50 Westerly from the Northeast corner thereof; thence Easterly, along the North line of said Lot 25, a distance of 50 feet to the Northeast corner thereof; thence Southerly, along the Easterly line of said Lot 25, a distance of 50 feet; thence Northwesterly, along the arc of a curve concave to the Southwest and having a radius of 45.85 feet, a distance of 78.15 feet to the POINT OF BEGINNING, said parcel containing 544 square feet, more or less.

Section 2. That the terms and conditions contained in the Quit Claim deed between the City of Delray Beach, Florida, and Douglas B. Bowring and Emily G. Bowring are incorporated herein as Exhibit "B".

PASSED AND ADOPTED in regular session on the ____ day of _____, 2018.

ATTEST:

Shelly Petrolia, Mayor

Katerri Johnson, City Clerk

Approved as to form and legal sufficiency:

By: _____
R. Max Lohman, City Attorney

EXHIBIT "A"

This Quit-Claim Deed. Executed this 24th day of April A.D. 1958, by

ROBERT L. MOORE, JR., and EDITH C. MOORE, his wife,
first party to: City of Delray Beach, Florida

whose postoffice address: City of Delray Beach, City Hall, Delray Beach, Fla.

occurs, party

(Mikoyan said before the group "not just" and "not only" but "also" and "plus" but in a
 explanation, and said of individuals and the movement and action of organization members the ...
 we should not forget.)

Witnesseth, That the said first party, for and in consideration of the sum of \$12,000 - - -
in hand paid by the said second party, the receipt whereof is hereby acknowledged does hereby convey, re-
lease and quit-claims unto the said second party forever, all the right, title, interest, claims and demand which
the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being
in the County of **Palm Beach** State of **Florida** to wit:

A part of Lot 2; of Lodel Land Company's Subdivision in Section 7, Township 46 South, Range 43 East, Fair Beach County, Florida, more particularly described as follows:

Beginning at a point in the north line of said Lot 25, according to the plat thereof recorded in Plat Book 8, page 40, public records of Palm Beach County, Florida, at a distance of 50 feet westerly from the northeast corner thereof; thence easterly, along the north line of said Lot 25, a distance of 50 feet to the southeast corner thereof; thence southerly, along the easterly line of said lot 25, a distance of 50 feet; thence northwesterly, along the arc of a curve concave to the southwest and having a radius of 49.85 feet, a distance of 78.15 feet to the point of beginning, said parcel containing 544 square feet, more or less.

Said property to be used for road, street and public utility purposes.

To Have and to Hold One same together with all and singular the appurtenances thereto
belonging or in anywise appertaining, and all the estate, right, title, manner, law, equity and custom what
soever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said
second party forever,

In Witness Whereof, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

John W. Smith

Alta L. Elliott

Robert H. Moore, Jr. L.S.

Elith C. Moore

STATE OF FLORIDA,
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on the day before me, at

affairs duly authorized in the State thereof and in the Congress thereof as the acknowledged persons, personally sign and

ROBERT L. MOORE, JR. and EDITH C. MOORE, his wife.

to me known to be the person described in said who executed the foregoing instructions and they before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this

