



HISTORIC PROPERTY AD VALOREM TAX EXEMPTION APPLICATION



HISTORIC PRESERVATION BOARD

Submittal Date: 8/6/18 Property Address: 219 SE 7th Avenue, Delray Beach, FL 33483
Historic District/Site: MARINA HISTORIC DISTRICT

INSTRUCTIONS FOR COMPLETING AND FILING THE TAX EXEMPTION APPLICATION

Applications may be submitted to the Planning and Zoning Department at any time between the hours of 8:00 a.m. and 5:00 p.m., Monday thru Friday. Please submit application and all required materials at the same time. Incomplete applications will not be accepted. The Historic Preservation Board (HPB) will act on a tax exemption application at the next applicable meeting upon confirmation by the Historic Preservation Planner that the application is complete and satisfies the requirements of LDR Section 4.5.1(J) and is therefore eligible for review by the Historic Preservation Board. This review period takes approximately sixty (60) days. Please review page 8 for complete application processing information.

Tax Exemption Applications must be submitted within three months of Certificate of Occupancy (Final Inspection), and no later than July 1st to receive the exemption on the following year's taxes.

The application must be accompanied by the \$100.00 processing fee (make checks payable to the City of Delray Beach). Please print or type all of the required information and ensure that the application is complete and accurate. It is necessary that an owner, or an authorized agent, be present at the Board meeting when the application is reviewed. If a property owner wishes to designate a representative/agent, please execute the "Owner's Consent and Designation of Agency" form found in this application.

Pursuant to the City's Land Development Regulations' Section 2.4.6(J)(2)(b) no application for a COA will be accepted by the HPB unless it contains all required and pertinent information. A pre-application conference with a member of the Planning Staff is strongly recommended, and can be scheduled at your convenience.

All projects will be reviewed and evaluated for conformance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Standards for Rehabilitation are broadly worded to guide the improvement of all types of historic properties. The underlying concern expressed in the referenced Standards and Guidelines is the preservation of significant historic materials and features of a building or archaeological site in the process of restoration, rehabilitation or renovation. Evaluation is based on whether or not the overall project is consistent with the Standards and Guidelines. Proposed work that does not appear to be consistent with the Standards and Guidelines will be identified, and advice will be given to assist property owners, architects, or builders in bringing the project into conformance.

Notes:

1. A digital copy of all plan exhibits provided on CD is required with the submittal of the application and each subsequent resubmittal. The digital copy must be in a PDF format and shall be prepared at a size of 8½" x 11" or 11"x 17", depending upon legibility.
2. Citizens that request a presentation before the Board or City Commission that is on a portable flash drive device must provide their media to the City Clerk's Office, no later than 12:00 pm one day prior to the meeting where they wish to present. The City laptops will not accept (won't even recognize) any jump drives inserted without prior IT scanning. There will be a zero tolerance policy on this. Applicants have the option to bring their own laptops for their presentation.

**CITY OF DELRAY BEACH PLANNING AND ZONING DEPARTMENT
PROPERTY TAX EXEMPTION APPLICATION**

Project Name/Address: Hellmuth 219 SE 7th Avenue, Delray Beach, FL
33483

PART ONE - APPLICANT INFORMATION:

APPLICANT

Name: James Hellmuth

Mailing Address: 8401 Connecticut Ave

Suite 501

Cherry Chase, MD 20815

Telephone Number: 301 775-3238 E-Mail: jim@hellmuth.us

AGENT

Name: GARY ELIPOULOS

Mailing Address: 1045 E. ATLANTIC AVE #303

DELRAY BEACH FL 33483

Telephone Number: 561.276.6011 E-Mail: GARY@ELIARCH.COM

OWNER (if other than applicant)

Name: Hellmuth, James R. Trust, Hellmuth, Lisa N.

Mailing Address: 8401 Connecticut Avenue

Suite 501

Cherry Chase, MD 20815

Telephone Number: 301 775 3238 E-Mail: jim@hellmuth.us

Applicant is: Owner ☒ Lessee ☐ Other ☐

PART TWO - PROPERTY INFORMATION:

Property Control Number: 12-43-46-16-12-001-0041

Legal Description (attach separate sheet if necessary): LOT D, EXCEPT THE SOUTH 10 FEET, THE MOORINGS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGE 27, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

Zoning Designation: R-1-AA

Property is: in a Local Historic District X in a National Register District
 Individually Listed on Local Register Individually Listed on National Register

Use of Property Prior to Improvements: SINGLE FAMILY RESIDENCE

Use of Property After to Improvements: SINGLE FAMILY RESIDENCE

Original Date of Construction: 1935

Dates of Previous Alterations: 1944 ONE STORY ADDITION/RENOVATION.

Has the building ever been moved or relocated? ☒ Yes () No

If so, when? 2016 From Where? FROM MIDDLE OF EXISTING OF PROPERTY TO THE FRONT OF THE PROPERTY ALONG SE 7TH AVE.

Description of Physical Appearance Prior to Improvements:

Provide information about the major exterior and interior features of the building. Describe the building in its existing condition (before improvement) -- not as it was when first built (unless unchanged) or as it will be after improvement. Note the architectural style, exterior construction materials (wood, brick, etc.), type of roof (flat, gable, hipped, etc.), number of stories, basic plan (rectangular, irregular, L-shaped, etc.), and distinguishing architectural features (placement and type of windows, chimneys, porches, decorative interior features or spaces). Describe any changes that have been made to the building since its original construction (i.e., additions, porch enclosures, new storefronts, relocation of doors and windows, and alterations to the interior). Other buildings on the property such as carriage houses, barns and sheds should also be described. Finally, discuss the way in which the building relates to others in the district in terms of siting, scale, material, construction, and date of construction.

SEE ATTACHED

Statement of Significance:

Summarize how the building contributes to the significance of the district. This summary should relate to the significance of the district (including the district's period of significance) as identified in the National Register nomination or district designation documentation. Is it similar to other buildings in the district in scale, building materials, style, and period of construction? Note important persons from the past associated with the building, former uses of the property, and the name of the architect or builder, if known.

SEE ATTACHED

PART THREE – PROJECT INFORMATION

Type of request:

- (☒) Exemption under 196.1997, F.S. (standard exemption)
(☐) Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public)

Project Start Date: 2016

Project Completion Date: 5/11/18
(Certificate of Occupancy Issued by Building Department)

Total Estimated Project Costs: \$2,629,517

Total Project Cost Attributed Solely to the Historic Structure: \$525,470

PART FOUR: APPLICATION REQUIREMENTS

Please provide one complete of all applicable items noted below.

- ☒ **Warranty Deed**
- ☒ **Survey** – Provide a copy of a survey from both before and after the improvements when the building footprint(s) has changed.
- ☒ **Site Plan, Exterior Elevations, Floor Plans** – As approved by the HPB.
- ☒ **Attachment Sheets** – When necessary. *(ORIGINAL NEWSPAPER ARTICLE)*
- ☒ **Photographs (Labeled)** – Provide a before and after photo of each exterior elevation, all new construction, and all interior improvements. Each page should contain a before and after photo of the same item; provide a corresponding description of the photos and the improvements. Photographs are not returnable. Polaroid photographs are not acceptable. Such documentation is necessary for evaluation of the effect of the improvements on the historic structure. Where such documentation is not provided, review and evaluation cannot be completed. This shall result in a recommendation for denial of the request for exemption. NOTE: All features should be identified with the approximate date, a description, and impact of work on existing feature. All pages should include the property address.
- ☒ **Most Recent Tax Bill**
- ☐ **Applicable Fee, payable to the City of Delray Beach** - See cover sheet.
- ☒ **Executed Agent Authorization Form**

Description of physical appearance prior to improvements (pg 3).

Original structure was constructed in 1936 and consisted of a 2-car garage, laundry room, indoor shower room and second floor apartment with a bathroom. In 1944, a one-story addition was completed and consisted of a living room, dining room, laundry and kitchen addition (note: the original drawings were prepared in 1936 but the Building Cards indicate that it was completed when the house was remodeled in 1944); additional additions were constructed in 1949, 1951, 1953, and 1967. A swimming pool was installed in 1981, and a utility building was built in 1984.

Architectural style **Monterrey**

Exterior const materials "Ship-Lap-Siding", Brick and Stucco.

Type of roof **Flat Concrete Tile** (original drawings call out for "tile shingles") – house had been reroofed over the years with "Spanish" - 'S' concrete tile.

Number of stories – 2

Basic plan shape is that of a **Offset Square**.

Distinguishing architectural features; **Brick façade**, inserted with "ship-lap-siding, decorative shutters, ¼ round louvered vents, chimneys, various covered porches along the ground floor and second floor.

Desc of changes made since original construction; House was originally a garage with an apartment on the second floor and the garage slab was constructed at an elevation of 4.37' N.G.V.D. Unfortunately, the house was exposed to repeated flooding over the years and severe mold and termite damage due to the low elevation. To correct this situation, the house was lifted, rotated and relocated on the site with a raised finish floor +/-4'-0" higher (9.0' N.G.V.D.). New foundation consists of a mat foundation with a +/-3'-0" crawl space. Original dining room was converted into a guest bedroom, walk-n-closet and bathroom. Existing living room, breakfast area and billiard room were renovated, and a kitchen was relocated to what was previously a breakfast area, powder room and laundry were added within this area. Second floor consisted of two bedrooms and a bathroom but was renovated and converted into one guest bedroom, a full bathroom and walk-in-closet. All the above changes occurred within the original historic structure.

Desc of other buildings on property Existing non-contributing detached guest cottage was relocate from the rear of the property to the front of the property. A new two-story addition was connected to the existing historic house with a 3-car garage, and the rest of the house consisted of a laundry room (2), butlers pantry, kitchen, family room with outdoor kitchen, living room, powder room, guest bedroom and bathroom along the ground floor (stairs and elevator). The second floor consist of master bedroom suite w/ his and her walk-n-closets and bathrooms. Exercise room and office, both with walk-n-closet and full bathroom suite. Both floors of the

main addition have covered porches. Along the rear of the property is a new pool, spa (original one was removed) and detached cabana bathroom with sauna and outdoor shower.

How building relates to others in district in terms of siting, scale, mat'l const & date of const

Original house was constructed in 1936 and is located on a larger site, setback a distance from the street. The original historic structure was rotated and relocated up close to the street and now lines up with other houses and is similar in size and scale as other houses within the district. The historic house is a wood frame structure which is similar with other structures within the district. The primary difference with this structure is that most of the house has brick veneer (note: there are smaller area's that have "ship-lap-siding" which are common within the district). Other architectural features to this house that are similar within the district, are the gable roofs, chimneys and decorative shutters.

Statement of significance (pg 4)

How building contributes to significance of district (include district's period of significance)

The Florida Master Site File form explains that "this residence represents the architecture of the 1930s and illustrates the development history of the area."

Similar to other buildings in district in scale, bldg. mat'ls, style & period of const?

The original historic structure is similar in size and scale as other houses within the district. The existing two-story structure has featured areas around the house that have "ship-lap-siding", several chimneys, covered porches, decorative shutters and gable end roofs, all which are common within the district. The historic house is a wood frame structure which is similar with other structures within the district (the primary difference with this structure from other houses within the district, is that most of this house has brick veneer exterior).

Important persons from past associated with the bldg., former uses of property & name of architect or builder if known.

The original house was built by John T. Thieme and it was for the Voorheis family 1936. It was many years later that the property was owned by Mr. Ian Laver, a local tennis player who started Laver's International Tennis Resort in Delray Beach.

The original design and second addition / renovation was designed by Samuel Ogren, Sr.; the Father of Delray Beach architecture (note: The structure has always been a single-family residence).

PART FIVE: APPLICATION REVIEW

For Historic Preservation Planner Use Only.

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Certifies that the above referenced property qualifies as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
- () Certifies that the above referenced property does not qualify as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
- () Certifies that the above referenced property qualifies for the special exemption provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- () Certifies that the above referenced property does not qualify for the special exemption provided under s. 196.1998, F.S.

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that improvements to the above referenced property are consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.
- () Determines that improvements to the above referenced property are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that the completed improvements to the property are consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends approval of the requested historic preservation tax exemption.
- () Determines that the completed improvements to the above referenced property are not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments: _____

Signature _____

Typed or printed name _____

Title _____

PART SIX: OWNER ATTESTATION

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by the Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

James R. Hellmuth

Name

Signature

Date

7/11/18

Complete the following if signing for an organization or multiple owners:

Title

Organization name

I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work as approved by the Historic Preservation Board. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work approved by the Historic Preservation Board. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application, I agree to allow access to the property by Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

James R. Hellmuth

Name

Signature

Date

7.11.18

Complete the following if signing for an organization or multiple owners:

Title

Organization name

PART SEVEN: OWNER'S CONSENT AND DESIGNATION OF AGENCY

(This form must be completed by ALL property owners)

I James R. Hellmuth, the fee simple owner of the following described
(Owner's Name)

property (give legal description): SEE ATTACHED

hereby petition to the City of Delray Beach for approval of a Tax Exemption Application for the
property located at 219 SE 7th Avenue Delray Beach, FL 33483 and affirm that
Gary Eliopoulos is hereby designated
(Applicants/Agent's Name)

to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted
are true and accurate to the best of my knowledge. Further, I understand that this application,
attachments and fees become part of the Official Records of the City of Delray Beach, Florida,
and are not returnable.

[Signature]
(Owner's Signature)

The foregoing instrument was acknowledged before me this 11, day of July,
20 18 by James R. Hellmuth, who is personally known to me or has produced
(type of identification) as identification and who did take an

oath.

Christine Serrano
(Printed Name of Notary Public)

[Signature]
(Signature of Notary Public)

Commission # _____, My Commission Expires 11/18/22

(NOTARY'S SEAL)

PART EIGHT: TAX EXEMPTION APPLICATION REVIEW PROCESS

1. Upon HPB approval of the application, a **Resolution** will be reviewed at the next available City Commission meeting. This review is to authorize the exemption from the City's portion of property taxes.
2. Following approval of the Resolution, a **Property Tax Exemption Covenant** will be provided to the property owner for signature. This Covenant requires the owner(s) to maintain the improvements during the ten (10) year period that the exemption is granted. The Covenant must be **signed and notarized** by a Public Notary for all owners of record of the subject property. Upon signature by the Historic Preservation Planner, the Covenant must then be **recorded by the property owner** (at an additional charge) in the official records of Palm Beach County at:
The Palm Beach County Court House
Recording Department, Room 4.25
205 North Dixie Highway
P.O. Box 4177
West Palm Beach, Florida 33402
(561) 355-2991
3. **Two (2) copies** of the recorded Covenant must be delivered to the Historic Preservation Planner. One (1) of the Property Tax Exemption Covenant copies must be a **Certified Copy**.
4. Upon receiving the two (2) copies of the recorded Covenant, the Historic Preservation Planner will send copies of the following documents to the **Palm Beach County, Property Appraiser's Office, and the Palm Beach County, Planning, Zoning and Building Department, by OCTOBER 1st:**
 - a. HPB Staff Reports for the COA and Tax Exemption Application;
 - b. Certified copy of the recorded Property Tax Exemption Covenant to the Palm Beach County, Property Appraiser's Office;
 - c. Non-certified copy of the Covenant to the Palm Beach County, Planning, Zoning and Building Department;
 - d. Resolution of the City Commission approving the Completed Work Application.
6. Palm Beach County's Planning, Zoning and Building Department will forward this request for the exemption from the County's portion of the property taxes to the County Commission for their approval. The County staff may require additional information. The property owner will also have to enter into a covenant with the County. This covenant will also need to be recorded (additional charge).
7. This documentation will authorize the tax exemption for the Property Appraiser's Office from the City's and the County's portion of property taxes associated with the increased value of the historic property due to improvements.

Please be aware that the **Palm Beach County, Property Appraiser's Office and the Palm Beach County, Planning, Zoning and Building Department must have all documentation prior to or on OCTOBER 1st of the year preceding the year the tax exemption is to commence.**

Prepared by and return to:
Luke G. Sherlock, III
Attorney at Law
The Sherlock Law Firm, P.L.
1166 West Newport Center Drive Suite 100
Deerfield Beach, FL 33442

CFN 20130451611
CIR BK 26388 PG 0843
RECORDED 10/16/2013 10:06:54
Palm Beach County, Florida
AMT 2,100,000.00
Doc Stamp 14,700.00
Sharon R. Bock, CLERK & COMPTROLLER
Page 0843 - 844; (2pgs)

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of October, 2013 between Pryse R. Elam and Ellen B. Elam, husband and wife whose post office address is 219 SE 7th Avenue, Delray Beach, FL 33483, grantor, and James R. Hellmuth and Lisa N. Hellmuth as Co-Trustee(s) of the James R. Hellmuth Trust dated November 18, 2003 and amended August 13, 2011 and Lisa N. Hellmuth and James R. Hellmuth as Co-Trustee(s) of the Lisa N. Hellmuth Trust dated November 18, 2003 and amended August 13, 2011 whose post office address is 8401 Connecticut Avenue, Suite 501, Chevy Chase, MD 20815, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida to-wit:

Lot D, except the South 10 feet, The Moorings, according to the plat thereof as recorded in Plat Book 20, Page 27, Public Records of Palm Beach County, Florida.

Parcel Identification Number: 12-43-46-16-12-000-0041

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2013.

In addition to all of the powers and authority granted to the trustee (which term includes any successor trustee) by the terms of said Trust, full power and authority is hereby granted to the trustee to protect, conserve and to sell, lease, encumber, mortgage, and otherwise to manage and dispose of said real estate, including, without limitation, to improve and subdivide said real estate or any part thereof, to dedicate parks, streets, highways or alleys and to vacate any subdivision or part thereof, and to resubdivide said property as often as desired; to contract to sell, to grant options to purchase, to sell on any terms, and to convey, either with or without consideration, both the legal and beneficial interest in said real estate; to convey said real estate or any part thereof to a successor or successors in trust and to grant to such successor or successors in trust all of the title, estate, powers, and authorities vested in the trustee; to donate, dedicate, mortgage, pledge or otherwise encumber both the legal and beneficial interest in said property, or any part thereof; to lease said real estate or any part thereof, from time to time, in possession or reversion by leases to commence at the present or in the future, and upon any terms and for any period or periods of time, not exceeding in the case of any single demise the term of 99 years, and to renew or extend leases upon any terms and for any period or periods of time and to amend, change or modify leases and the terms and provisions thereof at any time or times hereafter, to contract to make lease and grant options to lease and options to renew leases and options to purchase the whole or any part of the reversion and to contract respecting the manner of fixing the amount of present or future rentals, to partition or to exchange said property, or any part thereof, for other real or personal property; to grant easements or charges of any kind, to release, convey or assign any right or title or interest, both legal and beneficial, in or about or easement appurtenant to said real estate or any part thereof, and to deal with said property and every part thereof in

all other ways and for such other considerations as it would be lawful for any person owning the same deal with the same, whether similar to or different from the ways above specified, at any time or times hereinafter.

