

### Planning, Zoning and Building Department

### **BOARD ACTION REPORT – APPEALABLE ITEM**

Project Name: Crossroads Club Project Location: 1700 Lake Ida Rd

Request: Approval of a Class III Site Plan Modification Board: Site Plan Review and Appearance Board

Meeting Date: October 10, 2018

### **Board Action:**

Approved (7-0)

### **Project Description:**

The subject property consists of a portion of Lot 20, Block 1 of the Delray Shores Subdivision recorded in the Plat Book 24, Pages 232 and 233 and contains 2.02 acres. The subject property has a CMR (Commerce) Future Land Use Map and CF (Community Facilities) zoning map designation.

The property, which was owned by the City of Delray Beach, was annexed on September 25, 1972. The City constructed 3,600 square feet of warehouse and office building area in 1975 on the subject property. As part of the Citywide rezoning in October 1990, the property was rezoned from Community Commercial (CC) to Community Facilities (CF). Afterwards, the City's Public Works Division utilized the property for various storage activities. The subject property was sold to CRC Recovery Foundation in May 2005.

This project is associated with the construction of a 520 square feet single story structure of office space and conversion of the existing 250 square feet storage space to office space.

The development proposal consists of the following:

- Construction of a single story 520 square feet structure addition along the northwest side of the property of office space;
- Conversion of the existing 250 square feet storage building on the northwest side of the property to office space;
- Addition of a new handicap parking space, a 4 feet wide concrete walkway and white striped crosswalk, and awnings;
- Installation of associated site lighting and landscaping throughout the site.

### **Staff Recommendation:**

Approve

### **Board Comments:**

Appealable Item Report

Board comments supportive of the request.

### **Public Comments:**

None

### **Associated Actions:**

N/A

Next Action:
The SPRAB action is final unless appealed by the City Commission.

# SITE PLAN REVIEW AND APPEARANCE BOARD CITY OF DELRAY BEACH ---STAFF REPORT---

MEETING DATE: October 10, 2018

ITEM: Crossroads Club (2018-140): Class III Site Plan Modification, Landscape

Plan and Architectural Elevations associated with the construction of a single story structure and conversion of storage space to office space located on

1700 Lake Ida Rd.

**RECOMMENDATION:** Approval

**GENERAL DATA:** 

Agent/Applicant..... CSA Architects

Owner...... CRC Recovery Foundation

Property Size...... 2.02 Acres

Future Land Use Map.... CMR (Commerce)

Current Zoning...... CF (Community Facilities)

Adjacent Zoning. North: PCC (Planned Commerce Center)

East: MIC (Mixed Industrial and Commerce)

South: CF West: PCC

Existing Land Use...... Meeting Hall/Office

Proposed Land Use.... Meeting Hall/Office

Water Service..... Existing on site

Sewer Service..... Existing on site



SPRAB Report: Meeting of 10/10/2018 Crossroads Club - Class III Site Plan Modification (2018-140) Page 2

### ITEM BEFORE THE BOARD

The item before the Board is the approval of the following aspects of a Class III Site Plan Modification request for **Crossroads Club**, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(c):

Site Plan Modification;
Landscape Plan; and,
Architectural Elevations

The subject property is located at the southwest corner of Lake Ida Road and the SAL railroad right-of-way (1700 Lake Ida Rd).

### BACKGROUND INFORMATION

The subject property consists of a portion of Lot 20, Block 1 of the Delray Shores Subdivision recorded in the Plat Book 24, Pages 232 and 233 and contains 2.02 acres.

The property, which was owned by the City of Delray Beach, was annexed on September 25, 1972. The City constructed 3,600 square feet of warehouse and office building area in 1975 on the subject property. As part of the Citywide rezoning in October 1990, the property was rezoned from Community Commercial (CC) to Community Facilities (CF). Afterwards, the City's Public Works Division utilized the property for various storage activities. The subject property was sold to CRC Recovery Foundation in May 2005.

At its meeting of July 27, 2005, the Site Plan Review and Appearance Board approved a Class IV site plan modification to expand on the existing building and improve the property in association with the establishment of an alcohol and drug abuse counseling facility.

Now before the Board for consideration is a Class III Site Plan modification associated with the construction of a 520 square feet single story structure of office space and conversion of the existing 250 square feet storage space to office space.

### PROJECT DESCRIPTION

The development proposal consists of the following:

- Construction of a single story 520 square feet structure addition along the northwest side of the property of office space;
- Conversion of the existing 250 square feet storage building on the northwest side of the property to office space;
- Addition of a new handicap parking space, a 4 feet wide concrete walkway and white striped crosswalk, and awnings;
- Installation of associated site lighting and landscaping throughout the site.

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### SITE PLAN MODIFICATION ANALYSIS

### **COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS:**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

### **LDR Section 4.3.4(K) Development Standards Matrix:**

		Required	Provided
Open Space		25%	34.9%
Minimum Setback	North	*see discussion below	
	South	10'	98'
	West	10'	60'
	East	15'	104'
Building Height		48'	10'

### \*Special Building Setback:

Pursuant to LDR Section 4.3.4(H)(6)(a), a 64' building setback is required on both sides of the centerline of the road. Within this area no structures shall be altered, erected, or reconstructed. The development proposal complies with this requirement since a setback of approximately 304' is provided between the building addition and the centerline of Lake Ida Rd.

### **LDR Chapter 4.6 Supplemental District Regulations:**

### Parking Requirements:

Pursuant to LDR section 4.6.9(C)(4)(a), the required parking for office is 4 spaces per 1,000 square feet (sf) for the first 3,000 sf and then 3.5 spaces per 1,000 sf. Additionally, the required parking for the meeting hall is 1 space per 50 square feet. The existing meeting hall of 3,600 sf requires 72 parking spaces. The existing office of 3,350 sf requires 12 parking spaces. With the addition of the proposed 770 square feet, 4 additional parking spaces are proposed. The proposed development meets parking requirements with a surplus of 13 parking spaces.

### LANDSCAPE PLAN ANALYSIS

A landscape plan has been submitted and evaluated by the City's Senior Landscape Planner and found to be adequate. The plans provide for perimeter and interior landscape areas adjacent to the existing building and parking area. As there are overhead utilities along the north and east sides of the property, the trees will comply with Florida Power and Light's "right tree, right place" guidelines. The trees along the area of construction will consist of 1 Triple Christmas Palm, 1 Live Oak, and 2 Mahogany along with Cocoplum hedges to screen the proposed air conditioning units. The existing 2 Ligustrum trees and 1 Mahogany are to remain.

### **ARCHITECTURAL ELEVATIONS ANALYSIS**

**LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of

Crossroads Club - Class III Site Plan Modification (2018-140)

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plans for building permits. If the following criteria are not met, the application shall be disapproved:

- 1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The existing storage building's facade will remain the same, except for the addition of a dark green canvas awning on the west elevation. The proposed building's design consists of dark green canvas awnings, aluminum windows, and light textured stucco walls to match the existing building. The elevations of the proposed building consist of minimal design features with square windows and modular structure matching the existing building. The following color pallet is to match the existing building to the proposed new building. The fascia and the walls will be painted Simply White. The windows and doors trim will be painted White. The awnings will be painted Foirest Green. The exterior aluminum doors and windows will be painted White with Grey tinted glass. Gutters and downspouts will be painted White Aluminum.

The proposed architectural elevation change will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

### REQUIRED FINDINGS

Pursuant to LDR Section 3.1.1, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

### LDR Section 3.1.1(A) - Future Land Use Map:

The subject property has a CMR (Commerce) Future Land Use Map and CF (Community Facilities) zoning map designation. Pursuant to the LDR Section 4.4.21(B)(8), clubs and lodges are permitted uses in the CF zoning district provided that they not serve or consume alcoholic beverages on the property. Pursuant to the Comprehensive Plan Future Land Use Element, the CF zoning district is consistent with the CMR Future Land Use Map designation. Based on the above, it is appropriate to make a finding with respect to consistency with the Future Land Use Map (FLUM) designation.

### LDR Section 3.1.1(B) - Concurrency:

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As described in Appendix "A", a positive finding of Concurrency can be made as it relates to water and sewer, streets and traffic, drainage, parks and recreation, open space, solid waste, and schools.

### LDR Section 3.1.1(C) - Consistency:

As described in Appendix "B", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions.

### LDR Section 3.1.1(D) - Compliance with the Land Development Regulations:

As described under the Site Plan analysis of this report, a positive finding of compliance with the LDR can be made when all outstanding items attached as conditions of approval are addressed.

LDR Section 2.4.5(F)(5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

### **Comprehensive Plan Policies:**

A review of the Comprehensive Plan has been conducted and the following objective is applicable:

<u>Future Land Use Element Objective A-1:</u> Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

This development will convert the inactivated storage building into an activated office space and provide an additional new building adjacent to the storage for further office use. The proposed development of the subject property is consistent with the development pattern of the surrounding area.

### **REVIEW BY OTHERS**

The development proposal is not located within a geographical area requiring review by the PGMS (Pineapple Grove Main Street), CRA (Community Redevelopment Agency) or the DDA (Downtown Development Authority).

### Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations that have requested notice of developments in their areas:

- Delray Shores
- Rainberry Lakes Villas

Letters of support and objection, if any, will be presented at the SPRAB meeting.

### Public Notices:

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No public notice is required for Class III Site Plan Modification applications. Letters of objection, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

### ASSESSMENT AND CONCLUSION

The proposed development is to convert the storage space into an office space and construct an additional office building for office space. The development will be compatible with the surrounding areas. The use is consistent with the Future Land Use designation and uses permitted within the zoning district.

The project is consistent with the policies of the Comprehensive Plan and Land Development Regulations provided the attached conditions of approval are addressed.

### STAFF RECOMMENDATION

### By Separate Motions:

### Site Plan:

Move **approval** of the Class III Site Plan Modification for the **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(1)(c) and Chapter 3 of the Land Development Regulations, subject to the following condition:

1. Relocation and addition of stop signs to satisfy public safety at the northwest entrance per City Engineer.

### Landscape Plan:

Move **approval** of the landscape plans for **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.16 of the Land Development Regulations.

### Architectural Elevations:

Move **approval** of the architectural elevations for **Crossroads Club (File 2018-140)**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

### **ALTERNATIVE ACTIONS**

- A. Continue with direction.
- B. Move **approval** of the request for a Class III Site Plan Modification, Architectural Elevations, and Landscape plans for the **Crossroads Club (File 2018-140)** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G), 4.4.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

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C. Move **denial** of the request for a Class III Site Plan Modification, Architectural Elevations, and Landscape plans for the **Crossroads Club (File 2018-140)** by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Section 2.4.5(G), 4.4.16, 4.6.18(E) and Chapter 3 of the Land Development Regulations.

Staff Report Prepared by: Raisa Saniat, Planner in Training

Attachments: Site Plan, Landscape Plan, and Architectural Elevations

### APPENDIX "A" CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

*Water and Sewer:* With respect to water and sewer services, the following is noted:

- Water service exists to the site via 2" service lateral connection to a 20" water main along Lake Ida Rd. Adequate fire suppression is provided via an existing fire hydrant at the northeast corner of the Congress Commerce Center development.
- Sewer service exists via a service lateral connection to an existing 18" main along Lake Ida Rd.

The Comprehensive Plan states that adequate water and sewer treatment capacity exists to meet the adopted LOS at the City's build-out population based on the current FLUM. The proposal will have an insignificant impact on all public services. Thus, a positive finding with respect to this level of service standard can be made.

### Streets and Traffic:

A traffic impact statement has been submitted that indicates that the addition of 770 square feet to the existing 6,950 square feet will generate a net new increase of 12 external daily trips, 1 net new external AM peak hour trip, and 2 net new external PM peak hour trips. The proposed modifications will meet the requirements of the Palm Beach County Traffic Performance Standards Ordinance.

### Parks and Recreation Facilities:

Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

### Solid Waste:

Based upon the Solid Waste Authority's Trash Generation Rates, trash generated each year by the additional 770 square feet will be 2.08 tons/year (5.4 pounds per square feet). The existing 6,950 square feet generated a total of 41 tons/year. The total trash generated now will be 43 tons/year. As this parcel was envisioned for this type of use, it was factored into the countrywide assessment for solid waste.

### Drainage:

Drainage is accommodated on site via sheet flow and roof drain to an exfiltration system with outfall to a retention area on the north side of the building. There should be no impact on drainage as it related to this level of service standard.

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# APPENDIX "B" STANDARDS FOR SITE PLAN ACTIONS

Α.	Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
	Not applicable Meets intent of standard Does not meet intent  X
B.	Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
	Not applicable  Meets intent of standard  Does not meet intent  X
C.	Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
	Not applicable  Meets intent of standard  Does not meet intent  X
D.	The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
	Not applicable X Meets intent of standard Does not meet intent
E.	Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
	Not applicable X Meets intent of standard Does not meet intent

F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical

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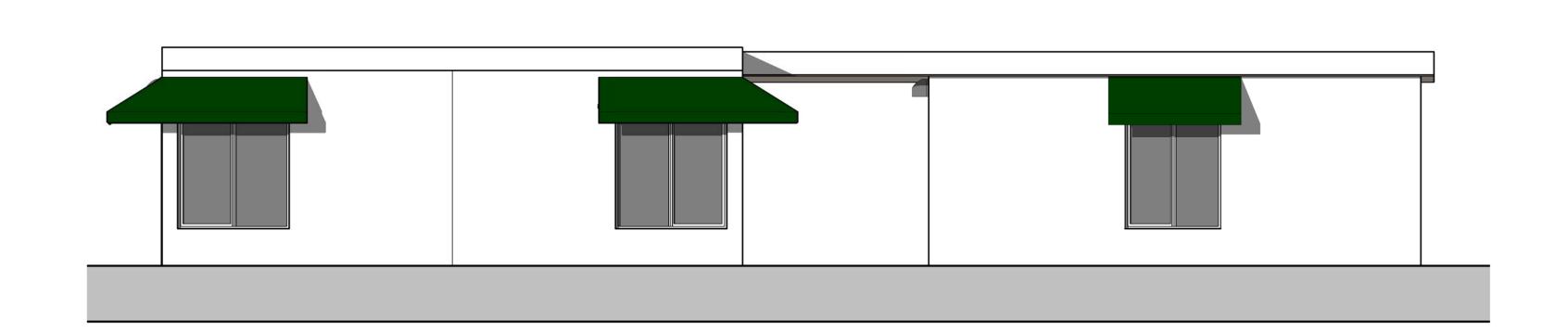
	considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
	Not applicable  Meets intent of standard  Does not meet intent  X
G.	Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
	Not applicable X Meets intent of standard Does not meet intent
Н.	The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
	Not applicable Meets intent of standard Does not meet intent  X
I.	Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
	Not applicable  Meets intent of standard  Does not meet intent  X
J.	Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
	Not applicable X Meets intent of standard Does not meet intent

# ROSSROADS - ANNEX BUILDING

# SPRAB SUBMITTAL 08-15-2018

# CROSSROADS - ANNEX BUILDING

1700 LAKE IDA ROAD DELRAY BEACH, FL 33445



# **ARCHITECT**

CURRIE SOWARDS AGUILA ARCHITECTS

185 NE 4th Avenue Delray Beach, FL 33483 TEL: 561-276-4951 FAX: 561-243-8184

# **STRUCTURAL ENGINEER:**

McCarthy and associates

601 North Congress Avenue Suite 106A Delray Beach, Florida 33483 TEL: 561 921-0338 FAX: 561 921-0340

# M.E.P. ENGINEER:

THOMPSON AND YOUNGROSS ENGINEERING DIVERSIFIED CONSTRUCTION AND CONSULTANTS ENGINEERING SERVICES, INC,

112 S.E. 10TH STREET DELRAY BEACH, FLORIDA 33483 TEL: 561 274-0200 FAX: 561 274-0222

# **CIVIL ENGINEER:**

ENGINEERING SERVICES, INC,
2295 N.W. CORPORATE BLVD.
SUITE 125
BOCA RATON, FL 33431
TEL: 561 750-3717

### **LANDSCAPE ARCHITECT:**

DAVE BODKER LANDSCAPE
ARCHITETURE/PLANNING, INC.
601 N. CONGRESS AVENUE
SUITE 105-A
DELRAY BEACH, FL 33445
TEL: 561 276-6311

### SHEET # SHEET NAME

A0.00 A0.01 A1.01 A1.02	COVER VICINITY MAP SITE PLAN COMPOSITE OVERLAY PLAN	S-1 C0 C1of2	SURVEY CIVIL COVERSHEET SITE IMPROVEMENT PLAN
A2.01 A2.02 A3.01 A3.02 A7.01	FIRST FLOOR PLAN ROOF PLAN ELEVATIONS COLORED ELEVATIONS SECTIONS	C2of2 L-1 L-2 E4	SITE IMPROVEMENT DETAILS PLANTING PLAN SPECIFICATIONS, DETAILS AND NOTES PHOTOMETRIC PLAN

**CURRIE** 

# **SOWARDS** AGUILA architects Architecture, Planning, Interiors, &

Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T: (561) 276-4951 F: (561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