1958

4 Notary Seal

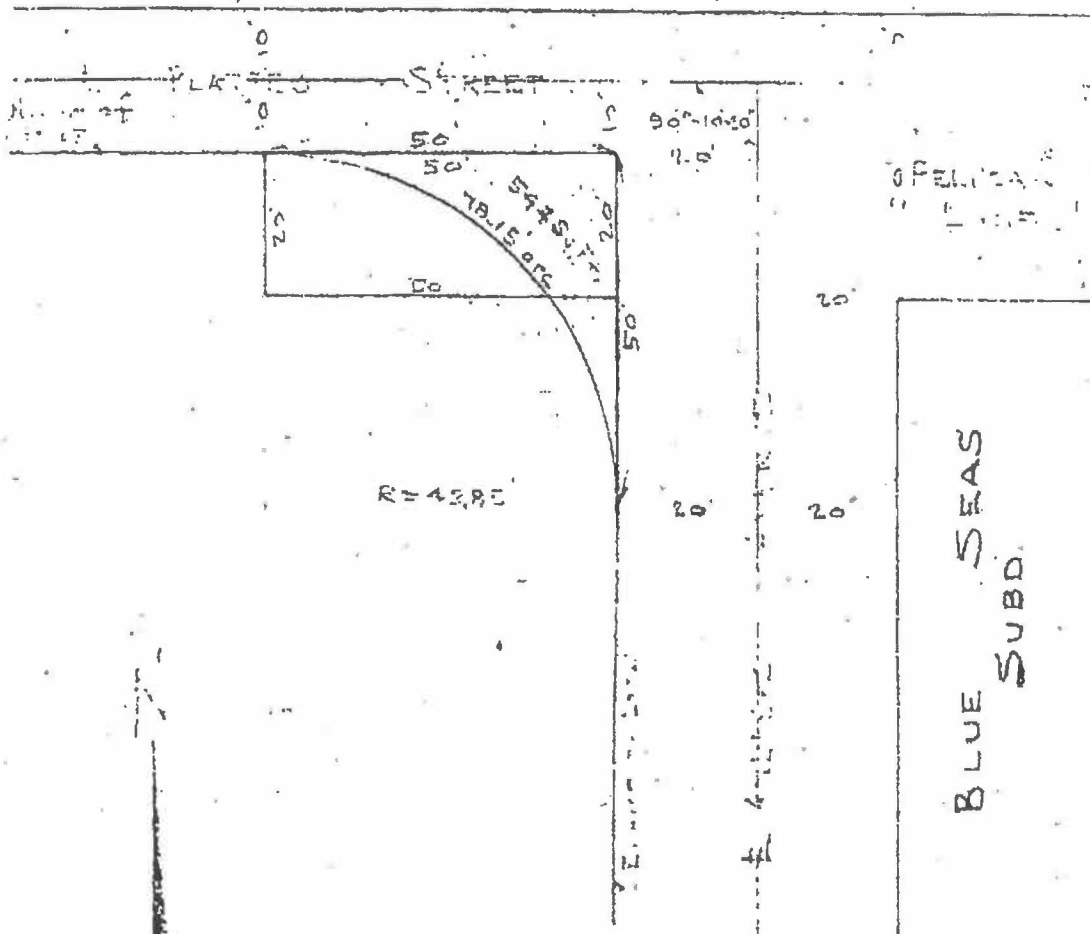
Notary Public, State of Fla. at Large
My commission expires: 12/31/2004

20. சென்னை-புதுச்சேரி வழியாக சென்னைக்கு வந்தார்.

Monterey Public Works at Monterey.
City Clerk's Office, Monterey, Cal., July 10, 1922
Bonds by American Surety Co. of N.Y.

Recorded in Official Record Book
of Palm Beach County, Florida

J. ALEX ARNETTE
CLERK OF CIRCUIT COURT



Recorded in Official Record Book.
of Palm Beach County, Florida
J. ALEX ARNETTE
CLERK OF CIRCUIT COURT

Revised: March 1976	
GEORGE S. BROCKWAY REGISTERED ENGINEER & SURVEYOR WEST PALM BEACH, FLORIDA	
SKETCH OF PART OF LOT 25 MODEL LAND CO'S SUBD. OF SEC. 9-46-43 GULF STREAM, FLORIDA FOR NOWLIN & ADAMS	
FIELD	SCALE: 1" = 20'
OFFICE	DATE: March 1976
DR. BY: G.S.B.	T.S. 8074 A
Ex. 2 - P. 100	

EXHIBIT "B"

This instrument was prepared by
and return to:

City Attorney's Office
200 N.W. 1st Avenue
Delray Beach, Florida 33444

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this _____ day of _____, 2018 by the **CITY OF DELRAY BEACH**, and having its principal place of business at 100 NW 1st Avenue, Delray Beach, FL 33444, First Party, to **DOUGLAS B. BOWRING and EMILY G. BOWRING**, a married couple, with a mailing address of 940 Kirkcrest Road, Alamo, CA, 94507-2440, Second Party:

(Whenever used herein the term "First Party" and "Second Party" include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporation, whenever the context so admits or requires.)

WITNESSETH, That the said First Party, for and in consideration of the sum of Ten Dollars (\$10.00) in hand paid by the said Second Party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said Second Party forever, all the right, title, interest, claim and demand which the said First Party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Palm Beach, State of Florida, to-wit:

See Exhibit "A"

TO HAVE and to HOLD the same together with all and singular the appurtenances thereunto belonging or anyway appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said First party, either in law or equity, to the only proper use, benefit and behoof of the said Second Party forever.

IN WITNESS WHEREOF the said First Party has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

[Signatures follow on next page]

IN WITNESS WHEREOF, First Party has signed these presents the day and year first above written.

FIRST PARTY:

Witness 1:

CITY OF DELRAY BEACH, FLORIDA

Print Name: _____

By: _____
Shelly Petrolia, Mayor

Witness 2:

Print Name: _____

ATTEST:
By: _____
City Clerk

Approved as to Form:
By: _____
City Attorney

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this ____ day of _____, 2018, by Shelly Petrolia, Mayor for the City of Delray Beach, a Florida corporation, on behalf of the corporation. He is personally known to me or has produced _____ as identification.

Signature of Notary Public - State
of Florida

EXHIBIT "A"

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