



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Wineroom (2018-101)  
**Project Location:** 411 E. Atlantic Avenue  
**Request:** Class I Site Plan Modification  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** June 27, 2018

**Board Action:**

Approved (7-0) the Class I Site Plan Modification for architectural elevation changes.

**Project Description:**

The subject 0.30 acre property consists of a two-story building located in the Central Business District (CBD) within the Central Core (CC) sub-district. The building, known as the Arcade Building, was constructed in 1925 by builder Adolph Hoffman and designed by Samuel Ogren, Sr. (Delray's first registered architect). Currently, the mixed-use building is comprised of commercial and restaurant uses along the sidewalk level and office spaces on the second floor. The subject modification request is associated with architectural elevation changes to accommodate a new tenant in the existing restaurant space and the retail space to the east. The proposed modifications along the front façade facing East Atlantic Avenue include the enclosure of the arched restaurant entrance with a Mahogany wood finish folding storefront system and relocation of the retail entrance door. Modifications to the north (rear) elevation include the introduction of a metal screen to cover the roof equipment, installation of new wood finish double service doors and enclosure and relocation of two service doors.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:**

No associated actions.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.

# SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

**MEETING DATE:** June 27, 2018

**ITEM:** **Wineroom (2018-101):** Class I Site Plan Modification associated with architectural elevation changes to the north and south elevations to accommodate a new tenant located at 411 E. Atlantic Avenue.

**RECOMMENDATION:** Approval of the Class I Site Plan Modification

## GENERAL DATA:

Applicant..... Andrioff Construction, Inc.

Owner..... Love LLC/ Love 411, LLC

Location..... 411 East Atlantic Avenue – North side of East Atlantic Avenue just east of NE 4th Avenue

Property Size..... 0.30 acres

Future Land Use Map.... CC (Commercial Core)

Current Zoning..... CBD (Central Business District)

Adjacent Zoning. North: CBD  
East: CBD  
South: CBD  
West: CBD

Existing Land Use..... Mixed Commercial, Office and Restaurant

Proposed Land Use.... Mixed Commercial, Office and Restaurant

Water Service..... Existing on site

Sewer Service..... Existing on site



## ITEM BEFORE THE BOARD

The item before the Board is approval of a Class I Site Plan Modification associated with architectural elevation changes for **Wineroom**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a). The subject property is located at 411 E. Atlantic Ave. on the north side of East Atlantic Avenue just east of SE 4th Avenue.

## BACKGROUND INFORMATION AND PROJECT DESCRIPTION

The subject 0.30 acre property consists of a two-story building located in the Central Business District (CBD) within the Central Core (CC) sub-district. The building, known as the Arcade Building, was constructed in 1925 by builder Adolph Hoffman. The structure housed Delray's oldest restaurant and offices. The 2-story building is an excellent example of the Mediterranean Revival architectural style with a textured stucco exterior, cast concrete ornamentation on the façade, 2 large cupolas topped in Spanish barrel tile, a storefront window system on the ground floor and single-hung windows on the second floor. The original structure was constructed with a central courtyard, large 1<sup>st</sup> floor entry hall, glass ceiling over the central courtyard with fountain in the center. The prominent glass ceiling is well known by locals and still exists today.

The 2<sup>nd</sup> floor offices were home to many well-known American cartoonists and artists during the winter months including Fontaine Fox of "Toonerville Trolley" fame, Woody Cowan who created "Major Hoople", Hugh McNair Kahler and Walter Pat Enright who drew political cartoons. The Arcade Tap Room restaurant was host to an interesting assortment of celebrities ever since the years when the "artists colony" gathered around a large table there each morning; *(details above from Florida Master Site File forms for the property and historic building permit cards.)*

This structure is not designated as a local individually historic property, but it qualifies for listing to both the local and national registers of historic places on the merits of its architectural, historical and cultural significance.

At its meeting of August 23, 2006, a Class I Site Plan Modification was approved by the Site Plan Review and Appearance Board (SPRAB) for the removal of the existing glass/aluminum storefront to restore the arched opening (restaurant entrance) to its original building design.

Currently, the mixed-use building is comprised of commercial and restaurant uses along the sidewalk level and office spaces on the second floor. The subject modification request is associated with architectural elevation changes to accommodate a new tenant in the existing restaurant space and the retail space to the east. The subject restaurant and retail spaces were most recently occupied by Café Martier. Other restaurants have been previously operated at this location including Peter's Stone Crabs, Arcade Tap Room, Little Mermaid, and Goal Brazilian Steakhouse.