In no case shall any party dealing with the trustee in relation to said real estate, or to whom said real estate or any part thereof shall be conveyed, contracted to be sold, leased or mortgaged by the trustee, be obliged to see to the application of any purchase money, rent, or money borrowed or advanced on said real estate, or obliged to see that the terms of said Trust have been complied with, to be obliged to inquire into the necessity or expediency of any act of the trustee, or be obliged or privileged to inquire into any of the terms of said Trust, and every deed, trust deed, mortgage, lease or other instrument executed by the trustee in relation to said real estate shall be conclusive evidence in favor of every person relying upon or claiming under any such conveyance, lease all other instrument (a) that at the time of the delivery thereof the trust created by this Indenture and by said Trust is in full force and effect, (b) that such conveyance or other instrument was executed in accordance with the trusts, conditions and limitations contained in this Indenture and in said Trust or in some amendment thereof and binding upon all beneficiaries thereunder, (c), that the trustee was duly authorized and empowered to execute and deliver every such deed, trust deed, lease mortgage or other instrument, and (d) if the conveyance is made by a successor or successors in trust, that such successor or successors in trust have been properly appointed and are fully vested with all the title, estate, rights, powers, authorities, duties and obligations of their predecessors in trust.

The interest of each and every beneficiary under said Trust hereinbefore referred to and all persons claiming under them or any of them shall be only in the earnings, avails and proceeds arising from the sale or other disposition of said real estate, and such interest is hereby declared to be personal property, and no beneficiary hereunder shall have any title or interest, legal or equitable, in or to said real estate as such but only an interest in the earnings, avails and proceeds thereof as aforesaid.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: Luke Sherlock

[Signature]
Witness Name: Mark Guerette

[Signature] (Seal)
Pryse R. Elam

[Signature]
Witness Name: Luke Sherlock

[Signature]
Witness Name: Mark Guerette

[Signature] (Seal)
Ellen B. Elam

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 15th day of October, 2013 by Pryse R. Elam and Ellen B. Elam, who ☐ are personally known or ☒ have produced a driver's license as identification.

[Notary Seal]



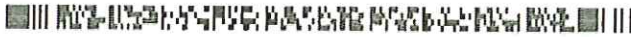
[Signature]
Notary Public

Printed Name: Luke Sherlock

My Commission Expires: 2/13/14

COUNTY OF PALM BEACH: NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PROPERTY CONTROL NO.	YEAR	BILL NO.	CMC	APPLIED EXEMPTION(S)	LEGAL DESCRIPTION
12-43-46-16-12-000-0041	2017	101383426	98	Homestead Additional Homestead	THE MOORINGS, DELRAY BCH LT D /LESS S 10 FT/



D 8 - 105372

HELLMUTH JAMES R &
HELLMUTH LISA N
219 SE 7TH AVE
DELRAY BEACH FL 33483-5242



ANNE M. GANNON
CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
www.pbctax.com

2017 REAL ESTATE PROPERTY TAX NOTICE

READ REVERSE SIDE BEFORE CALLING	AD VALOREM TAXES			READ REVERSE SIDE BEFORE CALLING		
TAXING AUTHORITY	TELEPHONE	ASSESSED	EXEMPTION	TAXABLE	MILLAGE	TAX AMOUNT
COUNTY	561-355-3996	2,808,495	50,000	2,758,495	4.7815	13,189.74
COUNTY DEBT	561-355-3996	2,808,495	50,000	2,758,495	0.1208	333.23
CITY OF DELRAY BEACH	561-243-7128	2,808,495	50,000	2,758,495	6.8611	18,926.31
CITY OF DELRAY BEACH DEBT	561-243-7128	2,808,495	50,000	2,758,495	0.2289	631.42
CHILDRENS SERVICES COUNCIL	561-740-7000	2,808,495	50,000	2,758,495	0.6590	1,817.85
F.I.N.D.	561-627-3386	2,808,495	50,000	2,758,495	0.0320	88.27
PBC HEALTH CARE DISTRICT	561-659-1270	2,808,495	50,000	2,758,495	0.7808	2,153.83
SCHOOL LOCAL	561-434-8837	2,808,495	25,000	2,783,495	2.4980	6,953.17
SCHOOL STATE	561-434-8837	2,808,495	25,000	2,783,495	4.2710	11,888.31
SFWMD EVERGLADES CONST PROJECT	561-686-8800	2,808,495	50,000	2,758,495	0.0441	121.65
SO FLA WATER MANAGEMENT DIST.	561-686-8800	2,808,495	50,000	2,758,495	0.1275	351.71
SO FLA WATER MGMT - OKEE BASIN	561-686-8800	2,808,495	50,000	2,758,495	0.1384	381.78

NOTICE

READ REVERSE SIDE BEFORE CALLING	NON-AD VALOREM ASSESSMENTS		TOTAL AD VALOREM	56,837.27
LEVYING AUTHORITY	TELEPHONE	RATE	READ REVERSE SIDE BEFORE CALLING	
SOLID WASTE AUTHORITY OF PBC	561-640-4000	344.00	AMOUNT	
CITY OF DELRAY BEACH STORMWATER	561-243-7000	63.96	344.00	
			63.96	

TOTAL NON-AD VALOREM 407.96
TOTAL AD VALOREM AND NON-AD VALOREM COMBINED 57,245.23

****INFORMATIONAL NOTICE****

THE ORIGINAL TAX BILL WAS SENT TO YOUR ESCROW AGENT/LOAN SERVICER FOR PAYMENT

DETACH HERE

SEE REVERSE SIDE FOR INSTRUCTIONS AND INFORMATION

DETACH HERE

COUNTY OF PALM BEACH: NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PROPERTY CONTROL NO.	YEAR	BILL NO.
12-43-46-16-12-000-0041	2017	101383426

HELLMUTH JAMES R &
HELLMUTH LISA N
219 SE 7TH AVE
DELRAY BEACH FL 33483-5242

20171013834260057245231

LEGAL DESCRIPTION

THE MOORINGS, DELRAY BCH LT D /LESS S 10 FT/

P.O. BOX 3353
WEST PALM BEACH, FL 33402-3353

INFORMATIONAL NOTICE
PLEASE READ THE REVERSE SIDE

AMOUNT DUE WHEN RECEIVED BY					TAXES ARE DELINQUENT APRIL 1, 2018
NOV 30, 2017	DEC 31, 2017	JAN 31, 2018	FEB 28, 2018	MAR 31, 2018	
\$54,955.42	\$55,527.87	\$56,100.33	\$56,672.78	\$57,245.23	
4%	3%	2%	1%	NO DISCOUNT	

RE INFO BII 05/16/2017

2017 REAL ESTATE PROPERTY TAX NOTICE

Property Detail

Location Address 219 SE 7TH AVE
Municipality DELRAY BEACH
Parcel Control Number 12-43-46-16-12-000-0041
Subdivision MOORINGS DELRAY BEACH
Official Records Book 26388 Page 845
Sale Date OCT-2013
Legal Description THE MOORINGS, DELRAY BCH LT D /LESS S 10 FT/

Owner Information
Owners

HELLMUTH JAMES R &
HELLMUTH LISA N
HELLMUTH JAMES R TR
HELLMUTH LISA N TR
JAMES & LISA HELLMUTH TR TITL HLDERS

Mailing address

219 SE 7TH AVE
DELRAY BEACH FL 33483 5242

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
OCT-2013	\$2,100,000	26388 / 00843	WARRANTY DEED	HELLMUTH JAMES R TRUST &
OCT-2013	\$10	26388 / 00845	QUIT CLAIM	HELLMUTH JAMES R TRUST &
JUN-2003	\$10	15652 / 01321	QUIT CLAIM	ELAM PRYSE R &
JUN-2003	\$1,300,000	15652 / 01323	DEED OF TRUST	ELAM PRYSE R &
JUL-2000	\$1,830,000	11929 / 00271	WARRANTY DEED	GRENNON MICHELE A TR
JUN-1997	\$100	09871 / 00955	QUIT CLAIM	
JUN-1997	\$825,000	09871 / 00956	WARRANTY DEED	
NOV-1995	\$100	09011 / 00248	QUIT CLAIM	
APR-1986	\$537,500	04868 / 00866	WARRANTY DEED	
JUN-1984	\$20,500	04294 / 01625	QUIT CLAIM	
DEC-1980	\$280,000	03419 / 00034	WARRANTY DEED	

Exemption Information

Applicant/Owner	Year	Detail
HELLMUTH JAMES R &	2018	HOMESTEAD
HELLMUTH JAMES R &	2018	ADDITIONAL HOMESTEAD
HELLMUTH LISA N	2018	HOMESTEAD
HELLMUTH LISA N	2018	ADDITIONAL HOMESTEAD

Property Information

Number of Units 2
*Total Square Feet 3436
Acres 0.7442
Use Code 0100 - SINGLE FAMILY
Zoning R-1-AA - Single Family Residential (12-DELRAY BEACH)

Appraisals

Tax Year	2017	2016	2015
Improvement Value	\$214,038	\$213,647	\$328,747
Land Value	\$2,594,457	\$2,236,601	\$1,863,834
Total Market Value	\$2,808,495	\$2,450,248	\$2,192,581

All values are as of January 1st each year

Assessed and Taxable Values

Tax Year	2017	2016	2015
Assessed Value	\$2,808,495	\$2,143,050	\$1,948,227
Exemption Amount	\$50,000	\$0	\$0
Taxable Value	\$2,758,495	\$2,143,050	\$1,948,227

Taxes

Tax Year	2017	2016	2015
Ad Valorem	\$56,837	\$47,476	\$44,451
Non Ad Valorem	\$408	\$404	\$404
Total tax	\$57,245	\$47,880	\$44,855

City of Delray Beach Florida
100 NW 1ST AVE
DELRAY BEACH FL 33444

CERTIFICATE OF OCCUPANCY/CERTIFICATE OF COMPLETION

Application Number 15-00159799 000 000
CO Issue Date 5/11/18
Parcel Number 12 43 46 16 12 000 0041
Property Address 219 SE 7TH AVE
DELRAY BEACH FL 33483
Subdivision Name MOORINGS THE
Legal Description THE MOORINGS, DELRAY BCH
LT D /LESS S 10 FT/
Property Zoning SINGLE FAMILY
Owner HELLMUTH JAMES R & LISA N
8401 CONNECTICUT AVE STE 501
CHEVY CHASE MD 20815
Contractor MOUW ASSOCIATES, INC
Description of Work ADDITION - SINGLE FAMILY
Valuation \$ 2,629,517
Construction Type UNKNOWN
Occupancy Type RESIDENTIAL - SINGLE FAM
Flood Zone UNKNOWN
Building Code Edition FBC/SBC: 1994,1997,2001,2004,2007,2010,2014

NOTES:

CONSTRUCT ADDITION TO SINGLE FAMILY:
EXTEND KITCHEN AREA & RENOVATION TO THE
REST OF THE RESIDENCE.
FFE: =EXISTING
FLOOD ZONE: X
CODE VER: FBC 2014
THE CITY OF DELRAY BEACH ENCOURAGES THE
USE OF ENERGY STAR PRODUCTS.

Building Official Steve Tobias,



VOID UNLESS SIGNED BY BUILDING OFFICIAL OR DESIGNEE

The described portion of the structure has been inspected for compliance with the requirements of the code for the occupancy and division of occupancy and the use for which the proposed occupancy is classified.



Mouw Associates, Inc.

Hellmuth Residence
219 SE 7th Avenue
Delray Beach, FL

2017/2018

G E Architecture

Historic House Job Cost

General Conditions	1 ls	\$36,200.00
Relocate / Foundation	1 ls	\$36,000.00
Structural Rehab	1 ls	\$96,000.00
Drywall / Framing	1 ls	\$33,500.00
Insulation	1 ls	\$5,500.00
Painting	1 ls	\$16,500.00
Shower Doors	Allow	\$3,000.00
Bath Accessories	Allow	\$1,500.00
Appliances	1 ls	\$13,000.00
Cabinetry / Vanities	1 ls	\$52,000.00
Cabinet Tops	1 ls	\$8,400.00
All Flooring / Tile / Wood	1 ls	\$45,000.00
Millwork / Labor - Material	1 ls	\$50,000.00
Trash / Clean-Up	1 ls	\$14,600.00
Plumbing	1 ls	\$25,000.00
HVAC	1 ls	\$20,000.00
Electric	1 ls	\$21,500.00
Subtotal		<hr/> \$477,700.00
OH&P		\$47,770.00
Total		<hr/> \$525,470.00



General Contractors - CGC#038463

601 N. Congress Avenue, Suite 109 • Delray Beach, FL 33445
Telephone (561) 276-9640 • FAX (561) 265-3886 • www.mouwassociates.com

Friday, May 29, 1936

DELRAY BEACH NEWS, DELRAY BEACH, FLORIDA

"THE FLORIDA HOM

A Weekly Page Devoted to the Promotion of Building, Repairing and Renovation in Delray E

Voorheis Home In Palm Grove

Residence and Shop Will
Be Show Place When
Completed

SHOP FOR HOBBY

Combining home and hobby in a unique tropical setting, Louis Voorheis, of Delray Beach, Gatlinburg, Tenn., and Cincinnati, Ohio, is just finishing construction of a residence and shop center on his estate bordering the canal, where he is certainly going to have a lot of fun, and incidentally produce some of the most interesting exhibits of the cabinet-maker's art.

Mr. Voorheis' Delray Beach home is on a part of the old Blank nursery, and has been set in the midst of a grove of magnificent palm trees. A small yacht basin has been finished, landscaping practically completed, and both the home and shop centers are finished.

The shop building doesn't look a bit like a shop. In fact only half of it is a shop. The other half is a big room dedicated to the purpose of resting and swapping stories and drinking root beer or something. From the outside it looks like the quaint kind of cottages, but one big room is being prepared to receive a full complement of hand saws, planers, jointers, lathes, etc. where next winter Mr. Voorheis may indulge his hobby and extraordinary talent for the production of crafts furniture and wood work.

Mr. Voorheis earned his right to retirement in the most honest field, and now that he may enjoy his leisure he has determined that others may obtain the same degree of proficiency. At his home in Gatlinburg, among the Smoky Mountains of Tennessee, he has another such shop, presided over by

IRONER TO BE DEMONSTRATED

Miss Irene McNeff, demonstrator for Easy Electric Ironers and washers, has been giving demonstration of power ironing for the home at the local office of the Florida Power and Light Company. The demonstration began Wednesday afternoon and will continue each afternoon during the week.

A splendid attendance of Delray Beach housewives was reported at each session. Individual towels are given to those attending.

Miss McNeff evoked especial interest by showing the remarkable adaptability of power ironing, handling lace, small handkerchiefs, sheets, pressing trousers, with equal ease and fine results.

skilled workmen who have been with him for years. He is training mountain boys to go on with the production of hand-made furniture. When a workman attains sufficient skill and artistry he allows him to autograph each piece produced.

In his Delray Beach home Mr. Voorheis has several examples of the handwork of his shops. Notable is a beautiful apple wood bridge lamp, bearing the autograph of an Alsatian workman who has been with him for many years.

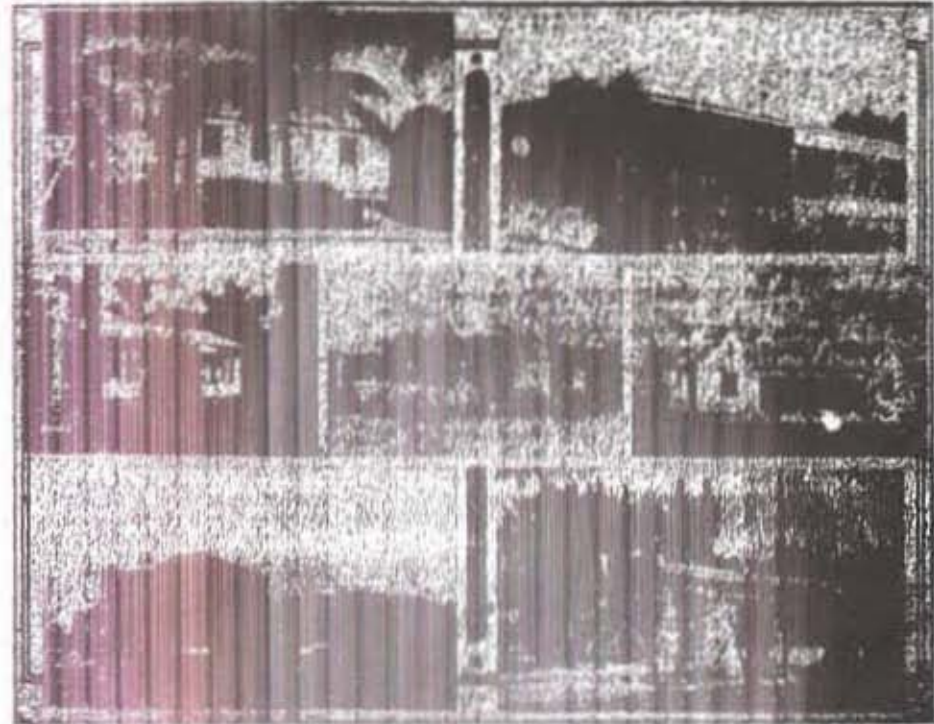
At Gatlinburg he is encouraging the use of native mountain hardwoods but here he plans to work largely in tropical materials, already having plans for the production of Cuban mahogany pieces.

