



*Planning, Zoning and Building Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Crossroads Club  
**Project Location:** 1700 Lake Ida Rd  
**Request:** Approval of a Class III Site Plan Modification  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** October 10, 2018

**Board Action:**

Approved (7-0)

**Project Description:**

The subject property consists of a portion of Lot 20, Block 1 of the Delray Shores Subdivision recorded in the Plat Book 24, Pages 232 and 233 and contains 2.02 acres. The subject property has a CMR (Commerce) Future Land Use Map and CF (Community Facilities) zoning map designation.

The property, which was owned by the City of Delray Beach, was annexed on September 25, 1972. The City constructed 3,600 square feet of warehouse and office building area in 1975 on the subject property. As part of the Citywide rezoning in October 1990, the property was rezoned from Community Commercial (CC) to Community Facilities (CF). Afterwards, the City's Public Works Division utilized the property for various storage activities. The subject property was sold to CRC Recovery Foundation in May 2005.

This project is associated with the construction of a 520 square feet single story structure of office space and conversion of the existing 250 square feet storage space to office space.

The development proposal consists of the following:

- Construction of a single story 520 square feet structure addition along the northwest side of the property of office space;
- Conversion of the existing 250 square feet storage building on the northwest side of the property to office space;
- Addition of a new handicap parking space, a 4 feet wide concrete walkway and white striped crosswalk, and awnings;
- Installation of associated site lighting and landscaping throughout the site.

**Staff Recommendation:**

Approve

**Board Comments:**

Appealable Item Report

Board comments supportive of the request.

**Public Comments:**

None

**Associated Actions:**

N/A

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.

# SITE PLAN REVIEW AND APPEARANCE BOARD

CITY OF DELRAY BEACH

---STAFF REPORT---

**MEETING DATE:** October 10, 2018

**ITEM:** **Crossroads Club (2018-140):** Class III Site Plan Modification, Landscape Plan and Architectural Elevations associated with the construction of a single story structure and conversion of storage space to office space located on 1700 Lake Ida Rd.

**RECOMMENDATION:** Approval

## GENERAL DATA:

Agent/Applicant..... CSA Architects  
Owner..... CRC Recovery Foundation  
Location..... 1700 Lake Ida Rd.  
Property Size..... 2.02 Acres  
Future Land Use Map.... CMR (Commerce)  
Current Zoning..... CF (Community Facilities)  
Adjacent Zoning. North: PCC (Planned Commerce Center)  
East: MIC (Mixed Industrial and Commerce)  
South: CF  
West: PCC  
Existing Land Use..... Meeting Hall/Office  
Proposed Land Use.... Meeting Hall/Office  
Water Service..... Existing on site  
Sewer Service..... Existing on site



### ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class III Site Plan Modification request for **Crossroads Club**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(c):

- ☐ Site Plan Modification;
- ☐ Landscape Plan; and,
- ☐ Architectural Elevations.

The subject property is located at the southwest corner of Lake Ida Road and the SAL railroad right-of-way (1700 Lake Ida Rd).

### BACKGROUND INFORMATION

The subject property consists of a portion of Lot 20, Block 1 of the Delray Shores Subdivision recorded in the Plat Book 24, Pages 232 and 233 and contains 2.02 acres.

The property, which was owned by the City of Delray Beach, was annexed on September 25, 1972. The City constructed 3,600 square feet of warehouse and office building area in 1975 on the subject property. As part of the Citywide rezoning in October 1990, the property was rezoned from Community Commercial (CC) to Community Facilities (CF). Afterwards, the City's Public Works Division utilized the property for various storage activities. The subject property was sold to CRC Recovery Foundation in May 2005.

At its meeting of July 27, 2005, the Site Plan Review and Appearance Board approved a Class IV site plan modification to expand on the existing building and improve the property in association with the establishment of an alcohol and drug abuse counseling facility.

Now before the Board for consideration is a Class III Site Plan modification associated with the construction of a 520 square feet single story structure of office space and conversion of the existing 250 square feet storage space to office space.

### PROJECT DESCRIPTION

The development proposal consists of the following:

- Construction of a single story 520 square feet structure addition along the northwest side of the property of office space;
- Conversion of the existing 250 square feet storage building on the northwest side of the property to office space;
- Addition of a new handicap parking space, a 4 feet wide concrete walkway and white striped crosswalk, and awnings;
- Installation of associated site lighting and landscaping throughout the site.



## SITE PLAN MODIFICATION ANALYSIS

### **COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

### **LDR Section 4.3.4(K) Development Standards Matrix:**

		Required	Provided
Open Space		25%	34.9%
Minimum Setback	<i>North</i>	*see discussion below	
	<i>South</i>	10'	98'
	<i>West</i>	10'	60'
	<i>East</i>	15'	104'
Building Height		48'	10'

### **\*Special Building Setback:**

Pursuant to LDR Section 4.3.4(H)(6)(a), a 64' building setback is required on both sides of the centerline of the road. Within this area no structures shall be altered, erected, or reconstructed. The development proposal complies with this requirement since a setback of approximately 304' is provided between the building addition and the centerline of Lake Ida Rd.

### **LDR Chapter 4.6 Supplemental District Regulations:**

#### **Parking Requirements:**

Pursuant to LDR section 4.6.9(C)(4)(a), the required parking for office is 4 spaces per 1,000 square feet (sf) for the first 3,000 sf and then 3.5 spaces per 1,000 sf. Additionally, the required parking for the meeting hall is 1 space per 50 square feet. The existing meeting hall of 3,600 sf requires 72 parking spaces. The existing office of 3,350 sf requires 12 parking spaces. With the addition of the proposed 770 square feet, 4 additional parking spaces are proposed. The proposed development meets parking requirements with a surplus of 13 parking spaces.

## LANDSCAPE PLAN ANALYSIS

A landscape plan has been submitted and evaluated by the City's Senior Landscape Planner and found to be adequate. The plans provide for perimeter and interior landscape areas adjacent to the existing building and parking area. As there are overhead utilities along the north and east sides of the property, the trees will comply with Florida Power and Light's "right tree, right place" guidelines. The trees along the area of construction will consist of 1 Triple Christmas Palm, 1 Live Oak, and 2 Mahogany along with Cocoplum hedges to screen the proposed air conditioning units. The existing 2 Ligustrum trees and 1 Mahogany are to remain.

## ARCHITECTURAL ELEVATIONS ANALYSIS

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of

plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The existing storage building's facade will remain the same, except for the addition of a dark green canvas awning on the west elevation. The proposed building's design consists of dark green canvas awnings, aluminum windows, and light textured stucco walls to match the existing building. The elevations of the proposed building consist of minimal design features with square windows and modular structure matching the existing building. The following color pallet is to match the existing building to the proposed new building. The fascia and the walls will be painted Simply White. The windows and doors trim will be painted White. The awnings will be painted Foirest Green. The exterior aluminum doors and windows will be painted White with Grey tinted glass. Gutters and downspouts will be painted White Aluminum.

The proposed architectural elevation change will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

<b>REQUIRED FINDINGS</b>
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**Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:**

**LDR Section 3.1.1(A) - Future Land Use Map:**

The subject property has a CMR (Commerce) Future Land Use Map and CF (Community Facilities) zoning map designation. Pursuant to the LDR Section 4.4.21(B)(8), clubs and lodges are permitted uses in the CF zoning district provided that they not serve or consume alcoholic beverages on the property. Pursuant to the Comprehensive Plan Future Land Use Element, the CF zoning district is consistent with the CMR Future Land Use Map designation. Based on the above, it is appropriate to make a finding with respect to consistency with the Future Land Use Map (FLUM) designation.

**LDR Section 3.1.1(B) - Concurrency:**

As described in Appendix “A”, a positive finding of Concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, open space, solid waste, and schools.

**LDR Section 3.1.1(C) - Consistency:**

As described in Appendix “B”, a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions.

**LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:**

As described under the Site Plan analysis of this report, a positive finding of compliance with the LDR can be made when all outstanding items attached as conditions of approval are addressed.

LDR Section 2.4.5(F)(5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

**Comprehensive Plan Policies:**

A review of the Comprehensive Plan has been conducted and the following objective is applicable:

**Future Land Use Element Objective A-1:** Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

This development will convert the inactivated storage building into an activated office space and provide an additional new building adjacent to the storage for further office use. The proposed development of the subject property is consistent with the development pattern of the surrounding area.

<b>REVIEW BY OTHERS</b>
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The development proposal is not located within a geographical area requiring review by the PGMS (Pineapple Grove Main Street), CRA (Community Redevelopment Agency) or the DDA (Downtown Development Authority).

**Courtesy Notices:**

Courtesy notices have been provided to the following homeowner’s associations that have requested notice of developments in their areas:

- Delray Shores
- Rainberry Lakes Villas

Letters of support and objection, if any, will be presented at the SPRAB meeting.

**Public Notices:**

No public notice is required for Class III Site Plan Modification applications. Letters of objection, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

### ASSESSMENT AND CONCLUSION

The proposed development is to convert the storage space into an office space and construct an additional office building for office space. The development will be compatible with the surrounding areas. The use is consistent with the Future Land Use designation and uses permitted within the zoning district.

The project is consistent with the policies of the Comprehensive Plan and Land Development Regulations provided the attached conditions of approval are addressed.

### STAFF RECOMMENDATION

#### ***By Separate Motions:***

##### Site Plan:

Move **approval** of the Class III Site Plan Modification for the **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(1)(c) and Chapter 3 of the Land Development Regulations, subject to the following condition:

1. Relocation and addition of stop signs to satisfy public safety at the northwest entrance per City Engineer.

##### Landscape Plan:

Move **approval** of the landscape plans for **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16 of the Land Development Regulations.

##### Architectural Elevations:

Move **approval** of the architectural elevations for **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

### ALTERNATIVE ACTIONS

- A. **Continue** with direction.
- B. Move **approval** of the request for a Class III Site Plan Modification, Architectural Elevations, and Landscape plans for the **Crossroads Club (File 2018-140)** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G), 4.4.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

- C. Move **denial** of the request for a Class III Site Plan Modification, Architectural Elevations, and Landscape plans for the **Crossroads Club (File 2018-140)** by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G), 4.4.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

Staff Report Prepared by: Raisa Saniat, Planner in Training

Attachments: Site Plan, Landscape Plan, and Architectural Elevations

<b>APPENDIX "A"</b> <b>CONCURRENCY FINDINGS</b>
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**Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:**

Water and Sewer: With respect to water and sewer services, the following is noted:

- Water service exists to the site via 2" service lateral connection to a 20" water main along Lake Ida Rd. Adequate fire suppression is provided via an existing fire hydrant at the northeast corner of the Congress Commerce Center development.
- Sewer service exists via a service lateral connection to an existing 18" main along Lake Ida Rd.

The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population based on the current FLUM. The proposal will have an insignificant impact on all public services. Thus, a positive finding with respect to this level of service standard can be made.

Streets and Traffic:

A traffic impact statement has been submitted that indicates that the addition of 770 square feet to the existing 6,950 square feet will generate a net new increase of 12 external daily trips, 1 net new external AM peak hour trip, and 2 net new external PM peak hour trips. The proposed modifications will meet the requirements of the Palm Beach County Traffic Performance Standards Ordinance.

Parks and Recreation Facilities:

Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste:

Based upon the Solid Waste Authority's Trash Generation Rates, trash generated each year by the additional 770 square feet will be 2.08 tons/year (5.4 pounds per square feet). The existing 6,950 square feet generated a total of 41 tons/year. The total trash generated now will be 43 tons/year. As this parcel was envisioned for this type of use, it was factored into the countrywide assessment for solid waste.

Drainage:

Drainage is accommodated on site via sheet flow and roof drain to an exfiltration system with outfall to a retention area on the north side of the building. There should be no impact on drainage as it related to this level of service standard.

**APPENDIX "B"**  
**STANDARDS FOR SITE PLAN ACTIONS**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable \_\_\_\_\_  
Meets intent of standard   X    
Does not meet intent \_\_\_\_\_

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable   X    
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical**



**considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Not applicable     X      
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.**

Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.**

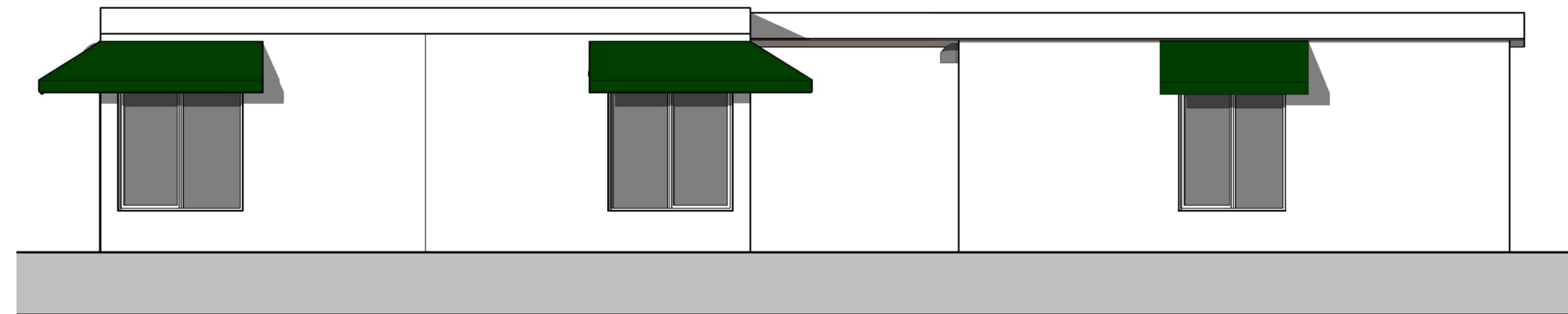
Not applicable \_\_\_\_\_  
Meets intent of standard     X      
Does not meet intent \_\_\_\_\_

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.**

Not applicable     X      
Meets intent of standard \_\_\_\_\_  
Does not meet intent \_\_\_\_\_