Now before the Board is a Class I Site Plan Modification associated with architectural elevation changes to the front (south) façade and north (rear) elevation. The proposed modifications along the front façade facing East Atlantic Avenue include the enclosure of the arched restaurant entrance with a Mahogany wood finish folding storefront system and relocation of the retail entrance door. Modifications to the north (rear) elevation include the introduction of a metal screen to cover the roof equipment, installation of new wood finish double service doors and enclosure and relocation of two service doors.

## ARCHITECTURAL ELEVATIONS ANALYSIS

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposal is associated with architectural elevation changes to the front (south) façade and north (rear) elevation. The proposed modifications along the front façade facing East Atlantic Avenue include the enclosure of the arched restaurant entrance with a Mahogany wood finish folding storefront system and relocation of the retail entrance door. The proposed Mahogany wood storefront frame is required to incorporate the Storefront Frontage Type requirements as this area of Atlantic Avenue is designated to integrate required retail frontage design, per LDR Section 4.4.13(E). As shown on the chart below, the proposed modifications comply with the dimensional requirements for Storefront Frontage Type:

Storefront Frontage Type	Dimensional Requirements		Provided
	Minimum	Maximum	East Atlantic Avenue
Storefront Width – Restaurant Space	N/A	75'	23'-9"
Storefront Base	9"	3'	2'-6"
Glazing Height	8'	---	8'-4"
Required Openings	80%	---	80.3%
Awning Projection	3'	---	N/A

The existing arched restaurant entrance architectural features and the silver stainless storefront frames along the commercial bays are not proposed to be modified. Changes to the north (rear) elevation include the introduction of a 6'-11" high metal screen to screen the proposed roof equipment, installation of new wooden finish double service doors and enclosure and relocation of two service doors. The proposed metal screen will be painted beige which is the existing rear elevation primary wall color. The height and opacity of the proposed metal screen is required to fully cover and buffer the roof equipment.

The proposed architectural elevation changes will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

<b>REVIEW BY OTHERS</b>
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At its meeting of June 11, 2018, the **Downtown Development Authority (DDA)** reviewed the development proposal and recommended approval.

<b>ALTERNATIVE ACTIONS</b>
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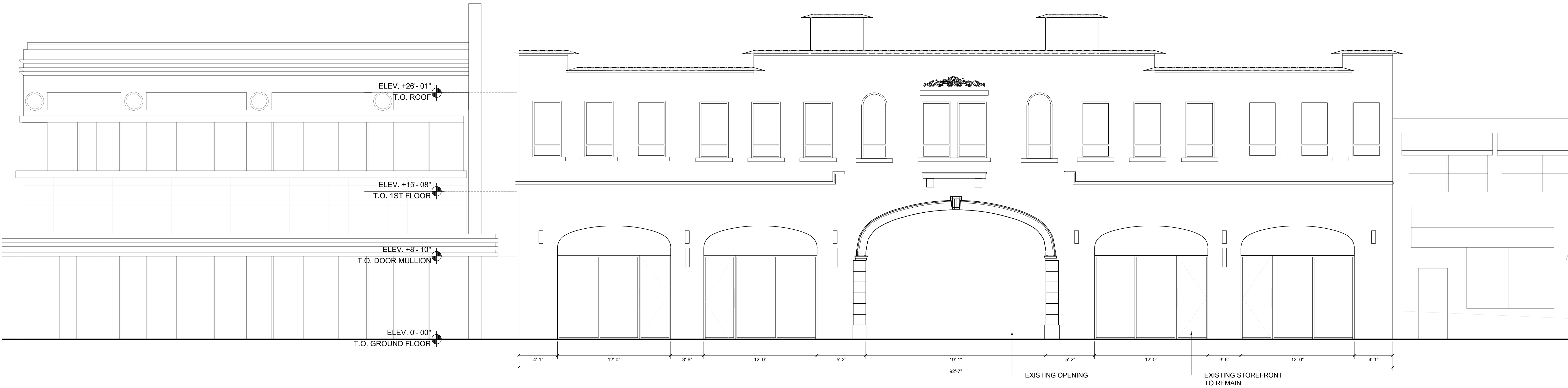
- A. Continue with direction.
- B. Move approval of the request for a Class I site plan modification for elevation changes for the **Wineroom (File 2018-101)** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.
- C. Move denial of the request for a Class I site plan modification, for elevation changes for the **Wineroom (File 2018-101)** by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