Construction work on the home and shop is now being completed by John I. Thibodeau, Delray Beach contractor.

LIST OF CANDIDATES

taxpayers of Florida the type of administration they should have. He is free from political alliances and entanglements, enabling him to serve the highest interests of the people of Florida.

Modern Homes Add to City's Reputation



Top: Home of Frank Brainerd, Northeast Seventh avenue and First street, beach cottage of W. J. "Pat" Enright.

Center: Woodworking shop and recreation room at estate of Louis Voorheis on Southeast Seventh avenue; second of the two Enright cottages at the beach; home of Marshall M. DeWitt, North Swinton avenue.

Bottom: House being built by J. B. Evans, South Ocean Boulevard; addition to News office.

who will enforce its laws are also other good men in the rate. For State Representative Group No. 2

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL WEST
SIDE OF HOUSE.



BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL
CHIMNEY.

ORIGINAL 1/4
ROUND VENTS.

ORIGINAL
SECOND FLOOR
BALCONY.

INFILLED
ORIGINAL
GARAGE DOOR
OPENINGS WITH
WINDOWS AND
SHIP-LAP SIDING.

ORIGINAL
WINDOW
OPENINGS.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL SIDE
COVERED
PORCH.

ORIGINAL ENTRANCE TO
GARAGE-INFILLED WITH
BRICK AND WINDOW.



ORIGINAL
LOCATION OF
FRONT DOOR.

BEFORE

ORIGINAL
CHIMNEY.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL 1/4
ROUND VENTS.

ORIGINAL
SECOND FLOOR
WINDOWS.

ORIGINAL SIDE
COVERED
PORCH.



BEFORE

ORIGINAL FRONT
DOOR INFILLED
WITH BRICK.

ORIGINAL
CHIMNEY.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL 1/4
ROUND VENTS.

ORIGINAL UPPER
WINDOWS.

ORIGINAL
SECOND FLOOR
COVERED
BALCONY.



NEW FRONT
DOOR ENTRY.

INFILLED ORIGINAL
GARAGE DOOR
OPENINGS W/
WINDOWS AND SHIP-
LAP-SIDING.

AFTER

ORIGINAL UPPER
COVERED
PORCH.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL SIDE
COVERED
PORCH.

ORIGINAL FRONT
ENTRY TO
HISTORIC
HOUSE.



RENOVATED
FRONT DOOR
(ORIGINAL
GARAGE DOOR).

RENOVATED
DINING ROOM
WINDOWS
(ORIGINAL
GARAGE DOOR).

BEFORE

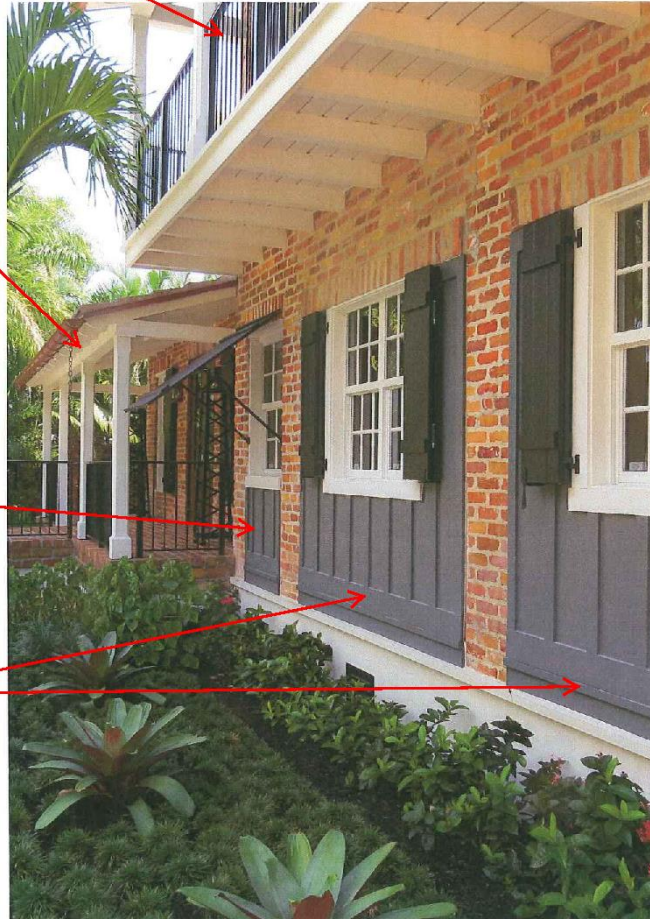
ORIGINAL
SECOND FLOOR
BALCONY.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL SIDE
COVERED
PORCH.

ORIGINAL
ENTRANCE TO
GARAGE.

ORIGINAL
GARAGE DOORS.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL REAR
OF HOUSE.



BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL COVERED
ENTRANCE (COVERED
TO INTERIOR KITCHEN)

ORIGINAL EASTSIDE
OF HOUSE.

PREPING HOUSE
TO BE
RELOCATED.



BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL
CHIMNEY.

ORIGINAL SIDE
COVERED
PORCH.

INFILLED
ORIGINAL REAR
COVERED
PORCH.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

INFILLED
ORIGINAL REAR
COVERED
PORCH WITH
NEW KITCHEN.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

LIFTING ORIGINAL
HOUSE OUT OF
GROUND /
WATER.



ORIGINAL "KIT
BAY WINDOW"

AFTER

ORIGINAL HOUSE LIFTED,
ROTATED AND RELOCATED.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



RELOCATED /
ROTATED HOUSE
ON NEW
FOUNDATION.

AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

REROOFING
ORIGINAL
BILLIARD ROOM
ROOF.



NEW
FOUNDATION
FOR NEW REAR
COVERED
PORCH.

AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

NEW
CONNECTION TO
HISTORIC
HOUSE.



NEW
FOUNDATION /
PORCH SLAB
FOR NEW
RECOVERED
PORCH.

AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

REPLACED ALL
EXISTING TERMITE
DAMAGE FLOORING.

REPLACED
DAMAGED
EXTERIOR SHIP
LAP-SIDING.



REPLACED ALL
EXISTING
TERMITE
DAMAGED
FRAMING WITH
NEW WOOD
STUDS.

BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

REBUILDING OF
UPPER REAR
COVERED
PORCH.

NEW REAR
COVERED
PORCH.

RELOCATED
HISTORIC HOUSE
ON NEW
FOUNDATION.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

EXISTING
CHIMNEY.

REBUILT REAR
UPPER SECOND
FLOOR COVERED
PORCH.

EXISTING 1/4
ROUND VENTS.

REFRAMED
EXTERIOR WALL
WITH "KIT-BAY
WINDOW".

NEW REAR
COVERED
PORCH
ENTRANCE.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

REBUILT
ORIGINAL REAR
UPPER COVERED
PORCH.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL LIVING
ROOM BEAMS.

ORIGINAL
FIREPLACE.



BEFORE

ORIGINAL LIVING
ROOM BEAMS.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

RESTORED
ORIGINAL BRICK
FIREPLACE.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL
DECORATIVE
BEAMS.



RESTORED
INTERIOR BRICK
WALLS.

AFTER

ORIGINAL BEAMS
IN LIVING ROOM.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL
BREAKFAST
AREA.



BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL BEAMS
IN LIVING ROOM.

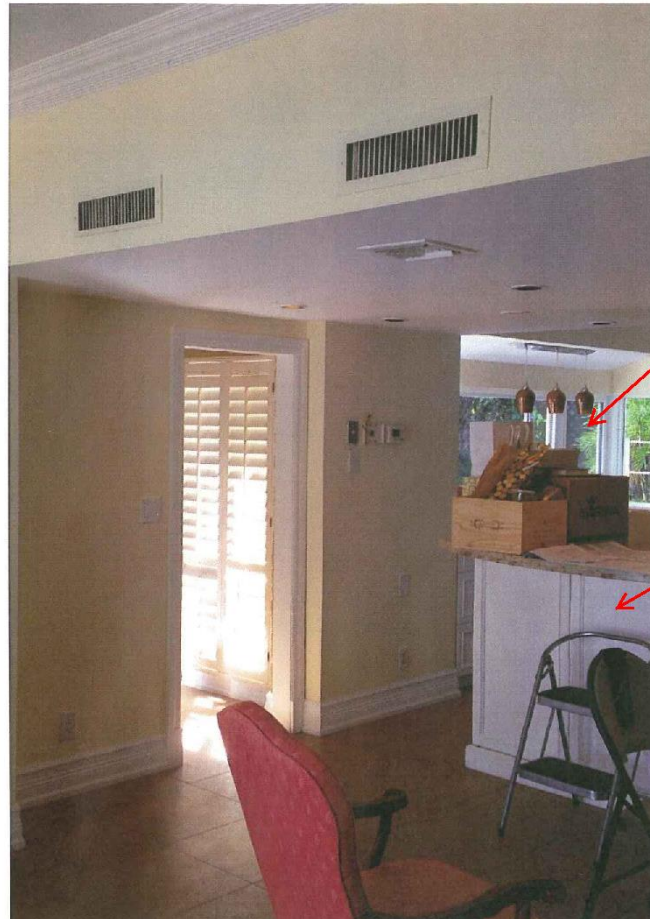
NEW KITCHEN IN
ORIGINAL
BREAKFAST
AREA.

ORIGINAL
BILLIARD ROOM.



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



KITCHEN BAY
"KIT" WINDOW.

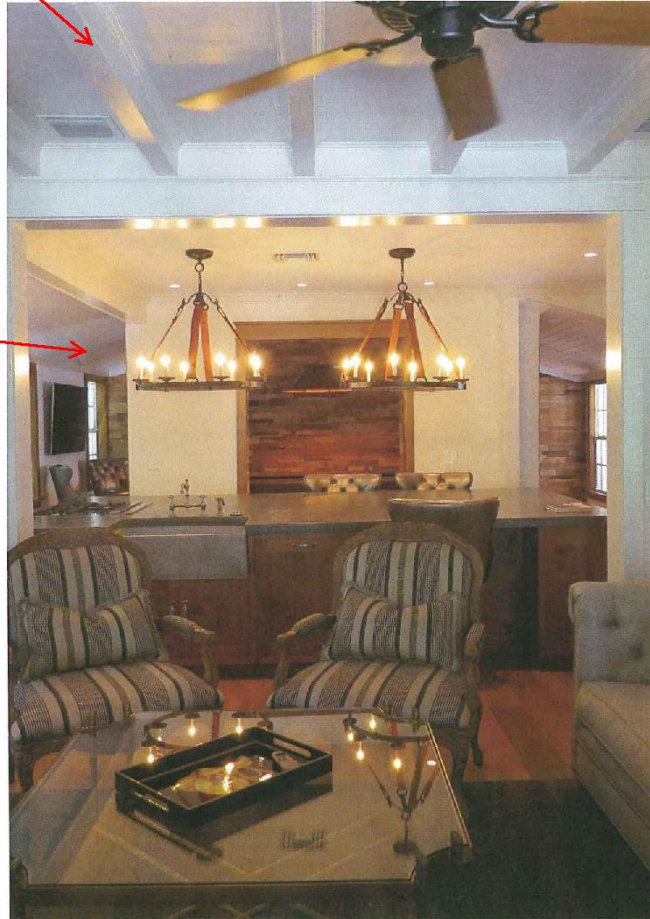
ORIGINAL
KITCHEN.

BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL LIVING
ROOM BEAMS.

ORIGINAL
OPENING TO
BREAKFAST
AREA (NOW
KITCHEN)



AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

ORIGINAL
VAULTED
CEILING.

ORIGINAL
INTERIOR
PAINTED BRICK
WALL.



BEFORE

ORIGINAL
PAINTED
INTERIOR BRICK
WALL.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



REPLACED ALL
EXISTING
TERMITE
DAMAGE AND
REFRAMED ALL
OPENINGS.

BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

TERMITE DAMAGE
THROUGHOUT
ORIGINAL HOUSE.

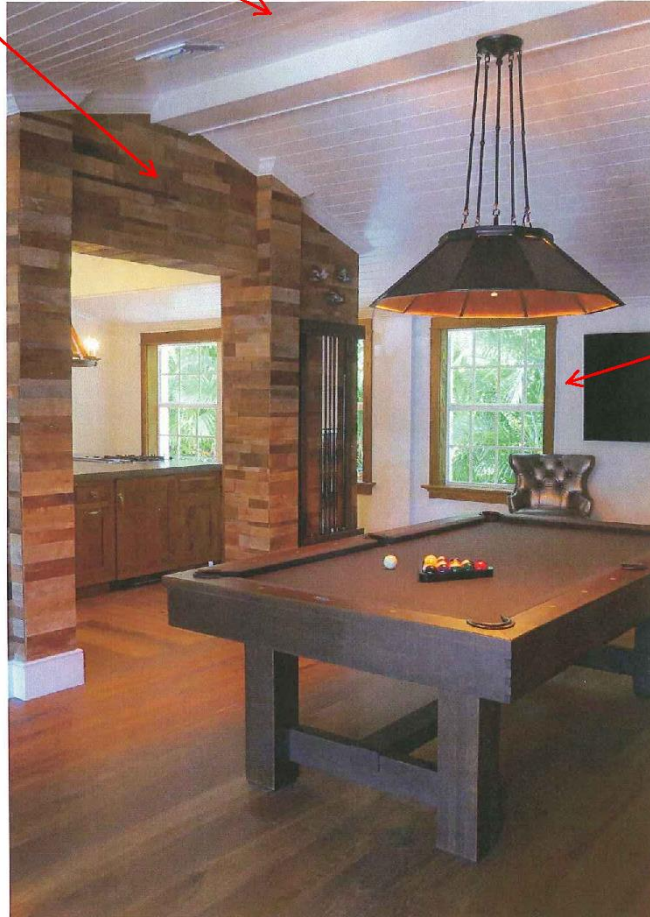


BEFORE

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

REFINISHED
EXISTING BRICK
WALL WITH
WOOD SIDING.

ADDED
INSULATION AND
T&G CEILINGS TO
PREVIOUSLY
UNINSULATED
CEILINGS.



REFRAMED ALL
ORIGINAL
WINDOW
OPENINGS WITH
PREVIOUS
TERMITE
DAMAGE.

AFTER

ORIGINAL
INTERIOR BRICK
WALL COVERED
WITH WOOD
SIDING.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



NEW KITCHEN.

REPLACED ALL
TERMITE
DAMAGED WOOD
FLOORING.

AFTER

ORIGINAL
CONSEALED
UPPER CHIMNEY.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



TERMITE DAMAGE
THROUGHOUT
HOUSE.

BEFORE

ORIGINAL
CHIMNEY
RESTORED.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

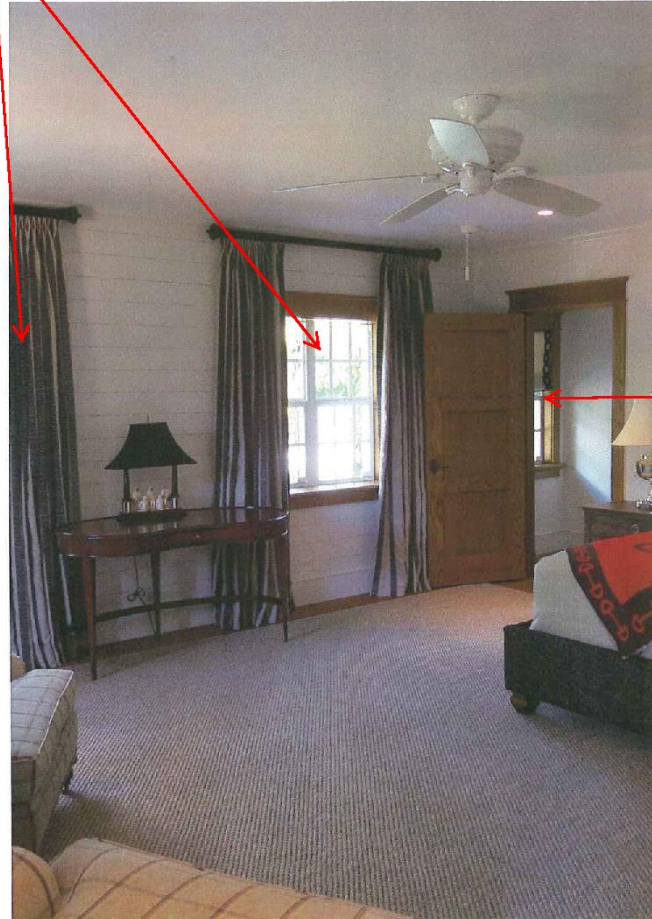


REFINISHED ALL
INTERIOR WALLS
PREVIOUSLY
DAMAGED BY
TERMITES.

AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

PREVIOUSLY
ORIGINAL
OPENINGS FOR
GARAGE.



ORIGINAL
OPENING TO
GARAGE.