# CROSSROADS - ANNEX BUILDING

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445



## ARCHITECT

**CURRIE SOWARDS AGUILA ARCHITECTS**

185 NE 4th Avenue  
Delray Beach, FL 33483  
TEL: 561-276-4951  
FAX: 561-243-8184

**STRUCTURAL ENGINEER :**

**McCARTHY AND ASSOCIATES**

601 North Congress Avenue  
Suite 106A  
Delray Beach, Florida 33483  
TEL: 561 921-0338  
FAX: 561 921-0340

**M.E.P. ENGINEER:**

**THOMPSON AND YOUNGROSS ENGINEERING  
CONSULTANTS**

112 S.E. 10TH STREET  
DELRAY BEACH, FLORIDA 33483  
TEL: 561 274-0200  
FAX: 561 274-0222

**CIVIL ENGINEER:**

**IG DIVERSIFIED CONSTRUCTION AND  
ENGINEERING SERVICES, INC.**

2295 N.W. CORPORATE BLVD.  
SUITE 125  
BOCA RATON, FL 33431  
TEL: 561 750-3717

**LANDSCAPE ARCHITECT:**

**DAVE BODKER LANDSCAPE  
ARCHITETURE/PLANNING, INC.**

601 N. CONGRESS AVENUE  
SUITE 105-A  
DELRAY BEACH, FL 33445  
TEL: 561 276-6311

SHEET #	SHEET NAME		
A0.00	COVER	S-1	SURVEY
A0.01	VICINITY MAP	C0	CIVIL COVERSHEET
A1.01	SITE PLAN	C1of2	SITE IMPROVEMENT PLAN
A1.02	COMPOSITE OVERLAY PLAN	C2of2	SITE IMPROVEMENT DETAILS
A2.01	FIRST FLOOR PLAN		
A2.02	ROOF PLAN	L-1	PLANTING PLAN
A3.01	ELEVATIONS	L-2	SPECIFICATIONS, DETAILS AND NOTES
A3.02	COLORLED ELEVATIONS		
A7.01	SECTIONS	E4	PHOTOMETRIC PLAN

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8/15/2018 10:04:45 AM



1 VICINITY MAP  
A0.01 1" = 200'-0"



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ISSUED FOR :

BIDS

PERMIT

CONSTRUCTION

SEAL

JESS M. SOWARDS  
FL. REG# AR0013205

PROJECT TITLE

**CROSSROADS -  
ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS		
NUM.	DESCRIPTION	DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

J:\180107\_CROSSROADS OFFICE  
ANNEX\A01-DRAWINGS\180107\_Central -  
Crossroads Office Annex.rvt

DRAWING TITLE

**VICINITY MAP**

DATE 08/15/2018 DRAWN BY KAB

JOB NUMBER 180107

DRAWING NUMBER

**A0.01**

SPRAB RESUBMITTAL 08/15/18



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FL REG # AR0013205

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**CROSSROADS -  
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J:\180107\_CROSSROADS OFFICE  
ANNEX\A1.01-DRAWINGS\180107\_Central -  
Crossroads Office Annex.rvt

DRAWING TITLE

**SITE PLAN**

DATE  
08/15/2018

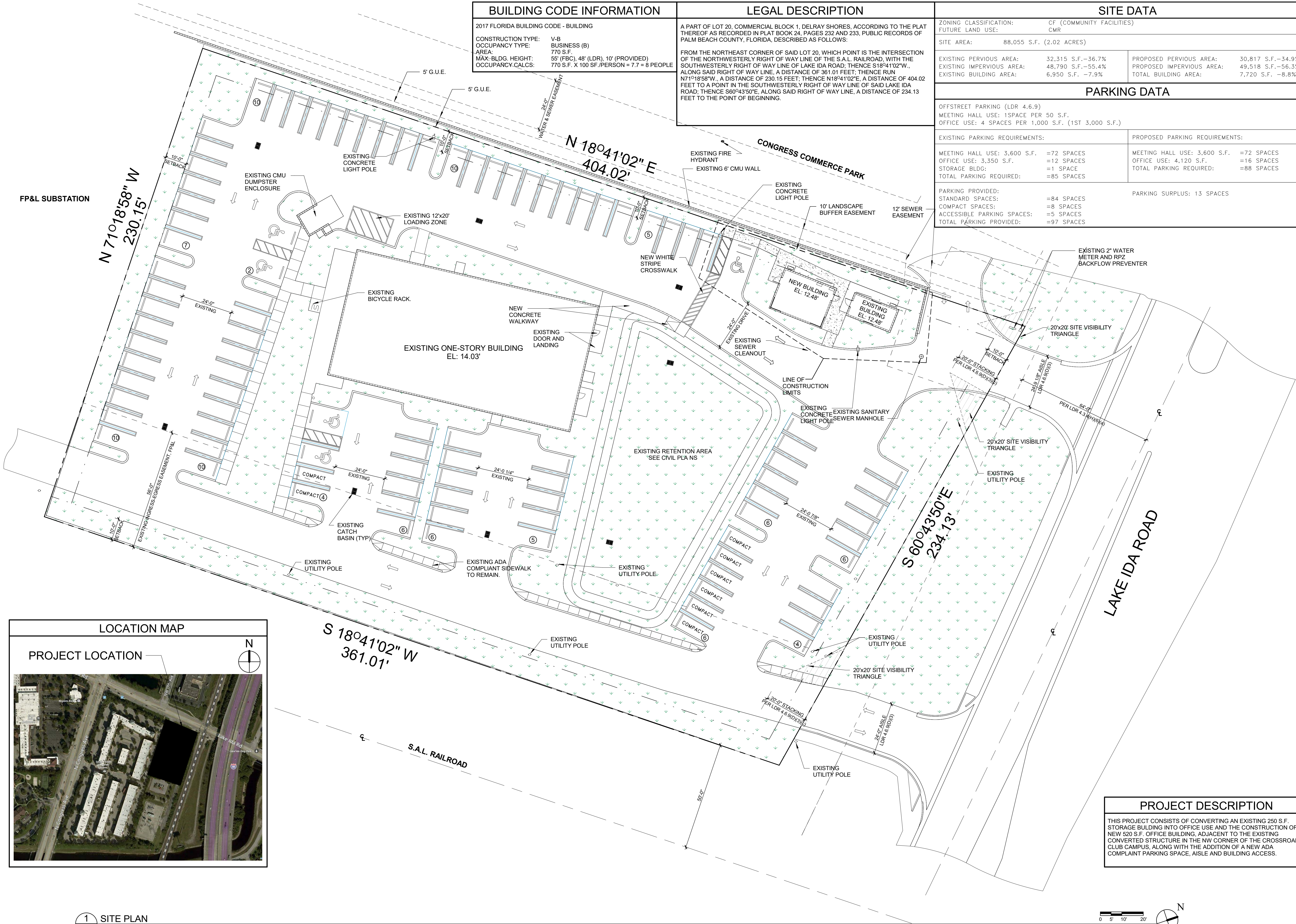
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KAB

JOB NUMBER  
180107

DRAWING NUMBER

**A1.01**

BUILDING CODE INFORMATION		LEGAL DESCRIPTION		SITE DATA	
2017 FLORIDA BUILDING CODE - BUILDING		A PART OF LOT 20, COMMERCIAL BLOCK 1, DELRAY SHORES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGES 232 AND 233, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:		ZONING CLASSIFICATION: CF (COMMUNITY FACILITIES)	
CONSTRUCTION TYPE: V-B		FROM THE NORTHEAST CORNER OF SAID LOT 20, WHICH POINT IS THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY LINE OF THE S.A.L. RAILROAD, WITH THE SOUTHWESTERLY RIGHT OF WAY LINE OF LAKE IDA ROAD, THENCE S18°41'02"W., ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 361.01 FEET, THENCE RUN N71°18'58"W., A DISTANCE OF 230.15 FEET; THENCE N18°41'02"E, A DISTANCE OF 404.02 FEET TO A POINT IN THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID LAKE IDA ROAD, THENCE S60°43'50"E, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 234.13 FEET TO THE POINT OF BEGINNING.		FUTURE LAND USE: CMR	
OCCUPANCY TYPE: BUSINESS (B)				SITE AREA: 88,055 S.F. (2.02 ACRES)	
AREA: 770 S.F.				EXISTING PERVIOUS AREA: 32,315 S.F.-36.7%	
MAX. BLDG. HEIGHT: 55' (FBC), 48' (LDR), 10' (PROVIDED)				EXISTING IMPERVIOUS AREA: 48,790 S.F.-55.4%	
OCCUPANCY CALCS: 770 S.F. X 100 SF/PERSON = 7.7 = 8 PEOPLE				EXISTING BUILDING AREA: 6,950 S.F. -7.9%	
				PROPOSED PERVIOUS AREA: 30,817 S.F. -34.9%	
				PROPOSED IMPERVIOUS AREA: 49,518 S.F.-56.3%	
				TOTAL BUILDING AREA: 7,720 S.F. -8.8%	



1 SITE PLAN  
A1.01 1" = 20'-0"





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ANNEX\01-DRAWINGS\180107 Central -  
Crossroads Office Annex.rvt

DRAWING TITLE

**COMPOSITE  
OVERLAY PLAN**

DATE  
08/15/2018

DRAWN BY  
KAB

JOB NUMBER  
180107

DRAWING NUMBER

**A1.02**

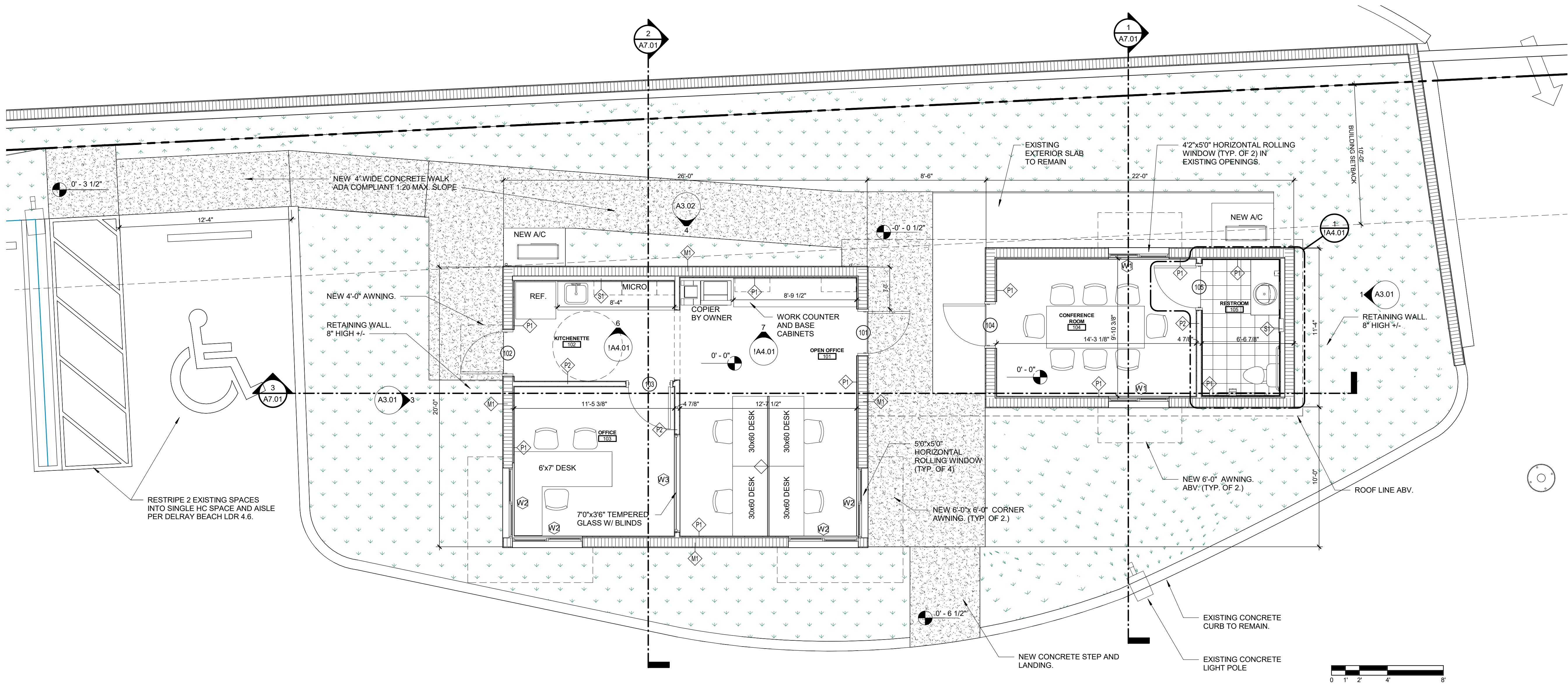
SPRAB RESUBMITTAL 08/15/18

**1**  
A1.02  
COMPOSITE OVERLAY PLAN  
1" = 20'-0"

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1 FIRST FLOOR PLAN  
A2.01 1/4" = 1'-0"



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Sustainable Design

AA26001584  
185 NE 4TH AVENUE, SUITE 101  
DELRAY BEACH, FL 33483  
T: (561) 276-4951 F: (561) 243-8184  
E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS  
PERMIT  
CONSTRUCTION  
SEAL

JESS M. SOWARDS  
FL REG# AR0013205

PROJECT TITLE  
**CROSSROADS -  
ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS		
NUM.	DESCRIPTION	DATE

THESE DRAWINGS ARE PREPARED  
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CONCEPT. THEY ARE NOT INTENDED  
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CONDITION REQUIRED TO  
CONSTRUCT THE BUILDING. THE  
CONTRACTOR THROUGH  
SUBMITTALS AND OTHER  
COORDINATION EFFORTS IS FULLY  
RESPONSIBLE FOR PROVIDING A  
COMPLETE AND OPERATIONAL  
BUILDING WHETHER INDICATED ON  
THE PLANS OR NOT.