BIDS PERMIT

CONSTRUCTION

SEAL

JESS M. SOWARDS FL. REG# AR0013205

PROJECT TITLE

CROSSROADS -**ANNEX** BUILDING

1700 LAKE IDA ROAD DELRAY BEACH, FL 33445

REVISIONS NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED CONCEPT. THEY ARE NOT INTENDED
TO PROVIDE EVERY DETAIL OR
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CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH
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RESPONSIBLE FOR PROVIDING A
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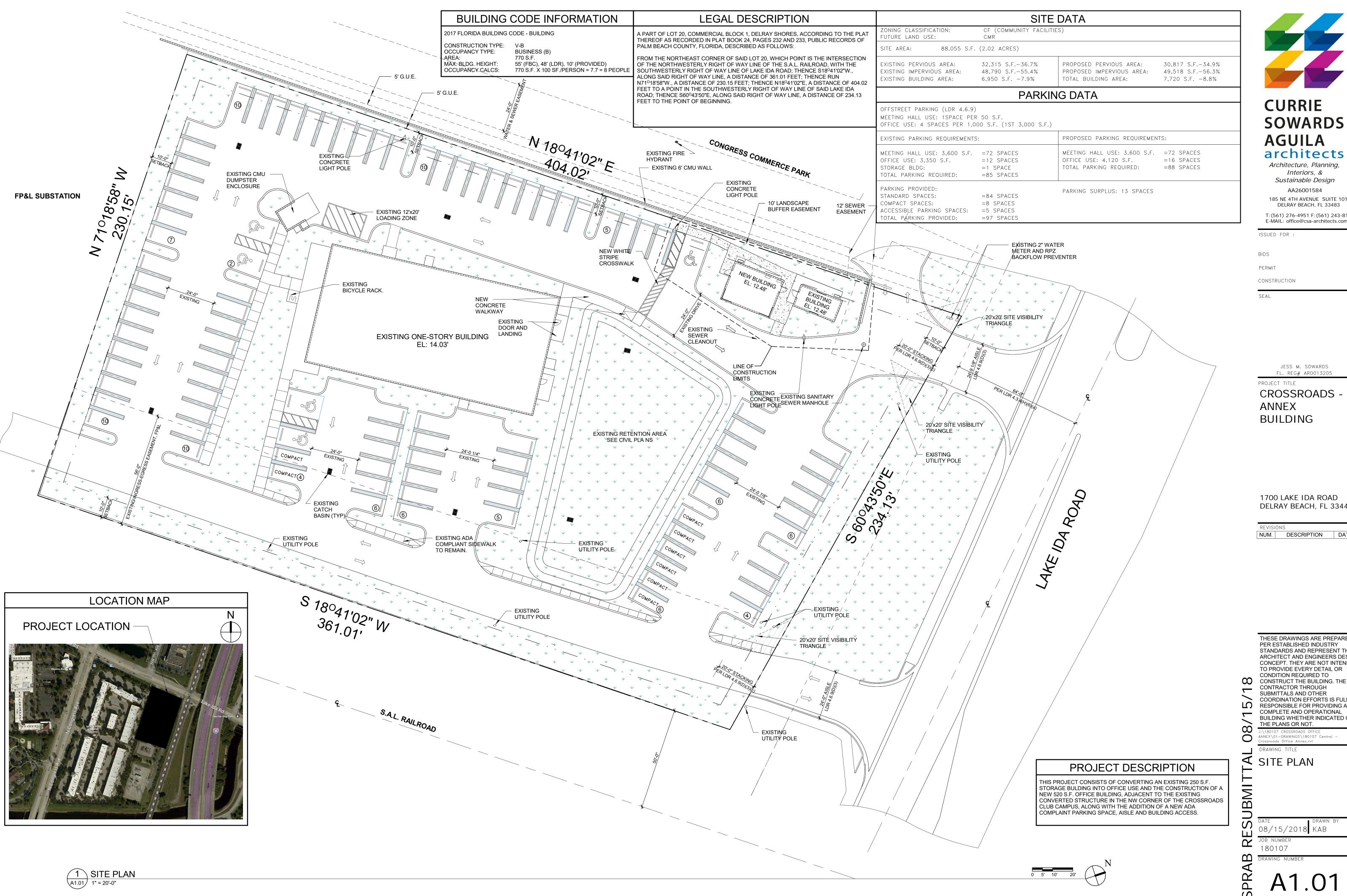
THE PLANS OR NOT.

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ANNEX\01-DRAWINGS\180107 Central 
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DRAWING TITLE

✓ VICINITY MAP



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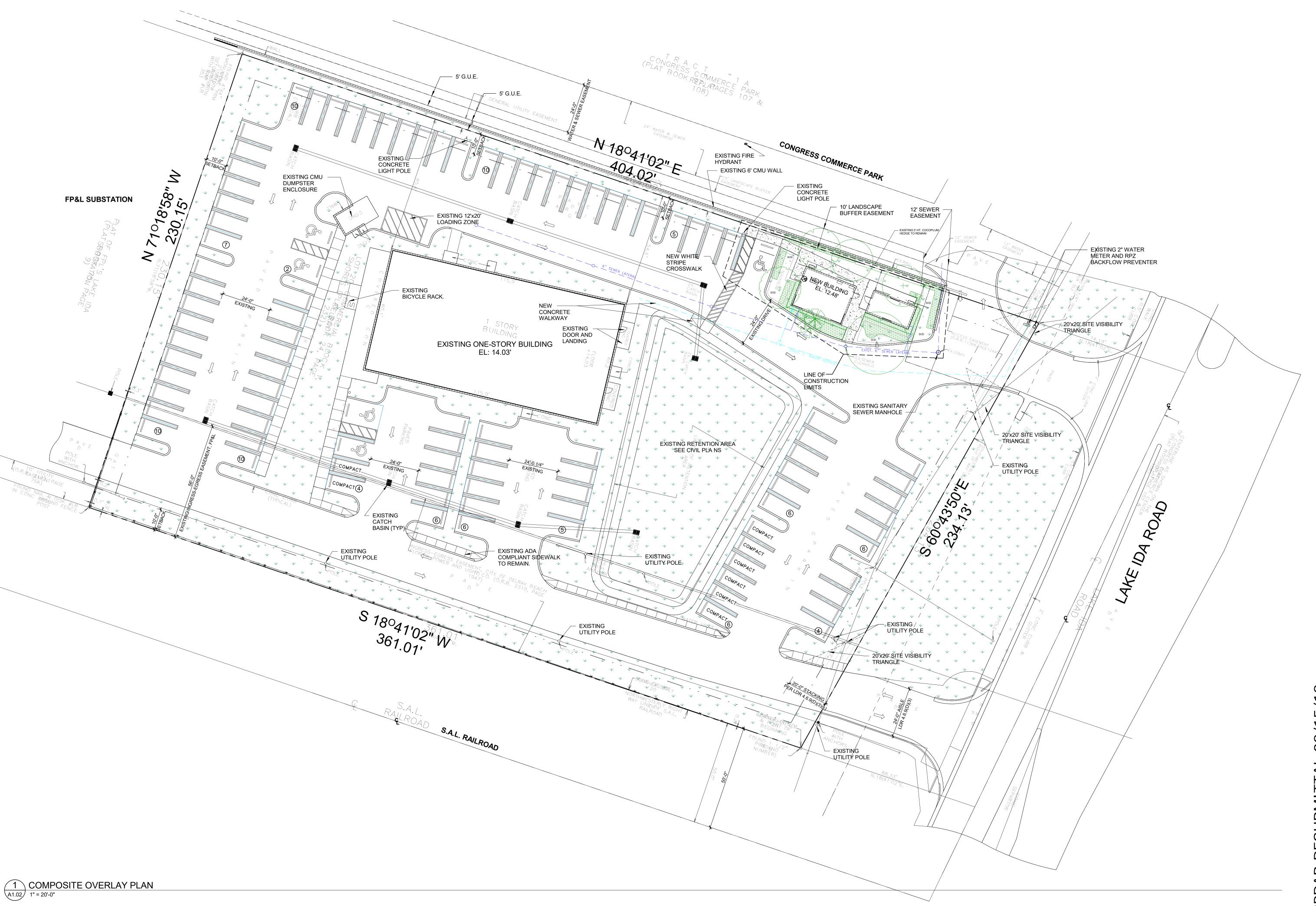
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✓ SITE PLAN





# SOWARDS

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COMPOSITE
 OVERLAY PLAN

DATE DRAWN 08/15/2018 KAB

180107

A1 02

1 FIRST FLOOR PLAN
A2.01 1/4" = 1'-0"

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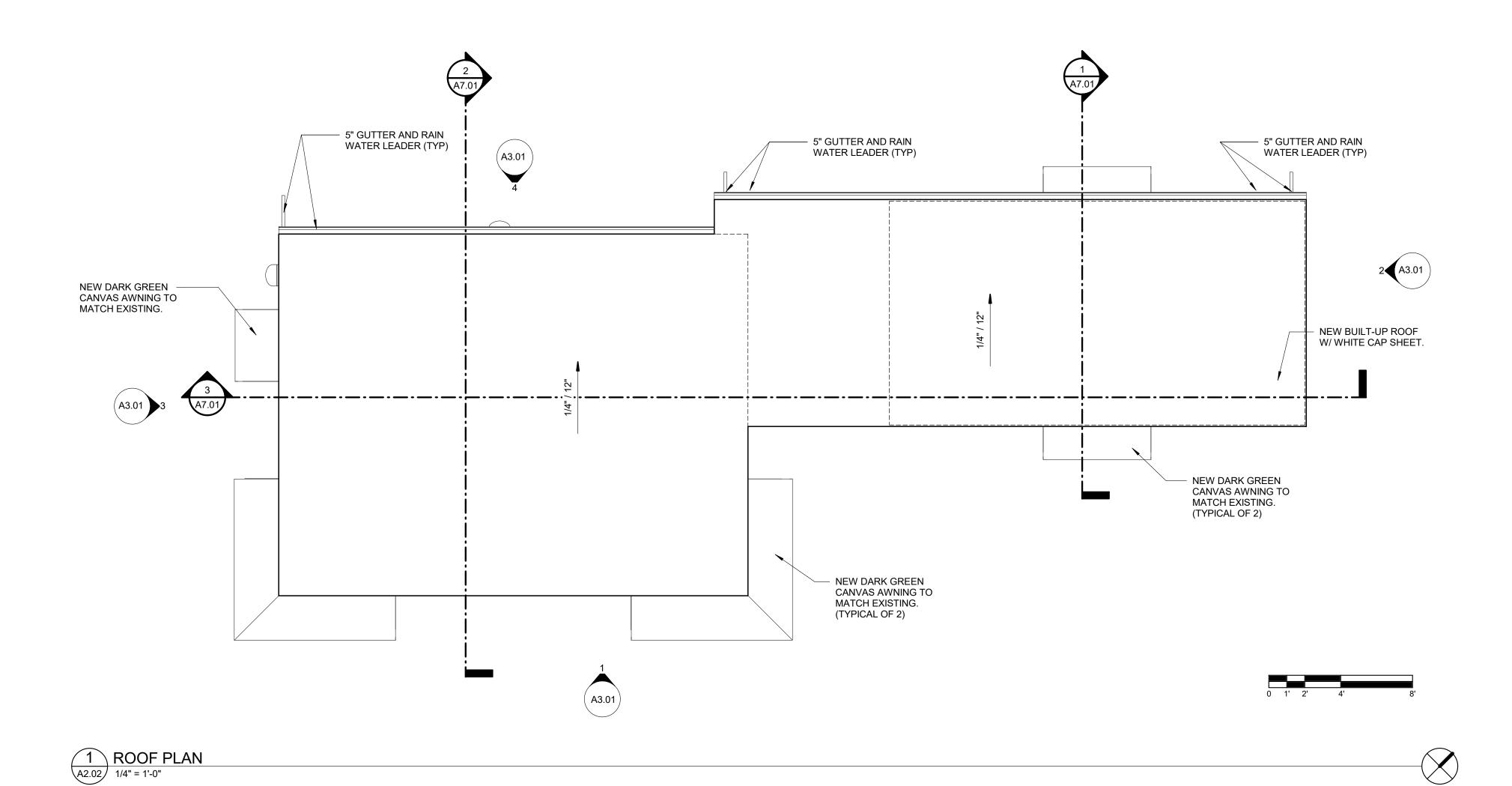
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DRAWING TITLE

✓ FIRST FLOOR ☐ PLAN





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PROJECT TITLE

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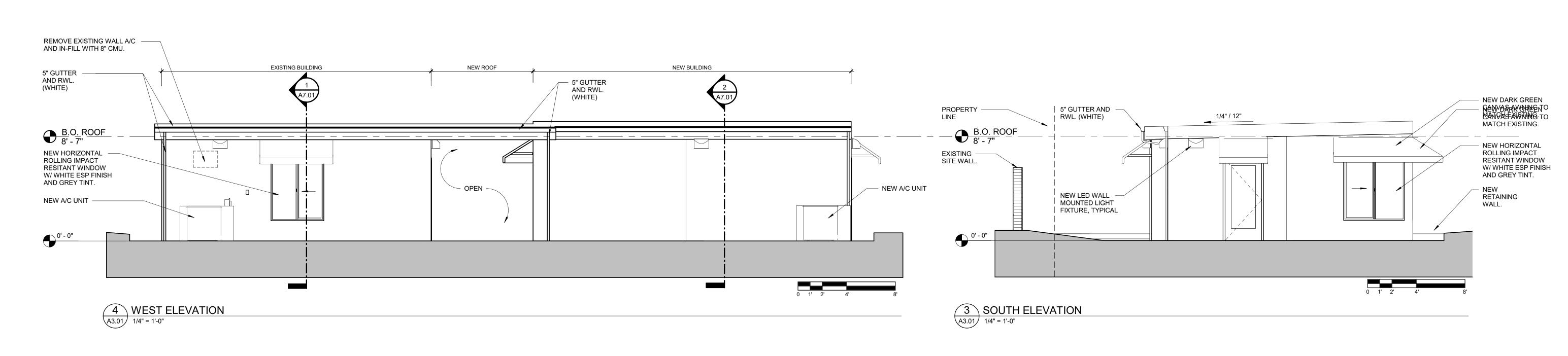
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DRAWING TITLE

✓ ROOF PLAN



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✓ ELEVATIONS

WOOD FASCIA

CANVAS AWNING ON ALUMINUM FRAME (AW-1)

ALUMINUM GUTTER AND DOWNSPOUT

CANVAS AWNING ON ALUMINUM FRAME

ALUMINUM WINDOW (SF-1)

4 WEST ELEVATION
A3.02 1/4" = 1'-0"

LIGHT TEXTURED STUCCO (P-1)

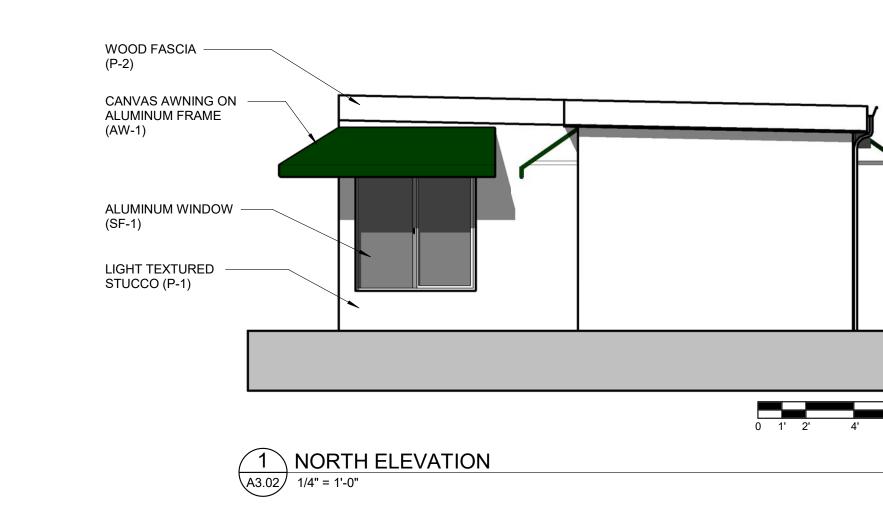
(AL-1)

(AW-1)

(P-2)

E	EXTERIOR PAINT LEGEND						
ITEM	EXTERIOR PAINT COLOR						
P-1	BODY COLOR - LIGHT TEXTURED STUCCO - WHITE TO MATCH ADJACENT BUILDING						
P-2	TRIM COLOR - WHITE TO MATCH ADJACENT BUILDING						
AW-1	AWNING - SUNBRELLA - FIREST GREEN TO MATCH ADJACENT BUILDING						
SF-1	ALUMINUM EXTERIOR DOORS AND WINDOWS - WHITE ESP W/ GREY TINTED GLASS						
AL-1	GUTTERS AND DOWNSPOUTS - WHITE ALUMINUM						





JESS M. SOWARDS FL. REG# AROO13205 PROJECT TITLE

**CURRIE** 

**SOWARDS** 

AGUILA architects

Architecture, Planning, Interiors, &

Sustainable Design AA26001584

185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483

T: (561) 276-4951 F: (561) 243-8184 E-MAIL: office@csa-architects.com

ISSUED FOR :