AFTER

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



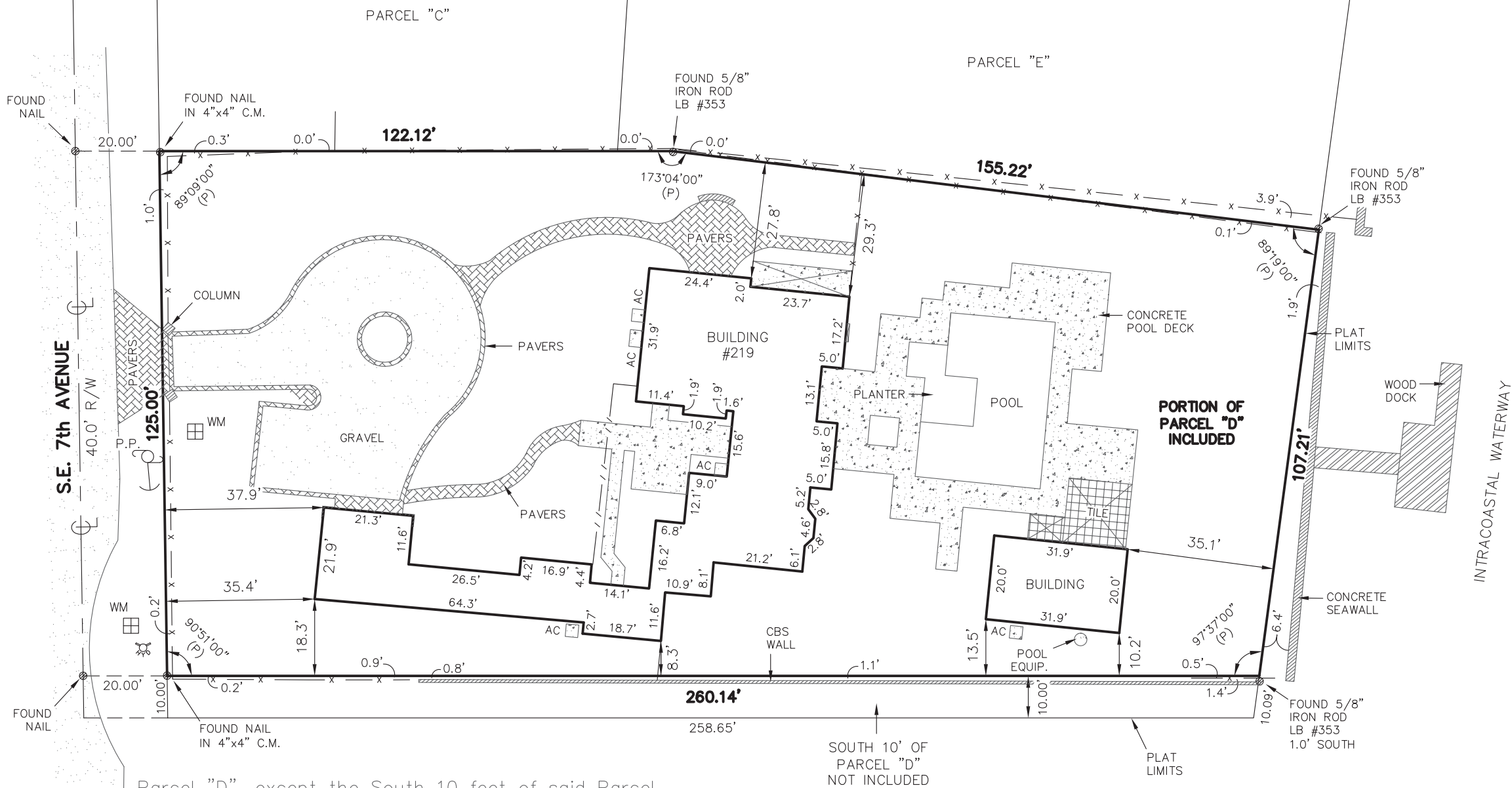
AFTER

BOUNDARY SURVEY

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

SURVEY NOTES
PAVER DRIVE CROSSING PROPERTY
BOUNDARY ON WESTERLY SIDE OF LOT

THERE ARE FENCES & CBS WALLS
NEAR THE BOUNDARY OF THE PROPERTY



Parcel "D", except the South 10 feet of said Parcel, "THE MOORINGS", according to the Plat thereof, as recorded in Plat Book 20, Page 27, of the Public Records of PALM BEACH County, Florida.

Community Number: 125102 Panel: 1251020004 Suffix:
D Flood Zone: X/AE Field Work: 10/8/2013

PROPERTY ADDRESS:
219 SE 7TH AVENUE
DELRAY BEACH, FL 33483

SURVEY NUMBER: 195160

CERTIFIED TO:
JAMES R. HELLMUTH AND LISA N. HELLMUTH; MATHEWS & PIAZZA, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; 1ST MARINER BANK, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR.

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS ARE LOCATED.

GENERAL NOTES:

- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. UNLESS OTHERWISE NOTED.
- 9) BEARINGS REFERENCED TO LINE NOTED AS B.R.
- 10) IN SOME INSTANCES, GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

PAGE 1 OF 1

LEGEND:

A/C	AIR CONDITIONER	D.E.	DRAINAGE EASEMENT	XXXX	EXISTING ELEVATION	F.P.K.	FOUND PARKER-KALON NAIL	F.N.	FOUND NAIL	PG.	PAGE	P.C.C.	POINT OF COMPOUND CURVATURE	W.M.	WATER METER
B.R.	BEARING REFERENCE	DW	DRIVEWAY	(M)	FIELD MEASURED	L.M.E	LANDSCAPE MAINTENANCE EASEMENT	N&D	NAIL & DISC	P.C.P.	PERMANENT CONTROL POINT	P.C.	POINT OF CURVATURE	R/W	RIGHT OF WAY
B.M.	BENCH MARK	Δ	CENTRAL ANGLE/DELTA	(F.F.)	FINISHED FLOOR	F.C.M.	FOUND CONCRETE MONUMENT	N.R.	NON RADIAL	P.R.M.	PERMANENT REFERENCE MONUMENT	P.R.C.	POINT OF REVERSE CURVE	R.P.	RADIUS POINT
Ⓢ	CENTERLINE	C.M.	CONCRETE MONUMENT	F.I.P.	FOUND IRON PIPE	F.I.R.	FOUND IRON ROD	N.T.S.	NOT TO SCALE	(P)	PLAT	P.T.	POINT OF TANGENCY	S.I.R.	SET IRON ROD & CAP
(C)	CALCULATED	D.B.	DEED BOOK	F.D.	FOUND	L	LENGTH	O.R.	OFFICIAL RECORDS	P.B.	PLAT BOOK	P.P.	POWER POLE	TEL.	TELEPHONE FACILITIES
CATV	CABLE RISER	D.	DESCRIPTION OR DEED	(W)	WELL	L.A.E.	LIMITED ACCESS EASEMENT	O.H.L.	OVERHEAD LINES	P.O.B.	POINT OF BEGINNING	●	PROPERTY CORNER	T.B.M.	TEMPORARY BENCH MARK
C.B.	CATCH BASIN	ESMT	EASEMENT	W.C.	WITNESS CORNER	M.H.	MANHOLE	O.R.B.	OFFICIAL RECORDS BOOK	P.O.C.	POINT OF COMMENCEMENT	R.O.E.	ROOF OVERHANG EASEMENT	T.O.B.	TOP OF BANK
D.H.	DRILL HOLE	E.O.W.	EDGE OF WATER	A.E.	ANCHOR EASEMENT	COVERED AREA				-	WOOD FENCE	-X-X-	METAL FENCE	U.E.	UTILITY EASEMENT
"R"	RADIAL	CH	CHORD												

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL OR A RAISED EMBOSSED SEAL AND SIGNATURE.

Clyde O. McNeal
McNeal
Date: 2013.10.09
16.09.24 -04.00

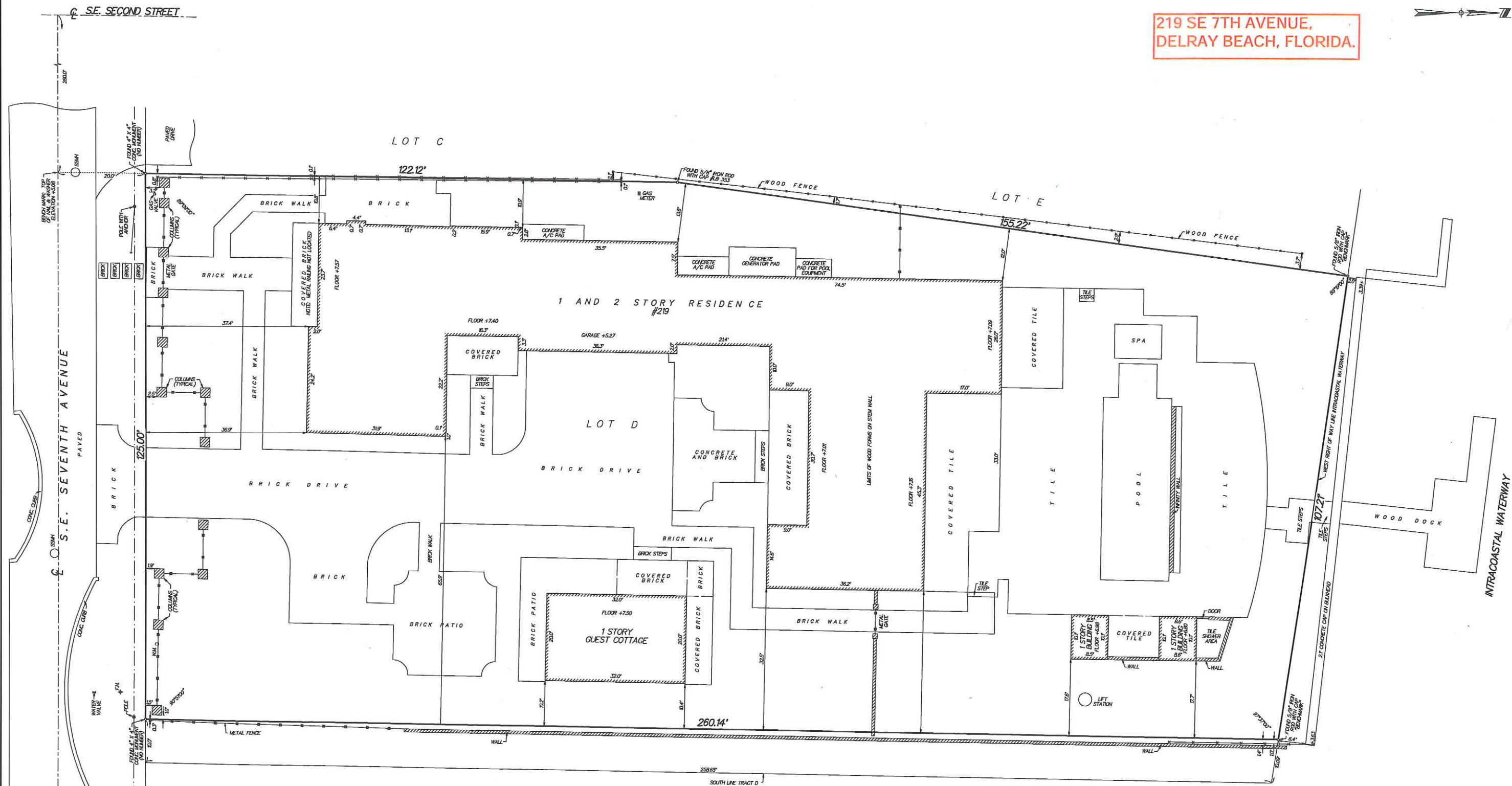
SERVING ALL FLORIDA COUNTIES

TARGET
SURVEYING, LLC

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
L.B. 7893

PHONE: (561) 640-4800 FACSIMILE: (561) 640-0576
STATEWIDE NUMBERS PHONE (800) 226-4807 FACSIMILE (800) 741-0576

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



LEGEND:

CL = CENTERLINE
CONC. = CONCRETE
WM = WATER METER
FH = FIRE HYDRANT
— — — = METAL FENCE
— x — = CHAIN LINK FENCE
— — — — — = OVERHEAD UTILITY LINES
+5.08 = ELEVATION BASED ON NORTH AMERICAN
VERTICAL DATUM 1988. SOURCE: STATE ROAD DEPT.
BENCH MARK IN ATLANTIC AVENUE BRIDGE OVER
INTRACOASTAL WATERWAY
FLOOD ZONE: AE (EL 6)
COMMUNITY PANEL NO. 125102 0979
SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR
DIMENSIONS ARE PLAT AND SURVEY UNLESS
STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED
ON THE STANDARD U.S. FOOT.
THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL
OF CLOSURE OF 1 FOOT IN 10,000 FEET AS
REQUIRED FOR COMMERCIAL/HIGH RISK
PROPERTY CLOSURE. WAS ACHIEVED BASED ON
A REDUNDANCY OF MEASUREMENTS FOR VERTICAL,
HORIZONTAL AND ANGULAR DIMENSIONS.
NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC
RECORDS WAS MADE IN REGARD TO EASEMENTS THAT
MAY AFFECT SUBJECT PARCEL.
NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES
OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT D, LESS THE SOUTH 10 FEET THEREOF, THE MOORINGS
DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF
AS RECORDED IN PLAT BOOK 20, PAGE 27 OF THE PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY
SITE ADDRESS: 219 S.E. 7TH AVENUE
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE
AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 461, FLORIDA
ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.002, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL, RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390
DATE OF SURVEY: JANUARY 2, 2013
FIELD BOOK: PAGE 18
D.144 47
REVISOR: 2/25/13 - ADDITIONAL
ELEVATIONS AND LOCATIONS
REVISOR: 5/9/17 - LOCATED LIMITS
OF STEIN WALL AROUND RELOCATED
COTTAGE, CABANA AND REAR OF
HOUSE
SCALE: 1" = 10'
ORDER NO.: 75-688db

REVISED: 5/23/18 - FINAL AS-BUILT

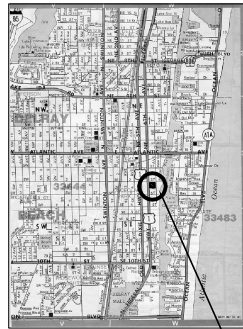
219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

DESCRIPTION:

LOT D LIES THE SOUTH 10 FEET THEREOF THE PLANNING DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 21 OF THE PUBLIC RECORDS OF PALM BEACH.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSURES AND FITTINGS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL, AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.
- EXISTENCE SOIL CONDITION INFORMATION WERE PREPARED BY TESTING ENGINEERS DATED MAY 30, 2014 - THE ENTIRE HOUSE TO BE DESIGNED WITH STEEL WALL CONSTRUCTION. (SEE STRUCTURAL DRAWINGS) THE CONTRACTOR SHOULD OBTAIN A COPY OF THE REPORT FROM THE ENGINEER AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.



VICINITY MAP



Architect, Planner and
Designer
AA-26002044
205 George Bush Blvd.
Delray Beach, Florida 33444
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR BUILDING

BIDS

PERMIT

CONSTRUCTION

PROJECT TITLE

HELLMUTH
SINGLE
FAMILY
RESIDENCE

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION.
IT HAS BEEN ISSUED FOR GOVERNMENTAL
REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER 414A101

DRAWING TITLE

EXISTING
SITE PLAN
(FOR REF. ONLY)

DATE 08.30.14

DRAWN BY GE/JC

JOB NUMBER 20140414

DRAWING NUMBER

A1.00

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY IS DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.

EXISTING SITE CALCULATIONS

TOTAL SITE AREA	32,206 S.F.
TOTAL BLDG FOOTPRINT (DRIVEWAY, WALKWAY, PATIOS & POOL DECK, PAVERS, ETC.)	4,848 S.F. 1,233 S.F.
TOTAL IMPERVIOUS AREA (PAVERS, POOL, ETC.)	0,091 S.F.
TOTAL PERVIOUS AREA (LANDSCAPING)	10,548 S.F.
	20,225 S.F. / 32,206 = 62.3%

PROPOSED PORTION OF EXISTING
STRUCTURE TO BE DISMISSED.

EXISTING STRUCTURES TO BE
RELOCATED.

SET BACKS:

	REQUIRED	EXISTING
FRONT	30'-0"	30'-2"
SIDE INTERIOR	10'-0"	8'-4" / 23'-10"
SIDE STREET	10'-0"	N.A.
REAR	10'-0"	10'-0" / 30'-4"
ALLOWABLE HT. (ABOVE CROWN OF ROAD)	35'-0" (MEAN ROOF HT.)	16'-0"

ZONING R-1-AA "HISTORIC MARINA DISTRICT"

EXISTING SITE PLAN

SCALE : 3/32"=1'-0" (FOR REFERENCE ONLY)



219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

NEW POOL AND
SPA.

NEW TWO STORY
ADDITION.

ROTATED AND
RELOCATED
HISTORIC
HOUSE.

NEW POOL
CABANA.