J:\180107 CROSSROADS OFFICE  
ANNEX\A2.01-DRAWINGS\180107\_Central -  
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DRAWING TITLE

**FIRST FLOOR  
PLAN**

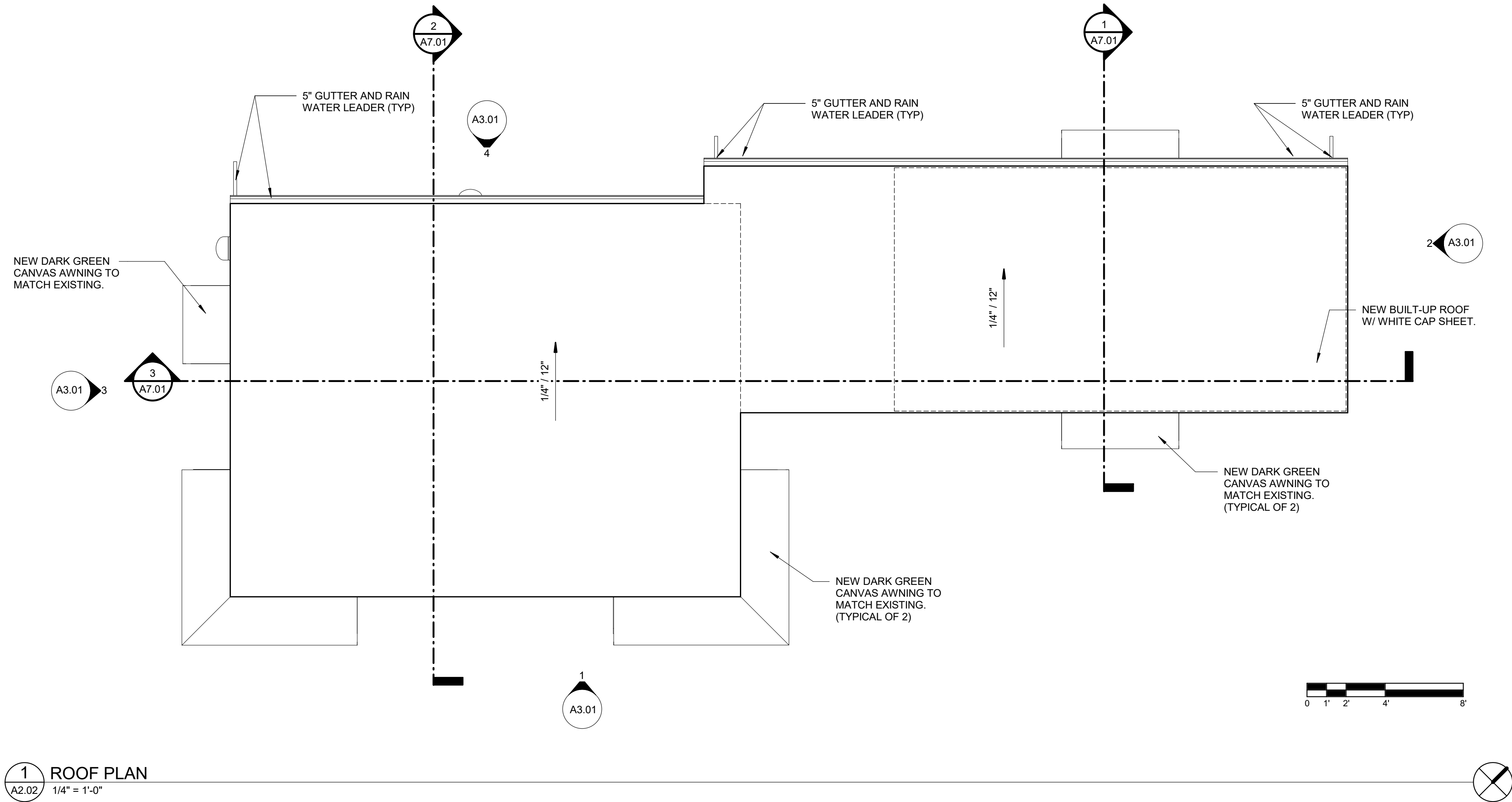
DATE  
08/15/2018  
DRAWN BY  
KAB  
JOB NUMBER  
180107  
DRAWING NUMBER

**A2.01**

SPRAB RESUBMITTAL 08/15/18

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FL. REG.# AR0013205

PROJECT TITLE

**CROSSROADS -  
ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS

NUM.	DESCRIPTION	DATE
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DRAWING TITLE

**ROOF PLAN**

DATE  
08/15/2018

DRAWN BY  
KAB

JOB NUMBER

180107

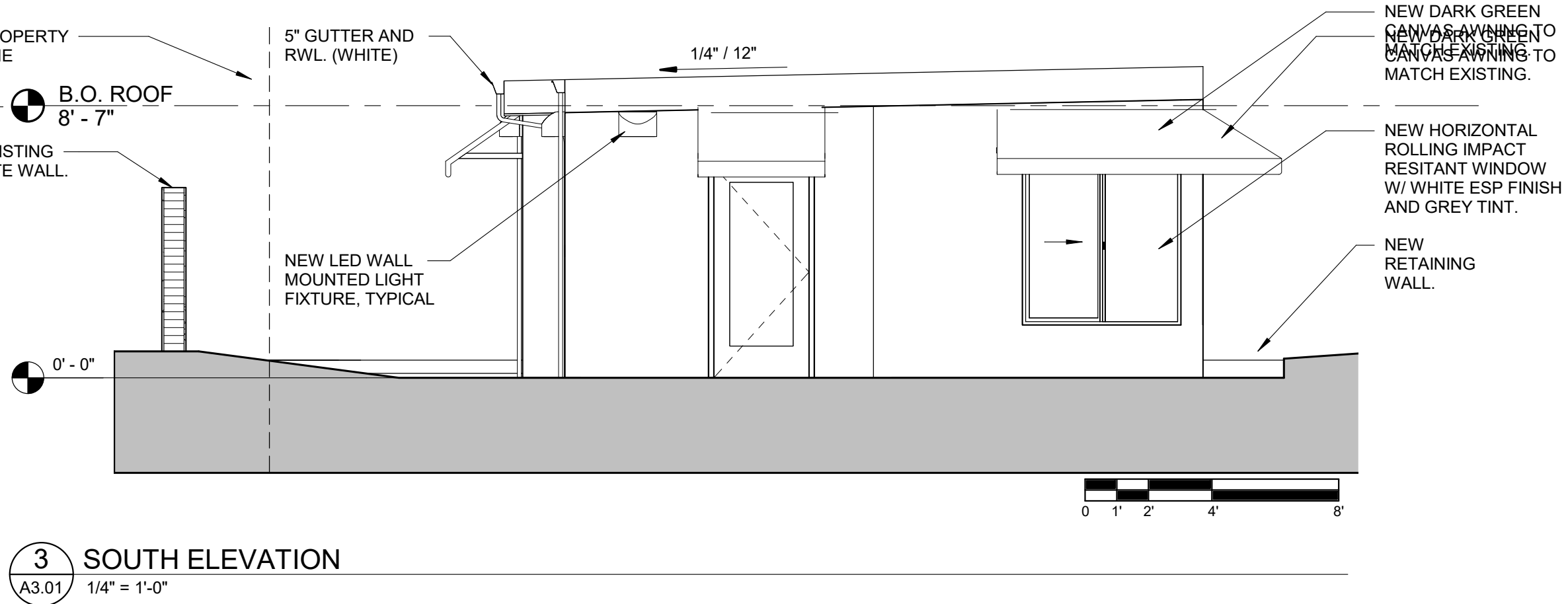
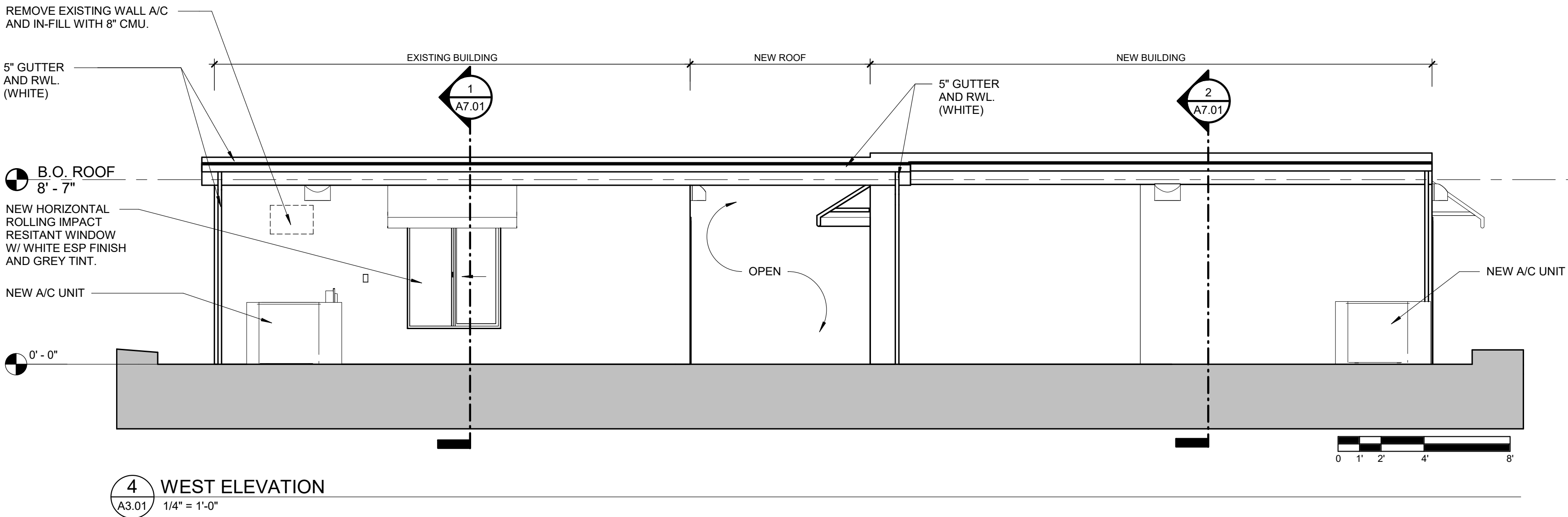
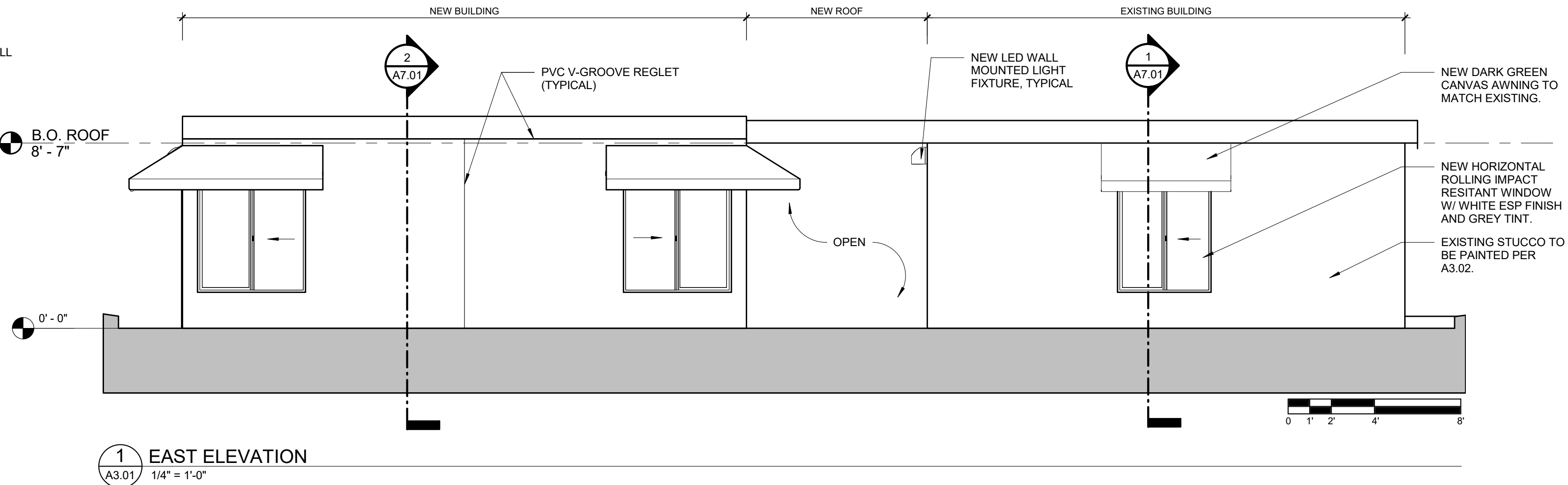
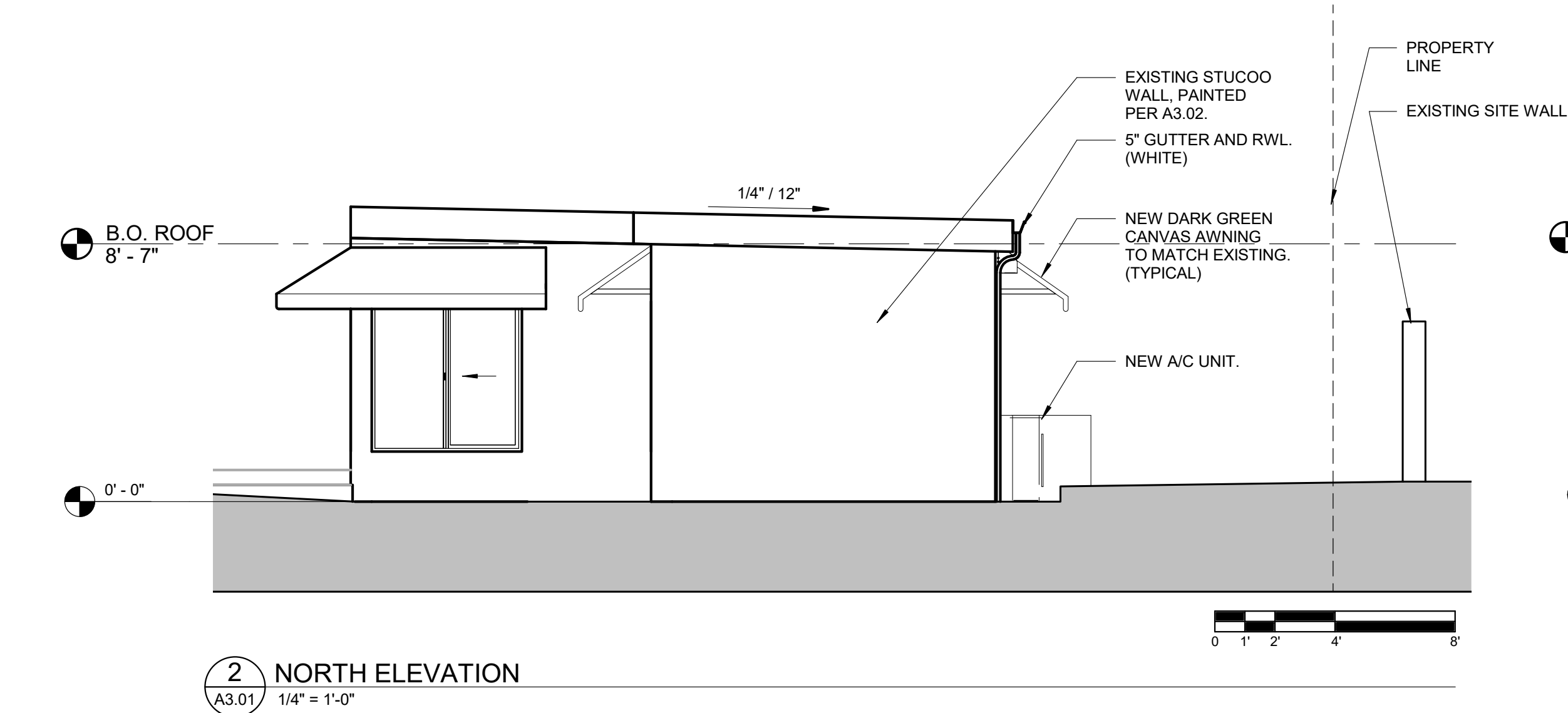
DRAWING NUMBER

**A2.02**

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FL. REG# AR0013205

PROJECT TITLE

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ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS  
NUM. DESCRIPTION DATE