<b>STAFF RECOMMENDATION</b>
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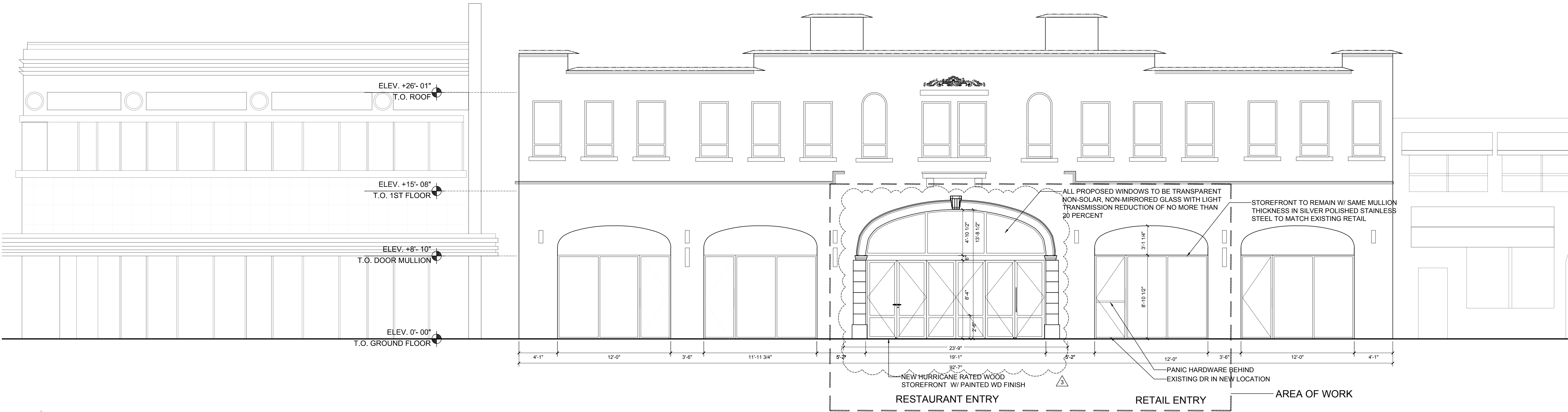
Move approval of the Class I Site Plan Modification and architectural elevations for **Wineroom (File 2018-101)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

Staff Report Prepared by: Debora Slaski, Planner  
Attachments: Survey, Renderings, Elevations.





1 | EXISTING FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



2 | PROPOSED FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE:  
NEW STOREFRONT GLAZING COMPLIES W/ LDR  
SECTION 4.4.13 (F) (5) (2)

DIMENSIONAL REQUIREMENTS FOR STOREFRONTS - TABLE 4.4.13(i)	MINIMUM		MAXIMUM	PROVIDED
				EAST ATLANTIC AVE
STOREFRONT WIDTH	N/A		75'	23'-9" - EXISTING
STOREFRONT BASE	9"		3'	2'-6"
GLAZING HEIGHT	8'		--	8'-4" PLUS 4'-10-1/2" TRANSOM
REQUIRED OPENINGS	80%		--	19'-1" / 23'-9" = 229"/285" 80.3% - EXISTING

PROJECT TEAM:

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## DRAWING SET

REVISED 6.12.18

REVISED 5.25.18

REVISED 5.23.18

REV. NO. DATE COMMENTS

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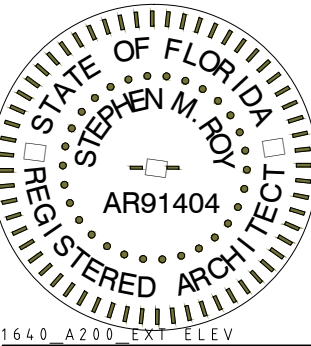
PROJECT:

**WINEROOM**  
411 E ATLANTIC AVE  
DELRAY BEACH, FL 33483

DRAWING TITLE:

**FRONT  
ELEVATION**

SEAL & SIGNATURE



DATE: 6.12.2018

PROJECT NO. 1-1640

DRAWING BY: AS + SC

CHK BY: TM

DRAWING NO.