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ISSUED FOR BUILDING
BIDS
PERMIT 022019
CONSTRUCTION

PROJECT TITLE
**HELLMUTH
SINGLE
FAMILY
RESIDENCE**

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

FILE NUMBER 414A200

DRAWING TITLE

**OVERALL
GROUND FLOOR
PLAN**

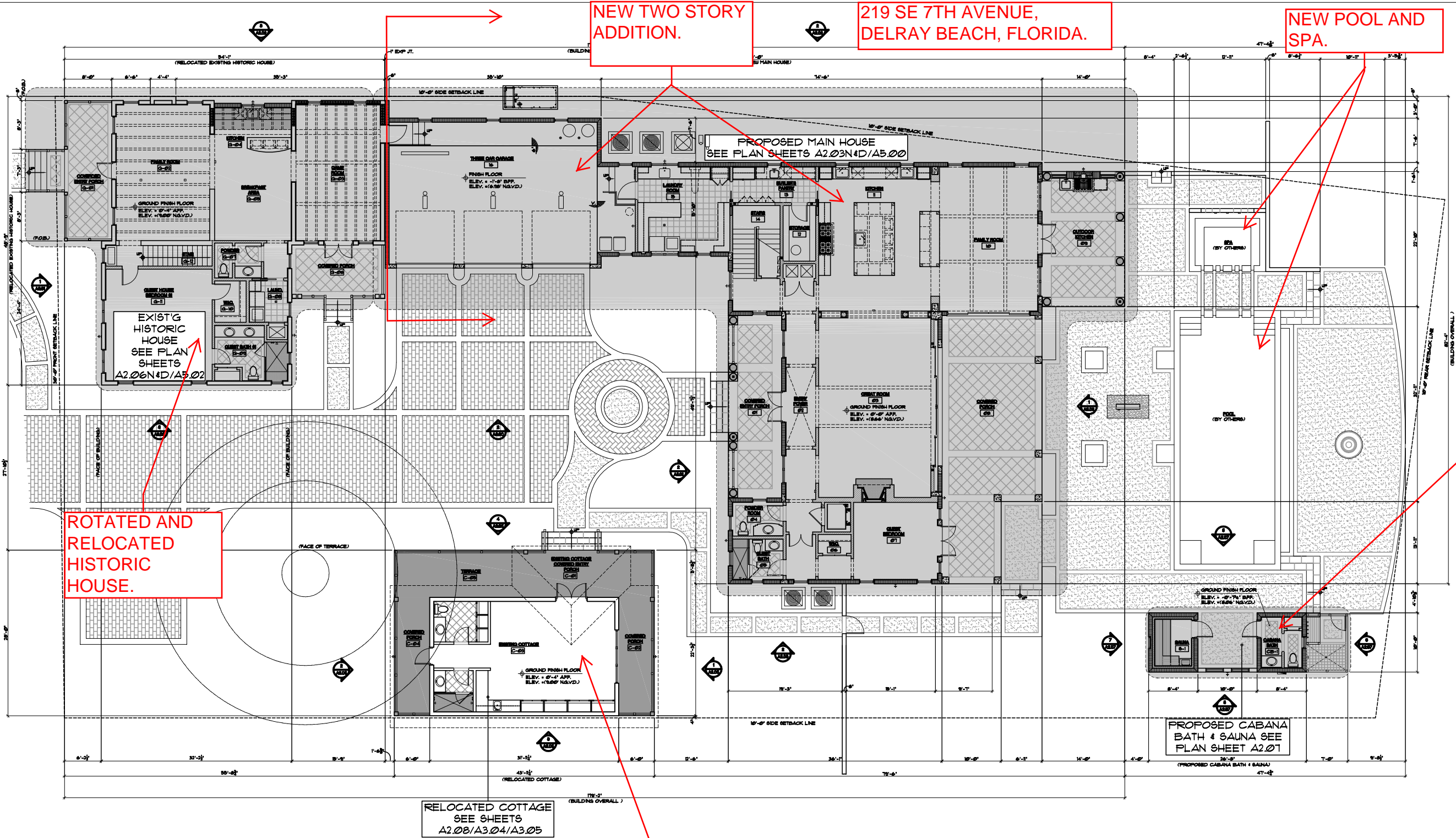
DATE 02.21.15 | DRAWN BY GE/JC/MJ

JOB NUMBER 20140414

DRAWING NUMBER

A2.00

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WALL LEGEND

1/2" INTERIOR PARTITION 3/4" x 5/8" GA METAL STUDS w/ 1/4" GYPSUM WALL BOARD BOTH SIDES. (PER DETAIL) • BATHROOMS AND KITCHEN: VERIFY W/ DIMENSIONS - VARIOUS (ACTUALLY DIMENSION 4 3/4" - LEVEL V FINISH)

1/2" 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK w/ 1/4" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURRING • 24" O.C. w/ R4I R-POI. BACKED INSULATION BETWEEN FURRING STRIPS • DETAIL-TYP. • EXTERIOR WALL

8" CONCRETE BLOCK WALL w/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. • GARAGE - (SEE STRUCT.)

8" CONCRETE BLOCK LOW WALL w/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. - (SEE STRUCT.)

4" to 8" INT. LOAD BEARING PARTITION WALL w/ (1) LAYER OF 5/8" TYPE 'X' GAUS. w/ SMOOTH LEVEL V FINISH - PAINTED ON EA. SIDE OF 4" (400092) 5/8" x 5/8" GA. TFL. STUDS • 16" O.C. (SEE D.F. PLAN FOR ACTUAL WALL THICKNESS) (PER DETAIL) • BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE! (NOTE: CONTRACTOR TO PROVIDE ALTERNATE, INLIEU OF 4" METAL STUDS, P.T. 2 x 6 x 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS)

DECORATIVE CHIMNEY TO RECEIVE CONCORD THIN LINE BRICK VENEER BY "MOUNTAIN STONE" OR EQ. - ON INSTALLED AS PER MANUF. SPEC. - OVER 25 SELF FURNISH PAPER BACKED GALV. METAL LATH COVER TYVEK® (CONCRETE) STUCCO WRAP OVER 1/2" x 2" x 2" TAPE JOINTS • ATTACHED TO P.T. 2 x 4 WOOD STUDS • 24" O.C. (TYP.) - (SEE STRUCTURAL DRAWINGS)

"UNIES HARDIE" OR EQUAL - CERAMITOUS BOARD AND BATTEN ATTACHED 2 x 4 P.T. WOOD FURRING • 24" O.C. (TYP.) - OVER 3/8" FELT LAPPED (TYP.) (P.T. FURRING TO BE ATTACHED w/ 25 x 25" TAPCONS • 24" O.C. (TYP.) • 8" CONG. BLOCK WALLS (CONTRACTOR TO PROVIDE ALTERNATIVE PRICE FOR IMITATION STUCCO BOARD AND BATTEN) - INTERIOR SIDE TO REC. 1 x 2 P.T. FURRING • 24" O.C. w/ R4I R-POI. BACKED INSULATION BETWEEN FURRING STRIPS • DETAIL-TYP. • EXTERIOR WALL

"CONCORD" THIN LINE BRICK VENEER BY "MOUNTAIN STONE" OR EQ. - ON INST. STUCCO BOARD • BATTEN • EXT. FACE, INTERIOR SIDE TO RECEIVE P.T. 2 x 4 x 16" O.C. - POIL BACK VAPOR BARRIER R4I BATT INSULATION w/ 1 x 8 TAG CEDAR (KILN DRIED) - INSTALLED AS PER MANUF. MANUFACTURER SPECIFICATIONS

EXISTING WALL, WINDOWS, & DOORS TO BE REMOVED.

EXISTING 4" TO 8" INTERIOR WALLS TO REMAIN 'AS IS'.

EXISTING 8" EXTERIOR FRAMED WALL w/ DRYWALL, 2 x 4 WOOD STUDS, 1 x 8 WOOD SLATS, 3/8" FELT PAPER, 1" AIR SPACE, 1 BRICK VENEER TO REMAIN 'AS IS'.

EXISTING 6" EXTERIOR FRAMED WALL w/ DRYWALL, 2 x 4 WOOD STUDS, 1 x 8 WOOD SLATS, 3/8" FELT PAPER, 1" AIR SPACE, 1 BRICK VENEER TO REMAIN 'AS IS'.

18" INTERIOR LOAD BEARING BRICK WALL PARTITION w/ EXPOSED PAINTED BRICK TO REMAIN 'AS IS'.

18" INTERIOR-LOAD BEARING-WALL PARTITION w/ EXISTING 18" BRICK WALL (EAST SIDE TO RECEIVE "CARLISLE" WATER PROOFING OR EQUAL, 1" AIR SPACE AND 8" BLOCK WALL w/ 1/4" 2-COATS SMOOTH STUCCO PAINTED FINISH (GARAGE SIDE).

8" CONCRETE BLOCK WALL w/ 1/4" 2-COATS SMOOTH STUCCO w/ 1/4" TYPE 'X' GYPSUM WALL BOARD • BATTEN • EXT. FACE, INTERIOR SIDE TO RECEIVE P.T. 2 x 4 x 16" O.C. - POIL BACK VAPOR BARRIER R4I BATT INSULATION w/ 1 x 8 TAG CEDAR (KILN DRIED) - INSTALLED AS PER MANUF. MANUFACTURER SPECIFICATIONS

STRUCTURAL COLUMN SEE STRUCTURAL DRAWINGS.

WINDOW NUMBER

DOOR NUMBER

NOTE:

1. ALL INTERIOR WALLS w/ CABINETS OR STAIR RAILINGS TO BE PROVIDED w/ 1/2" PL YUCCO OR WOOD BLOCKING.

2. ALL BEDROOM, BATHROOM, LAUNDRY ROOM, AND KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.)

3. ALL TILED FLOORS AND WALLS TO RECEIVE 5/8" "DURLOCK" BACKING OR EQUAL.

4. ALL EXTERIOR WALLS TO RECEIVE COME FILL 3/8" INSULATION (NOTE: TO BE INSTALLED AFTER EXTERIOR OF BUILDING IS SEALED).

5. ALL EXTERIOR WALLS w/ "CONCORD" THIN LINE BRICK VENEER BY "MOUNTAIN STONE" OR EQUAL TO HAVE WATERPROOFING AS PER SPECIFICATIONS.

6. CONTRACTOR TO PROVIDE UNIT COST PRICE FOR P.T. 2 x 4 x WOOD STUDS TO REPLACE ALL EXISTING TERMITTE DAMAGED WOOD STUDS IN EXISTING HISTORIC HOUSE.

7. CONTRACTOR TO PROVIDE PRICE FOR EXISTING HISTORIC HOUSE TO RECEIVE HURRICANE STRAPS FOR ALL WALL, GILL, HEADER AND TRUSS CONNECTIONS.

1. DO NOT SCALE DRAWINGS!

2. FIELD VERIFY ALL DIMENSIONS!

3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)

4. ALL AREA CALCULATIONS ARE APPROX.

RELOCATED
EXISTING
COTTAGE.

1 OVERALL GROUND FLOOR PLAN
SCALE: 1/8"=1'-0"

AREA CALCULATIONS	
GROUND FLOOR UNDER A/C (NEW)	2324 S.F.
THREE CAR GARAGE	1020 S.F.
COVERED ENTRY PORCH	278 S.F.
REAR COVERED PORCH	695 S.F.
REAR COVERED OUTDOOR KITCHEN	320 S.F.
TOTAL PROPOSED GROUND FLOOR AREA UNDER ROOF	5241 S.F.
SECOND FLOOR UNDER A/C (NEW)	2225 S.F.
COVERED REAR PORCH	695 S.F.
TOTAL PROPOSED SECOND FLOOR AREA UNDER ROOF	2920 S.F.
GROUND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	1891 S.F.
COVERED ENTRY PORCH	395 S.F.
COVERED MOTOR COURT PORCH	144 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	2224 S.F.
SECOND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	822 S.F.
COVERED FRONT PORCH	93 S.F.
COVERED REAR PORCH	225 S.F.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	840 S.F.
EXISTING GUEST COTTAGE UNDER A/C	635 S.F.
EXISTING GUEST COTTAGE COVERED ENTRY PORCH	160 S.F.
GUEST COTTAGE TERRACE	206 S.F.
GUEST COTTAGE COVERED PORCH	278 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	1071 S.F.
CABANA BATH	83 S.F.
CABANA SAUNA	83 S.F.
TOTAL FLOOR AREA UNDER A/C	6205 S.F.
TOTAL FLOOR AREA UNDER ROOF	6216 S.F.

SECOND FLOOR
OF NEW TWO
STORY
ADDITION.



205 George Bush Blvd.
Delray Beach, Florida 33444
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FAX: 561-276-6129

ISSUED FOR BUILDING

BIDS

PERMIT 022018

CONSTRUCTION

PROJECT TITLE

**HELLMUTH
SINGLE
FAMILY
RESIDENCE**

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

FILE NUMBER 414A201

DRAWING TITLE

OVERALL SECOND FLOOR PLAN

DATE | DRAWN BY

02.23.15 | GE/JC/M.

JOB NUMBER

DRAWING NUMBER

A2.01



A201 SCALE : 1/8"=1'-0"



NOTES:

- 1 DO NOT SCALE DRAWINGS!
- 2 FIELD VERIFY ALL DIMENSIONS!
- 3 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- 4 ALL AREA CALCULATIONS ARE APPROXIMATE

AREA CALCULATIONS	
GROUND FLOOR UNDER A/C (NEW)	2,824 S.F.
THREE CAR GARAGE	(600) S.F.
COVERED ENTRY PORCH	278 S.F.
REAR COVERED PORCH	478 S.F.
REAR COVERED OUTDOOR KITCHEN	330 S.F.
TOTAL PROPOSED GROUND FLOOR AREA UNDER ROOF	5,241 S.F.
SECOND FLOOR UNDER A/C (NEW)	2,278 S.F.
COVERED REAR PORCH	678 S.F.
TOTAL PROPOSED SECOND FLOOR AREA UNDER ROOF	2,956 S.F.
GROUND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	1,891 S.F.
COVERED ENTRY PORCH	185 S.F.
COVERED REAR COURT PORCH	144 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	2,220 S.F.
SECOND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	822 S.F.
COVERED FRONT PORCH	73 S.F.
COVERED SECOND FLOOR REAR PORCH	229 S.F.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	844 S.F.
EXISTING GUEST COTTAGE UNDER A/C	638 S.F.
EXISTING GUEST COTTAGE COVERED ENTRY PORCH	160 S.F.
EXISTING COTTAGE REAR PORCH	205 S.F.
GUEST COTTAGE COVERED PORCH	278 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	1,671 S.F.
CABANA BATH	83 S.F.
CABANA SAUNA	83 S.F.
TOTAL FLOOR AREA UNDER A/C	6,265 S.F.
TOTAL FLOOR AREA UNDER ROOF	7,476 S.F.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



Architect, Planner and
Designer
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ISSUED FOR BUILDING
BIDS
PERMIT 023019
CONSTRUCTION

PROJECT TITLE
HELLMUTH
SINGLE
FAMILY
RESIDENCE

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

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FILE NUMBER 414A202

DRAWING TITLE
OVERALL
ROOF PLAN

DATE 02.23.15 | DRAWN BY GE/JC/MJ

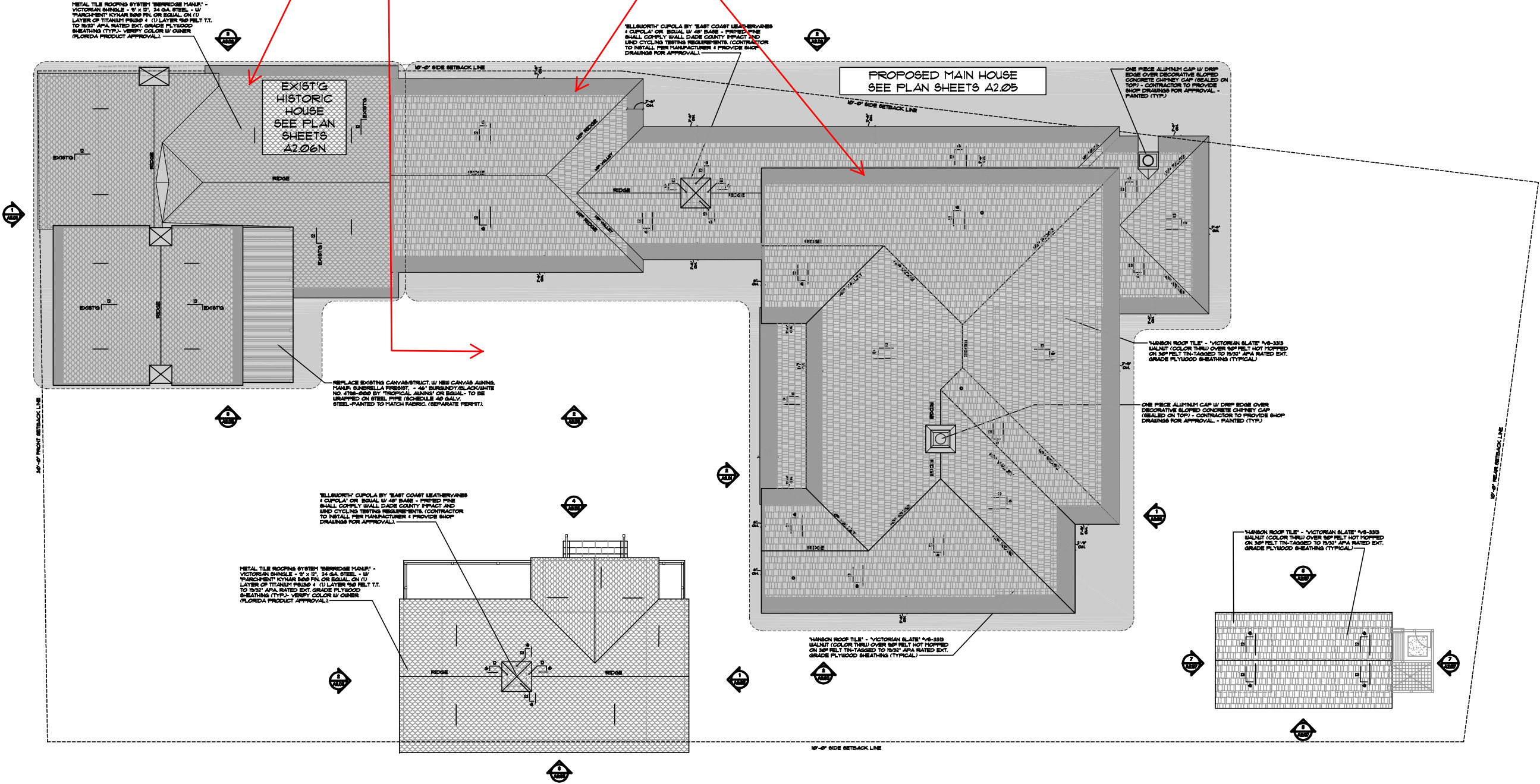
JOB NUMBER 20140414

DRAWING NUMBER

A2.02

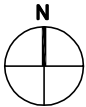
RELOCATED AND
ROTATED
HISTORIC
STRUCUTRE.

TWO STORY
ADDITION.



1 OVERALL ROOF PLAN
A2.02 SCALE: 1/8"=1'-0"

NOTES:
1. DO NOT SCALE DRAWINGS.
2. FIELD VERIFY ALL DIMENSIONS.
3. CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS AND NOTIFY ARCHITECT
IF ANY DISCREPANCY IN DRAWINGS.
(SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



LEGEND:
INDICATES ROOF OVERHANG
W/ DECO. OUTLOOKERS (SEE REFLECTIVE CEILING PLAN FOR VARIOUS CONDITIONS)
ENTIRE HOUSE TO HAVE 4:12 & 6:12 SLOPE FOR MAIN ROOF
NOTE: CONTRACTOR TO PROVIDE MECHANICAL AND TRUSS FABRICATOR
WITH ALL THE APPROPRIATE DRAWINGS FOR COORDINATION
OF DUCT WORK PENETRATIONS THROUGHOUT THE STRUCTURE. (TYPICAL)
NOTE: ROOF ATTIC SHALL COMPLY W/ IRC - 2014 ED - ATTIC SPACE
NOTE: ROOF TO BE "CLOSED SYSTEM" USING BLOWN IN R-30 "GYNENE" INSULATION BY "SALE
INSULATION" OR EQUAL TO THE UNDERSIDE OF THE ROOF SHEATHING (TYPICAL)
NOTE: ALL "GYNENE" POINTS TO BE PROTECTED WITH DQ-35 COATINGS AS PER
MANUFACTURER'S SPECIFICATIONS & THE FLORIDA BUILDING CODE 2014 CHAPTER 26,
SECTION 2605.4 THERMAL BARRIER- IF MECHANICAL EQUIP. IS INSTALLED IN ROOF ATTIC.