CONSTRUCTION

BIDS

PERMIT

SEAL

CROSSROADS -ANNEX BUILDING

1700 LAKE IDA ROAD DELRAY BEACH, FL 33445

REVISIONS NUM. DESCRIPTION DATE

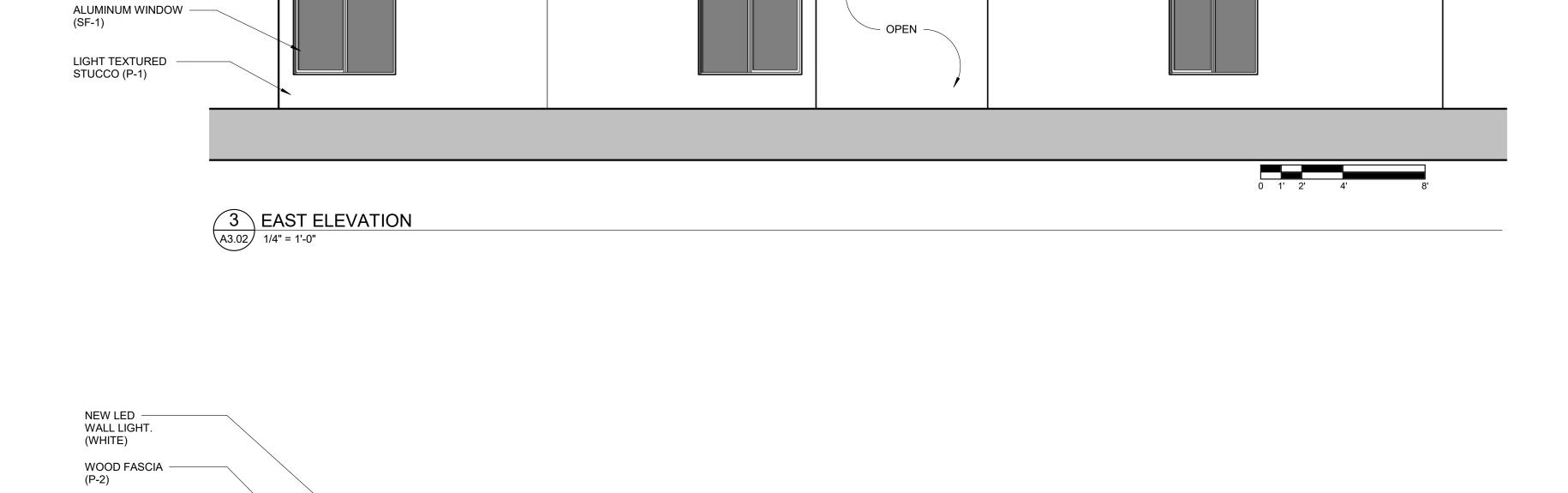
WHITE ALUMINUM GUTTER AND WOOD FASCIA DOWNSPOUT (P-2) (AL-1) CANVAS AWNING ON CANVAS AWNING ON ALUMINUM FRAME ALUMINUM FRAME (AW-1) (AW-1) ALUMINUM WINDOW (SF-1) LIGHT TEXTURED STUCCO (P-1) LIGHT TEXTURED STUCCO (P-1) 2 SOUTH ELEVATION
1/4" = 1'-0"

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN
CONCEPT. THEY ARE NOT INTENDED
TO PROVIDE EVERY DETAIL OR
CONDITION REQUIRED TO
CONSTRUCT THE BUILDING. THE
CONTRACTOR THROUGH
SUBMITTALS AND OTHER
COORDINATION EFFORTS IS FULLY
RESPONSIBLE FOR PROVIDING A
COMPLETE AND OPERATIONAL
BUILDING WHETHER INDICATED ON BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

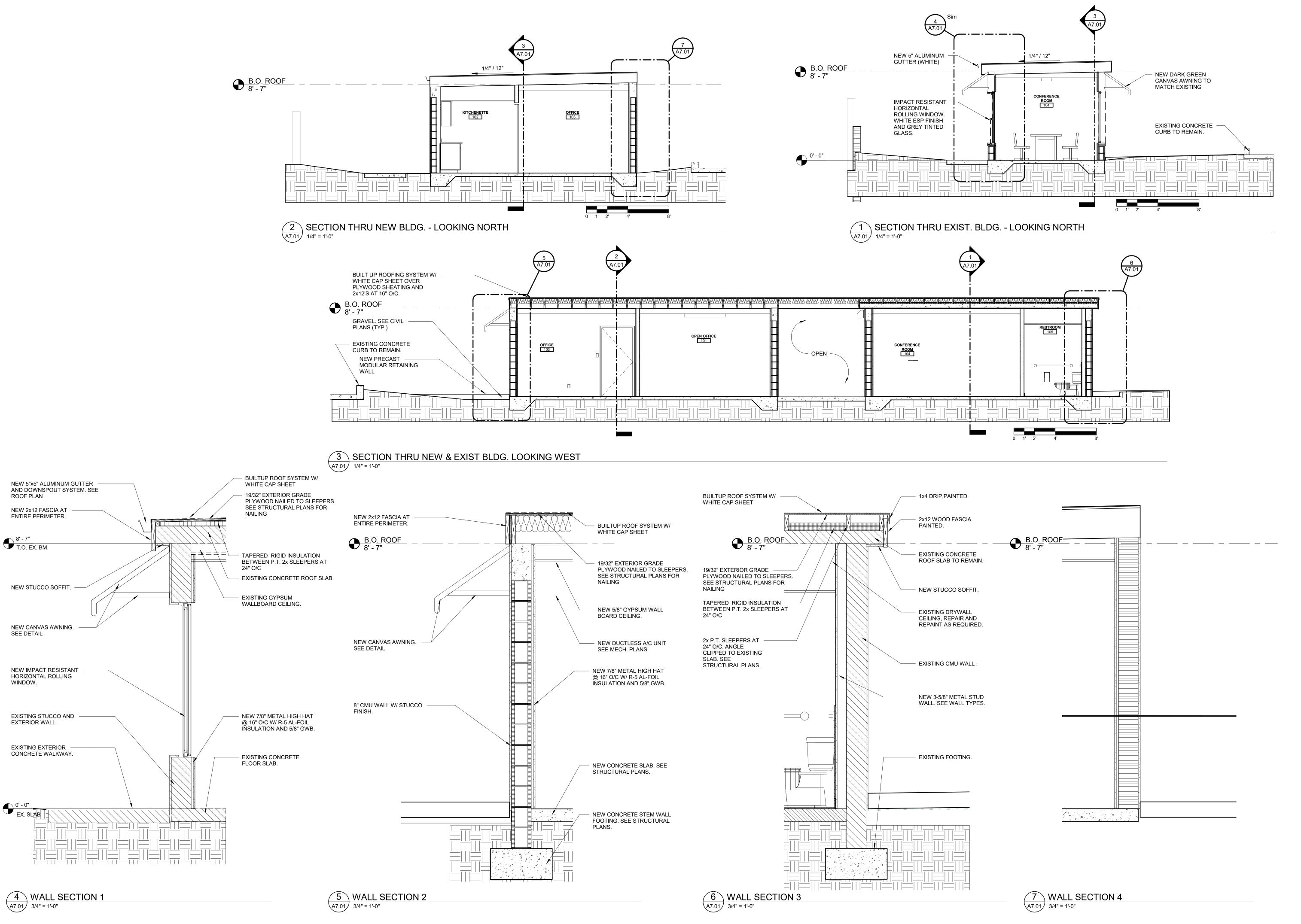
J:\180107 CROSSROADS OFFICE
ANNEX\01-DRAWINGS\180107 Central Crossroads Office Annex.rvt DRAWING TITLE

✓ COLORED ELEVATIONS

180107



OPEN —



**CURRIE SOWARDS AGUILA** architects Architecture, Planning, Interiors, & Sustainable Design AA26001584 185 NE 4TH AVENUE SUITE 101 DELRAY BEACH, FL 33483 T: (561) 276-4951 F: (561) 243-8184

E-MAIL: office@csa-architects.com

BIDS

ISSUED FOR :

PERMIT

SEAL

CONSTRUCTION

JESS M. SOWARDS FL. REG# AR0013205

PROJECT TITLE CROSSROADS -**ANNEX** BUILDING

1700 LAKE IDA ROAD DELRAY BEACH, FL 33445

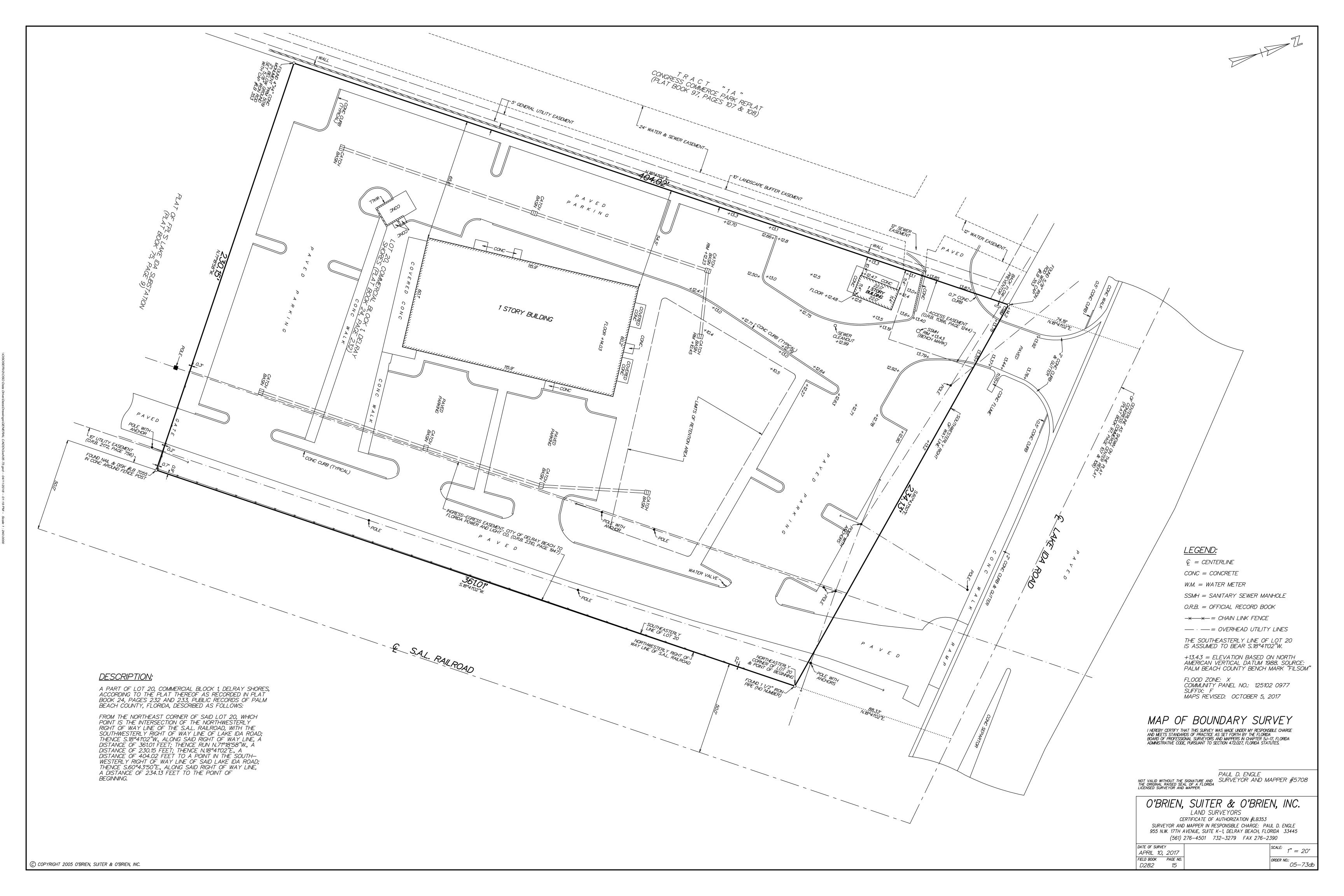
NUM. DESCRIPTION DATE

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIGN CONCEPT. THEY ARE NOT INTENDED TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED ON THE PLANS OR NOT.

J:\180107 CROSSROADS OFFICE

ANNEX\01-DRAWINGS\180107 Central 
Crossroads Office Annex.rvt DRAWING TITLE

✓ SECTIONS



# Site Improvement Plans for

# CROSSROADS - ANNEX BLDG.

1700 LAKE IDA ROAD DELRAY BEACH, FL.

# **ENGINEER**

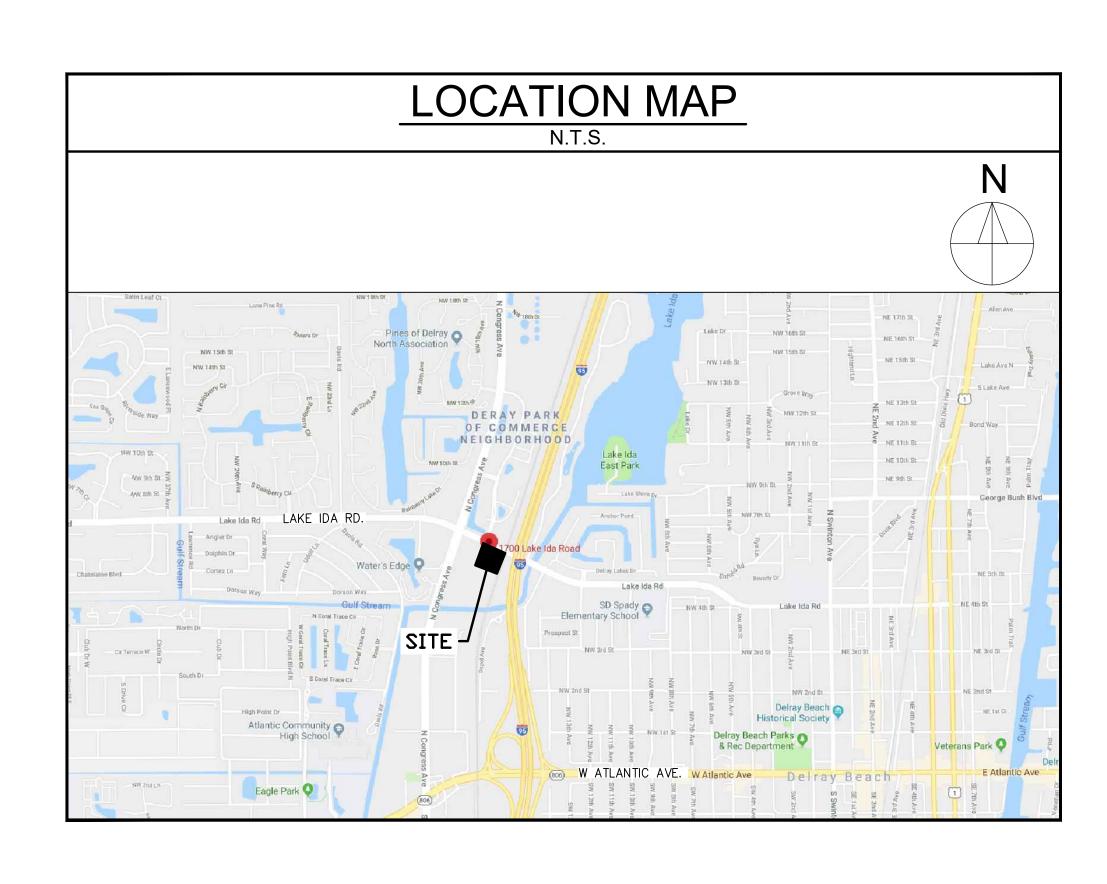
DIVERSIFIED CONSTRUCTION & ENGINEERING SERVICES 2295 N.W. CORPORATE BLVD., SUITE 125 BOCA RATON, FL 33431 (561) 750-3717