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DRAWING TITLE

**ELEVATIONS**

DATE 08/15/2018 DRAWN BY KAB

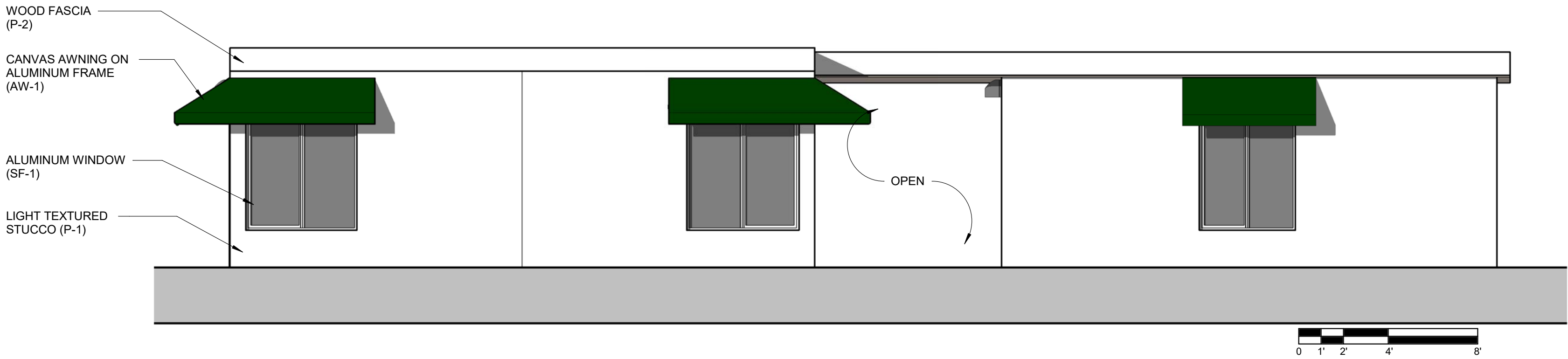
JOB NUMBER 180107

DRAWING NUMBER

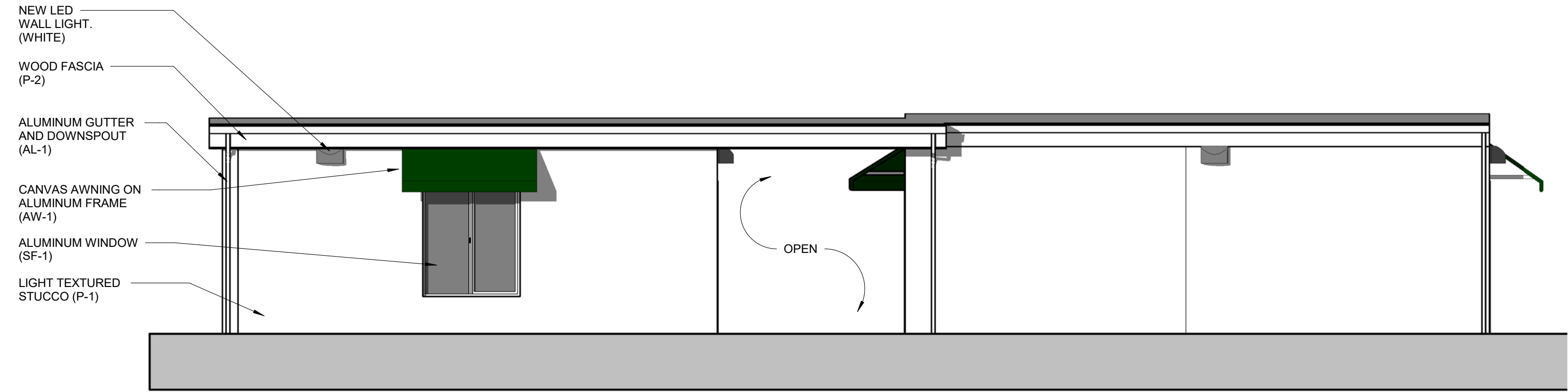
**A3.01**

SPRAB RESUBMITTAL 08/15/18

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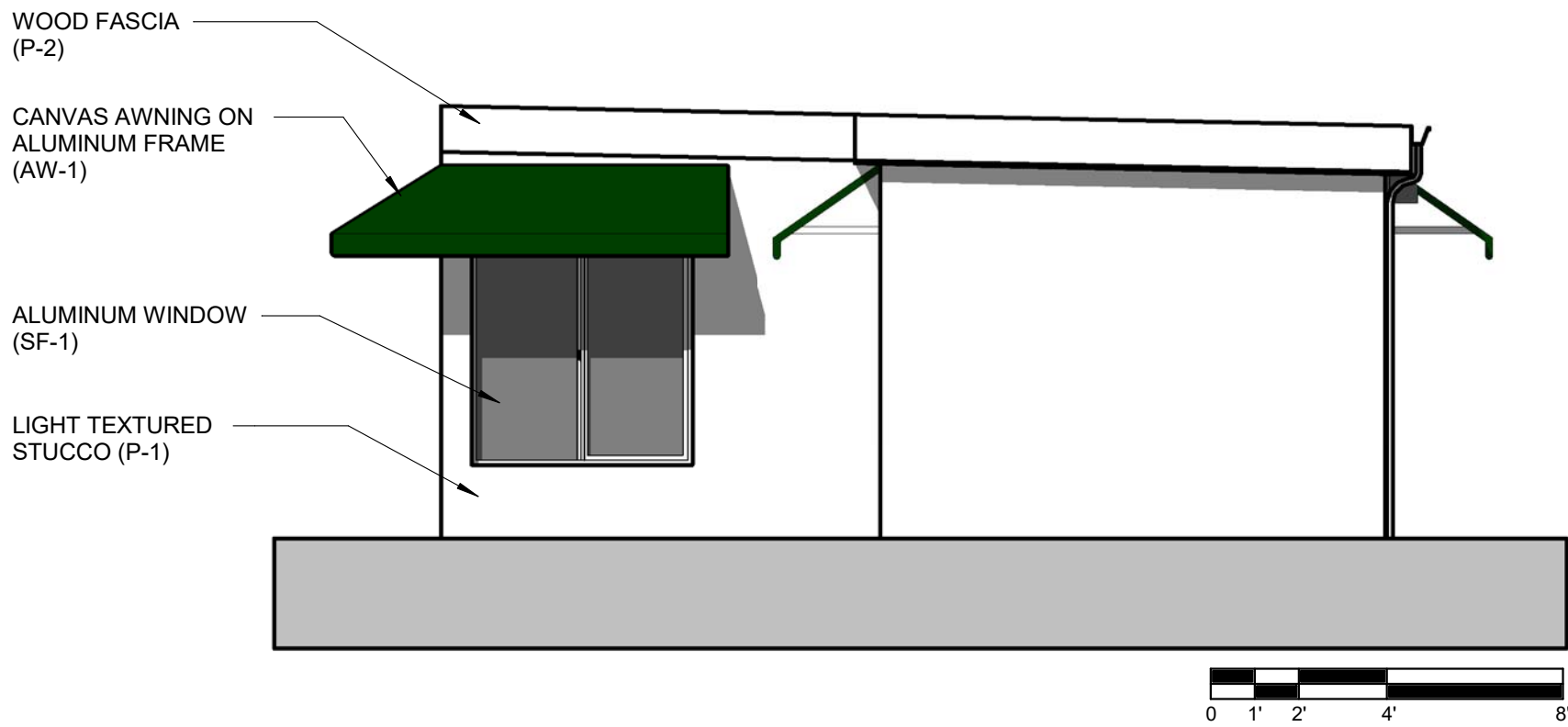


3 EAST ELEVATION  
A3.02 1/4" = 1'-0"

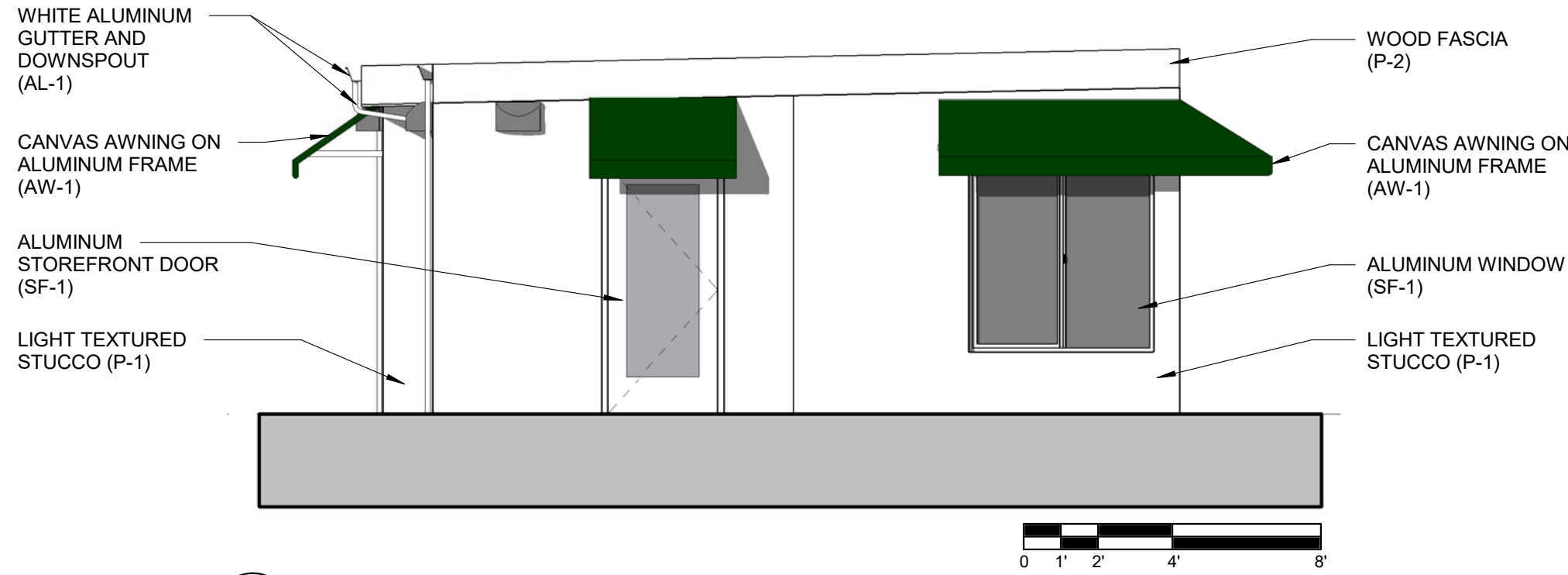


4 WEST ELEVATION  
A3.02 1/4" = 1'-0"

EXTERIOR PAINT LEGEND	
ITEM	EXTERIOR PAINT COLOR
P-1	BODY COLOR - LIGHT TEXTURED STUCCO - WHITE TO MATCH ADJACENT BUILDING
P-2	TRIM COLOR - WHITE TO MATCH ADJACENT BUILDING
AW-1	AWNING - SUNBRELLA - FIREST GREEN TO MATCH ADJACENT BUILDING
SF-1	ALUMINUM EXTERIOR DOORS AND WINDOWS - WHITE ESP W/ GREY TINTED GLASS
AL-1	GUTTERS AND DOWNSPOUTS - WHITE ALUMINUM