CREATED
OPENING TO
BRING BACK THE
ORIGINAL MAIN
ENTRANCE.

KITCHEN WAS
RELOCATED TO
THE MAIN ROOM.

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.
5. CONTRACTOR TO PROVIDE UNIT PRICE FOR ALL INTERIOR PT. 2 x 4 WOOD STUDS FOR ALL EXISTING - TYPIC DAMAGED STUDS TO BE REPLACED.



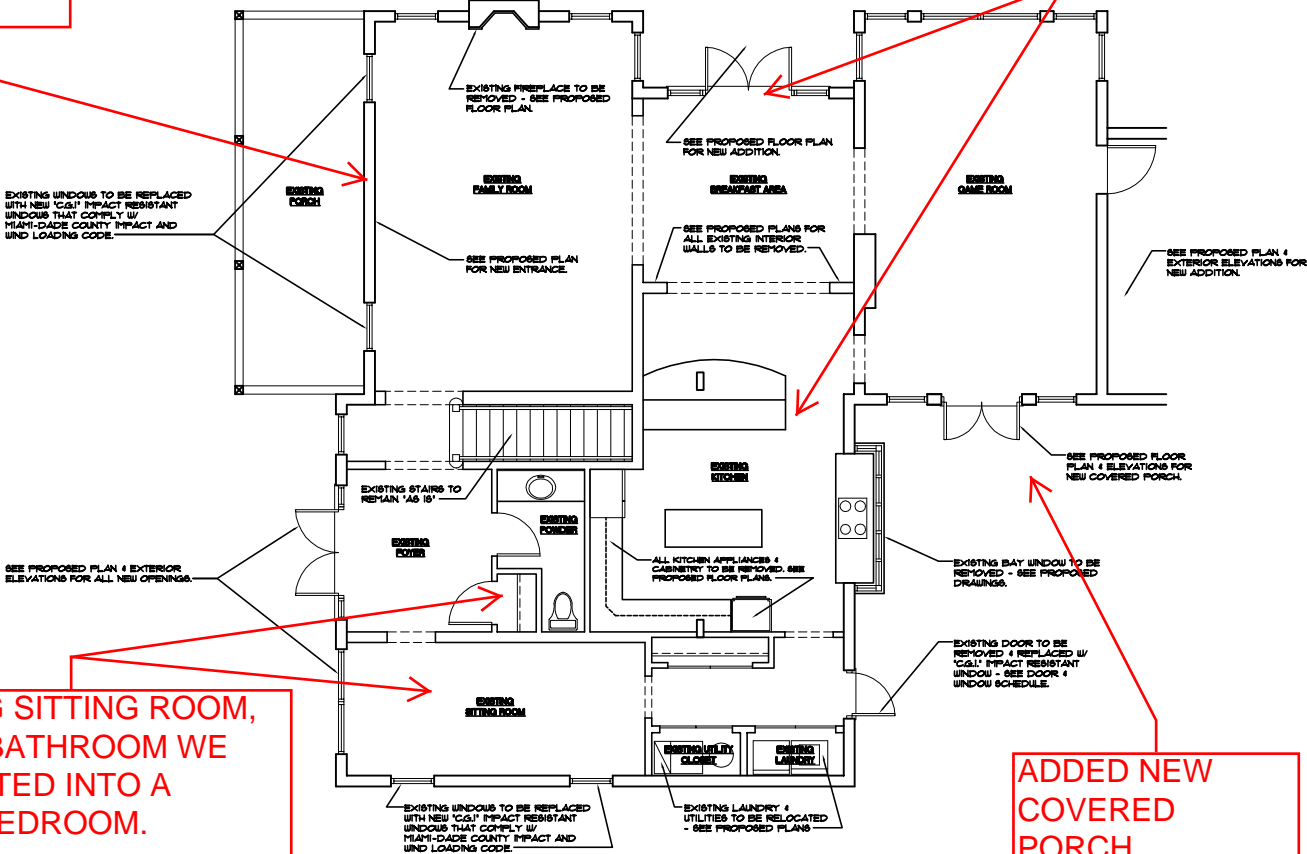
Architect, Planner and
Designer
AA-26002044

205 George Bush Blvd.
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FAX: 561-276-6129

ISSUED FOR	BUILDING
BIDS	
PERMIT	02309
CONSTRUCTION	

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COVERED UPSTAIRS
INTO ONE BEDROOM AND
GUEST BATHROOM.



EXISTING SITTING ROOM,
FOYER, BATHROOM WE
CONVERTED INTO A
GUEST BEDROOM.

ADDED NEW
COVERED
PORCH.

1 EXISTING HOUSE GROUND FLOOR (EXISTING PLAN)
A2.06E SCALE : 3/16"=1'-0" (FOR REFERENCE ONLY)

2 EXISTING HOUSE SECOND FLOOR (EXISTING PLAN)
A2.06E SCALE : 3/16"=1'-0" (FOR REFERENCE ONLY)

WALL LEGEND			
5' INTERIOR PARTITION 3/4" x 25 GA METAL STUDS W/ 1/2" GYPSUM WALL BOARD BOTH SIDES. (MFR DRYWALL, BATHROOMS AND KITCHEN VERIFY W/ DIMENSIONS-VARIABLES) (ACTUAL) DIMENSION 4 3/4" - LEVEL V FINISH.	DECORATIVE CHIMNEY TO RECEIVED CONCRETE THIN LINE BRICK VENEER BY MOUNTAIN STONE OR EQUAL. INSTALLED AS PER MANUF. SPEC. - OVER 25 SELF-FINISHING PAPER BACKED GALV. METAL LATH OVER 1/2" GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURNISHING # 2400C. W/ RAL FILL BACKED INSULATION BETWEEN FURNISHING STRIPS & DRYWALL-TYP. # EXTERIOR WALL.	EXISTING WALL, WINDOW, & DOORS TO BE REMOVED.	STRUCTURAL COLUMN. SEE STRUCTURAL DRAWINGS.
1/2" 3-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURNISHING # 2400C. W/ RAL FILL BACKED INSULATION BETWEEN FURNISHING STRIPS & DRYWALL-TYP. # EXTERIOR WALL.	1/2" 3-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURNISHING # 2400C. W/ RAL FILL BACKED INSULATION BETWEEN FURNISHING STRIPS & DRYWALL-TYP. # EXTERIOR WALL.	EXISTING 4" TO 8" INTERIOR WALLS TO REMAIN 'AS IS'.	WINDOW NUMBER
8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. # GARAGE-(SEE STRUCT.)	8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. #-(SEE STRUCT.)	EXISTING 8" EXTERIOR FRAMED WALL W/ DRYWALL, 2 x 4 WOOD STUDS, 1 x 8 WOOD SLATS, 3/8" FELT PAPER, 1/2" AIR SPACE, 1 BRICK VENEER TO REMAIN 'AS IS'.	DOOR NUMBER
4" to 8" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GYPSUM WALL BOARD. V FINISH - PAINTED ON BATH SIDE OF (ADJOINING-34) IS GA. TFL. STUDS - 1/4" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (MFR DRYWALL, # BATHROOMS, 5/8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURNISHING # 2400C. W/ RAL FILL BACKED INSULATION BETWEEN FURNISHING STRIPS & DRYWALL-TYP. # EXTERIOR WALL.	4" to 8" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GYPSUM WALL BOARD. V FINISH - PAINTED ON BATH SIDE OF (ADJOINING-34) IS GA. TFL. STUDS - 1/4" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (MFR DRYWALL, # BATHROOMS, 5/8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURNISHING # 2400C. W/ RAL FILL BACKED INSULATION BETWEEN FURNISHING STRIPS & DRYWALL-TYP. # EXTERIOR WALL.	EXISTING 6" EXTERIOR FRAMED WALL W/ DRYWALL, 2 x 4 WOOD STUDS, 1 x 8 WOOD SLATS, 3/8" FELT PAPER, 1/2" AIR SPACE, 1 BRICK VENEER TO REMAIN 'AS IS'.	NOTE: 1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING. W/ 1/2" PLYWOOD OR WOOD BLOCKING. (TYP.) 2. ALL BEDROOM, BATHROOM, LAUNDRY ROOM, AND KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.) 3. ALL TILED FLOORS AND WALLS TO RECEIVE 5/8" "DURLOCK" BACKING OR EQUAL. 4. ALL EXTERIOR WALLS TO RECEIVE CORSE FILL. BATT INSULATION (NOTE: TO BE INSTALLED AFTER EXTERIOR OF BUILDING IS SEALED). 5. ALL EXTERIOR WALLS W/ 'CONCORD' THIN LINE BRICK VENEER BY MOUNTAIN STONE OR EQUAL TO HAVE WATERPROOFING AS PER SPECIFICATIONS. 6. CONTRACTOR TO PROVIDE UNIT COST PRICE FOR PT. 2 x 4 WOOD STUDS TO REPLACE ALL EXISTING TYPIC DAMAGED WOOD STUDS IN EXISTING HISTORIC HOUSE. 7. CONTRACTOR TO PROVIDE PRICE FOR EXISTING HISTORIC HOUSE TO RECEIVE HURRICANE STRAPS FOR ALL WALL GILL HEADERS AND TRUSS CONNECTIONS.

AREA CALCULATIONS (EXISTING CONDITIONS)	
EXISTING GROUND FLOOR UNDER A/C (HISTORIC HOUSE)	1243 S.F.
EXISTING COVERED ENTRY PORCH	180 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	1,423 S.F.
EXISTING SECOND FLOOR UNDER A/C (HISTORIC HOUSE)	832 S.F.
EXISTING COVERED FRONT PORCH	35 S.F.
EXISTING COVERED REAR PORCH	229 S.F.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	844 S.F.
TOTAL EXISTING FLOOR AREA UNDER A/C	2,255 S.F.
TOTAL EXISTING FLOOR AREA UNDER ROOF	2,572 S.F.

PROJECT TITLE
**HELLMUTH
SINGLE
FAMILY
RESIDENCE**

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

FILE NUMBER 414A206E

DRAWING TITLE

**EXISTING
HISTORIC HOUSE
EXISTING PLANS
(FOR REF. ONLY)**

DATE 9.23.14 | DRAWN BY GE/JC/MJ

JOB NUMBER 20140414

DRAWING NUMBER

A2.06E

REMOVAL OF EXISTING WALL FOR NEW FRONT ENTRANCE.

REMOVAL OF EXTERIOR WALL FOR NEW ADDITION.

219 SE 7TH AVENUE, DELRAY BEACH, FLORIDA.

NOTES

1. DO NOT SCALE DRAWINGS.
2. FIELD VERIFY ALL DIMENSIONS.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS (SEE GENERAL NOTES).
4. ALL AREA CALCULATIONS ARE APPROX.
5. CONTRACTOR TO PROVIDE UNIT PRICE FOR ALL INTERIOR PT. 2 x 4 WOOD STUDS FOR ALL EXISTING - TERRITE DAMAGED STUDS TO BE REPLACED.



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ISSUED FOR BUILDING
BIDS
PERMIT 023019
CONSTRUCTION

PROJECT TITLE
HELLMUTH SINGLE FAMILY RESIDENCE

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER 414A206DE

DRAWING TITLE

EXISTING HISTORIC HOUSE DEMO PLANS

DATE 9.23.14 DRAWN BY GE/JC/MJ

JOB NUMBER 20140414

DRAWING NUMBER

A2.06DE

REMOVAL OF INTERIOR WALLS FOR NEW GUEST BEDROOM.

REMOVAL OF NON-CONTRIBUTING GLASS "KIT" BAY WINDOW.

REMOVAL OF INTERIOR WALLS FOR NEW GUEST BEDROOM SUITE.

1 EXISTING HOUSE GROUND FLOOR (DEMOLITION PLAN)
A2.06E SCALE: 3/16"=1'-0"

2 EXISTING HOUSE SECOND FLOOR (DEMOLITION PLAN)
A2.06E SCALE: 3/16"=1'-0"

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE DEMOLITION PROCESS AND WILL TAKE PRECAUTIONS AGAINST DAMAGE TO SURROUNDING SURFACES AND SYSTEMS.
2. THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING DURING DEMOLITION. BEARING WALLS AND COLUMNS TO BE DEMOLISHED WILL NOT BE REMOVED UNTIL ADEQUATE SHORING AND BRACING IS IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING AND BRACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING AND BRACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING AND BRACING.
3. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGE TO EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING (MEPE) SYSTEMS (VERIFY W/ OWNER).
4. ALL SYSTEMS REQUIRING REMOVAL OR TERMINATION SHALL BE IN ACCORDANCE WITH LOCAL CODES AND PRACTICES OR MANUFACTURER SPECIFICATIONS. REMOVE ALL DEBRIS ON A DAILY BASIS AND KEEP JOB SITE CLEAN AND FREE OF HAZARD.
5. ALL APPLIANCES, CABINETRY, HARDWARE, PLUMBING AND LIGHTING FIXTURES SHALL BE REMOVED WITH CARE AND SALVAGED FOR FUTURE USE. REUSE DOORS AND HARDWARE WHERE APPLICABLE. CONSULT WITH OWNER FOR SUCH MATERIALS TO BE STORED OR DISCARDED.
6. PRIOR TO COMMENCING WORK, INSPECT SITE FOR THE FOLLOWING:
 - HAZARDOUS MATERIALS: IF ENCOUNTERED - NOTIFY OWNER AND COMPLY WITH ALL APPL. CODES AND RES. FOR REMOVAL, INC. ABSTENTION.
 - ANY EXISTING DAMAGED MATERIALS AND SURFACES - DOCUMENT AS REQ'D. & NOTIFY OWNER FOR PROTECTION AGAINST CLIPS - ONCE DEMOLITION STARTS.
7. DEMOLITION INCLUDES COMPLETE REMOVAL OF AND ITEMS LABELED AND DISPOSAL OF DEMOLISHED MATERIALS.
8. SCHEDULE: SUBMIT PROPOSED METHOD AND OPERATIONS OF BUILDING DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTRACTION OF ALL UTILITY SERVICES.
9. TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
10. PROTECTION: ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATION TO PREVENT HURRY TO ADJACENT SECTIONS OF THE HOUSE.
11. DISPOSAL: REMOVE FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
12. NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
13. X - X - X - X - INDICATES TEMPORARY POST & BEAM BRACING BY GENERAL CONTRACTOR INITIAL PRIOR TO REMOVING ANY LOAD-BEARING COMPONENT AND MAINTAIN IN PLACE UNTIL NEW WORK IS COMPLETED - COORDINATE WITH STRUCTURAL ENGINEER.
14. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATION, AND CONDITIONS PRIOR TO CONSTRUCTION.
15. CONTRACTOR TO NOTIFY OWNER PRIOR TO SHUT-OFF OF ALL EXISTING UTILITIES. SHUT-OFF ALL UTILITIES TO BE DISCONTINUED IN USE. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION OF OWNER.
16. IN ACCORDANCE WITH FLORIDA STATUTE, SECTION 559.46, THIS IS TO ADVISE YOU OF THE OWNERS OR OPERATORS RESPONSIBILITY TO COMPLY WITH THE STATE AND FEDERAL ASBESTOS REGULATIONS, INCLUDING F.A. SECTION 350, AND CHAPTER 41 - ASBESTOS REQUIREMENTS. REQUIREMENTS INCLUDE ASBESTOS SURVEYS AND SUPERVISION OF WRITTEN NOTIFICATION TO FLORIDA BEACH COUNTY HEALTH DEPARTMENT.
17. ACCORDING TO THE FLORIDA BUILDING CODE 2006 SEC. 3205, IN ORDER TO CONTROL DUST DURING A DEMOLITION PROJECT, THE PERMIT HOLDER SHALL TAKE THE NECESSARY SAFETY MEASURES TO ENSURE THAT WATER SUPPLY IS AVAILABLE AND APPROPRIATE ACTIONS ARE TAKEN TO RETAIN DUST AT THE IMMEDIATE VICINITY OF THE DEMOLITION PROJECT AND TO ENSURE THAT NO DUST IS PERMITTED TO NEIGHBORING PROPERTIES OR STREETS.
18. THE ELECTRICAL SUBCONTRACTOR MUST MAINTAIN THE FOLLOWING: A. TEMP. POWER AND LIGHTING SHALL BE INSTALLED DURING CONSTRUCTION AS PER REC. 9.2.1. B. PROVIDE SP. PROTECTION FOR TEMP. POWER. C. ALL REMOVAL OR DISCONNECTING OF POWER SHALL BE SAFELY CAPPED OR REMOVED.
19. CONTRACTOR TO MAINTAIN A SAFE MEANS OF EGRESS AT ALL TIMES DURING DEMOLITION & CONSTRUCTION OF PROJECT.
20. CONTRACTOR TO COORDINATE W/ OWNER LOCATION OF TEMPORARY FRAMED UP WALL (PLYWOOD & VIRGIBUEN) TO CONTROL LOOSE AIR-BORNE DEBRIS & DUST DURING DEMOLITION & CONSTRUCTION OF THE ENTIRE PROJECT (IF APPLICABLE).
21. CONTRACTOR TO PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE.
22. THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND LANDSCAPING DRAWINGS. NO PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY PERFORM THE DEMOLITION PORTION OF THE PROJECT.
23. THE CONTRACTOR SHALL TAKE PRECAUTION AGAINST DAMAGE TO EXISTING GARAGE EQUIPMENT AND ATTIC A/C UNITS. NOTE: CUTTING - USE CUTTING TOOLS NOT CHIPPING TOOLS. MAKE HOLE CUTS & MINOR DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES & STRUCTURE PRIOR TO CUTTING - PATCHING HAVE PATCHES, REPAIR AND CONTR. DOWELS & NONCONFORMING - REMOVE ALL ABANDONED UTILITIES WHERE POSSIBLE.
24. CONTRACTOR TO REVIEW MEP DRAWINGS AND SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO DEMOLITION / REMOVAL OF EXISTING ELECTRICAL PANEL.
25. THIS STRUCTURE WAS CONSTRUCTED PRIOR TO ITS AND GENERAL CONTRACTOR MUST BE 1840 SAME CERTAINING AND MEET AND COMPLY WITH THE REQUIRED REGULATIONS OF 1994 - DEMOLITION REPAIR AND PAINTING WORK. RENOVATION OR DISTURB MORE THAN 4 SQUARE FEET OF PAINTED SURFACE.
26. CONTRACTOR TO COORDINATE W/ HOUSE MOVING CONTRACTOR ON ALL ITEMS TO BE REMOVED/SALVAGED & DUST DURING DEMOLITION FOR NEW LOCATION / FOUNDATION.