# ARCHITECT

CURRIE SOWARDS AGUILA 185 NE 4TH AVENUE, SUITE 101 DELRAY BEACH, FLORIDA 33483 (561) 276-4951

# SURVEY

O'BRIAN, SUITER & O'BRIAN, INC 955NW 17TH STREET, SUITE K-1 DELRAY BEACH, FLORIDA 33445 (561) 2764501

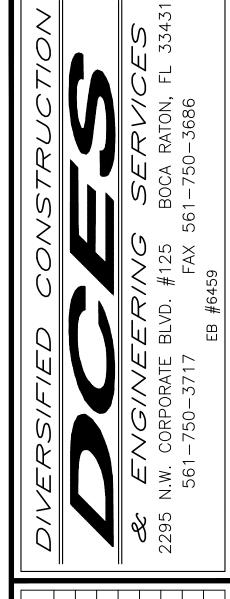


# INDEX OF DRAWINGS

COVERSHEET

SITE IMPROVEMENT PLAN

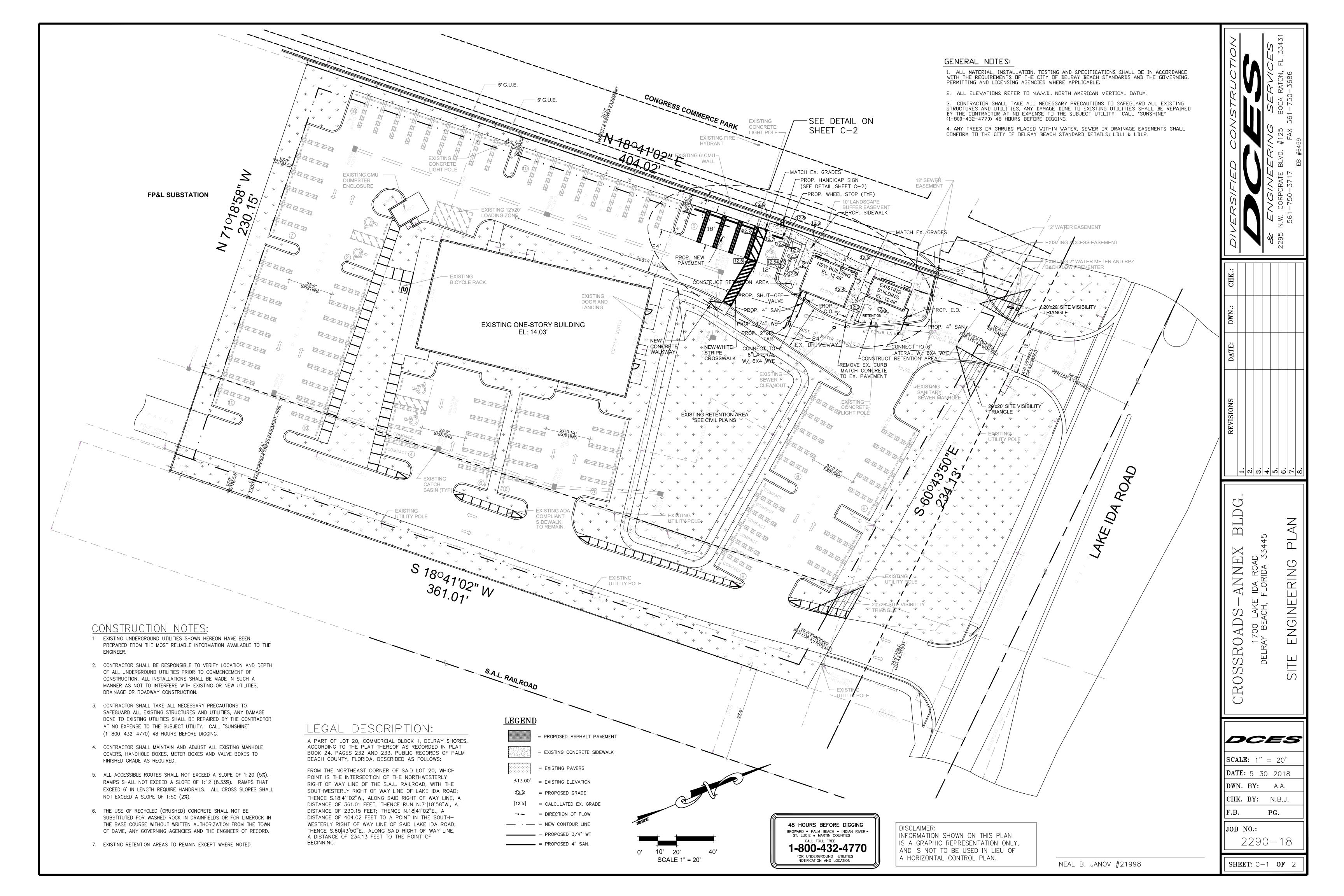
SITE IMPROVEMENT PLAN & DETAILS

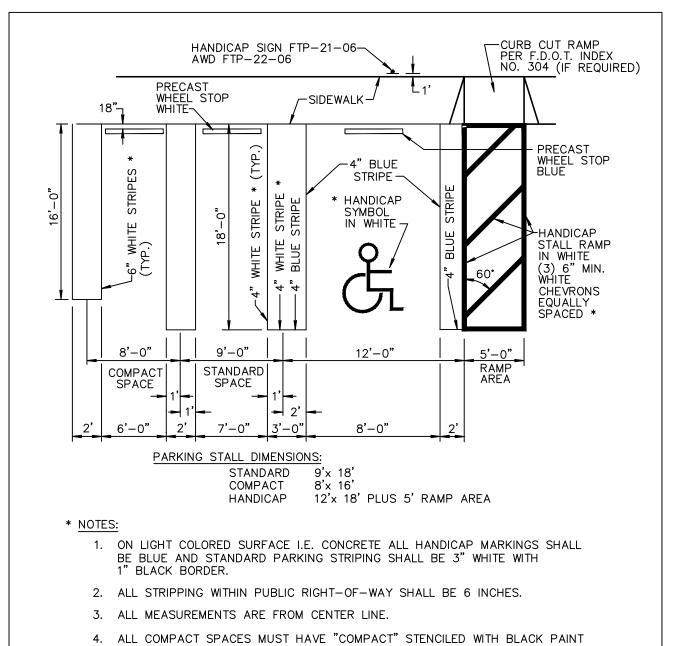


REVISIONS DATE: DWN.:	CHK.:							
REVISIONS	DWN.:							
	DATE:							
■ 14 の 8 4 5 9 5 8	REVISIONS	2.	3.	4.	5.	3.	7.	3.

SCALE: NO	SCALE
<b>DATE:</b> 5–3	0-2018
DWN. BY:	A.A.
CHK. BY:	N.B.J.
F.B.	PG.
JOB NO.:	
2290	0 - 18
SHEET: CS	6 <b>OF</b>

NEAL B. JANOV #21998





ON WHEEL STOP.

1.5"R ├─

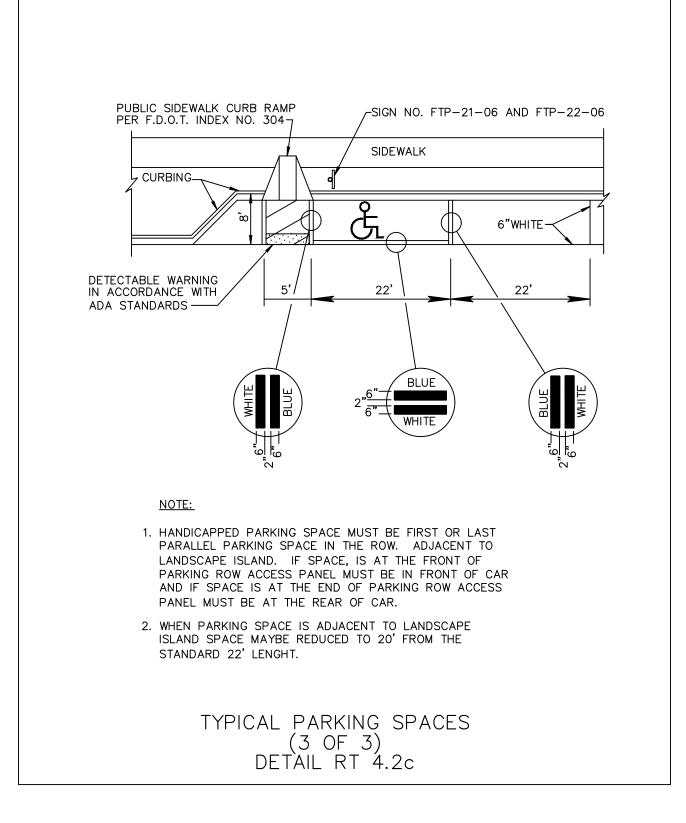
5. BLUE STRIPE & H/C SYMBOL AND WALKWAY ON CONCRETE

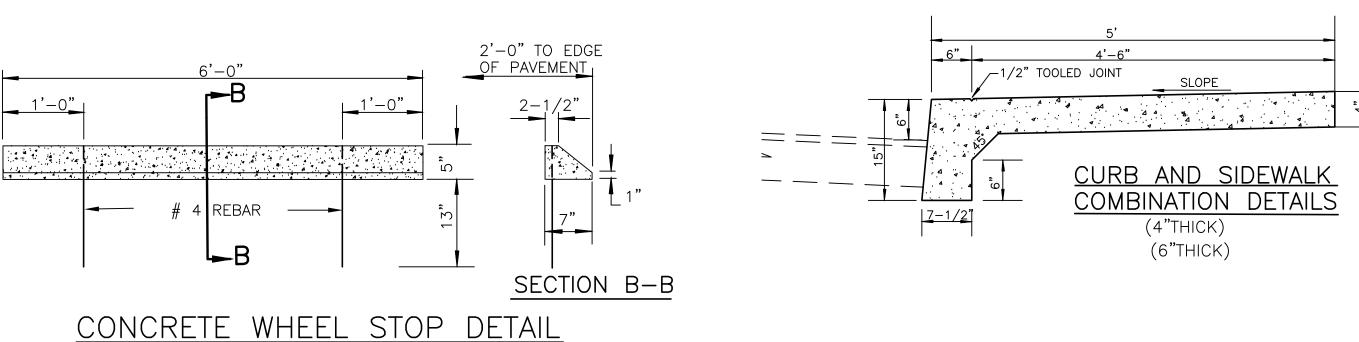
6. 24" STOP BAR BETWEEN ALL PARKING LOTS AND PUBLIC R/W SHALL BE THERMOPLASTIC AND PER FDOT SPECIFICATIONS AND STOP SIGN R1-1

TYPICAL PARKING SPACES

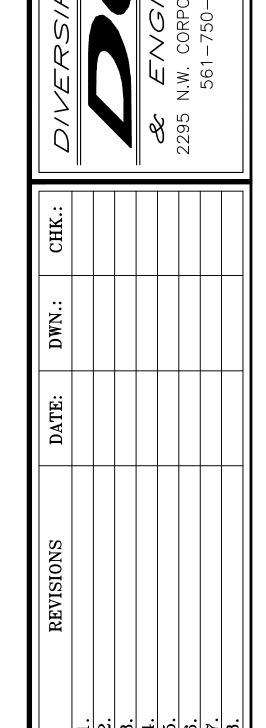
(1 OF 3)

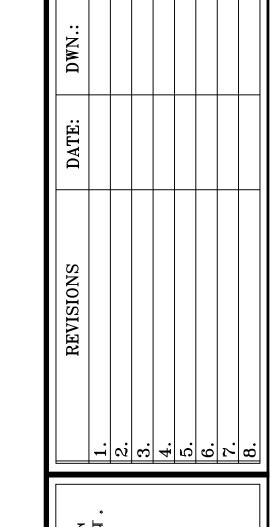
DETAIL RT 4.2a





1. WHEEL STOP SIZES AND REINFORCEMENT MAY VARY DEPENDING ON MANUFACTURER. WHEEL STOPS SHALL BE PAINTED BLUE AT HANDICAP SPACES, UNPAINTED AT REGULAR

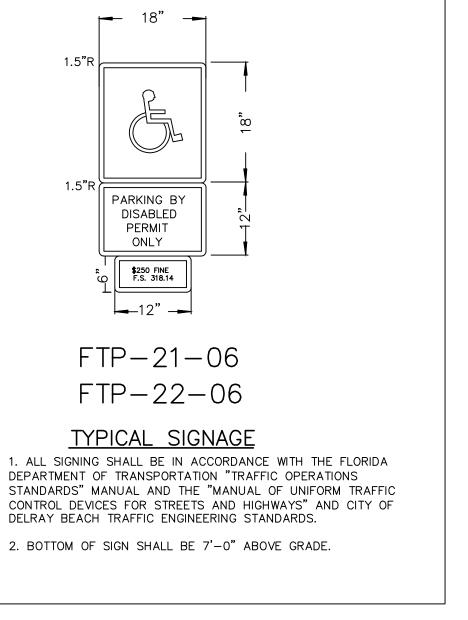




ANNEX RING AILS NGINEE & DE AD SRO

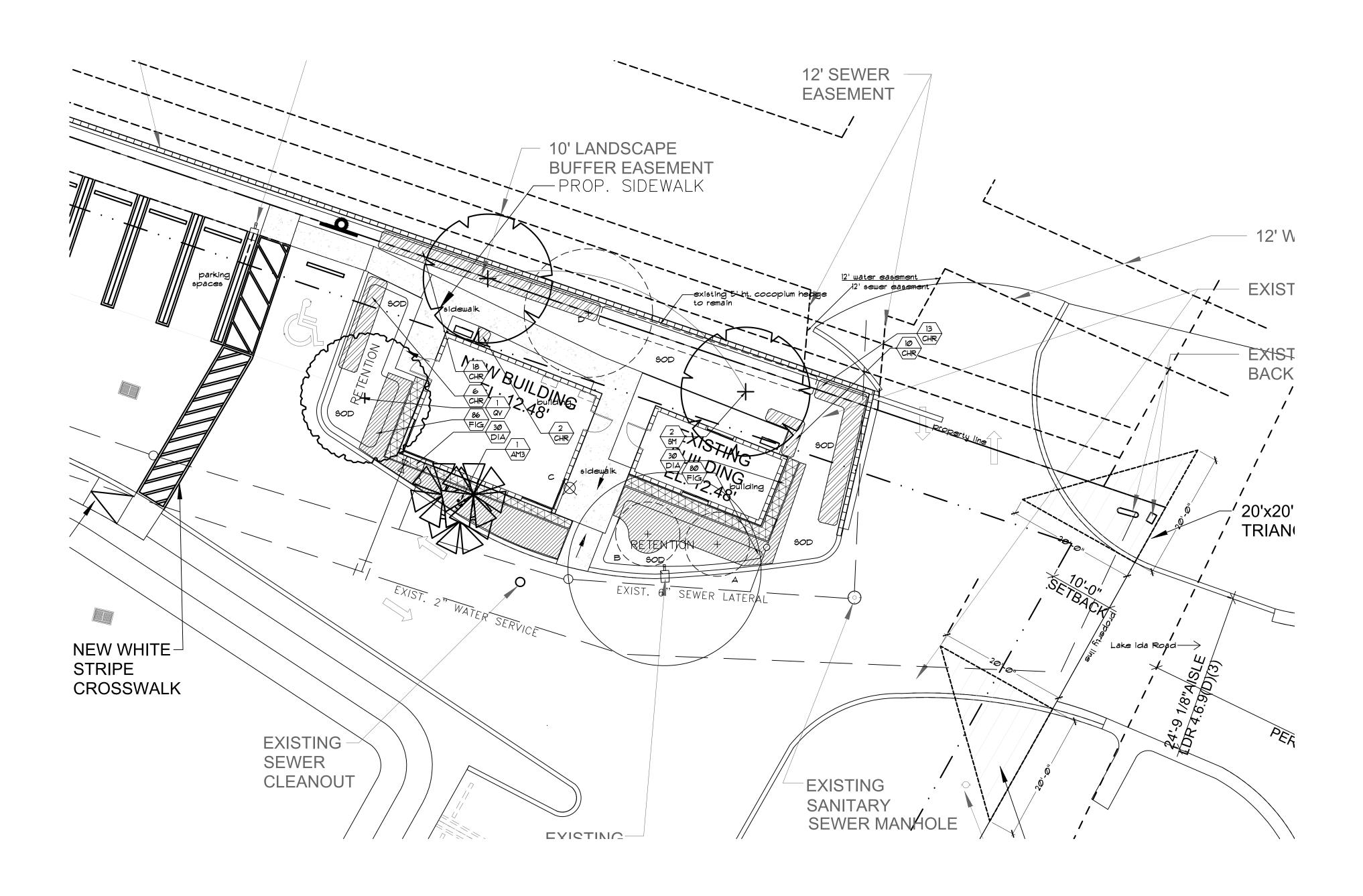
DCES SCALE: N.T.S. **DATE:** 5-30-2018 DWN. BY: A.A. CHK. BY: N.B.J. JOB NO.: 2290-18 **SHEET:** C-2 **OF** 2

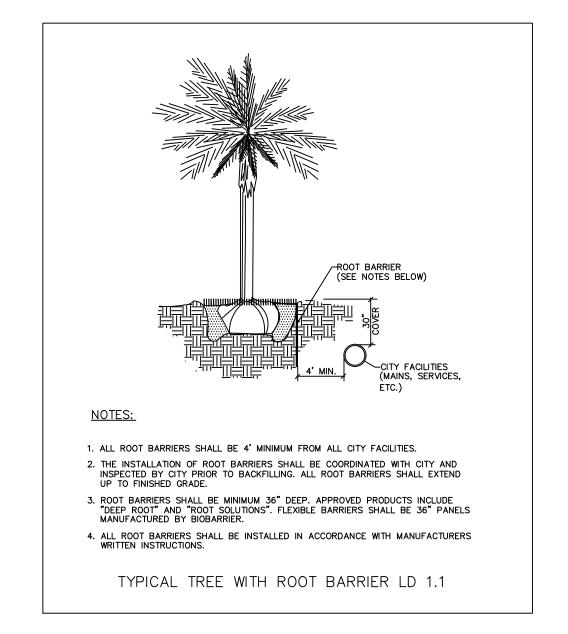
-MATCH EX. GRADES -PROP. HANDICAP SIGN 12' SEWER EASEMENT (SEE DETAIL SHEET C-2) /PROP. WHEEL STOP (TYP) **LEGEND** = PROPOSED ASPHALT PAVEMENT = EXISTING CONCRETE SIDEWALK MATCH EX./GRADES = EXISTING PAVERS 13.00' = EXISTING ELEVATION = PROPOSED GRADE 6" SEWER LATERAL = CALCULATED EX. GRADE PROP. NEW NEW BUILDING 12.48' = DIRECTION OF FLOW PAVEMENT----- - NEW CONTOUR LINE \_\_\_\_ = PROPOSED 3/4" WT = PROPOSED 4" SAN. CONSTRUCT · Training , EXISTING BUILDING RQP. SHUT-OFF PROP. 4" SAN-SEWER LATE NEW CONCRETE/ -CONNECT TO/6' VNEWWHITE WALKWAY LATERAL W/ 6X4 WYE/ -construct retention areas LREMOVE EX. CURB MATCH CONCRETE EXISTING TO EX. PAVEMENT SEWER V CLEANOU DETAIL OF BUILDING AREA

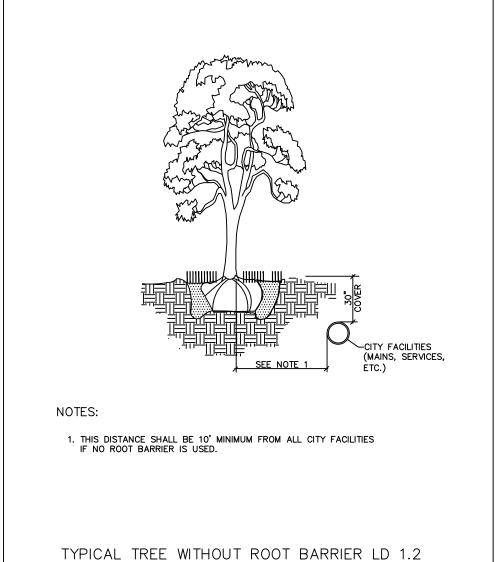


1"=10

NEAL B. JANOV #21998







- ALL PLANT MATERIAL SHALL BE FLORIDA \*\*I GRADE OR BETTER.

- MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.

- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.

- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS.

- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.

- THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.

- ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2.

NOTE: NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 1.1 AND LD 1.2. / BACK OF CURB (TYP) EXCAVATION AREA (30" DEPTH) COMPACTED SOIL (12" WIDE)

10"-

# LEGEND

EXISTING TREES TO BE REMOVED

EXISTING TREES TO BE RELOCATED

EXISTING TREES TO REMAIN

NEW LOCATION OF RELOCATED TREES

( • ) EXISTING PALMS TO REMAIN

PROPOSED PALMS

PROPOSED TREES

# EXISTING TREE LIST

<u>STATUS</u>	<u>DESCRIPTION</u>	TREE TYPE	SYM
remain	10' ht. x 10' spr., multi trunk	Ligustrum Tree	A
remain	10' ht. x 10' spr., multi trunk	Ligustrum Tree	В
remove	10' ht. x 10' spr., multi trunk	Ligustrum Tree	C
remain	35' ht. x 20' spr., 10" cal.	Mahogany Tree	D

### PI ANT I IST

<u> </u>				
SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE
<b>ДМ</b> З	Adonidia merrillii Triple Christmas Palm	12' o.a. ht. triple trunk	1	
QV	Quercus virginiana Live Oak	16' ht. x 6' spr. 3" cal.	1	YES
SM	Swietenia mahoganii Mahogany Tree	16' ht. x 6' spr. 3" cal.	2	YES
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 18" spr. 24" o.c.	49	YES
DIA	Dianella tasmanica Blueberry Flax Lily	18" ht. x 18" spr. 18" o.c.	60	
FIG	Flous microcarpa Green Island	18" ht. x 18" spr. 18" o.c.	166	
SOD	Stenotaphrum secundatum St. Augustine Sod	full, fresh sod	as req'd	

project: crossroads

> delray beach florida

dave bodker landscape architecture/planning inc.

601 n. congress ave., suite 105—a delray beach, florida 33445 561—276—6311

#LA0000999

sheet title:

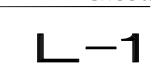


project number: 1318

date: 6-14-18 scale: 1" = 10'drawn by:

revisions:  $\triangle$  8-9-18 per city comments

sheet:





### Applicable Documents

### A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, equipment, materials, services and incidentals necessaru t complete the work as indicated on the Plans and in the
- Specifications, as well as all other related responsibilities, including all change and repairs incident B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, gradi

fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding,

- C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the locations shown in order to provide for any modification which might be necessary.
- $\hbox{D. Investigation of Subsurface Condition: The Contractor shall}\\$ be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive
- separate, additional compensation for this. E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The The final amount of payment may or may not be the total sum
- F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.

of the contract depending on the number of units installed.

- G. The Landscape Contractor will coordinate his work with all
- (2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palmi shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.
- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.
- (4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.
- i. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Departmen of Agriculture's "Grades and Standards for Nursery Plants"
- J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise
- K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

### A. Sod shall be solid sod and shall be standard quality grade

Note: Quality grade shall be based on the standards of sod stablished by the Turf grass Producers Association of Florida inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch, up to one half inch allowable (uncompressed).

the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being out and shall be shaded and kept moist from the time it is cut until it is planted.

(1) All plant material to be removed shall be removed

(1) All existing plant material to be relocated shall be

root pruned a minimum of 90 days or for a period as

determined by the Landscape Architect prior to

(2) Rootball: Requirements for the measurement of minimum

requirements as set forth in the latest edition of

the Florida Department of Agriculture's "Grades and

Standards for Nursery Plants, Part 1 and Part 2", as

MIN. BALL DIA.

Increase 1

(3) Root pruning shall be accomplished by digging a trench

completely around the plant about 18 inches deep. All

(4) A mixture of good organic fertilizer and planting soil

exposed roots shall be cut off smoothly.

(5) Plant material which is in soil of a loose texture,

which does not readily adhere to the root system

especially in the case of large plants or trees, shall

have the rootball wrapped in burlap and then wire, if

directed by the Landscape Architect. For wire, hog wire

shall be used and it shall be placed around the rootbal

the tightened wire netting formed by the hog wire, so as

before before the plant is removed from the hole for

relocation. The wire shall be looped and tensioned

until the burlapped ball is substantially packaged by

to prevent disturbance of the loose soil around the

roots during handling.

MIN. BALL DEPTH

75% of dia.

65% of dia

60% of dia.

60% of dia.

60% of dia.

60% of dia.

then decrease in

proportion for large

up to 48".

rootball diameter and depth shall comply with

as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

completely, including the rootball, from the job or

as directed by the Landscape Architect. The remaining

hole shall be filled with suitable material or planting so

I. Removal of Plant Material:

CALIPER

1.75 - 2"

2 - 2.5"

4 - 45"

4.5 - 5"

5.5" or more

- A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architec size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory of defective material at any time during the progress of work. shrubs within 7 days from the project site.
- B. Responsibility for Assuring Quality Work
- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the materia
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape
- (1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants
- (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted Plant materials which have been cut back from large grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or objectionable disfigurements.

- A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.
- A. Potable, from municipal water supplies or other sources which are approved by a public health department.
- A. Mulch shall be:
- (1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)
- A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients
- B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a
- rate of 1/2 lb. per 1000 SF of area. C. Annuals: Fertilize with Osmocote - Sierra blend 14-14-14 or approved equal.
- D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's
- E. All fertilizer shall comply with the State of Florida fertilizer laws.

A. Disposal of Trash: All debris and other objectionable

B. Excess Fill: All excess fill which results from the

Excess fill shall be disposed of as directed.

be thoroughly swept.

to person or property

Completion and Final Acceptance:

requirements.

Protection:

material created through planting operation and landscape

from the job or as directed by the Landscape Architect. Any

paved areas including curbs and sidewalks which have been

installation of the project shall remain the property of the

Owner and remain on the project at the option of the Owner

removed and disposed of from the project at no additional

the site until approved by the Owner or Landscape Architect.

cost. No excess fill shall be removed or disposed of from

All excess fill which the Owner does not want shall be

A. Responsibility for Protection and Restoration of Property:

B. Protection Against Mechanical Damage: The Contractor's

she shall repair, restore and replace all property which

becomes damaged as a result of any negligence of the

A. Upon written notice from the Contractor of the presumptive

completion as defined below, of the entire project, the

will make an inspection within 48 hours after the written

contract Plans and Specifications, such inspection shall

constitute the final inspection. The Contractor shall be

B. If, however, the inspection mentioned in paragraph A, above,

necessary instructions or "punch lists". Upon correction

of work, another inspection will be made which shall

discloses any work, in whole or in part, as being

Landscape Architect, along with other appropriate parties

notice. If all construction provided for and compensated by

the contract is found to be completed in accordance with the

notified in writing of final acceptance as of the date of the

unsatisfactory, final acceptance shall not be given and the

constitute the final inspection, provided the work has been

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

Owner and/or Landscape Architect will give the Contractor the

Contractor or his or her employees in complying with these

include providing protection from vehicles and providing

warning signs and barricades as might be necessary and he or

The Contractor shall be responsible for all damage or injury

strewn with soil, sod waste, fertilizer or other debris shall

construction shall be removed completely on a daily basis

### Delivery, Handling and Storage:

- A. Delivery and Handling:
- (1) Movement of nursery stock shall comply with all Federal State, and local laws, regulations, ordinances, codes, etc. (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and
- (3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be covered to prevent wind damage during transit.
- (1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.
- A. Written request for approval to substitute a plant species or a plants designation (B4B, WB4B, CG etc.), type, grade quality, size, quantity, etc. due to the non-availability o the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide written proof that the specified plant material is
- B. Any request for the approval of an equal shall be in writing. Approval shall be given by the Landscape Architect before the

material is delivered and installed on the project.

- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.
- D. if requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these materials and their locations for approval by the Landscape Architect before they are delivered and installed on the project. Also, two color photographs of each different item showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested,
- E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the arade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

### Staking and Guying:

- A. Staking and guying shall be the responsibility of the attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall receive approval from the Landscape Architect prior to their installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms so that the top of the grade, in order to eliminate the need or requirement of staking or guying.
- B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

### EXECUTION

A. Utilities (Above Ground and Underground)

C. Completion of the work shall mean the full and exact

corrective action.

and Specifications

compliance and conformity with the provisions expressed or

implied in the Plans and Specifications including any and all

"punch lists" which may be issued outlining certain items of

D. Final acceptance shall not be given until all construction

E. Final acceptance shall not be official until acknowledged in

F. The guarantee shall not begin until the day final acceptance

Certain responsibilities prior to Final Acceptance: The following

writing by the Owner or their representative.

is a partial list of certain responsibilities. It is not a

C. Maintenance Prior to Final Acceptance:

growth of the plants.

complete list, but only a summary of certain responsibilities

A. The Contractor is responsible for the entire project prior

B. The Contractor is responsible for safety on and off the job

(1) Maintenance shall begin immediately after each plant is

planted and continue until final acceptance

(2) Plant maintenance shall include watering, mowing,

edging, pruning, weeding, cultivating, repair of

erosion, mulching, tightening and repairing of guys,

established, resetting plants to proper grades or

upright position, maintenance of the watering saucer

litter removal, and all other care needed for proper

(3) immediately after planting, each plant shall be watered

acceptance. Refer to the heading "Watering", which is

(4) All plant material shall be weeded once a week. In the

prevalent to such as extent that they threaten plant

Landscape Architect. If necessary, the plant material,

the expense of the Contractor.

mulch, sand and/or planting soil shall be replaced as

needed to eliminate weeds or undesirable vegetation at

material, the weeds shall be removed as directed by the

event that weeds or other undesirable vegetation becomes

and the watering period shall continue until final

in Part 3 of these Specifications, for additional

plants, replacement of sod areas which do not become

stakes, braces, etc., replacement of sick or dead

provided for and contemplated by the contract is inspected

and found to be completed in accordance with contract Plans

(1) The work area may have existing utilities, such as, but not limited to, irrigation, phone, electrical and storm sewer. The location of some of these existing utilities have been indicated on the Plans.

### accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular (2) The Contractor shall take immediate steps to repair,

However, no guarantee is implied that the Plans are

F. If requested by the Owner or Landscape Architect, submit a

and installed on the project.

quarantee of plant material.

the installation.

sample and analysis of all planting soil types for approval

H. If requested by the Owner or Landscape Architect, submit a

Architect before the material is delivered and installed or

l. Submit three prints of shop drawing for all staking and

J. Submit in writing any hindrance to the owners routine

maintenance or lack of, that may affect installed plant

 $\ensuremath{\mathsf{K}}.$  Submit in writing any hindrance to the timely completion of

L. Submit and Certificate of inspection of plant material as may

A. When the specifies plant designation (B4B, WB4B, CG etc.),

available, the Contractor shall submit a written request,

to the Landscape Architect, for a substitution along with

WB4B, CG, etc.), type grade, quality, size, quantity, etc.

installed. Do not deliver and install any material, which is

of material is not available. The Landscape Architec

type, grade, quality, size, quantity, etc. of a material is not

uritten, documented proof that the plant designation (B4B

shall approve all substitutions before they are delivered and

anticipated to be a substitute, before it has been submitted

in writing and approved as a substitute by the Landscape

Architect. Also, ant changes, if any, to the contract amount

because of an approved substitute, shall be established in

writing between the Owner and the Contractor before the

material substitute is delivered and installed on the

materials growth, or survival, that would affect the

guying methods to be used if the ones indicated in these

Specifications and on the Plans are not to be implemented

staking and guying methods before they are implemented in the The Landscape Architect will approve all shop drawings of

by the Landscape Architect before the material is delivered

sample and analysis of the mulch for approval by the Landscape

- replace, or restore all services to any utilities or additional outside services which may be necessary to prosecute repairs on a continuous "around the clock basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.
- (3) Should utilities, structures, etc., be encountered which interfere with the work, the Landscape Architect shall be consulted immediately in order for a decision to be made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated (4) The Contractor shall not purposefully disrupt or
- disconnect any type of utility whatsoever without first Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

- A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other
- B. Plant Area Next to Payement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS I INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans Preparation:

(1) Remove all litter once a week.

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on information from the plans.

(6) Edge and weed all shrubs, groundcover and flower beds

(8) Spraying and Dusting: Contractor shall do all seasonal

spraying and/or dusting of all planting, as needed, for

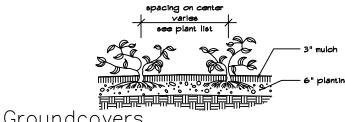
standard horticultural practices and as recommended by

complete control of pests and diseases. The materials

and methods shall be in accordance with the highest

the County Agent, and approved by the Landscape

### (5) Edge and mow sod once a week.



Architect, prior to implementation. (9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion aullies, washouts, or other causes shall be repaired by

resodding by the Contractor at his or her expense. (10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper

ifeguards and protectio (11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of

filling with topsoil, tamping, refertilizing, and

removed within 3 working days and replaced before an inspection for completion will be scheduled. E. Survival and Conditions: The Contractor shall be responsible for the proper maintenance and the survival and condition of

D. Material rejected during the course of construction shall be

installed until final acceptance. F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of

all landscape items from the time a landscape item is

final acceptance. G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of final acceptance.

- A. The guarantee shall not begin until the day final written
- B. All plant material, except sod, shall be guaranteed for a minimum of I year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palmi are to be guaranteed for one year from the time of final
- C. The quarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane
- prior to these "Acts of God". D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the

force, providing the plant was in a healthy growing condition

guarantee period.

### A. The quaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material

- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the (2) There is a question to its ability to survive after the
- end of the guarantee period that would render it below the minimum quality indicated in the Specifications (3) It is dead. B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root

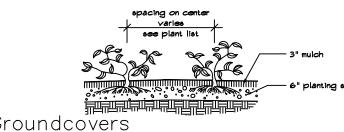
pruning, etc., only if approved by the Landscape Architect in

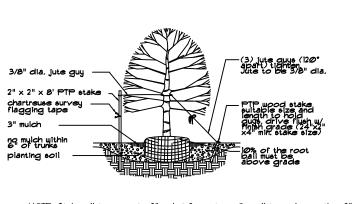
advance. The extended time shall be negotiated between all

parties concerned, but must receive final approval by the

- Landscape Architect. C. Size, Quality, and Grade:
- (1) Replacement plant material shall be one of the same specie quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.
- B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc
- C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall pe maintained as necessary until planting
- D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limeroc which may interfere with adequate vertical drainage and/o proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate material, as required, by such means as auguring, drilling o rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to neure proper vertical drainage necessary for plant surviva
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered. F. Excavation of Plant Holes:
- (1) General:
- a. Excavation of plant holes shall be roughly culindrical in shape with the sides appro vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hold and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.
- b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the

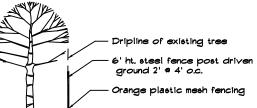
A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting





Trees

### EXISTING TREE PROTECTION BARRIER DETAIL



### However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally

- (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement
- (3) Final payment to the Contractor shall not relieve he or she of the guarantee obligations.
- Plan and Specification Interpretation:

A. The Contractor shall procure all necessary permits to

 $\ensuremath{\mathsf{B}}.$  The Contractor is responsible for performing all work in

and/or Federal jurisdiction the project is located in.