1 NORTH ELEVATION  
A3.02 1/4" = 1'-0"



2 SOUTH ELEVATION  
A3.02 1/4" = 1'-0"



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FL. REG# AR0013205

PROJECT TITLE

**CROSSROADS -  
ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS		
NUM.	DESCRIPTION	DATE

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DRAWING TITLE

**COLORED  
ELEVATIONS**

DATE 08/15/2018 DRAWN BY KAB

JOB NUMBER 180107

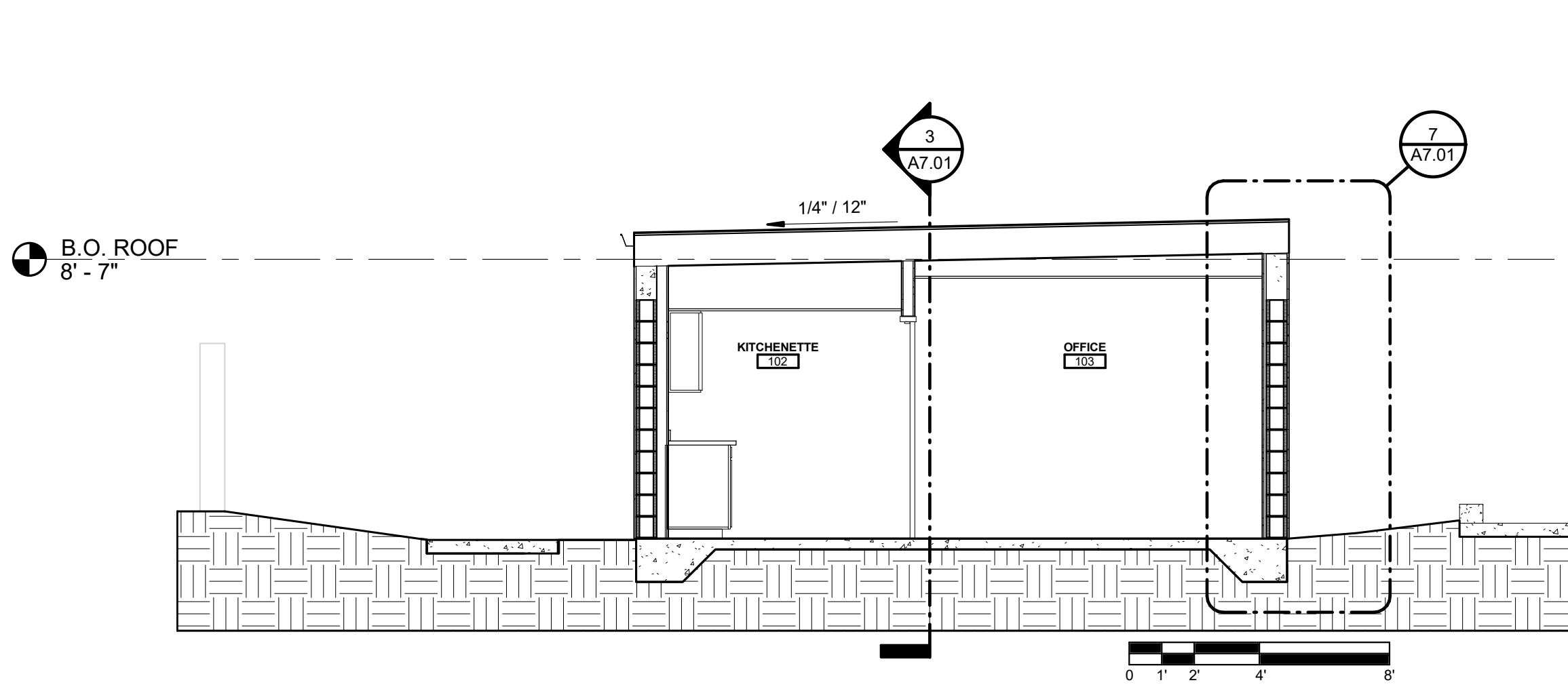
DRAWING NUMBER

**A3.02**

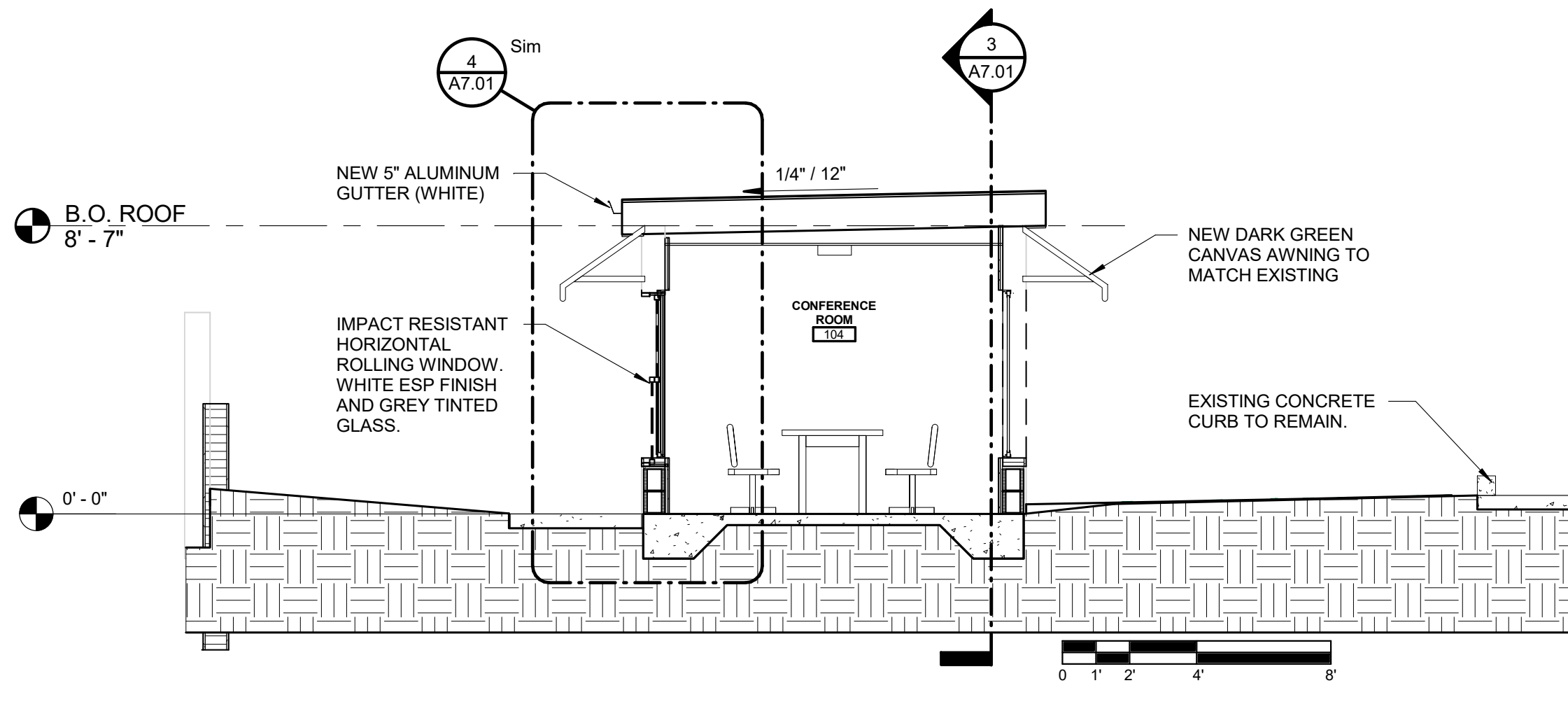
SPRAB RESUBMITTAL 08/15/18



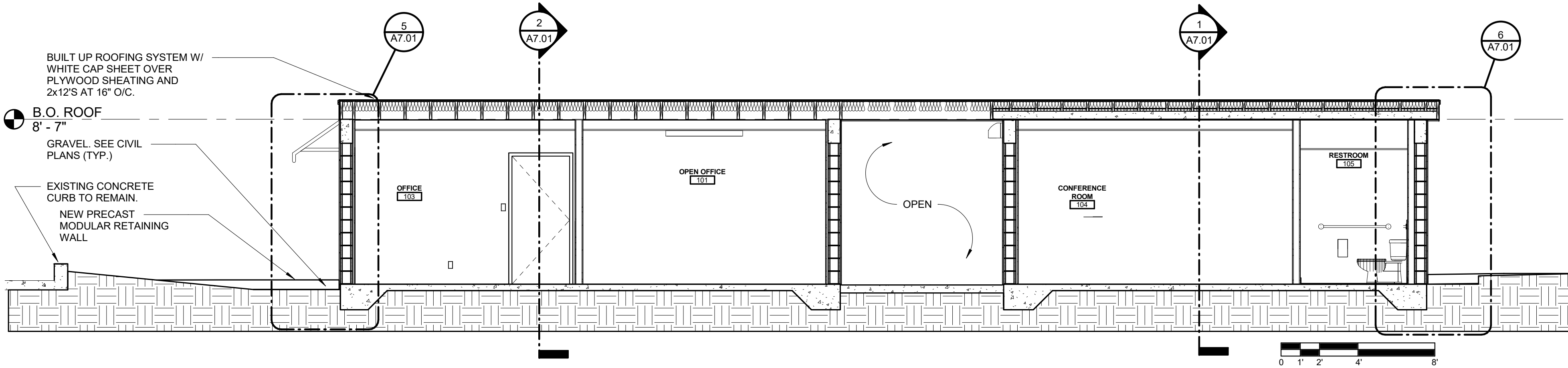
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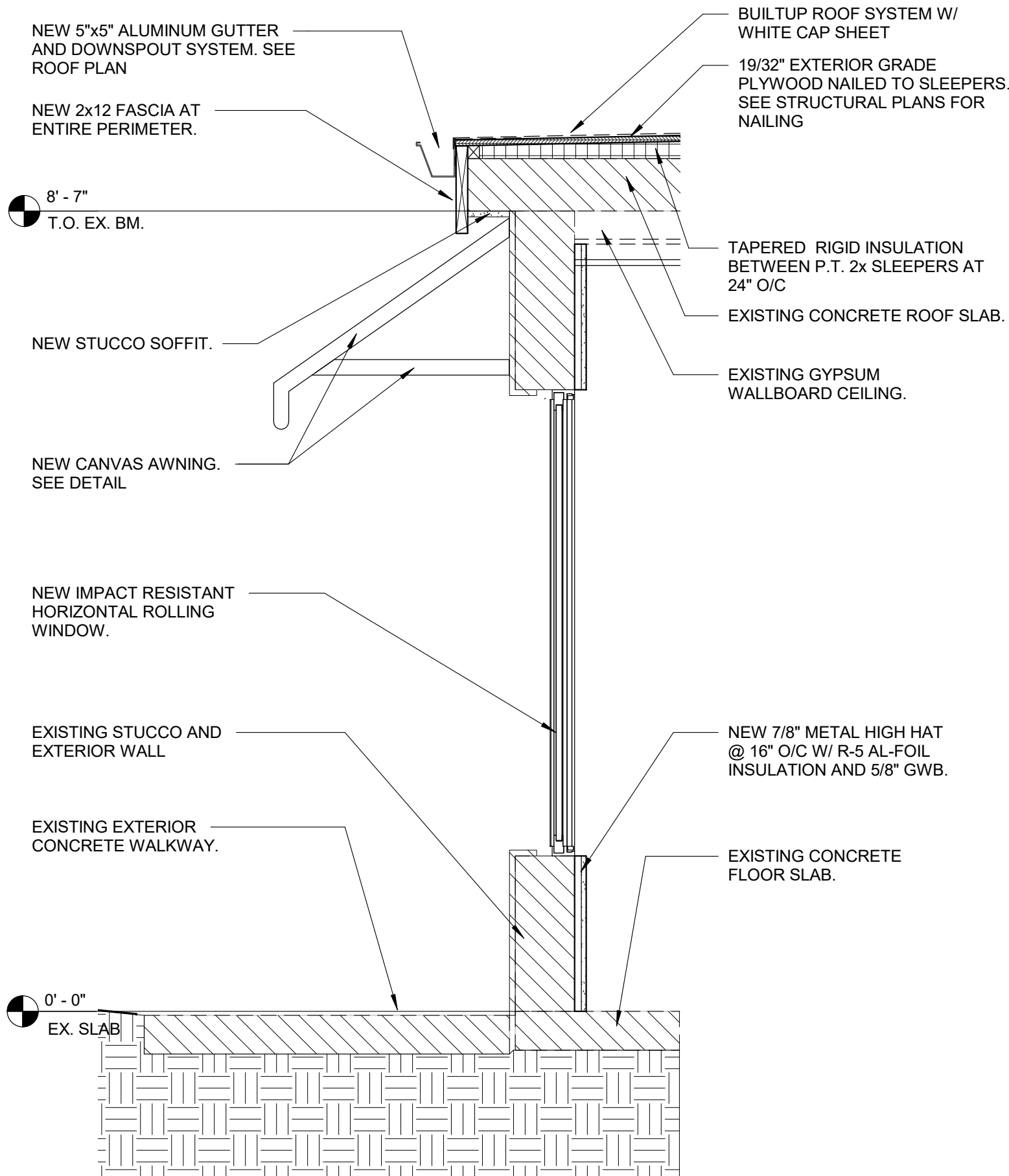
2 SECTION THRU NEW BLDG. - LOOKING NORTH  
A7.01 1/4" = 1'-0"



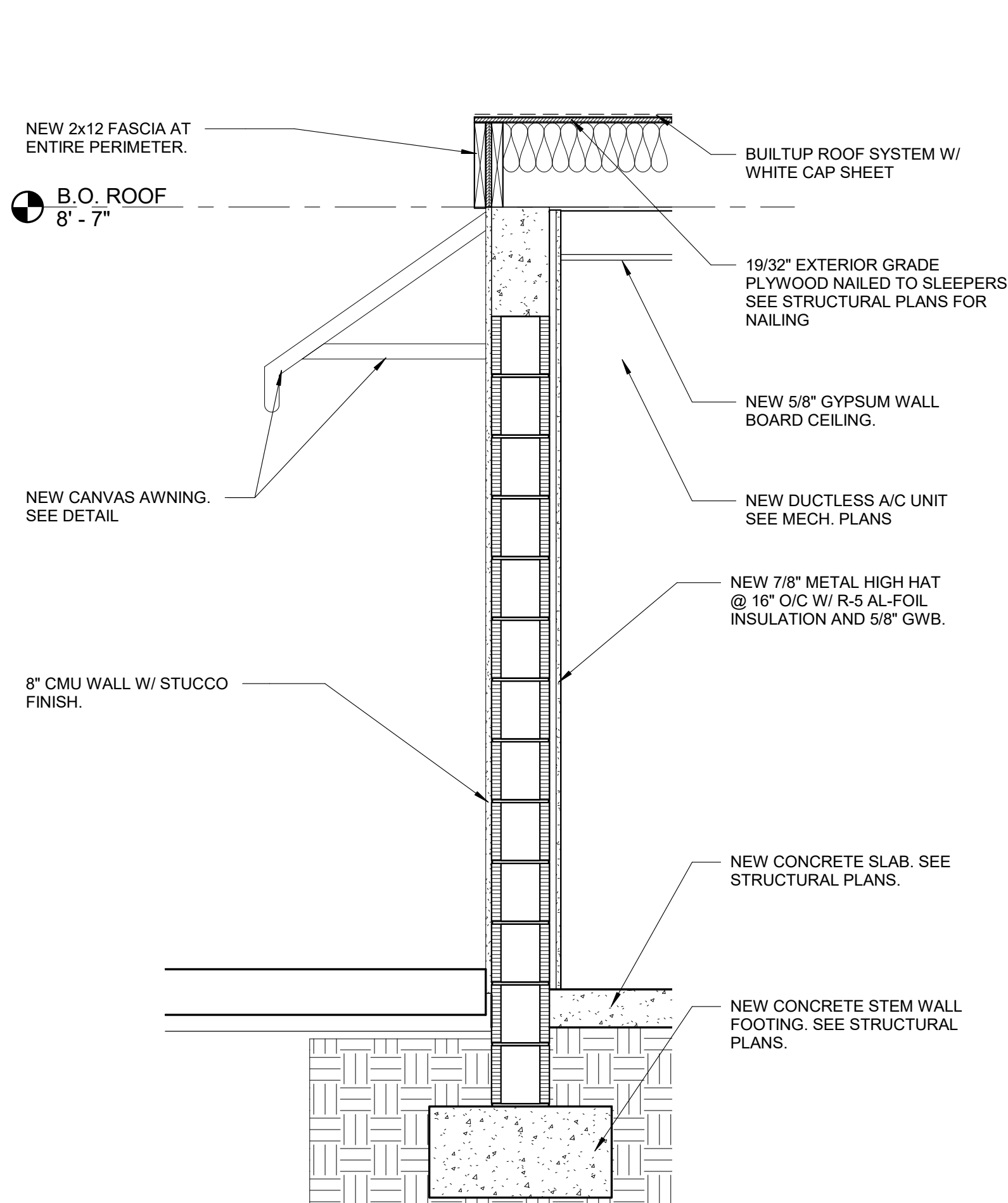
1 SECTION THRU EXIST. BLDG. - LOOKING NORTH  
A7.01 1/4" = 1'-0"



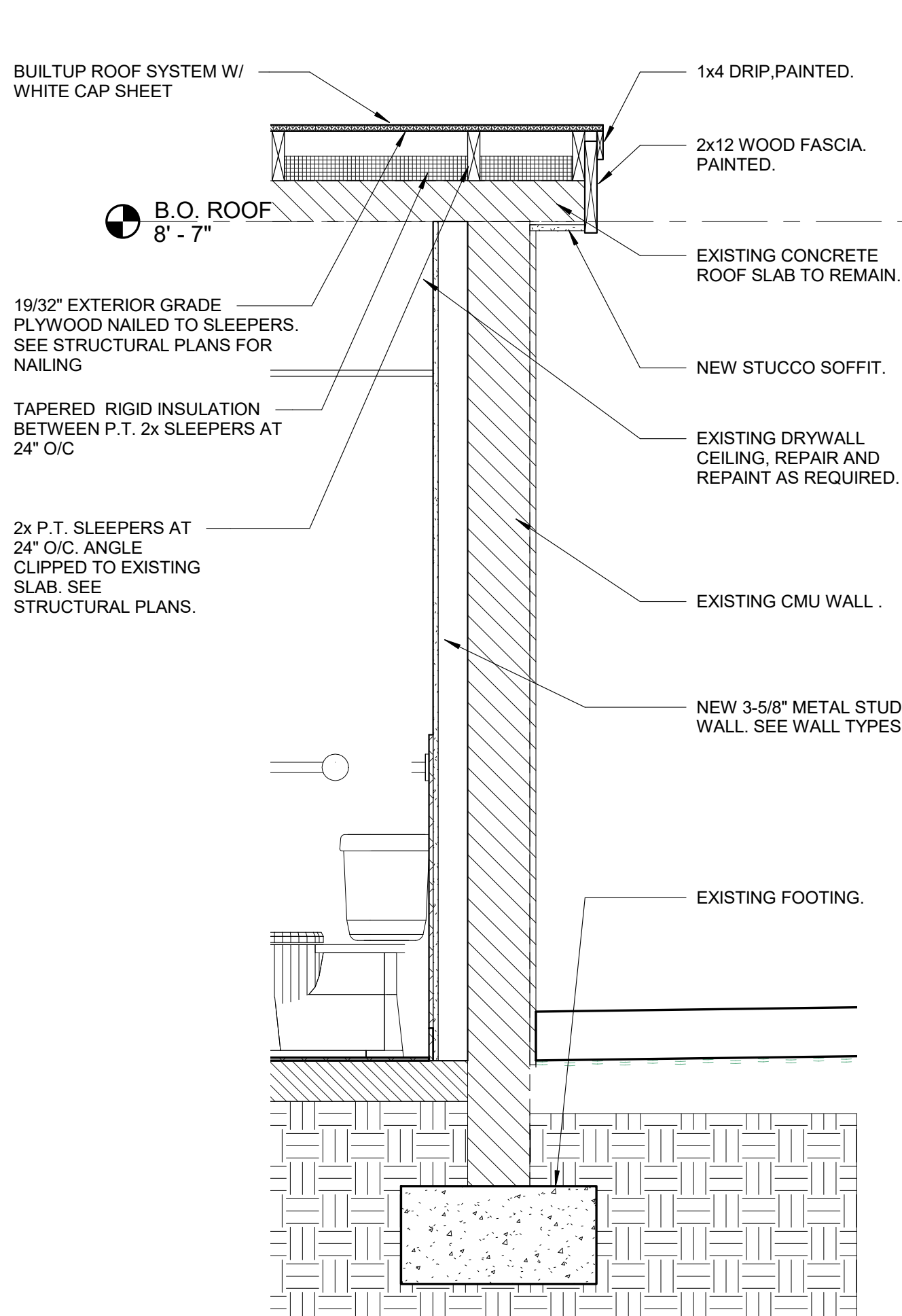
3 SECTION THRU NEW & EXIST BLDG. LOOKING WEST  
A7.01 1/4" = 1'-0"