WALL LEGEND

- 1. INTERIOR PARTITION 3/8" x 25 GA. METAL STUDS W/ 1/2" GYPSUM WALL BOARD BOTH SIDES (NFR. DRYWALL) & BATHROOMS AND KITCHEN (ACTUALLY DIMENSION 4 3/4" - LEVEL V FINISH).
- 2. 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE "X" GYPSUM WALL BOARD. PAINTED ON 1 x 2 P.T. FURRING & 24" O.C. W/ R41 R. ROIL BACKED INSULATION BETWEEN FURRING STRIPS & DRYWALL-TYP. & EXTERIOR WALL.
- 3. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
- 4. 8" CONCRETE BLOCK LOW WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. (SEE STRUCT).
- 5. 4" x 8" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD & 1/2" GYPSUM WALL BOARD BOTH SIDES (NFR. DRYWALL) & BATHROOMS AND KITCHEN (ACTUALLY DIMENSION 4 3/4" - LEVEL V FINISH).
- 6. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
- 7. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
- 8. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
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- 11. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
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- 65. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
- 66. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
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- 68. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).
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- 100. 8" CONCRETE BLOCK WALL W/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. & GARAGE (SEE STRUCT).

AREA CALCULATIONS (EXISTING CONDITIONS)	
EXISTING GROUND FLOOR UNDER A/C (HISTORIC HOUSE)	1842 S.F.
EXISTING COVERED ENTRY PORCH	180 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	2022 S.F.
EXISTING SECOND FLOOR UNDER A/C (HISTORIC HOUSE)	822 S.F.
EXISTING COVERED FRONT PORCH	93 S.F.
EXISTING COVERED REAR PORCH	225 S.F.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	840 S.F.
TOTAL EXISTING FLOOR AREA UNDER A/C	2864 S.F.
TOTAL EXISTING FLOOR AREA UNDER ROOF	2872 S.F.

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Architect, Planner and
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AA-26002044

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TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR BUILDING
BIDS
PERMIT 02303
CONSTRUCTION

PROJECT TITLE
**HELLMUTH
SINGLE
FAMILY
RESIDENCE**

SE 7TH AVENUE
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS
1. REVISED TO ADD PER FIELD
QUANTITIES.
2. CHANGED LAYOUT OF BOTH
GROUND FLOOR AND SECOND
FLOOR BATHROOMS.

FILE NUMBER 414A206D

DRAWING TITLE

**EXISTING
HISTORIC HOUSE
DIMENSIONED
FLOOR PLANS**

DATE 9.23.14 DRAWN BY GE/JC/MJ

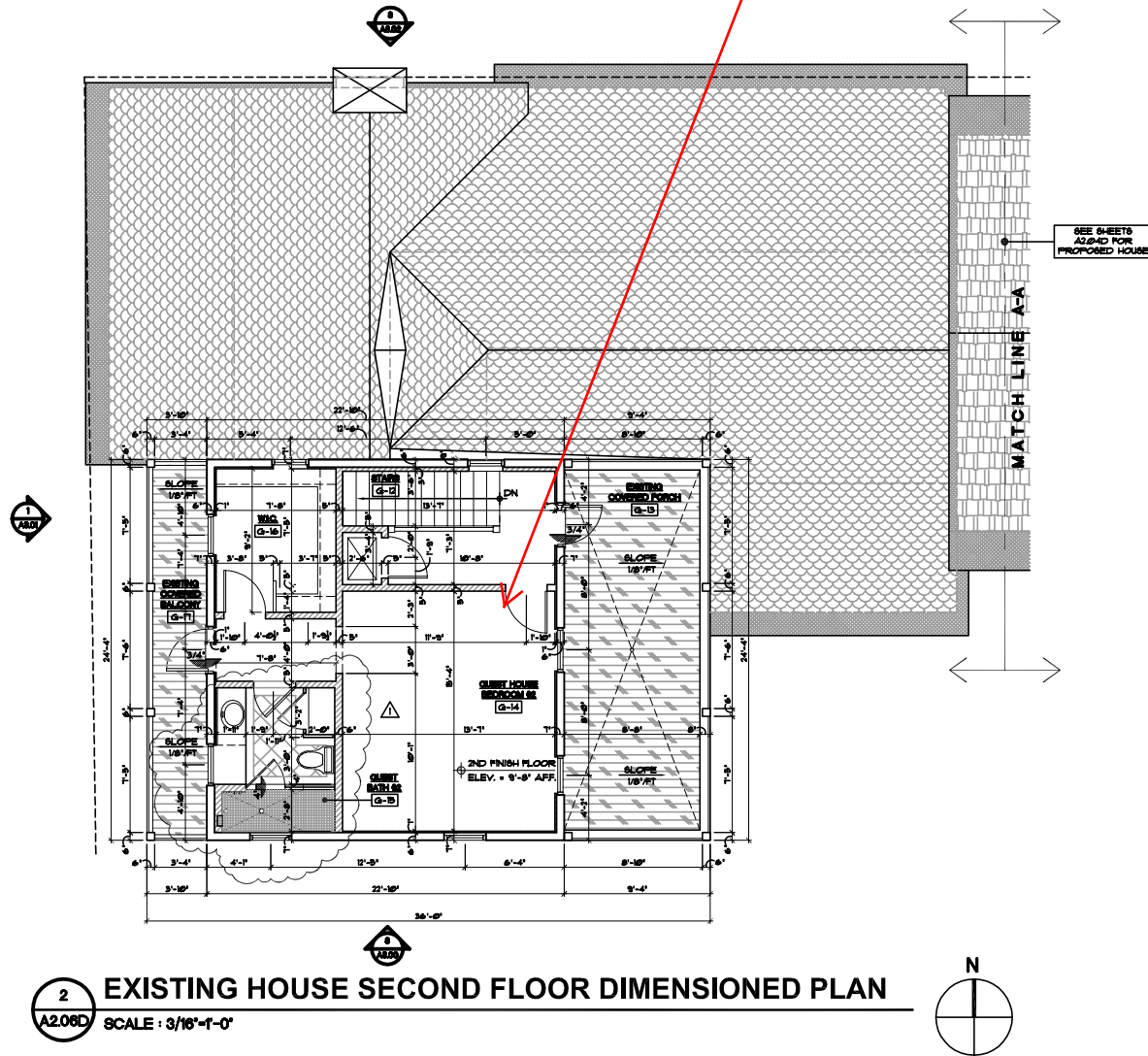
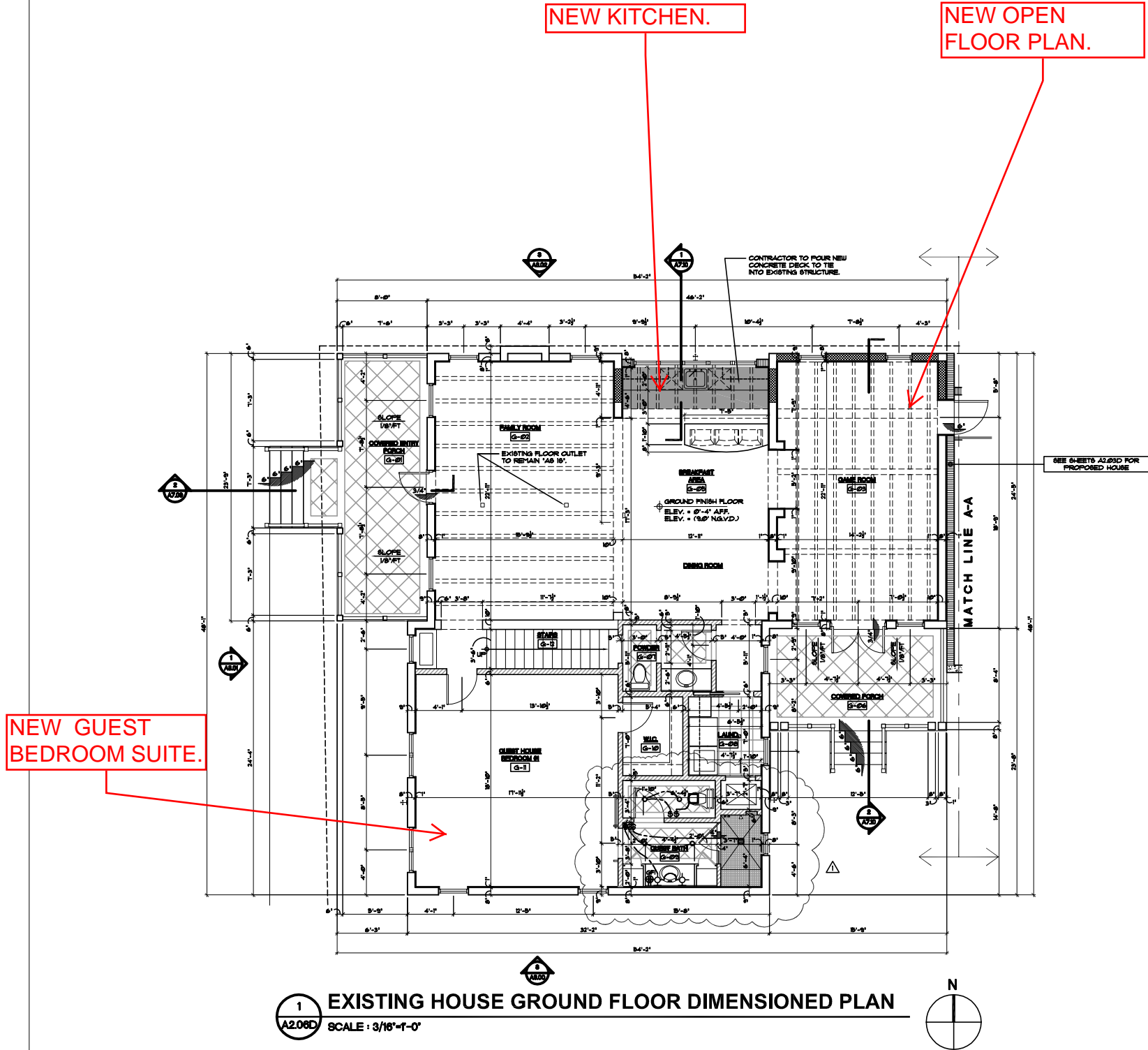
JOB NUMBER 20140414

DRAWING NUMBER

A2.06D

NOTES:

1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS AND NOTIFY ARCHITECT
IF ANY DISCREPANCY IN DRAWINGS.
(SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.



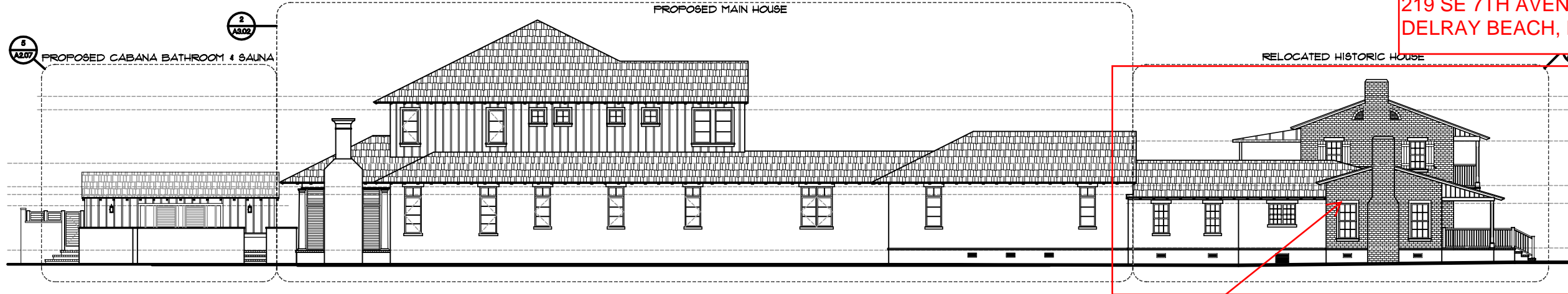
WALL LEGEND

- 1. INTERIOR PARTITION 3/4" x 2" GA. METAL STUDS w/ 1/2" GYPSUM WALL BOARD BOTH SIDES. (MFR DRYWALL, BATHROOMS AND KITCHEN, VERIFY # DIMENSIONS VARIATIONS) (ACTUALLY DIMENSION 4 3/4" - LEVEL V FINISH)
- 2. COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK w/ 1/2" TYPE 'X' GYPSUM WALL BOARD, PAINTED ON 1 x 2 P.T. RUNNERS # 240G. W/ 1/4" ROLL BACKED INSULATION BETWEEN RUNNERS STRIPS # DRYWALL-TYP. # EXTERIOR WALL.
- 3. CONCRETE BLOCK WALL w/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. # GARAGE-(SEE STRUCT.)
- 4. CONCRETE BLOCK LOW WALL w/ 5/8" 2-COAT SMOOTH STUCCO FIN. PAINTED ON BOTH SIDES TYP. -(SEE STRUCT.)
- 5. 4" to 8" INT. LOAD BEARING PARTITION WALL w/ (1) LAYER OF 5/8" TYPE-X GYPSUM w/ SMOOTH LEVEL V FINISH - PAINTED ON B.A. SIDE OF (400062-34) IS G.A. TFL. STUDS # 1600C. (SEE D.M. FLR PLANS FOR ACTUAL WALL THICKNESS) (MFR DRYWALL, # BATHROOMS, 5/8" DEN-BUILD BEHIND TILE) (NOTE: CONTRACTOR TO PROVIDE ALTERNATE. INLIEU OF 4" METAL STUDS, P.T. 2 x 6 x 16" O.C. - NEED TO FIELD ADJUST DIMENSIONS FOR THICKNESS).
- 6. DECORATIVE CHIMNEY TO RECEIVED CONCRETE THIN LINE BRICK VENEER BY MOUNTAIN STONE OR EQUAL - CALLED AS PER MANUF. SPEC. - OVER 2.5 SELF-FINISHING PAPER BACKED GALV. METAL LATH OVER 1/2" (CONCRETE) STUCCO WRAP OVER 1/2" APA RATED EXTERIOR GRADE PLYWOOD - ATTACHED TO P.T. 2 x 4 WOOD STUDS # 12" O.C. - (SEE STRUCTURAL DRAWINGS).
- 7. 'JAMES HARDIE' OR EQUAL - CERAMITIC BOARD AND BATTEN, ATTACHED 2 x 4 P.T. WOOD RUNNERS # 24" O.C. (TYP.) - OVER SELF-FINISHING PAPER BACKED GALV. METAL LATH OVER 1/2" (CONCRETE) STUCCO WRAP OVER 1/2" APA RATED EXTERIOR GRADE PLYWOOD - ATTACHED TO P.T. 2 x 4 WOOD STUDS # 12" O.C. - (SEE STRUCTURAL DRAWINGS).
- 8. INTERIOR LOAD BEARING BRICK WALL PARTITION w/ EXPOSED PAINTED BRICK TO REMAIN 'AS IS'.
- 9. INTERIOR-LOAD BEARING-WALL PARTITION w/ EXISTING 10" BRICK WALL (EAST SIDE TO RECEIVE 'CARLISLE' WATER PROOFING OR EQUAL, 1" AIR SPACE AND 8" BLOCK WALL w/ 1/2" - 2-COATS SMOOTH STUCCO PAINTED FINISH (GARAGE SIDE).
- 10. CONCRETE BLOCK WALL w/ 1/2" - 2-COATS SMOOTH STUCCO w/ 1/2" GYPSUM WALL BOARD # BATTEN - EXT. FACE, INTERIOR SIDE TO RECEIVE P.T. 2 x 4 x 16" O.C. - ROLL BACKED INSULATION, R38 BATT INSULATION w/ 1 x 6 T&G CEDAR (KLN DRIED) - INSTALLED AS PER MANUF. MANUFACTURER SPECIFICATIONS.
- 11. CONTRACTOR TO PROVIDE UNIT COST PRICE FOR P.T. 2 x 4 WOOD STUDS TO REPLACE ALL EXISTING TERRITE DAMAGED WOOD STUDS IN EXISTING HISTORIC HOUSE.
- 12. CONTRACTOR TO PROVIDE PRICE FOR EXISTING HISTORIC HOUSE TO RECEIVE HURRICANE STRAPS FOR ALL WALL, RAIL, HEADER AND TRUSS CONNECTIONS.
- 13. STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.
- 14. WINDOW NUMBER
- 15. DOOR NUMBER

AREA CALCULATIONS

GROUND FLOOR UNDER A/C (NEW)	2,924 S.F.
THREE CAR GARAGE	1,620 S.F.
COVERED ENTRY PORCH	718 S.F.
REAR COVERED PORCH	699 S.F.
REAR COVERED OUTDOOR KITCHEN	330 S.F.
TOTAL PROPOSED GROUND FLOOR AREA UNDER ROOF	5,241 S.F.
SECOND FLOOR UNDER A/C (NEW)	2,279 S.F.
COVERED REAR PORCH	699 S.F.
TOTAL PROPOSED SECOND FLOOR AREA UNDER ROOF	2,928 S.F.
GROUND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	1,691 S.F.
COVERED ENTRY PORCH	189 S.F.
COVERED MOTOR COURT PORCH	144 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	2,224 S.F.
SECOND FLOOR UNDER A/C (EXISTING HISTORIC HOUSE)	922 S.F.
COVERED FRONT PORCH	93 S.F.
COVERED REAR PORCH	225 S.F.
TOTAL EXISTING SECOND FLOOR AREA UNDER ROOF	840 S.F.
EXISTING GUEST COTTAGE UNDER A/C	635 S.F.
EXISTING GUEST COTTAGE COVERED ENTRY PORCH	160 S.F.
GUEST COTTAGE TERRACE	206 S.F.
GUEST COTTAGE COVERED PORCH	718 S.F.
TOTAL EXISTING GROUND FLOOR AREA UNDER ROOF	1,611 S.F.
CABANA BATH	83 S.F.
CABANA SAUNA	83 S.F.
TOTAL FLOOR AREA UNDER A/C	8,209 S.F.
TOTAL FLOOR AREA UNDER ROOF	8,476 S.F.