A. The Contractor shall not start on any changes or additional

A. The words "job site", "project site", "job", "project" and

"site" shall be synonymous with one another when used in

A. In performing the scope of work, all safety on of off the job

Landscape Architect shall not be responsible for safety on or

site shall be the sole responsibility of the Contracto

(1) All plants shall be set at the proper level so that

after settlement, a normal or natural relationship

ground surface exists. The plants shall be set

between the crown of the plant and the surrounding

to placement of the plant material, fill the planting

pits with water. The plant hole shall be backfilled with

When partially backfilled and compacted, the hole shall

around the roots: the ball ties shall be cut and at the

cut or adjusted to prevent the formation of air pockets

tapped to grade. Subsoil removed from tree pit shall

before applying the water. After the water has been absorbed

burlap peel down 1/3 from the top of the rootball and

the plant hole shall be filled with topsoil mixture and

(2) All sabal and queen palms shall be backfilled with clear

thoroughly washed in during the planting operation.

formed around the rim of each individual tree or palm

(4) Plant material of the shrub category and smaller must be

handled by the ball only. Plant material too large for

thoroughly protected from chain, rope, or cable marks.

hand handling, if moved by winch or crane, must be

damage that might occur by improper handling or

(5) All trees and palms shall be handled by both the trunk

removed from the container so as not to disturb the

(1) Soil Preparation: Within 24 hours prior to placing sod,

a. Uniformly apply formula 8-8-8 fertilizer over the

area at a rate of 25 pounds per 1,000 square feet.

b. Remove stones and foreign matter over two inches in

c. Grade the sod areas so that the top of the sod will

be at finished grade after rolling and tamping.

(6) Container grown plant material shall be carefully

Trunks shall be thoroughly protected.

prepare the soil in the following manner

root system.

and rootball at the same time and not by the trunk only.

(3) Water Saucer: A 4-inch high water saucer shall be

pit and maintained in place.

not be mixed or used in any way with the topsoil

topsoil mixture placed in layers around the roots or

ball. Each layer shall be carefully tapped in place.

be filled with water and the soil allowed to settle

work in the project until a written agreement setting forth

and the Contractor. Any work performed on any changes or

the adjusted contract amount has been executed by the Owne

additional work prior to the execution of a written agreement

accordance with all applicable regulations, ordinances and

code requirements from the appropriate city, county, state

accomplish all of the work.

Changes and Additional Work:

"Job Site, "Project Site Etc.":

Safety On and Off the Job Site:

these documents.

off the job site.

B. Setting of Plants:

may or may not be compensated for.

### acceptance, the request shall be made in writing 48 hours in A. On the Plans, figured dimensions shall govern over scaled dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same C. An inspections at the growing site does not preclude the right to the Landscape Architect for an interpretation and decisio of rejection at the project site.

- In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The D. The fact that the Landscape Architect has not made an early Landscape Architect shall have the right to correct on site observation or inspections to discover faulty work or apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem with the contract requirements, shall not bar the Landscape ecessary for the proper fulfillment of the intent of the Architect from subsequently rejecting such work at a later Plans and Specifications.
  - E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

The Landscape Architect's on site observations or inspections

safety on or off the job site.

On Site Observations and Inspections:

shall be only for the purpose of verifying that the Plans and

Architect's on site observations or inspections are not for

A. The Contractor shall make requests for on site observations

or inspections 48 hours in advance and they shall be in

writing, if directed by the Landscape Architec

B. If an inspection is related to completion and final

Specifications are being implemented properly. The Landscape

### Plant Material

from this requirement.

- A. Plant material shall be nursery grown except:
- (1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant
- material which is only available as a collected item from sources such as residences. B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if

specified, shall be no less than Florida \*1, or better, at

the time of installation and final acceptance. Existing

C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and

plant material to remain or to be relocated shall be excluded

### (2) Placing Sod:

- a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.
- b. Water sod every day for a period of three weeks. c. Fertilize sod three weeks after planting with 12 pounds
- of 8-8-8 formula fertilizer per 1,000 square feet of lawn. d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State

- a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.
- b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as

or Federal Department of Agriculture.

- (1) Spread six inches of topsoil mixture uniformly over the entire planting area.
- (2) Spread 50% organic fertilizer at a rate of 4 pounds pe 1,000 square feet uniformly over the groundcover area. (3) Rotor mix, or by other approved method, to a depth of
- (4) Fine grade to remove all trash, rocks, and debris to
- (5) Regrade to finish grade before adding two inches mulch.
- (6) Thoroughly water and firm the plants into the soil mixture.
- (1) Areas to be mulched shall have existing weeds and regetation removed, including root systems, before applying mulch.
- (2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

# GENERAL NOTES

- 1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER 2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN
- 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM IMPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTOR WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM

4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY.

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT .19T IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY CONTRACTOR PRIOR TO BIDDING
- 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND
- 6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PI ANTING OF ALL TREES SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS. T. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS,
- ETC., IN A PERPENDICULAR LINE. 8. ALL TREES AND PALMS TO BE STAKED AND GUYED.
- 9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH",
- TO A DEPTH OF 3". 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND
- 50% SAND AND BE FERTILE, AND FRIABLE
- 11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.

a. Rootball: Requirements for the measurement of minimum rootball diameter and depth shall comply with the Florida Department of Agriculture's "Grade and Standards for Nursery Plants, Part 1 and Part

CALIPER	MIN. BALL DIA.	MIN. BALL DEPTH
1 - 15"	16"	75% of dia.
1.5 - 1.75"	20"	65% of dia.
1.75 - 2"	22"	65% of dia.
2 - 2.5"	24"	65% of dia.
2.5 - 3.5"	26"	65% of dia.
3.5 - 4"	28"	65% of dia.
4 - 45"	30"	60% of dia.
4.5 - 5"	32"	60% of dia.
5 - 5.5"	34"	60% of dia.
5.5" or more	Increase in	60% of dia.
	proportion	up to 48",
		then decrease in
		proportion for lar

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

(1) Trees, Shrubs, and Groundcover:

- b. Height: The height of plant material shall be measured from finish grade and continue up to where the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant.
- E. Die-Back and Leaf Drop: plant material showing signs of dieback of leaf-drop will not be accepted and must be removed from the project immediately if so directed by the Landscape Architect. Therefore, any plant material with tendencies toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation
- F. Mechanical Destruction of Foliage: Mechanical destruction of than 10% of the total foliage prior to planting on the project. Loss of foliage caused by seasonal change will be
- G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists on plant material, it shall be completely removed prior to planting on the project

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

### F. Watering:

(1) initially, water the plant material to develop uniform the root zone. Avoid erosion, puddling, and washing soil away from the roots.

- (2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task it cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water during this period.
- (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such means as a water truck or tank

### G. Pruning and Thinning:

- (1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as
- not to change the natural habit or shape of a plant. (2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during

any pruning and thinning.

final acceptance.

(1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until

# crossroads

delray beach

florida

landscape architecture/planning inc.

# sheet title: specifications

project number 1318 6-14-18 n.t.s.

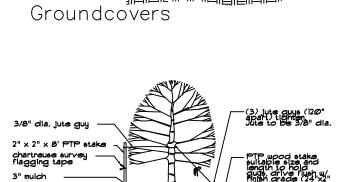
revisions:

Shrubs

10% maximum of the root ball must be above grade 3" mulch existing grade

# PLANTING DETAILS





NOTE: Stake all trees up to 2" cal. • 2 per tree, Guy all trees larger than 2" cal.

All plastic nursery tape / flagging must be removed from all plants.

— 6' ht. steel fence post driven into

-(3)2" x 4" x 8" brace nailed into blocking - chartreuse survey flagging tape - trunk flare or top roc visible on surface

Straight Trunk Palms

3. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GLAPANTEED TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE UNTIL THE TIME OF WRITTEN ACCEPTANCE

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR

EXCAVATION BEGINS, THE LANDSCAPE ARCHITECT MAY ADJUST THE

LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.

THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE

- 14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO MIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8' ABOVE FINISHED GRADE. 15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY, COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS
- NCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER 16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS. 17. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN
- REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

REQUIRED TO SUPPORT THE CURB.

- IS. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING. 19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK), 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS EXCEPT TO BUSINESS TO SUPPORT THE CURP.
- 20. ALL PLASTIC NURSERY TAPE TO BE REMOVED FROM TREE TRUNKS OF NEWLY PLANTED TREES, IF IT IS NECESSARY TO TIE TREE TRUNKS TO A STAKE, BIODEGRADABLE JUTE IS TO BE USED. 21. TREES PLANTED IN PARKING ISLANDS OR AROUND VEHICULAR USE AREAS

SHALL NOT BE PLANTED WHERE THEY OBSCURE SIGNS

# dave bodker

601 n. congress ave., suite 105-a delray beach, florida 33445

> 561-276-6311 #LA0000999

# details, notes

sheet:

### Applicable Documents

### A. These Specifications and the requirements hereinafter will govern this project during the installation, guarantee and maintenance period.

- A. The work specified by this Section of the Specifications and on the Plans consists of furnishing all labor, machinery, equipment, materials, services and incidentals necessaru t complete the work as indicated on the Plans and in the Specifications, as well as all other related responsibilities, including all change and repairs incident
- B. The work shall include, but not be limited to, furnishing material, root pruning where required, layout, protection to the public, excavation, installation, backfilling, gradi fertilizing, mulching, staking and guying where required, watering, pruning where required, sod installation, weeding,
- C. Quantities and Location: The Landscape Architect reserves the right to adjust the numbers and locations of the designated types and species to be used at any of the locations shown in order to provide for any modification which might be necessary.
- $\hbox{D. Investigation of Subsurface Condition: The Contractor shall}\\$ be responsible for making site subsurface investigations and examination as he or she chooses in order to become familiar with the character of the existing material and the construction conditions under which he or she will work These subsurface investigations and examinations shall be included in the bid. The Contractor shall not receive
- separate, additional compensation for this. E. The Landscape Contractor shall be paid for only those units that are installed at the time of request for payment. The The final amount of payment may or may not be the total sum
- F. Ten percent (10%) of the total contract price will be held as retainer for 90 days after final written acceptance.

of the contract depending on the number of units installed.

G. The Landscape Contractor will coordinate his work with all

(2) Palm frond tying shall be as set forth in the latest edition of the Florida Department of Agriculture's "Grades and Standards for Nursery Plants". tying palmi shall be at the option of the Contractor. The Landscape Architect may direct the Landscape Contractor to untie The Contractor may retie the palm after the event. This untying will not affect the guarantee or represent an additional cost to the owner.

- (3) To reduce head volume, Palm fronds may be taper trimmed by not more than one-third.
- (4) Palms with mechanical damage, such as from cables, chains, equipment and nails, shall be rejected.

i. Chlorosis: The allowable level of Chlorosis in foliage shall be set forth in the latest edition of the Florida Departmen of Agriculture's "Grades and Standards for Nursery Plants"

- J. Plant material shall not be accepted when the ball of earth surrounding its roots has been cracked, broken or otherwise
- K. Root pruning of plant material, when necessary, shall be done a minimum of 4 weeks, or for a period as determined by the Landscape Architect, prior to planting at the project.

I. Removal of Plant Material:

CALIPER

1.75 - 2"

2 - 2.5"

4 - 45"

4.5 - 5"

5.5" or more

A. Sod shall be solid sod and shall be standard quality grade Note: Quality grade shall be based on the standards of sod stablished by the Turf grass Producers Association of Florida inc. The sod shall be well matted with roots and of firm tough texture having a compact top growth and heavy root development. Sod shall be free of objectionable grassy and broad leaf weeds. Sod shall not accepted if it contains Bermuda Grass. Sod sections shall be strong enough to support when suspended vertically from a firm grasp on the upper 10% of the section. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival. Sod shall be relatively free of thatch,

up to one half inch allowable (uncompressed). the soil embedded in the sod shall be a clean, earth, free of stones and debris. The sod shall have been mowed at least three times with a lawn mower with final mowing not more than seven days prior to the sod being cut for placement. The sod shall be provided in commercial pad sizes measuring not less than 12 inches by 24 inches and shall be live, fresh and uninjured at the time of placement. It shall be planted within 48 hours after being out and shall be shaded and kept moist from the time it is cut until it is planted.

(1) All plant material to be removed shall be removed

(1) All existing plant material to be relocated shall be

root pruned a minimum of 90 days or for a period as

determined by the Landscape Architect prior to

(2) Rootball: Requirements for the measurement of minimum

requirements as set forth in the latest edition of

the Florida Department of Agriculture's "Grades and

MIN. BALL DIA.

rootball diameter and depth shall comply with

as directed by the Landscape Architect.

J. Existing Plant Material to be Relocated:

completely, including the rootball, from the job or

as directed by the Landscape Architect. The remaining

hole shall be filled with suitable material or planting so

A. The Landscape Architect may inspect trees, shrubs, and groundcover either at the place of growth or at the site before planting for compliance with the requirements for name, variety, size, and quality. The Landscape Architec size and condition of balls and root system, insects, injuries, and latent defects, and try to reject unsatisfactory of defective material at any time during the progress of work. shrubs within 7 days from the project site.

- B. Responsibility for Assuring Quality Work
- (1) The Contractor's Superintendent shall speak English and be well versed in Florida plant material, planting operations, Plan and Specification interpretation coordination with other contracts or service in the project area and coordination between the nursery and
- (2) All employees shall be competent and highly skilled in their particular job in order to properly perform the work assigned to them. The Contractor shall be responsible for maintaining the quality of the materia
- (3) The Contractor will comply with applicable Federal, State, County and local requirements governing landscape
- (1) Plant material shall be Florida #1 or better as set forth in the latest edition of the Florida Department of Agriculture's Grades and Standards for Nursery Plants
- (2) All plant material will be subject to the approval of the Landscape Architect for quality, size and color. Plants lacking the compactness or proper proportions, plants which are weak or thin, and plants injured by close planting in nursery rows will not be accepted Plant materials which have been cut back from large grades to meet certain specification requirements will be
- (3) Plant material shall have normal, well developed branches and shall be vigorous plants, free from defects, decay, burns disfiguring roots, sun-scald injuries, abrasion of the bark, plant diseases, insect pest eggs, barers, and all forms of infestations or objectionable disfigurements.

A. All plant material, unless indicated otherwise, shall be installed with a planting soil composed of sandy loam (50% sand, and 50% muck) typical of the locality. The soil must be taken from ground that has never been stripped, with a slight acid reaction (5.5 to 6.5 ph) and without an excess of calcium or carbonate. Soil shall be delivered in a loose friable condition.

A. Potable, from municipal water supplies or other sources which are approved by a public health department

### A. Mulch shall be:

(1) "Floramulch" or other approved recycled mulch (approval by Landscape Architect or other governing agency)

- A. New and existing Trees and Palms: Fertilize with 8-2-12 palm fertilizer with micronutrients
- B. New and existing Shrubs, and Groundcover: Fertilize with 8-2-12 palm fertilizer with micronutrients at a
- C. Annuals: Fertilize with Osmocote Sierra blend 14-14-14 or approved equal.

rate of 1/2 lb. per 1000 SF of area.

- D. Composition and Quality: All fertilizer shall be uniform in composition and dry. Granular fertilizer shall be free flowing and delivered in unopened bags. All bags containers or boxes shall be fully labeled with the manufacturer's
- E. All fertilizer shall comply with the State of Florida fertilizer laws.

### Delivery, Handling and Storage:

### A. Delivery and Handling:

(1) Movement of nursery stock shall comply with all Federal State, and local laws, regulations, ordinances, codes, etc. (2) Protect during delivery to prevent damage to root ball or desiccation of leaves. Remove unacceptable plant materials immediately from the job site. Maintain and

(3) Transport materials on vehicles large enough to allow plants not to be crowded and damaged. Plats shall be

# covered to prevent wind damage during transit.

(1) Deliver sod on pallets with root system protected from exposure to wind and sun. Deliver sod in quantities capable of being installed within 48 hours of cutting.

- A. Written request for approval to substitute a plant species or a plants designation (B4B, WB4B, CG etc.), type, grade quality, size, quantity, etc. due to the non-availability o the material specified. Approval must be given by the Landscape Architect before the material is delivered and installed on the project. The Contractor must provide
- B. Any request for the approval of an equal shall be in writing.
- C. Submit three prints of shop drawings for any special conditions not covered in the details indicated. This shall be for approval by the Landscape Architect before they are implemented in the project.
- D. if requested by the Owner or Landscape Architect submit a schedule of all specimen plant material and collected plant material indicating the sources or suppliers of these Architect before they are delivered and installed on the showing different side views of the item shall be submitted with the schedule. Additional color photographs shall be submitted, if requested,
- E. if requested by the Owner or Landscape Architect, submit a letter indicating the sources or suppliers of all sod and the arade to be supplied for approval by the Landscape Architect before it is delivered and installed on the project.

### Staking and Guying:

- A. Staking and guying shall be the responsibility of the attached directly to the plant material with nails. Also, battens used in staking and guying shall not be attached to the plant material with nails. Any method of staking and guying other than those indicated in the details, shall installation. Under no circumstances will approval be given to allow the plunging, burying, or planting of trees or palms
- B. The Contractor is responsible for performing all staking and guying in accordance with all applicable regulations, ordinances and code requirements from the appropriate local jurisdiction the project is located in.

not limited to, irrigation, phone, electrical and storm

sewer. The location of some of these existing utilities

### EXECUTION

A. Utilities (Above Ground and Underground) (1) The work area may have existing utilities, such as, but

have been indicated on the Plans.