**A200.00**

1640\_A200\_EXT\_ELEV

1 OF 6

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DRAWING SET

REVISED 6.12.18	
REVISED 5.25.18	
REVISED 5.23.18	

REV NO DATE COMMENTS

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PROJECT:

**WINEROOM**  
411 E ATLANTIC AVE  
DELRAY BEACH, FL 33483

DRAWING TITLE:

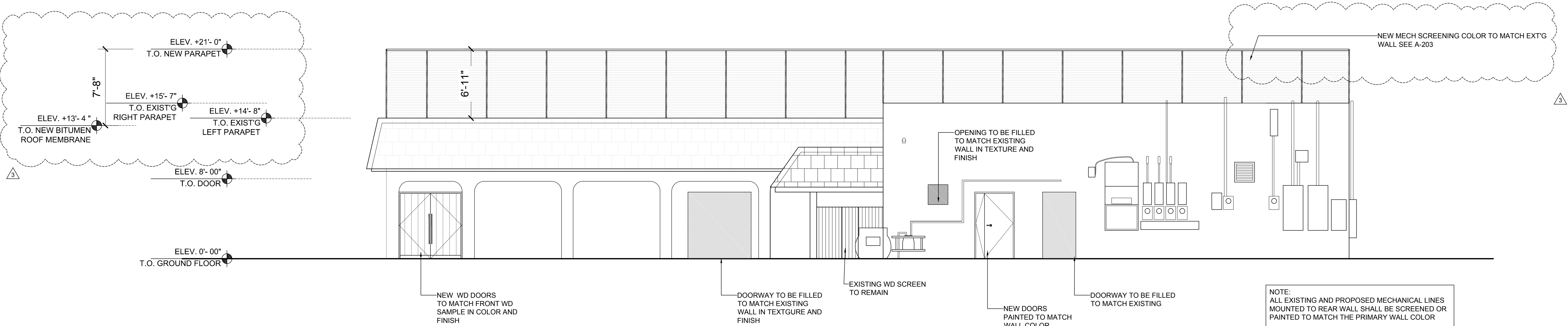
REAR  
ELEVATION

SEAL & SIGNATURE	DATE: 6.12.2018
PROJECT NO. 1-1640	
DRAWING BY: AS + SC	
CHK BY: TM	
DRAWING NO.	
<b>A201.00</b>	
1640 A200 EXT ELEV	1 OF 6



1 EXISTING REAR ELEVATION

SCALE: Custom



2 PROPOSED REAR ELEVATION

SCALE: 3/16" = 1'-0"





1 | PROPOSED FRONT ELEVATION  
SCALE: NTS



2 | PROPOSED FRONT PERSPECTIVE  
SCALE: NTS

3

PROJECT TEAM:	
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DRAWING SET

3	REVISED 6.12.18
3	REVISED 5.25.18
3	REVISED 5.23.18

REV	NO	DATE	COMMENTS
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PROJECT: **WINEROOM**  
411 E ATLANTIC AVE  
DELRAY BEACH, FL 33483

DRAWING TITLE: **RENDERED FRONT ELEVATION**

SEAL & SIGNATURE	DATE: 6.12.2018
PROJECT NO. 1-1640	
DRAWING BY: AS + SC	
CHK BY: TM	
DRAWING NO.	A202.00
1640 A200 EXT ELEV	1 OF 6





1 PROPOSED REAR ELEVATION  
SCALE: NTS

3



2 EXISTING REAR ELEVATION  
SCALE: NTS

PROJECT TEAM:

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DRAWING SET

3 REVISED 6.12.18

2 REVISED 5.25.18

1 REVISED 5.23.18

REV NO DATE COMMENTS

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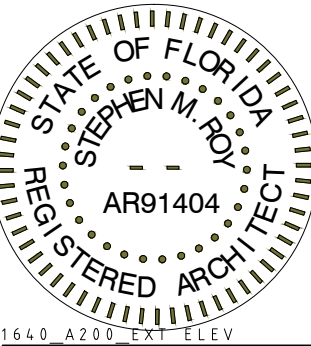
PROJECT:

**WINEROOM**  
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DELRAY BEACH, FL 33483

DRAWING TITLE:

RENDERED REAR  
ELEVATION

SEAL & SIGNATURE



DATE: 6.12.2018

PROJECT NO. 1-1640

DRAWING BY: AS + SC

CHK BY: TM

DRAWING NO.

**A203.00**

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1 OF 6