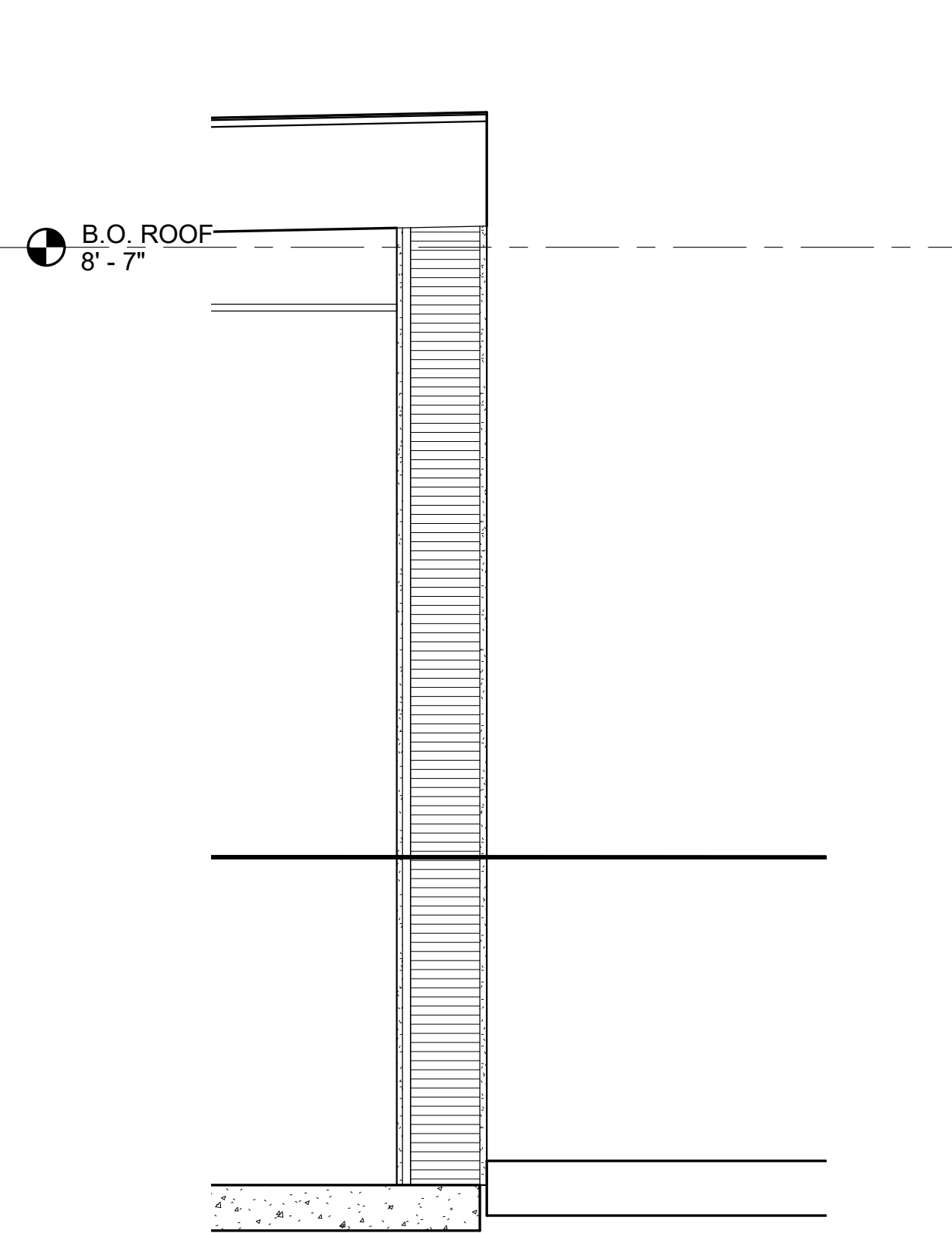
4 WALL SECTION 1  
A7.01 3/4" = 1'-0"



5 WALL SECTION 2  
A7.01 3/4" = 1'-0"



6 WALL SECTION 3  
A7.01 3/4" = 1'-0"



7 WALL SECTION 4  
A7.01 3/4" = 1'-0"



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JESS M. SOWARDS  
FL. REG# AR0013205

PROJECT TITLE

**CROSSROADS -  
ANNEX  
BUILDING**

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS		
NUM.	DESCRIPTION	DATE

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DRAWING TITLE

**SECTIONS**

DATE  
08/15/2018  
DRAWN BY  
KAB  
JOB NUMBER  
180107  
DRAWING NUMBER

**A7.01**

SPRAB RESUBMITTAL 08/15/18





Site Improvement Plans  
for

CROSSROADS — ANNEX BLDG.  
1700 LAKE IDA ROAD  
DELRAY BEACH, FL.

ENGINEER

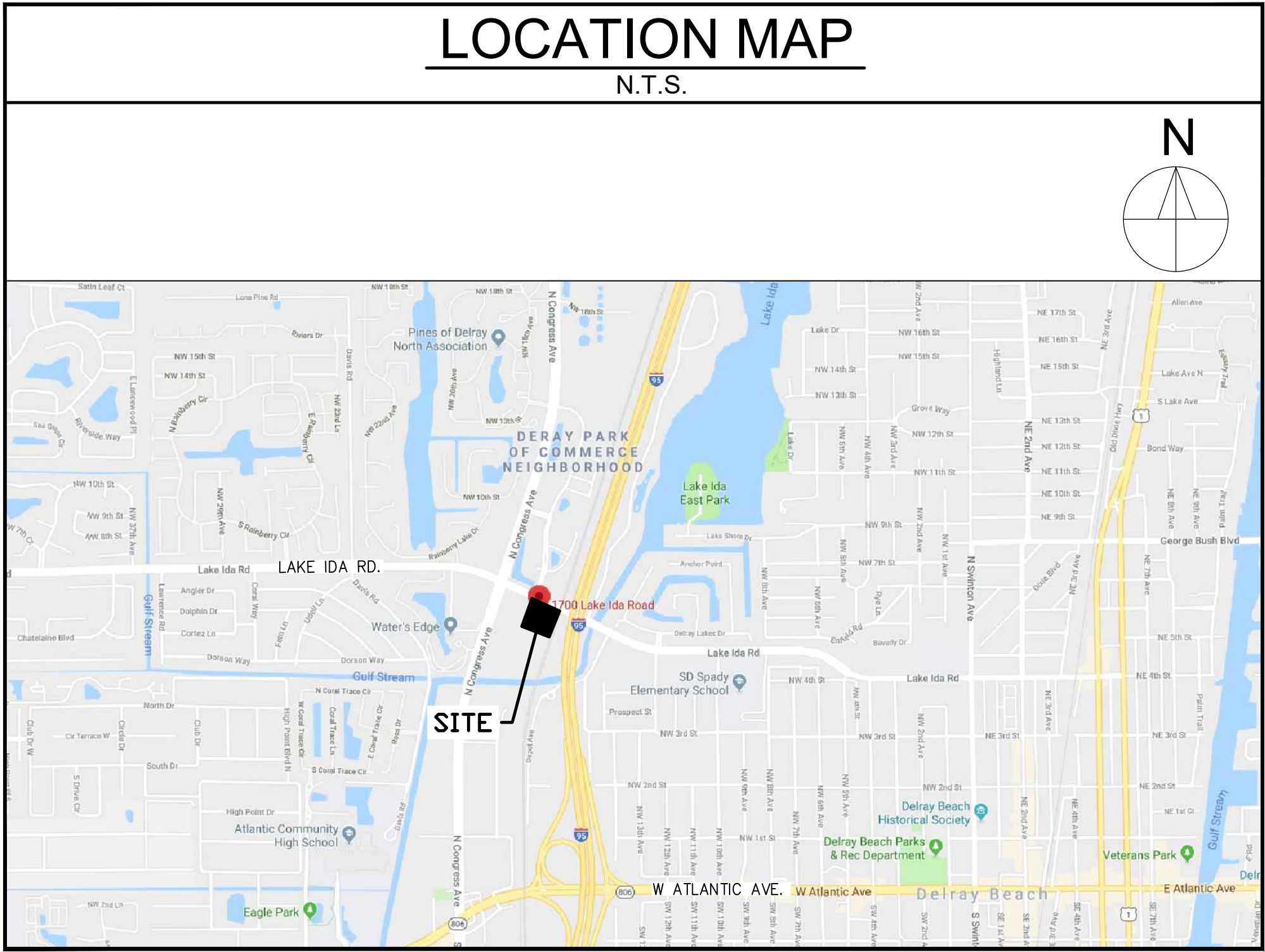
DIVERSIFIED CONSTRUCTION &  
ENGINEERING SERVICES  
2295 N.W. CORPORATE BLVD., SUITE 125  
BOCA RATON, FL 33431  
(561) 750-3717

ARCHITECT

CURRIE SOWARDS AGUILA  
185 NE 4TH AVENUE, SUITE 101  
DELRAY BEACH, FLORIDA 33483  
(561) 276-4951

SURVEY

O'BRIAN, SUITER & O'BRIAN, INC  
955NW 17TH STREET, SUITE K-1  
DELRAY BEACH, FLORIDA 33445  
(561) 2764501



INDEX OF DRAWINGS

- CS COVERSHEET
- C-1 SITE IMPROVEMENT PLAN
- C-2 SITE IMPROVEMENT PLAN & DETAILS

DIVERSIFIED CONSTRUCTION

**DCES**

& ENGINEERING SERVICES

2295 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431  
561-750-3717 FAX 561-750-3686  
EB #6459

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1.			
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CROSSROADS—ANNEX BLDG.

1700 LAKE IDA ROAD  
DELRAY BEACH, FLORIDA 33445

SITE ENGINEERING PLAN

**DCES**

SCALE: NO SCALE

DATE: 5-30-2018

DWN. BY: A.A.

CHK. BY: N.B.J.

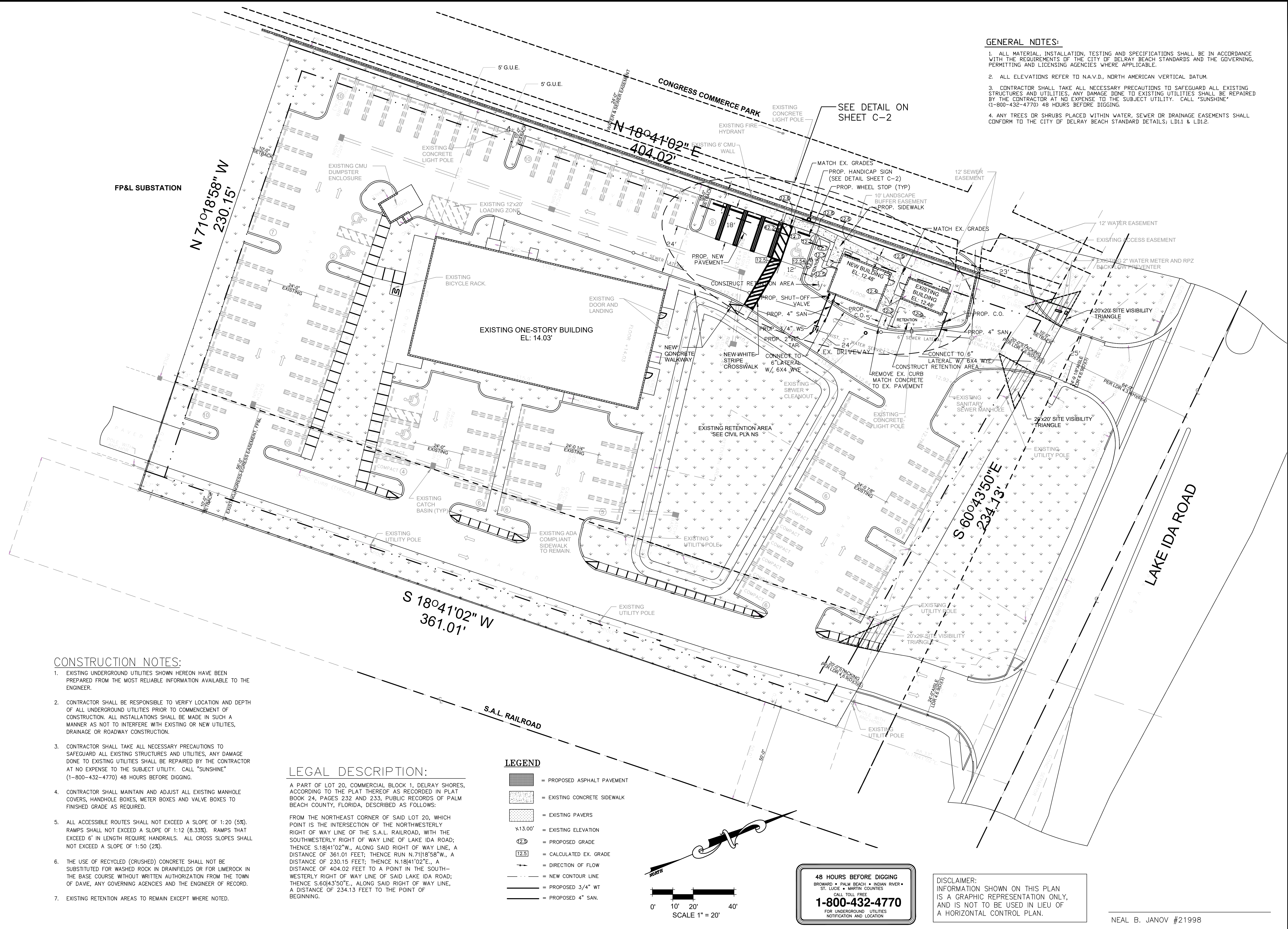
F.B. PG.