C. Completion of the work shall mean the full and exact

corrective action.

and Specifications

to written acceptance

C. Maintenance Prior to Final Acceptance:

growth of the plants.

compliance and conformity with the provisions expressed or

implied in the Plans and Specifications including any and all

"punch lists" which may be issued outlining certain items of

D. Final acceptance shall not be given until all construction

E. Final acceptance shall not be official until acknowledged in

F. The guarantee shall not begin until the day final acceptance

Certain responsibilities prior to Final Acceptance: The following

writing by the Owner or their representative.

is a partial list of certain responsibilities. It is not a

complete list, but only a summary of certain responsibilities

A. The Contractor is responsible for the entire project prior

B. The Contractor is responsible for safety on and off the job

(1) Maintenance shall begin immediately after each plant is

planted and continue until final acceptance

(2) Plant maintenance shall include watering, mowing,

edging, pruning, weeding, cultivating, repair of

erosion, mulching, tightening and repairing of guys,

established, resetting plants to proper grades or

upright position, maintenance of the watering saucer

litter removal, and all other care needed for proper

(3) immediately after planting, each plant shall be watered

acceptance. Refer to the heading "Watering", which is

(4) All plant material shall be weeded once a week. In the

prevalent to such as extent that they threaten plant

Landscape Architect. If necessary, the plant material,

the expense of the Contractor.

mulch, sand and/or planting soil shall be replaced as

needed to eliminate weeds or undesirable vegetation at

material, the weeds shall be removed as directed by the

event that weeds or other undesirable vegetation becomes

and the watering period shall continue until final

in Part 3 of these Specifications, for additional

plants, replacement of sod areas which do not become

stakes, braces, etc., replacement of sick or dead

provided for and contemplated by the contract is inspected

and found to be completed in accordance with contract Plans

could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular (2) The Contractor shall take immediate steps to repair,

replace, or restore all services to any utilities or additional outside services which may be necessary to prosecute repairs on a continuous "around the clock basis until services are restored. He or she shall also provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All costs involved in the repairs and restoring disrupted service resulting from negligence on the part of the Contractor shall be borne by the Contractor and he or she shall be fully responsible for any and all claims resulting from the damage.

interfere with the work, the Landscape Architect shall made on the relocation of the work so it will clear the obstruction, if the obstruction cannot be relocated (4) The Contractor shall not purposefully disrupt or

disconnect any type of utility whatsoever without first Architect. Requests for disconnection must be in writing and received by the Landscape Architect at least 72 hours prior to the time of the requested interruption.

- A. Its shall be the responsibility of the Contractor to provide the final grading so the final level for planting areas conforms to surrounding grades and is at the proper elevation with relation to walks, paving, drain structures and other
- B. Plant Area Next to Payement: All planting areas next to pavement areas, such as, but not limited to, curbs, roads drives, walks, terraces, decks and slabs shall be set so that the TOP OF THE MULCH IS I INCH BELOW THE TOP OF THE PAVEMENT AREA or as indicated otherwise on the plans Preparation:

A. Staking Plant Locations: Stake or mark plant material locations prior to plant hole excavation, based on information from the plans.

### (5) Edge and mow sod once a week.

(1) Remove all litter once a week.

(8) Spraying and Dusting: Contractor shall do all seasonal spraying and/or dusting of all planting, as needed, for complete control of pests and diseases. The materials and methods shall be in accordance with the highest standard horticultural practices and as recommended by the County Agent, and approved by the Landscape Architect, prior to implementation.

(9) Sod: After the sod has been laid, tamped and top dressed, all areas and parts of area which fail to show uniform growth and health, shall be resodded, repeatedly if necessary, until all sodded areas are covered with a satisfactory lawn. Damage resulting from erosion aullies, washouts, or other causes shall be repaired by filling with topsoil, tamping, refertilizing, and resodding by the Contractor at his or her expense.

(10) Protection: Plant material shall be protected against trespassing and damage. If any plants become damaged or injured, they shall be treated or replaced as directed and in compliance with the Specifications at no additional cost. No work shall be done within or over planting areas or adjacent to plants without proper ifeguards and protectio

(11) Keep sidewalks, curbs and gutters, driveways, parking areas, streets, terraces, decks, and pavers free of

removed within 3 working days and replaced before an inspection for completion will be scheduled. E. Survival and Conditions: The Contractor shall be responsible

D. Material rejected during the course of construction shall be

installed until final acceptance. F. Replacement: Replacement of plant material shall be the responsibility of the Contractor including the possible replacement of plant material resulting from removal by theft or vandalism or acts of negligence on the part of others. All plant material shall be alive and in good growing condition for each specific kind of plant at the time of

G. Rating: The rating of plant material according to Florida Grades and Standards shall be equal to or better than called for on the Plans and in these Specifications at the time of final acceptance.

final acceptance.

- A. The guarantee shall not begin until the day final written
- B. All plant material, except sod, shall be guaranteed for a minimum of I year from the time of final acceptance. All sod shall be guaranteed for a minimum of 60 days from the time of final acceptance. All trees and palmi are to be guaranteed for one year from the time of final
- C. The quarantee shall be null and void for plant material which is damaged or dies as a result of "Acts of God" limited to hail, freeze, lightning, and winds which exceed hurricane
- prior to these "Acts of God". D. At the option of the Owner, and inspections may be made at the end of the guarantee period, but prior to the last day of the

force, providing the plant was in a healthy growing condition

- guarantee period.
- A. The quaranteeing of a plant material shall be construes to mean the complete and immediate replacement of plant material
- (1) Not in a healthy growing condition and thus renders it below the minimum quality indicted in the
- (2) There is a question to its ability to survive after the end of the guarantee period that would render it below the minimum quality indicated in the Specifications (3) It is dead.
- B. The 3 calendar days may be extended due to seasonal conditions, availability, preparation time such as root pruning, etc., only if approved by the Landscape Architect in advance. The extended time shall be negotiated between all parties concerned, but must receive final approval by the Landscape Architect.
- C. Size, Quality, and Grade:

(1) Replacement plant material shall be one of the same specie quality and grade as that of the plant to be replaced. The size of the replacement shall not necessarily be the same size as the original specified plant at its initial planting. The replacement shall be of equal size to the plant to be replaced at the time it has been determined that it must be replaced.

### B. Spacing of Groundcover & Shrubs: The location of a planting bed (shrub or groundcover) next to another bed walkway, structure, etc., shall have the plants along the perimeter spaced so that the plants can mature properly without growing into the other bed, walkway, structure, etc

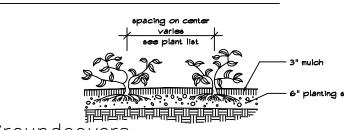
- C. The rootballs of B&B plants which cannot be planted immediately shall be covered with moist soil or mulch to insure protection from drying winds and sun. All plants shall pe maintained as necessary until planting
- D. Subsurface Conditions: Some or all work areas may be compacted and/or contain existing material such as limeroc which may interfere with adequate vertical drainage and/o proper plant survival and growth and therefore removal of this material is part of the scope of work for the project. The Contractor shall be responsible for insuring adequate material, as required, by such means as auguring, drilling o rototilling. If necessary, excavate to a depth beyond the required excavation depth for the plant hole, in order to neure proper vertical drainage necessary for plant surviva
- E. Remove undesirable existing vegetation present on the project by use of chemicals and/or mechanical means which are acceptable to the Landscape Architect. Apply chemicals as recommended by the manufacturer. Exercise care to avoid any misuse of the chemicals which will cause detrimental residual conditions. Care shall also be used so that any final grades which have been established are not altered. F. Excavation of Plant Holes:

### (1) General:

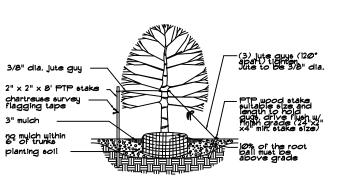
- a. Excavation of plant holes shall be roughly culindrical in shape with the sides appro vertical. The Landscape Architect reserves the right to adjust the size and shape of the plant hold and the location of the plant in the hole to compensate for unanticipated structures or unanticipated factors which are a conflict.
- b. The excavated material from the plant holes shall not be used to backfill around the plant material. Such material shall be disposed of either on the project site or off the site, as directed by the

A. General: The Contractor shall lay out on the ground the locations for the plants and outlines of areas to be planted and obtain approval of the Landscape Architect before excavation is begun. The Landscape Architect may adjust the location of specifies plant materials prior to planting

# PLANTING DETAILS





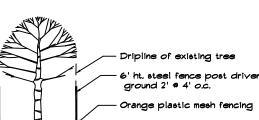


NOTE: Stake all trees up to 2" cal. • 2 per tree, Guy all trees larger than 2" cal.

All plastic nursery tape / flagging must be removed from all plants.

### Trees

EXISTING TREE PROTECTION BARRIER DETAIL



### However, if for some reason, the plant to be replaced is smaller than the size originally specifies, the replacement shall be at least equal to the originally

- (2) Replacements shall be guaranteed for a period equal to the originally specifies guarantee. This guarantee period shall begin at time of acceptable replacement
- (3) Final paument to the Contractor shall not relieve he or she of the guarantee obligations.

### Plan and Specification Interpretation:

A. On the Plans, figured dimensions shall govern over scaled

dimensions. If any error or discrepancy is found in the Plans and Specifications, the Contractor shall refer the same to the Landscape Architect for an interpretation and decisio In resolving conflicts between the Plans and Specifications, THE PLANS SHALL GOVERN over the Specifications. The Landscape Architect shall have the right to correct apparent errors or omissions in the Plans and Specifications and to make such interpretations as he or she may deem necessary for the proper fulfillment of the intent of the Plans and Specifications.

- A. The Contractor shall procure all necessary permits to accomplish all of the work.  $\ensuremath{\mathsf{B}}.$  The Contractor is responsible for performing all work in
- accordance with all applicable regulations, ordinances and code requirements from the appropriate city, county, state and/or Federal jurisdiction the project is located in. Changes and Additional Work:

A. The Contractor shall not start on any changes or additional work in the project until a written agreement setting forth the adjusted contract amount has been executed by the Owne and the Contractor. Any work performed on any changes or additional work prior to the execution of a written agreement may or may not be compensated for.

### "Job Site, "Project Site Etc.": A. The words "job site", "project site", "job", "project" and

"site" shall be synonymous with one another when used in these documents. Safety On and Off the Job Site:

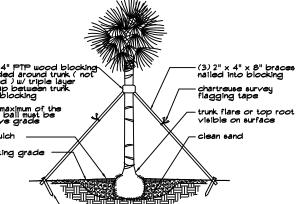
A. In performing the scope of work, all safety on of off the job site shall be the sole responsibility of the Contracto Landscape Architect shall not be responsible for safety on or off the job site.

### B. Setting of Plants:

- (1) All plants shall be set at the proper level so that after settlement, a normal or natural relationship between the crown of the plant and the surrounding ground surface exists. The plants shall be set to placement of the plant material, fill the planting pits with water. The plant hole shall be backfilled with topsoil mixture placed in layers around the roots or ball. Each layer shall be carefully tapped in place. When partially backfilled and compacted, the hole shall be filled with water and the soil allowed to settle around the roots: the ball ties shall be cut and at the burlap peel down 1/3 from the top of the rootball and cut or adjusted to prevent the formation of air pockets before applying the water. After the water has been absorbed the plant hole shall be filled with topsoil mixture and tapped to grade. Subsoil removed from tree pit shall not be mixed or used in any way with the topsoil
- (2) All sabal and queen palms shall be backfilled with clear thoroughly washed in during the planting operation. (3) Water Saucer: A 4-inch high water saucer shall be formed around the rim of each individual tree or palm
- pit and maintained in place. (4) Plant material of the shrub category and smaller must be handled by the ball only. Plant material too large for hand handling, if moved by winch or crane, must be thoroughly protected from chain, rope, or cable marks. damage that might occur by improper handling or
- (5) All trees and palms shall be handled by both the trunk and rootball at the same time and not by the trunk only. Trunks shall be thoroughly protected.
- (6) Container grown plant material shall be carefully removed from the container so as not to disturb the root system.

### (1) Soil Preparation: Within 24 hours prior to placing sod, prepare the soil in the following manner

- a. Uniformly apply formula 8-8-8 fertilizer over the area at a rate of 25 pounds per 1,000 square feet. b. Remove stones and foreign matter over two inches in
- c. Grade the sod areas so that the top of the sod will be at finished grade after rolling and tamping.



Straight Trunk Palms

### The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are not for safety on or off the job site.

- On Site Observations and Inspections: A. The Contractor shall make requests for on site observations or inspections 48 hours in advance and they shall be in
- writing, if directed by the Landscape Architect B. If an inspection is related to completion and final acceptance, the request shall be made in writing 48 hours in

### C. An inspections at the growing site does not preclude the right

- of rejection at the project site D. The fact that the Landscape Architect has not made an early on site observation or inspections to discover faulty work or with the contract requirements, shall not bar the Landscape Architect from subsequently rejecting such work at a later
- E. The Landscape Architect's on site observations or inspections shall be only for the purpose of verifying that the Plans and Specifications are being implemented properly. The Landscape Architect's on site observations or inspections are nor intended to take charge, direct, run or manage the implementation o the Plans and Specifications or take charge, organize or manage the Contractor while performing the scope of work indicated in these Specifications.

### Plant Material

- A. Plant material shall be nursery grown except:
- (1) Where specified as collected material (2) Where approved by the Landscape Architect for such plant material which is only available as a collected item
- from sources such as residences. B. Except where another grade is specifically called for in the Plans, all plant material, including collected material if specified, shall be no less than Florida \*1, or better, at the time of installation and final acceptance. Existing
- C. Habit of Growth: All plant material shall have a habit of growth that is normal for that species and shall be sound, healthy, vigorous and free from insects, plant diseases and

plant material to remain or to be relocated shall be exclude

### (2) Placing Sod:

from this requirement.

- a. Place sod with staggered joints closely butted, tamped or rolled to an even surface to the required finished grade. Avoid continuous seams along lines of water flow in swales. Place sod in rows at right angles to slope.
- b. Water sod every day for a period of three weeks. c. Fertilize sod three weeks after planting with 12 pounds
- of 8-8-8 formula fertilizer per 1,000 square feet of lawn. d. No sod shall be used which is not certified as being free of the imported fire ant. Before any sod is brought to the site, furnish a written certification of clearance from pest control officials of either State

entire planting area.

- a. It shall be the responsibility of the Contractor to replace any areas of sod that are not in healthy growing condition.
- b. The Contractor shall completely maintain the sod until final acceptance by mowing or spraying as

or Federal Department of Agriculture.

- (1) Spread six inches of topsoil mixture uniformly over the
- (2) Spread 50% organic fertilizer at a rate of 4 pounds pe 1,000 square feet uniformly over the groundcover area. (3) Rotor mix, or by other approved method, to a depth of
- (4) Fine grade to remove all trash, rocks, and debris to
- (5) Regrade to finish grade before adding two inches mulch. (6) Thoroughly water and firm the plants into the soil mixture.
- (1) Areas to be mulched shall have existing weeds and regetation removed, including root systems, before applying mulch.
- (2) Grades are to be uniform. Grade areas which are rough and uneven. Fill in voids and holes with planting soil or other approved fill material.

- 1. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER 2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN
- 3. ALL LANDSCAPED AREAS TO RECEIVE 150% IRRIGATION COVERAGE BY IMPROVEMENTS, SUCH AS BUILDINGS, PAVING, ETC., THE CONTRACTOR WILL NEED TO INSTALL AN INJECTION TYPE RUST CONTROL SYSTEM 4. QUANTITIES ON PLANT MATERIALS ARE FOR CONVENIENCE ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN LIST AND PLANTING PLANS, THE PLANS ARE TO OVERRIDE THE PLANT
- 5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND

.19T IN ALL CASES. SOD QUANTITY IS TO BE DETERMINED BY

- 6. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR THE PROPER PI ANTING OF ALL TREES SHRUBS GROUNDCOVERS, AND GRASS AS SHOWN ON LANDSCAPE ARCHITECT'S PLANTING PLANS.
- 8. ALL TREES AND PALMS TO BE STAKED AND GUYED.
- 9. ALL PLANTED AREAS ARE TO BE MULCHED WITH "FLORAMULCH", TO A DEPTH OF 3". 10. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% CLEAN MUCK AND 50% SAND AND BE FERTILE, AND FRIABLE
- 11. GROUNDCOVER AND SHRUBS TO BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN.

the main mass of the plant uniformly ends. The height shall not include any singular or isolated parts of the plant, such as leaves, shoots, branches, limbs or fronds, which extend out beyond the main mass of the plant. E. Die-Back and Leaf Drop: plant material showing signs of dieback of leaf-drop will not be accepted and must be removed

MIN. BALL DEPTH

65% of dia

65% of dia.

60% of dia.

60% of dia.

60% of dia

up to 48".

then decrease is

size diameter.

proportion for large

toward leaf-drop or die-back must be root pruned early enough to provide a sound network of hair roots prior to relocation F. Mechanical Destruction of Foliage: Mechanical destruction of than 10% of the total foliage prior to planting on the

D. Measurement of Trees, Palms, Shrubs, and Groundcover:

a. Rootball: Requirements for the measurement of

minimum rootball diameter and depth shall comply

with the Florida Department of Agriculture's "Grade

and Standards for Nursery Plants, Part I and Part

MIN. BALL DIA.

proportion

measured from finish grade and continue up to where

from the project immediately if so directed by the Landscape

Architect. Therefore, any plant material with tendencies

b. Height: The height of plant material shall be

(1) Trees, Shrubs, and Groundcover:

CALIPER

1.75 - 2"

2 - 2.5"

3.5 - 4"

4 - 45"

45 - 5"

5.5" or more

project. Loss of foliage caused by seasonal change will be G. Spanish Moss: If Spanish Moss (Tillandsia usneoides) exists

on plant material, it shall be completely removed prior to

planting on the project

(1) Remove a minimum of fronds from the crown of the palms to facilitate transporting and handling.

(3) The mulch shall be uniformly applied to a depth of approximately 3 inches, or other depth as indicated otherwise, over all shrub and groundcover areas, around trees and palms in sod areas and any other areas as indicated on the plans.

### F. Watering:

(1) initially, water the plant material to develop uniform the root zone. Avoid erosion, puddling, and washing soil away from the roots.

- (2) Provide continuous watering of plant material after planting in order to achieve optimum growth conditions to establish plants. Water shall be applied as necessary and the amount of water and frequency of watering shall be based on the specific needs of each plant type, the time of year, amount of rainfall and other environmental conditions it is exposed to. This watering shall begin after the plant is planted and continue until final acceptance. All trees and palms shall be watered, only during this period. Do not rely on the irrigation system, if there is one, to achieve this task it cannot deliver the volume of water required, without flooding areas beyond where water is needed and/or over watering other landscape material. shrubs, groundcover and sod may be watered by using the irrigation system, if there is one hand water
- during this period. (3) If there is no source for water available at the project, such as a hose bib (s) or fire hydrant (s) if approved for use, then the Contractor shall be responsible for supplying water for watering, by such

### means as a water truck or tank G. Pruning and Thinning:

(1) The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs and branches and to compensate for the loss of roots as a result of transplanting operations. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant.

### (2) The Landscape Architect shall be contacted prior to performing any major pruning and thinning. The Landscape Architect may elect to be present during any pruning and thinning.

final acceptance.

(1) In the event that weeds or other undesirable vegetation becomes prevalent to such an extent that they threaten plant material, they shall be removed as directed by the Landscape Architect. This condition shall apply until

12. THE CONTRACTOR SHALL LAY OUT ON THE GROUND THE LOCATIONS FOR

EXCAVATION BEGINS, THE LANDSCAPE ARCHITECT MAY ADJUST THE

LOCATION OF SPECIFIED PLANT MATERIALS PRIOR TO PLANTING.

3. TREES, PALMS, SHRUBS AND GROUNDCOVERS TO BE GLAPANTEED

TO BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL WRITTEN

CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE

15. ALL PROHIBITED PLANT SPECIES (AS IDENTIFIED BY THE CITY,

COUNTY, STATE) SHALL BE ERADICATED FROM THE SITE. THIS

NCLUDES BUT IS NOT LIMITED TO MELALEUCA, BRAZILIAN PEPPER

16. ALL EXISTING AND NEWLY CREATED PLANTING BEDS TO BE CLEANED AND FREE OF WEEDS AND DEBRIS AND EXCAVATED AS REQUIRED TO FULFILL PLANTING SOIL REQUIREMENTS OF THE PLANTING DETAILS.

17. FILL HOLES WHERE EXISTING TREES OR PLANT MATERIAL HAVE BEEN

IS. ALL PLANTING BEDS THAT ARE ADJACENT TO PAVING ARE TO BE LOWER THAN THE ADJACENT PAVING, SO THAT RUNOFF (MULCH, SOIL) FROM THE BED DOES NOT RUN ONTO THE ADJACENT PAVING.

SOD OVER IF NEW PLANT BEDS ARE NOT TO BE INSTALLED.

REMOVED TO PROVIDE LEVEL SURFACE WITH SURROUNDING AREA AND

UNTIL THE TIME OF WRITTEN ACCEPTANCE

ABOVE FINISHED GRADE.

ACCEPTANCE IS GIVEN BY OWNER OR LANDSCAPE ARCHITECT.

14. LANDSCAPING IN SAFE DISTANCE TRIANGLES SHALL BE MAINTAINED TO

MIDE UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 2' AND 8'

THE PLANTS AND OUTLINES OF AREAS TO BE PLANTED. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE

# crossroads

delray beach, florida 33445

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florida

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### sheet title: specifications details, notes

project number 1318 6-14-18 n.t.s.

revisions:

sheet:

the tightened wire netting formed by the hog wire, so as to prevent disturbance of the loose soil around the

roots during handling.

(4) A mixture of good organic fertilizer and planting soil

which does not readily adhere to the root system especially in the case of large plants or trees, shall have the rootball wrapped in burlap and then wire, if relocation. The wire shall be looped and tensioned until the burlapped ball is substantially packaged by

# (3) Root pruning shall be accomplished by digging a trench

Increase 1

directed by the Landscape Architect. For wire, hog wire shall be used and it shall be placed around the rootbal before before the plant is removed from the hole for

(5) Plant material which is in soil of a loose texture,

completely around the plant about 18 inches deep. All exposed roots shall be cut off smoothly.

A. Disposal of Trash: All debris and other objectionable material created through planting operation and landscape construction shall be removed completely on a daily basis

B. Excess Fill: All excess fill which results from the

# All excess fill which the Owner does not want shall be

Standards for Nursery Plants, Part 1 and Part 2", as MIN. BALL DEPTH 75% of dia. 65% of dia. 65% of dia.

65% of dia.

65% of dia.

65% of dia

60% of dia.

60% of dia.

60% of dia.

60% of dia.

then decrease in

up to 48".

requirements.

proportion for large completion as defined below, of the entire project, the will make an inspection within 48 hours after the written

from the job or as directed by the Landscape Architect. Any

### removed and disposed of from the project at no additional cost. No excess fill shall be removed or disposed of from

be thoroughly swept.

A. Responsibility for Protection and Restoration of Property: The Contractor shall be responsible for all damage or injury to person or property

A. Upon written notice from the Contractor of the presumptive Landscape Architect, along with other appropriate parties notice. If all construction provided for and compensated by the contract is found to be completed in accordance with the

strewn with soil, sod waste, fertilizer or other debris shall

Protection:

installation of the project shall remain the property of the

Owner and remain on the project at the option of the Owner

Completion and Final Acceptance:

B. Protection Against Mechanical Damage: The Contractor's include providing protection from vehicles and providing

### becomes damaged as a result of any negligence of the Contractor or his or her employees in complying with these

paved areas including curbs and sidewalks which have been

### the site until approved by the Owner or Landscape Architect. Excess fill shall be disposed of as directed.

warning signs and barricades as might be necessary and he or she shall repair, restore and replace all property which

contract Plans and Specifications, such inspection shall constitute the final inspection. The Contractor shall be notified in writing of final acceptance as of the date of the B. If, however, the inspection mentioned in paragraph A, above, discloses any work, in whole or in part, as being unsatisfactory, final acceptance shall not be given and the Owner and/or Landscape Architect will give the Contractor the necessary instructions or "punch lists". Upon correction of work, another inspection will be made which shall constitute the final inspection, provided the work has been

satisfactorily completed. In such event, the Owner or their

representative shall make the final acceptance and notify the

Contractor in writing of this final acceptance as of the sate

written proof that the specified plant material is Approval shall be given by the Landscape Architect before the material is delivered and installed on the project.

### materials and their locations for approval by the Landscape project. Also, two color photographs of each different item

receive approval from the Landscape Architect prior to their so that the top of the grade, in order to eliminate the need or requirement of staking or guying.

### accurate or complete. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that

However, no guarantee is implied that the Plans are

F. If requested by the Owner or Landscape Architect, submit a

and installed on the project.

quarantee of plant material.

the installation.

sample and analysis of all planting soil types for approval

H. If requested by the Owner or Landscape Architect, submit a

Architect before the material is delivered and installed or

l. Submit three prints of shop drawing for all staking and

J. Submit in writing any hindrance to the owners routine

maintenance or lack of, that may affect installed plant

 $\ensuremath{\mathsf{K}}.$  Submit in writing any hindrance to the timely completion of

L. Submit and Certificate of inspection of plant material as may

A. When the specifies plant designation (B4B, WB4B, CG etc.),

available, the Contractor shall submit a written request,

to the Landscape Architect, for a substitution along with

WB4B, CG, etc.), type grade, quality, size, quantity, etc.

installed. Do not deliver and install any material, which is

of material is not available. The Landscape Architec

type, grade, quality, size, quantity, etc. of a material is not

uritten, documented proof that the plant designation (B4B

shall approve all substitutions before they are delivered and

anticipated to be a substitute, before it has been submitted

in writing and approved as a substitute by the Landscape

Architect. Also, ant changes, if any, to the contract amount

because of an approved substitute, shall be established in

writing between the Owner and the Contractor before the

material substitute is delivered and installed on the

materials growth, or survival, that would affect the

guying methods to be used if the ones indicated in these

Specifications and on the Plans are not to be implemented

staking and guying methods before they are implemented in the

The Landscape Architect will approve all shop drawings of

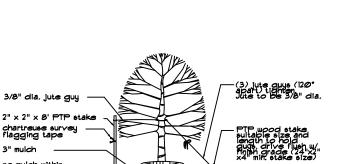
by the Landscape Architect before the material is delivered

sample and analysis of the mulch for approval by the Landscape

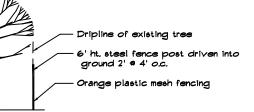
(3) Should utilities, structures, etc., be encountered which be consulted immediately in order for a decision to be

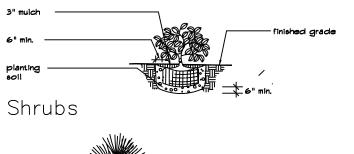
(6) Edge and weed all shrubs, groundcover and flower beds

for the proper maintenance and the survival and condition of all landscape items from the time a landscape item is



# 3" mulch existing grade





10% maximum of the root ball must be above grade

# GENERAL NOTES

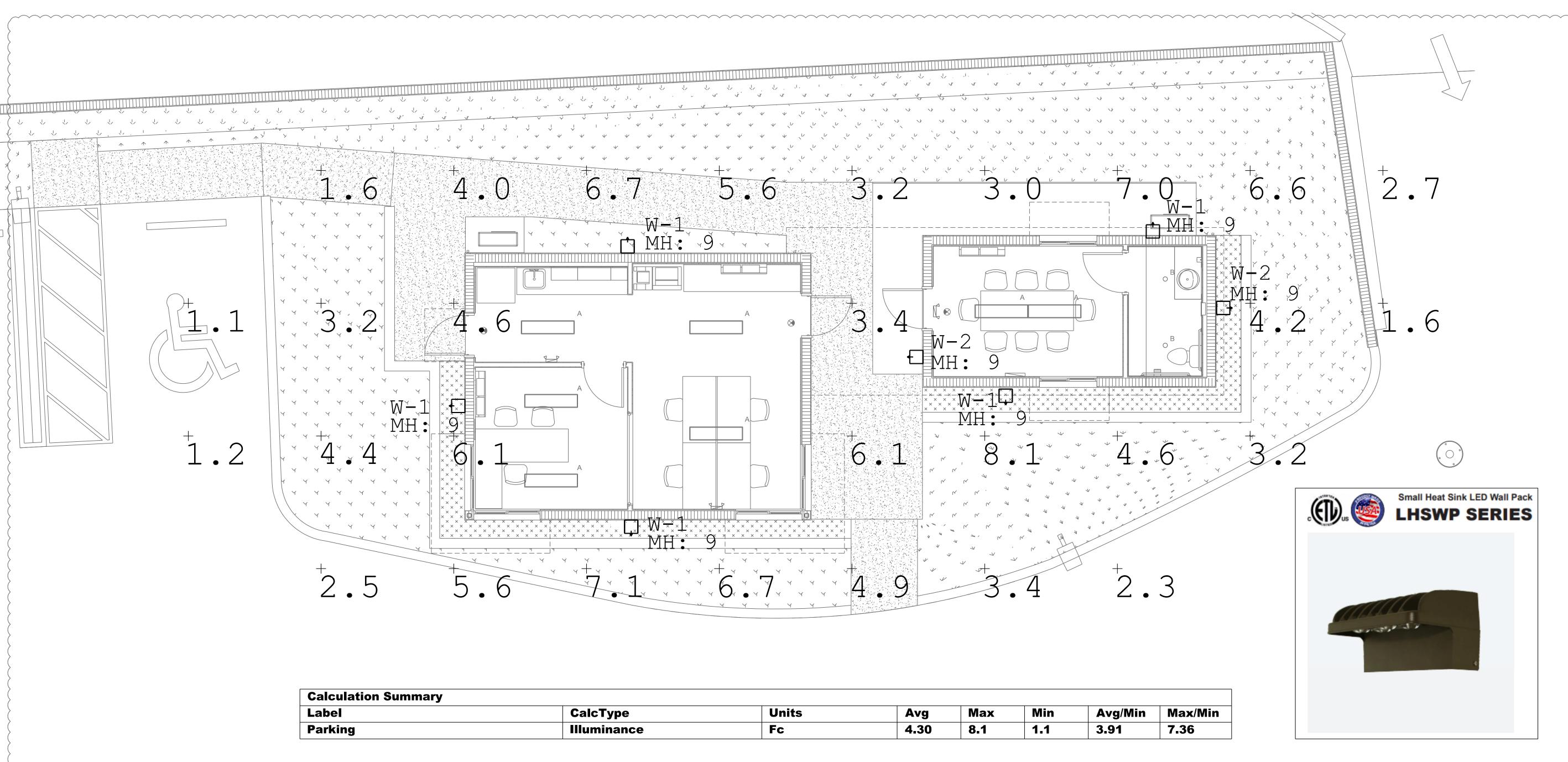
CONTRACTOR PRIOR TO BIDDING

- AN AUTOMATIC, UNDERGROUND SPRINKLER SYSTEM EQUIPPED WITH A RAIN SENSOR. IF THE SOURCE OF WATER FOR THE IRRIGATIONH SYSTEM
- T. ALL GROUNDCOVER BEDS TO ABUT PARKING, BUILDING, SIDEWALKS, ETC., IN A PERPENDICULAR LINE.
  - 19. ALL PLANTING ISLANDS WITHIN THE PARKING LOT AND PLANTING AREAS ADJACENT TO THE PARKING LOT AREA MUST HAVE A MINIMUM 3' DEPTH OF SOIL EITHER FROM EXISTING SOIL PRESENT, IF OF GOOD QUALITY, TO PROMOTE PLANT GROWTH, OR OF REPLACEMENT SOIL (50% MUCK), 50% SAND). NO ROAD ROCK, SHELL ROCK, LIMESTONE, OR OTHER ROAD BASE MATERIAL SHALL BE PRESENT WITHIN PLANTING ISLANDS OR PLANTING AREAS ADJACENT TO PAVED AREAS EXCEPT FOR THE FIRST 12" INTO THE PLANTING AREA AS EXCEPT TO BUSINESS TO SUPPORT THE CURP.

# REQUIRED TO SUPPORT THE CURB.

# 20. ALL PLASTIC NURSERY TAPE TO BE REMOVED FROM TREE TRUNKS OF NEWLY PLANTED TREES, IF IT IS NECESSARY TO TIE TREE TRUNKS TO A STAKE, BIODEGRADABLE JUTE IS TO BE USED.

21. TREES PLANTED IN PARKING ISLANDS OR AROUND VEHICULAR USE AREAS SHALL NOT BE PLANTED WHERE THEY OBSCURE SIGNS



Luminaire Schedule						
Symbol	Label	LLF	Description	Lum. Watts	Lum. Lumens	Tag
	W-1	0.900	Techlight # LHSWP-1-N-4-T3F	35.2	3451	Verify Finish
	W-2	0.900	Techlight # LHSWP-1-N-2-T3F	17.6	1567	Verify Finish



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ISSUED FOR :

BIDS

PERMIT CONSTRUCTION

SEAL

JESS M. SOWARDS FL. REG# AR0013205

PROJECT TITLE

CROSSROADS -ANNEX BUILDING

1700 LAKE IDA ROAD DELRAY BEACH, FL 33445

REVISIONS NUM. DESCRIPTION DATE BLDG. DEPT. COMMENTS 09/25/

THESE DRAWINGS ARE PREPARED PER ESTABLISHED INDUSTRY STANDARDS AND REPRESENT THE ARCHITECT AND ENGINEERS DESIG CONCEPT. THEY ARE NOT INTENDE TO PROVIDE EVERY DETAIL OR CONDITION REQUIRED TO CONSTRUCT THE BUILDING. THE CONTRACTOR THROUGH SUBMITTALS AND OTHER COORDINATION EFFORTS IS FULLY RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERATIONAL BUILDING WHETHER INDICATED OF THE PLANS OR NOT. J:\180107 CROSSROADS OFFICE

DRAWING TITLE PHOTOMETRIC

ANNEX\01-DRAWINGS\180107 Central -

Crossroads Office Annex.rvt

SPR

DATE DRAWN
06/20/2018 KAB

JOB NUMBER LEI JOB
180107 1821 I DRAWN BY LEI JOB#