JOB NO.:

2290-18

SHEET: CS OF 1





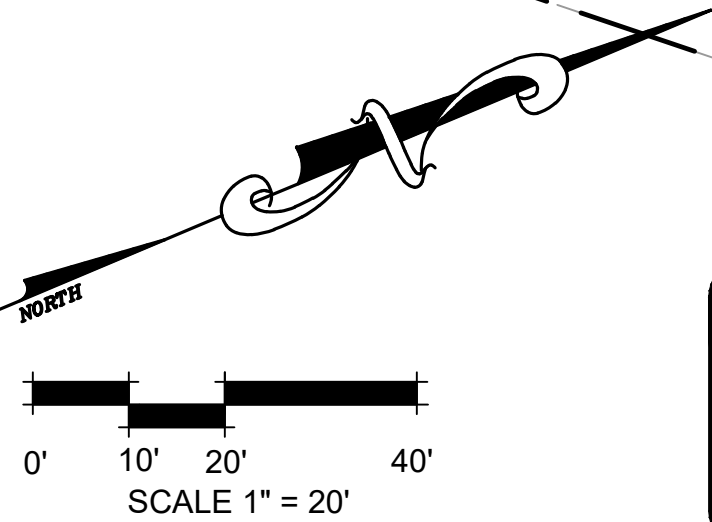
- CONSTRUCTION NOTES:**
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER.
  - CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION.
  - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
  - CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.
  - ALL ACCESSIBLE ROUTES SHALL NOT EXCEED A SLOPE OF 1:20 (5%). RAMP SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMP THAT EXCEED 6' IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50 (2%).
  - THE USE OF RECYCLED (CRUSHED) CONCRETE SHALL NOT BE SUBSTITUTED FOR WASHED ROCK IN DRAINFIELDS OR FOR LIMESTONE IN THE BASE COURSE WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN OF DAVIE, ANY GOVERNING AGENCIES AND THE ENGINEER OF RECORD.
  - EXISTING RETENTION AREAS TO REMAIN EXCEPT WHERE NOTED.

**LEGAL DESCRIPTION:**

A PART OF LOT 20, COMMERCIAL BLOCK 1, DELRAY SHORES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGES 232 AND 233, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHEAST CORNER OF SAID LOT 20, WHICH POINT IS THE INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY LINE OF THE S.A.L. RAILROAD, WITH THE SOUTHWESTERLY RIGHT OF WAY LINE OF LAKE IDA ROAD; THENCE S.18°41'02"W., ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 361.01 FEET; THENCE RUN N.71°18'58"W., A DISTANCE OF 230.15 FEET; THENCE N.18°41'02"E., A DISTANCE OF 404.02 FEET TO A POINT IN THE SOUTHWESTERLY RIGHT OF WAY LINE OF SAID LAKE IDA ROAD; THENCE S.60°43'50"E., ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 234.13 FEET TO THE POINT OF BEGINNING.

- LEGEND**
- PROPOSED ASPHALT PAVEMENT
  - EXISTING CONCRETE SIDEWALK
  - EXISTING PAVERS
  - EXISTING ELEVATION
  - PROPOSED GRADE
  - CALCULATED EX. GRADE
  - DIRECTION OF FLOW
  - NEW CONTOUR LINE
  - PROPOSED 3/4" WT
  - PROPOSED 4" SAN.



48 HOURS BEFORE DIGGING  
BROWARD • PALM BEACH • INDIAN RIVER •  
ST. LUCIE • MARTIN COUNTIES  
CALL TOLL FREE  
**1-800-432-4770**  
FOR UNDERGROUND UTILITIES  
NOTIFICATION AND LOCATION

DISCLAIMER:  
INFORMATION SHOWN ON THIS PLAN  
IS A GRAPHIC REPRESENTATION ONLY,  
AND IS NOT TO BE USED IN LIEU OF  
A HORIZONTAL CONTROL PLAN.

- GENERAL NOTES:**
- ALL MATERIAL, INSTALLATION, TESTING AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF DELRAY BEACH STANDARDS AND THE GOVERNING, PERMITTING AND LICENSING AGENCIES WHERE APPLICABLE.
  - ALL ELEVATIONS REFER TO N.A.V.D., NORTH AMERICAN VERTICAL DATUM.
  - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
  - ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS, LDI.1 & LDI.2.

DIVERSIFIED CONSTRUCTION

**DCES**

& ENGINEERING SERVICES

2295 N.W. CORPORATE BLVD. #125 BOCA RATON, FL 33431  
561-750-3717 FAX 561-750-3666  
EB #6459

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CROSSROADS-ANNEX BLDG.

1700 LAKE IDA ROAD  
DELRAY BEACH, FLORIDA 33445

SITE ENGINEERING PLAN

**DCES**

SCALE: 1" = 20'

DATE: 5-30-2018

DWN. BY: A.A.

CHK. BY: N.B.J.

F.B. PG.

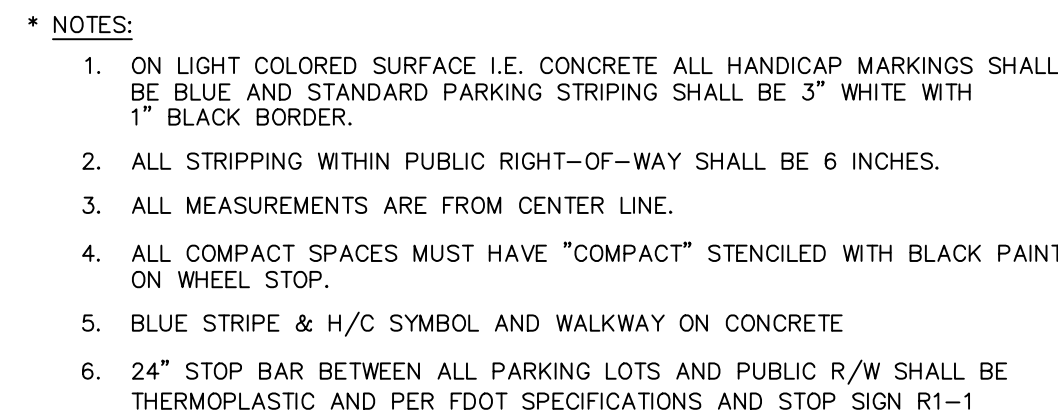
JOB NO.:

2290-18

SHEET: C-1 OF 2

NEAL B. JANOV #21998





TYPICAL PARKING SPACES  
(1 OF 3)  
DETAIL RT 4.2a

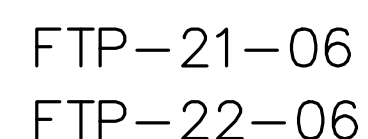
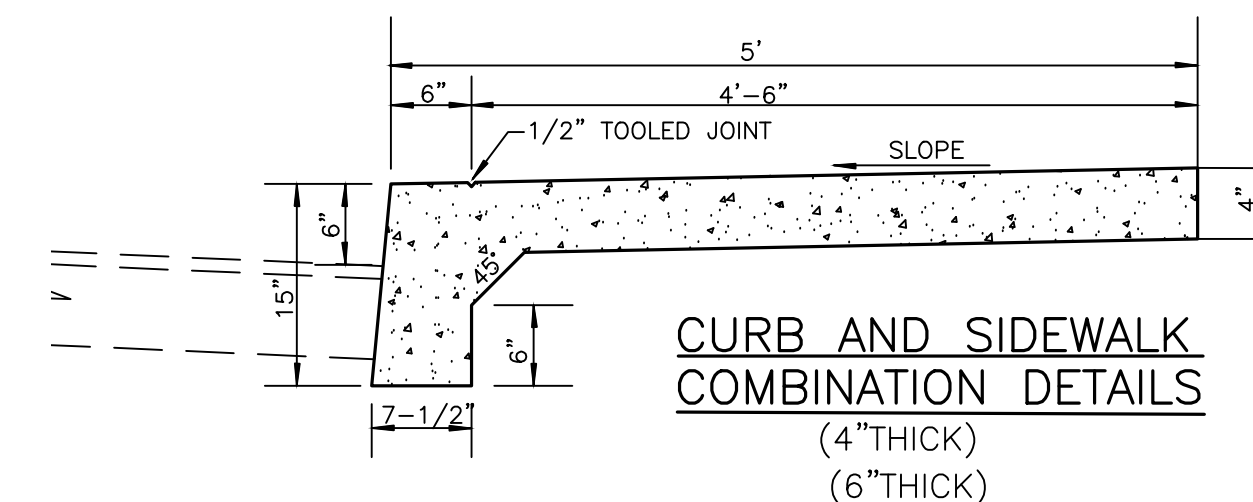


1. HANDICAPPED PARKING SPACE MUST BE FIRST OR LAST PARALLEL PARKING SPACE IN THE ROW. ADJACENT TO LANDSCAPE ISLAND. IF SPACE IS AT THE FRONT OF PARKING ROW ACCESS PANEL MUST BE IN FRONT OF CAR AND IF SPACE IS AT THE END OF PARKING ROW ACCESS PANEL MUST BE AT THE REAR OF CAR.
2. WHEN PARKING SPACE IS ADJACENT TO LANDSCAPE ISLAND SPACE MAYBE REDUCED TO 20' FROM THE STANDARD 22' LENGTH.

TYPICAL PARKING SPACES  
(3 OF 3)  
DETAIL RT 4.2c

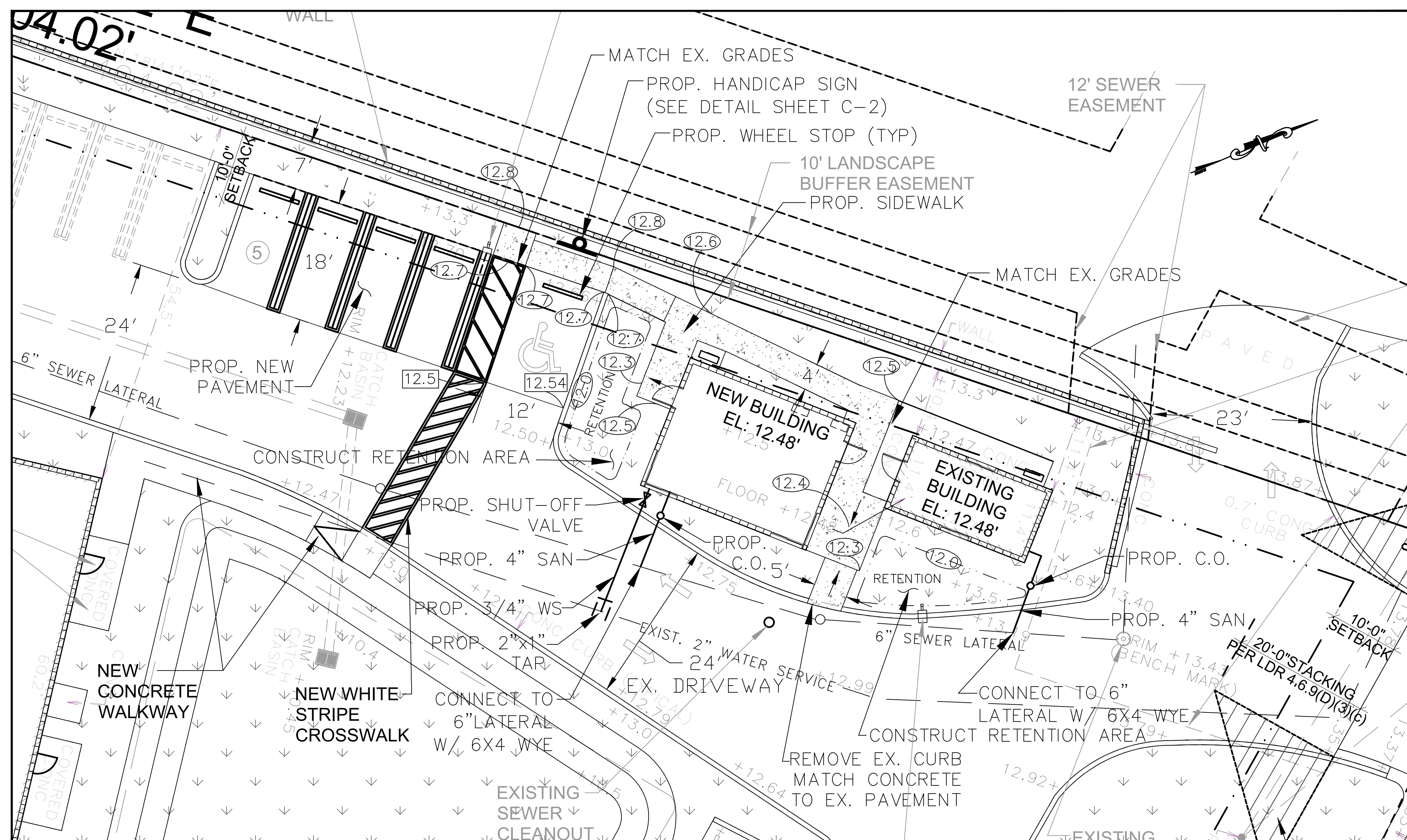


- NOTES:
1. WHEEL STOP SIZES AND REINFORCEMENT MAY VARY DEPENDING ON MANUFACTURER.
  2. WHEEL STOPS SHALL BE PAINTED BLUE AT HANDICAP SPACES, UNPAINTED AT REGULAR SPACES.



## TYPICAL SIGNAGE

1. ALL SIGNING SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION "TRAFFIC OPERATIONS STANDARDS" MANUAL AND THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND CITY OF DELRAY BEACH TRAFFIC ENGINEERING STANDARDS.
2. BOTTOM OF SIGN SHALL BE 7'-0" ABOVE GRADE.



## DETAIL OF BUILDING AREA

$$1'' = 10'$$

REVISIONS	DATE:	DWN.:	CHK.:
1.			
2.			
3.			
4.			
5.			
6.			
7.			

CROSSROADS-ANNEX BLDG.  
1700 LAKE IDA ROAD  
DELRAY BEACH, FLORIDA 33445  
SITE ENGINEERING PLAN  
& DETAIL S

**DCES**

SCALE: N.T.S.

DATE: 5-30-2018

DWN. BY: A.A.

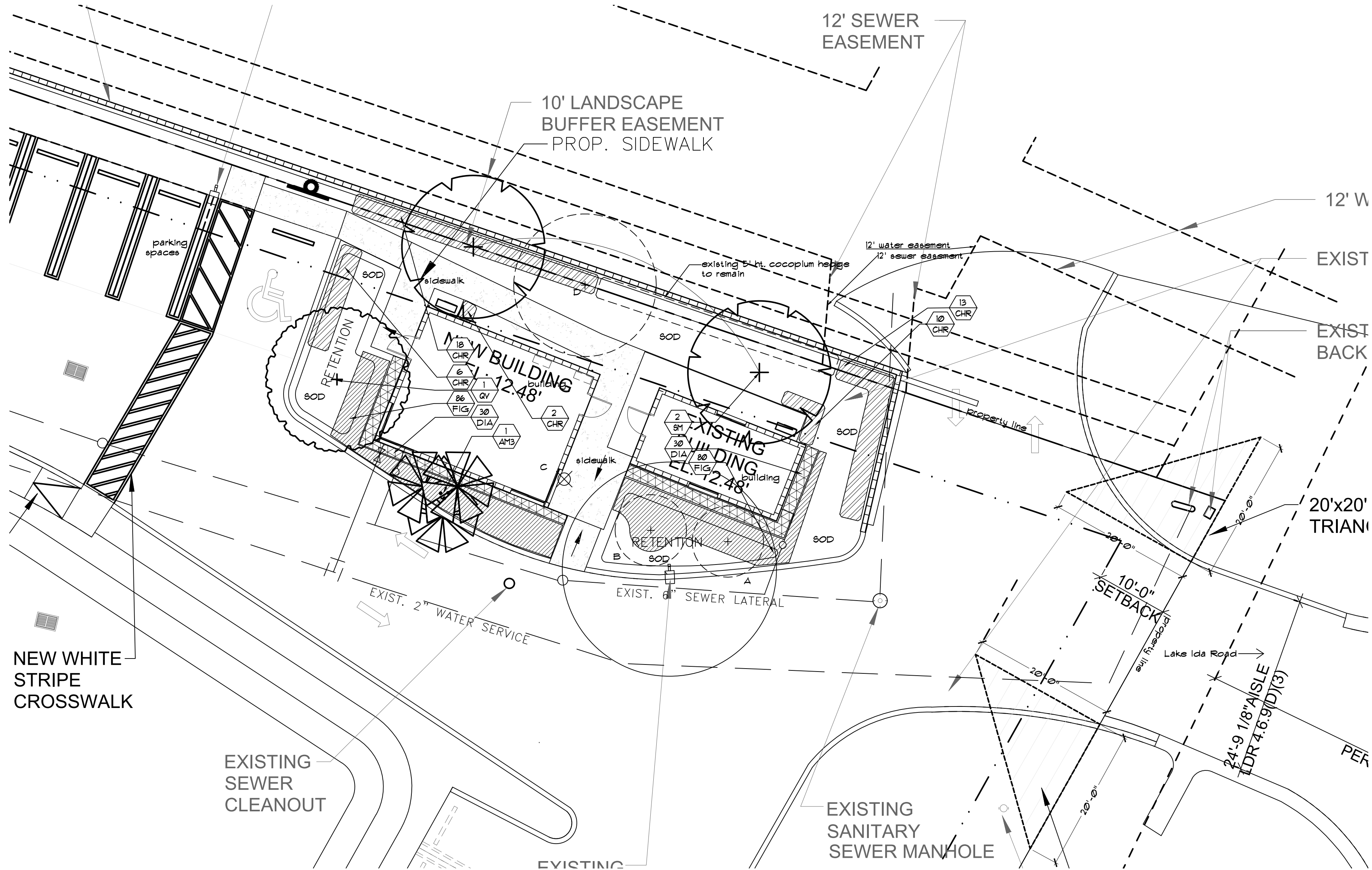
CHK. BY: N.B.J.

**JOB NO.:**

2290-18

SHEET: C-2 OF 2





## LEGEND

- |  |                              |  |                                 |
|--|------------------------------|--|---------------------------------|
|  | EXISTING TREES TO BE REMOVED |  | EXISTING TREES TO BE RELOCATED  |
|  | EXISTING TREES TO REMAIN     |  | NEW LOCATION OF RELOCATED TREES |
|  | EXISTING PALMS TO REMAIN     |  | PROPOSED PALMS                  |
|  |                              |  | PROPOSED TREES                  |

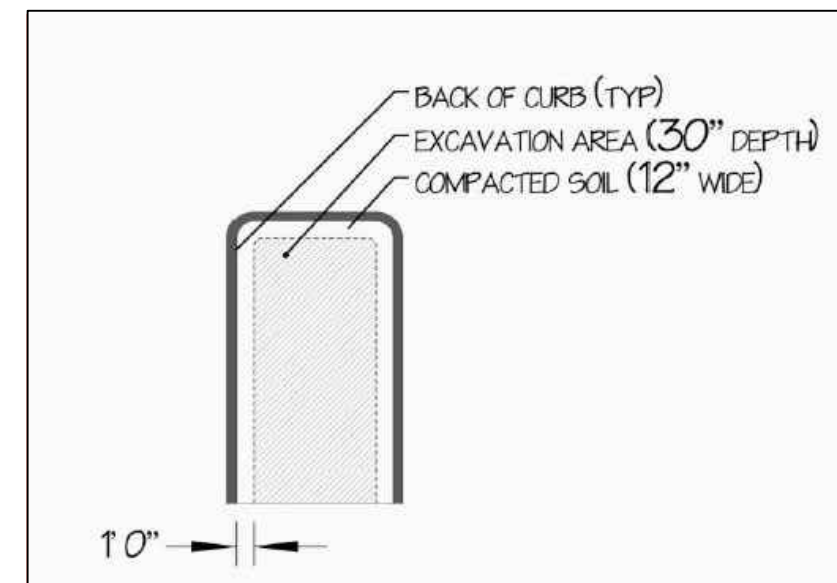
## EXISTING TREE LIST

SYM	TREE TYPE	DESCRIPTION	STATUS
A	Ligustrum Tree	10' ht. x 10' spr., multi trunk	remain
B	Ligustrum Tree	10' ht. x 10' spr., multi trunk	remain
C	Ligustrum Tree	10' ht. x 10' spr., multi trunk	remove
D	Mahogany Tree	35' ht. x 20' spr., 10" cal.	remain

## PLANT LIST

SYM	BOTANICAL / COMMON NAME	SPECIFICATIONS	QTY	NATIVE
AM3	Adonidia merrillii Triple Christmas Palm	12' o.a. ht. triple trunk	1	
QV	Quercus virginiana Live Oak	16' ht. x 6' spr. 3" cal.	1	YES
SM	Sweetenia mahoganii Mahogany Tree	16' ht. x 6' spr. 3" cal.	2	YES
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr. 24" o.c.	49	YES
DIA	Dianella tasmanica Blueberry Flax Lily	18" ht. x 18" spr. 18" o.c.	60	
FIG	Ficus microcarpa Green Island	18" ht. x 18" spr. 18" o.c.	166	
SOD	Stenotaphrum secundatum St. Augustine Sod	full, fresh sod	as req'd	

- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
  - MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.
  - ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
  - ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.
  - SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
  - THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.
  - ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 11 & LD 12.
- NOTE:  
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 11 AND LD 12.



### NOTES:

1. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
2. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
3. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER LD 1.1

### NOTES:

1. THIS DISTANCE SHALL BE 10" MINIMUM FROM ALL CITY FACILITIES IF NO ROOT BARRIER IS USED.

TYPICAL TREE WITHOUT ROOT BARRIER LD 1.2

project:  
**crossroads**  
delray beach  
florida

**dave bodker**  
landscape architecture/planning inc.

601 n. congress ave., suite 105-a  
delray beach, florida 33445  
561-276-6311

#LA0000999

sheet title:

**planting  
plan**

project number:

1318

date: 6-14-18

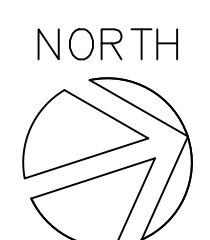
scale: 1" = 10'

drawn by: st

revisions:

- △ 8-9-18 per city comments
- △
- △
- △
- △

sheet:



**L-1**

1 of 2 sheets

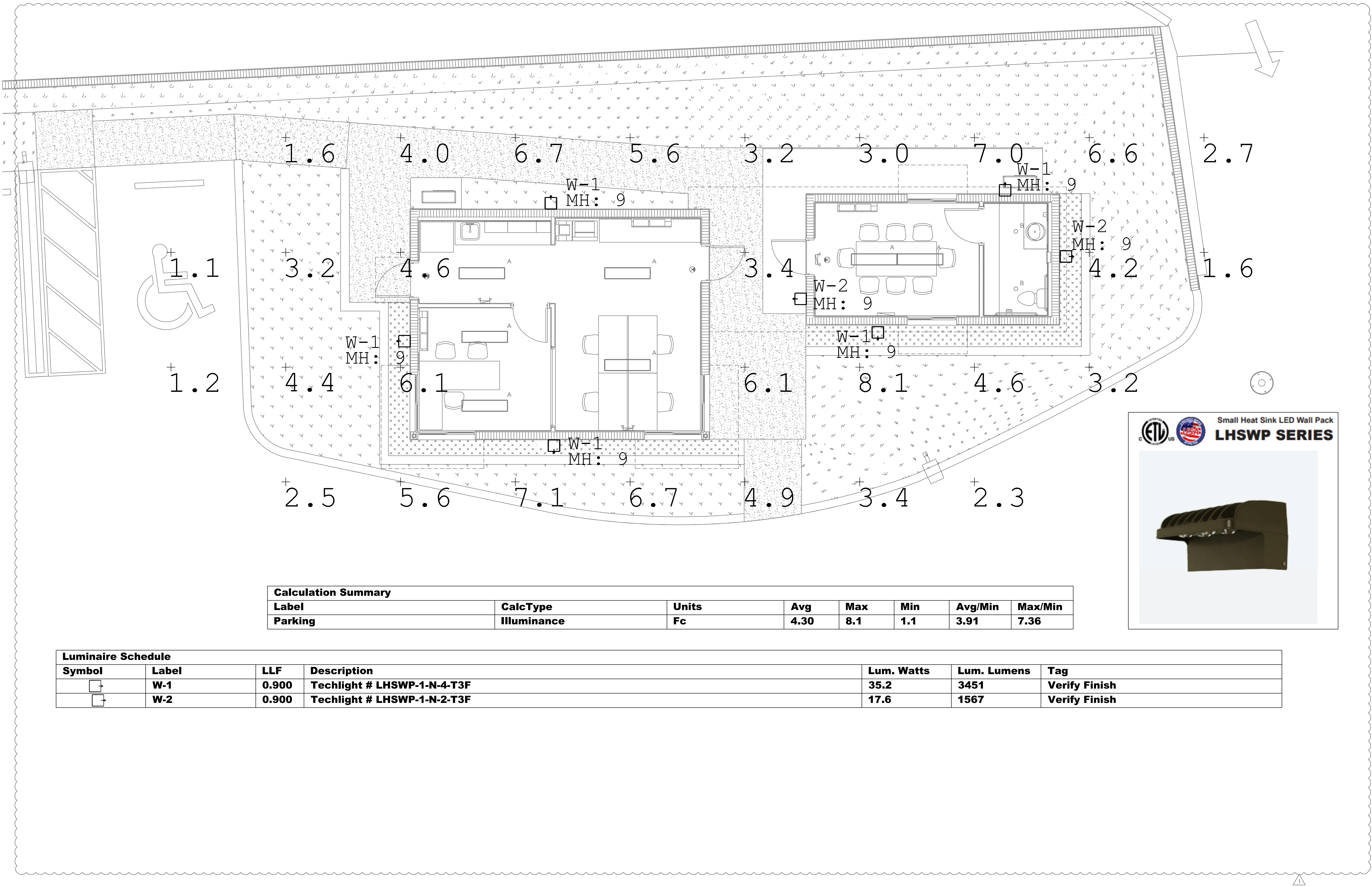






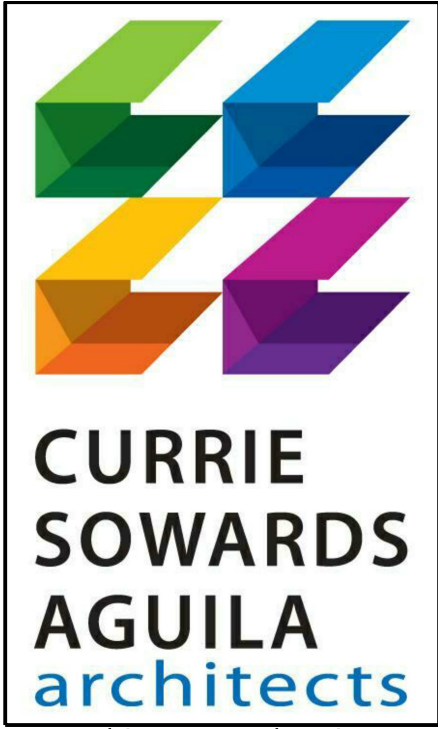






Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	4.30	8.1	1.1	3.91	7.36

Luminaire Schedule						
Symbol	Label	LLF	Description	Lum. Watts	Lum. Lumens	Tag
	W-1	0.900	Techlight # LHSWP-1-N-4-T3F	35.2	3451	Verify Finish
	W-2	0.900	Techlight # LHSWP-1-N-2-T3F	17.6	1567	Verify Finish



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E-MAIL: office@csa-architects.com

ISSUED FOR :  
  
BIDS  
PERMIT  
CONSTRUCTION  
SEAL

JESS M. SOWARDS  
FL REG# AR0013205  
PROJECT TITLE  
CROSSROADS -  
ANNEX  
BUILDING

1700 LAKE IDA ROAD  
DELRAY BEACH, FL 33445

REVISIONS		
NUM.	DESCRIPTION	DATE
1	BLDG. DEPT. COMMENTS 09/25/	

THESE DRAWINGS ARE PREPARED  
PER ESTABLISHED INDUSTRY  
STANDARDS AND REPRESENT THE  
ARCHITECT AND ENGINEERS DESIG  
CONCEPT. THEY ARE NOT INTEND  
TO PROVIDE EVERY DETAIL OR  
CONDITION REQUIRED TO  
CONSTRUCT THE BUILDING. THE  
CONTRACTOR THROUGH  
SUBMITTALS AND OTHER  
COORDINATION EFFORTS IS FULLY  
RESPONSIBLE FOR PROVIDING A  
COMPLETE AND OPERATIONAL  
BUILDING WHETHER INDICATED ON  
THE PLANS OR NOT.

J:\180107 CROSSROADS OFFICE  
ANNEX\01-DRAWINGS\180107 Central -  
Crossroads Office Annex.rvt

DRAWING TITLE

PHOTOMETRIC  
PLAN

DATE	DRAWN BY
06/20/2018	KAB
JOB NUMBER	LEI JOB#
180107	18219
DRAWING NUMBER	

E4



SPRAB SUBMITTAL