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EXTERIOR STUCCO

1. APPLY SCRATCH COAT WITH SUFFICIENT PRESSURE TO KEY WELL INTO LATH. AFTER INITIAL SET AND SCRATCH TO ROUGHEN SURFACE.
2. APPLY BROWN COAT AFTER SCRATCH COAT HAS SET FIRM AND HARD AND HAS BEEN STRAIGHTENED TO A TRUE SURFACE WITHOUT THE USE OF ADDITIONAL WATER. LEAVE ROUGH TO RECEIVE FINISH COAT.
3. DAMPEN BROWN COAT EVENLY PRIOR TO APPLICATION OF FINISH COAT. APPLY FINISH COAT AND BRING FINISH COAT TO A TRUE, EVEN SURFACE, FINISHED AS APPROVED BY OWNER.
4. TWO (2) COAT WORK (ON MASONRY) APPLY TWO (2) COAT STUCCO TO CONC. AND MASONRY AREAS TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MIN.
5. THREE (3) COAT WORK (ON LATH) APPLY THREE (3) COAT STUCCO TO METAL LATH TOTAL (1) INCH THICK AREAS TOTAL THICKNESS FIVE-EIGHTHS (5/8) INCH MIN.
6. RUN DRIP GROOVES IN STUCCO. PROVIDE RUN DRIP GROOVES IN EXTERIOR DOORWAY HEADS AND EXTERIOR WINDOW HEADS.
7. ALL STUCCO HEADERS, SILLIS AND BANDINGS TO BE PROVIDED WITH A MIN. 10% SLOPE FOR PROPER SHEDDING OF RAIN WATER.
8. ALL POLYSTYRENE BOARD SHALL BE INSTALLED AS PER CURRENT MANUFACTURER'S PUBLISHED INSTRUCTIONS FOR INSTALLATION OF SYSTEM AS APPLICABLE TO EACH TYPE OF SUBSTRATE INDICATED. REINFORCING FABRIC CONSISTS OF A BALANCED, ALKALINE-RESISTANT OPEN-WEAVE GLASS-FIBER COMPLYING WITH ASTM D 5719 AND WEIGHING NOT LESS THAN 8 OZ. PER SQ. YARD.

NOTES

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3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
4. ALL AREA CALCULATIONS ARE APPROX.

- UPPER ROOF BEARING HEIGHT
ELEV. = 25'-0" APP.
- TOP OF 2ND FLR. DOORS/WINDOWS
ELEV. = 21'-0" APP.
- SECOND LEVEL FINISH FLOOR
ELEV. = 15'-0" APP.
- LOWER ROOF BEARING HEIGHT
ELEV. = 11'-0" APP.
- TOP OF GROUND FLR. DOORS/WINDOWS
ELEV. = 9'-0" APP.
- GROUND LEVEL FINISH FLOOR
ELEV. = 6'-0" APP. NAVD.

LIGHT FIXTURES

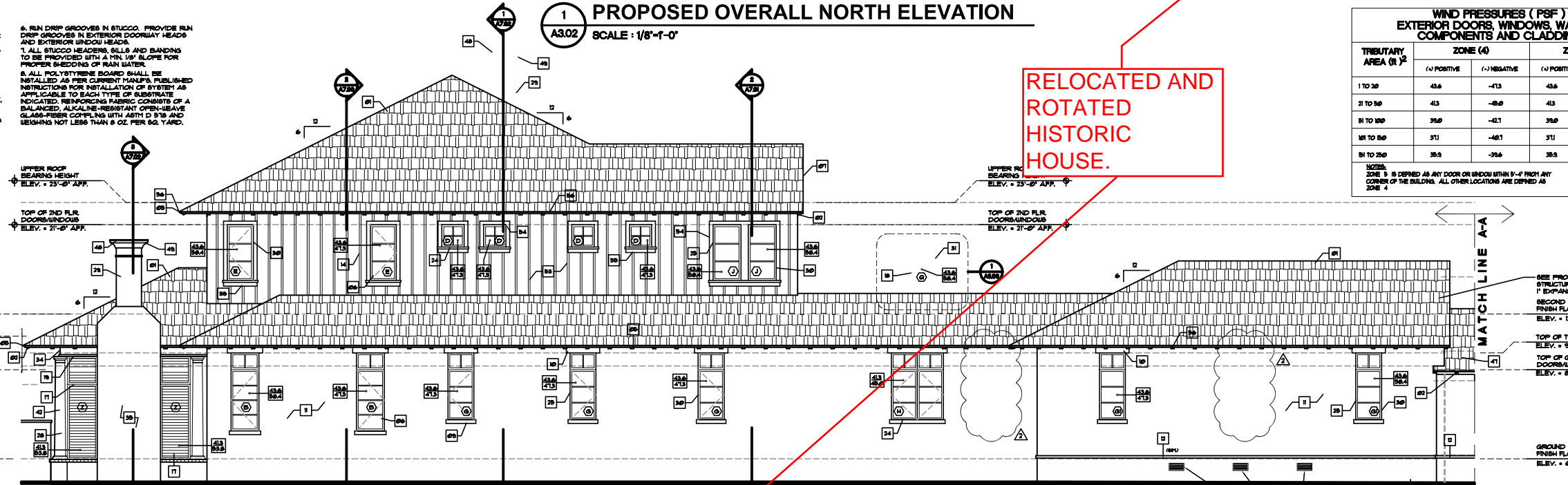
- BEVELO '150VORN' - CARRIAGE LANTERN ON BRACKET MOUNT - GAS - 24" x 11 1/2" x 10".
- BEVELO 'WILLIAMS' - PL. 48" MOUNTED - ELECTRIC - 12" x 8 1/2" x 5".
- BEVELO 'WILLIAMS' - PL. 48" MOUNTED - ELECTRIC - 12" x 8 1/2" x 5".
- BEVELO 'COTTON EXCHANGE' - BRACKET MOUNTED - ELECTRIC - 12" x 8 1/2" x 5".
- BEVELO 'TRENCH QUARTER' - YOKER BRACKET - GAS - 12" x 8 1/2" x 5".
- ALL LIGHT FIXTURES TO BE APPROVED BY OWNER/ARCHITECT.

PAINT LEGEND

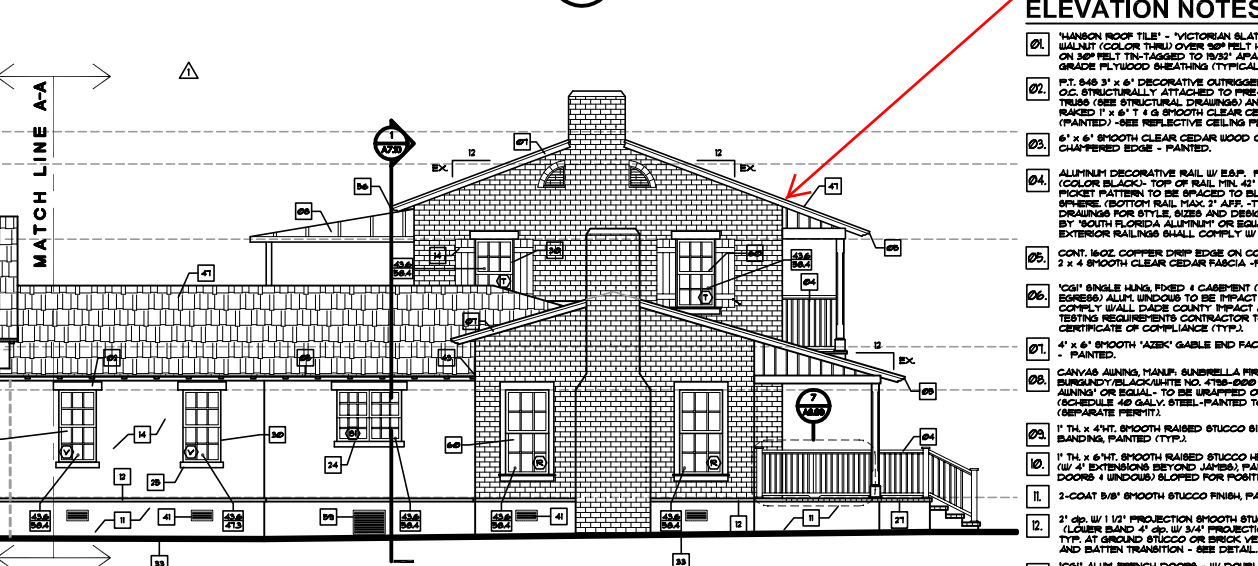
- ALL SURFACES TO BE CLEANED & PRIMED AS PER BUSHMAN MOORE.
- ACRYLIC WHITE 100-1 (WHITE STUCCO).
- 'HANSON ROOF TILE' - 'VICTORIAN SLATE' #48-333 WALNUT (COLOR THRU).
- BRIGHT WHITE DOORS & WINDOWS.
- BRILLIANT WHITE CANVAS AWNINGS.
- MACROPHONE MP-30 BURGUNDY/BLACK/BLACK ALUMINUM BUTTERS.
- BLACK BEVEL 100-100 BURGUNDY/BLACK/BLACK ALUMINUM BUTTERS.
- UPPER LEVEL DOORS.
- VICTORIAN SHINGLE - 'BERNARD MANU' (METAL TILE ROOFING SYSTEM).
- NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.

CRAWL SPACE VENTILATION CALCULATIONS

TOTAL AREA OF CRAWL SPACE RESTING HOUSE	1700 SQFT
VENTILATION MIN. REQUIREMENTS AREA (1 SQFT. FOR EVERY 100 SQFT. OF CRAWL SPACE AREA)	17 SQFT
PROVIDED RESTING HOUSE:	
(1) 12" x 24" ALUMINUM LOUVER ACCESS PANEL VENT.	5 SQFT
(1) 8" x 16" ALUMINUM LOUVER PANEL VENT.	50 SQFT
TOTAL PROVIDED CRAWL SPACE VENTILATION	55 SQFT



PROPOSED PARTIAL NORTH ELEVATION

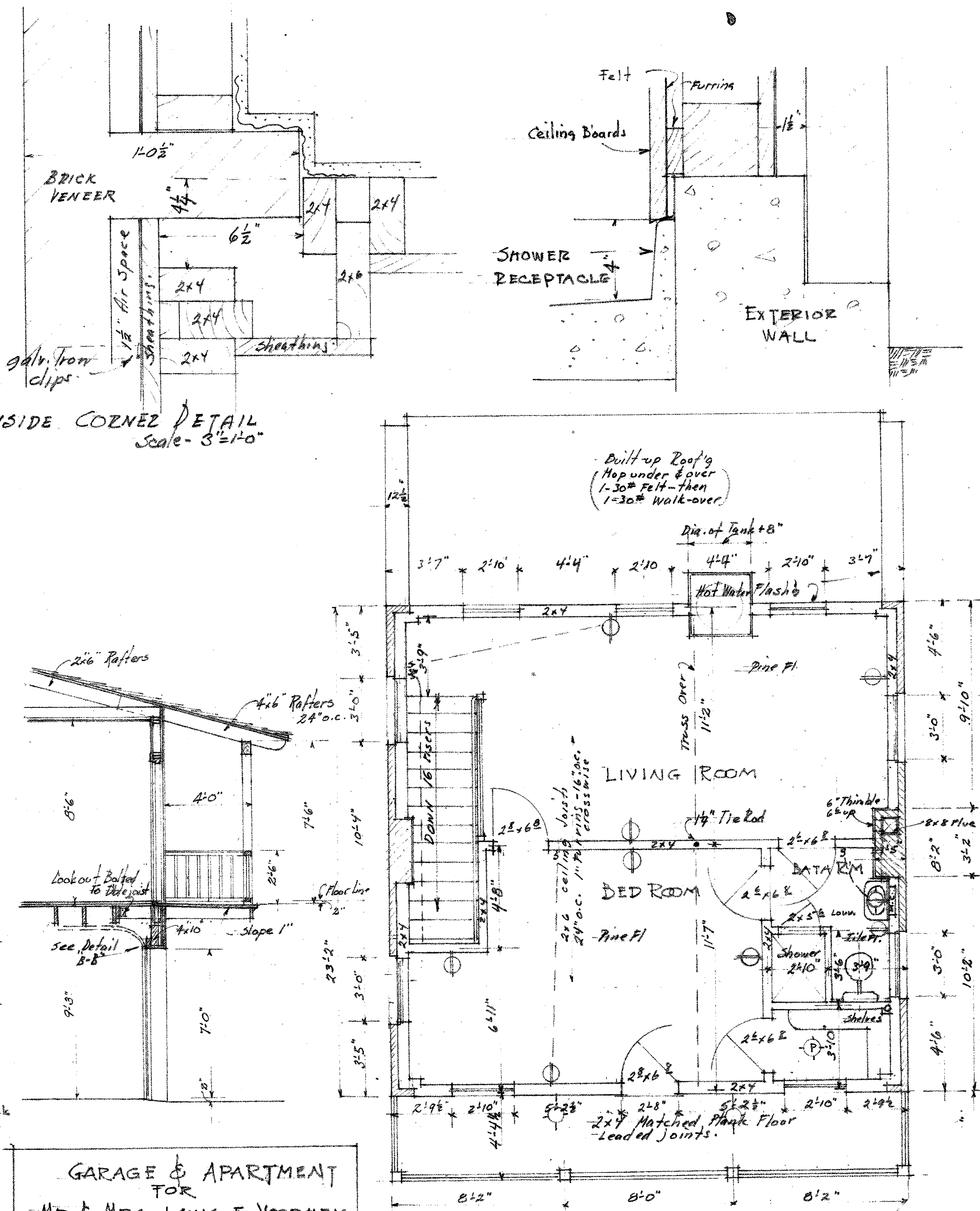


PROPOSED PARTIAL NORTH ELEVATION

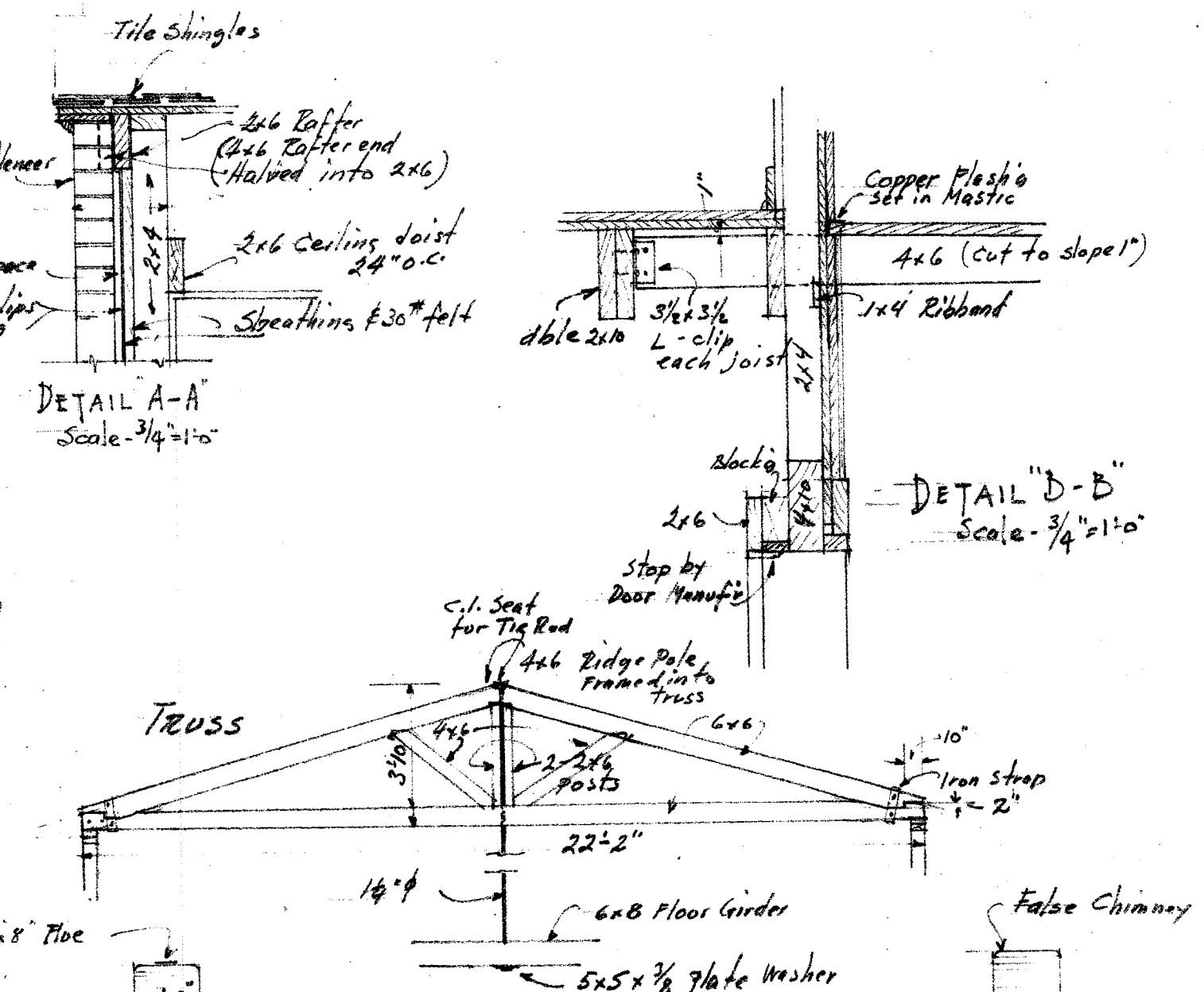
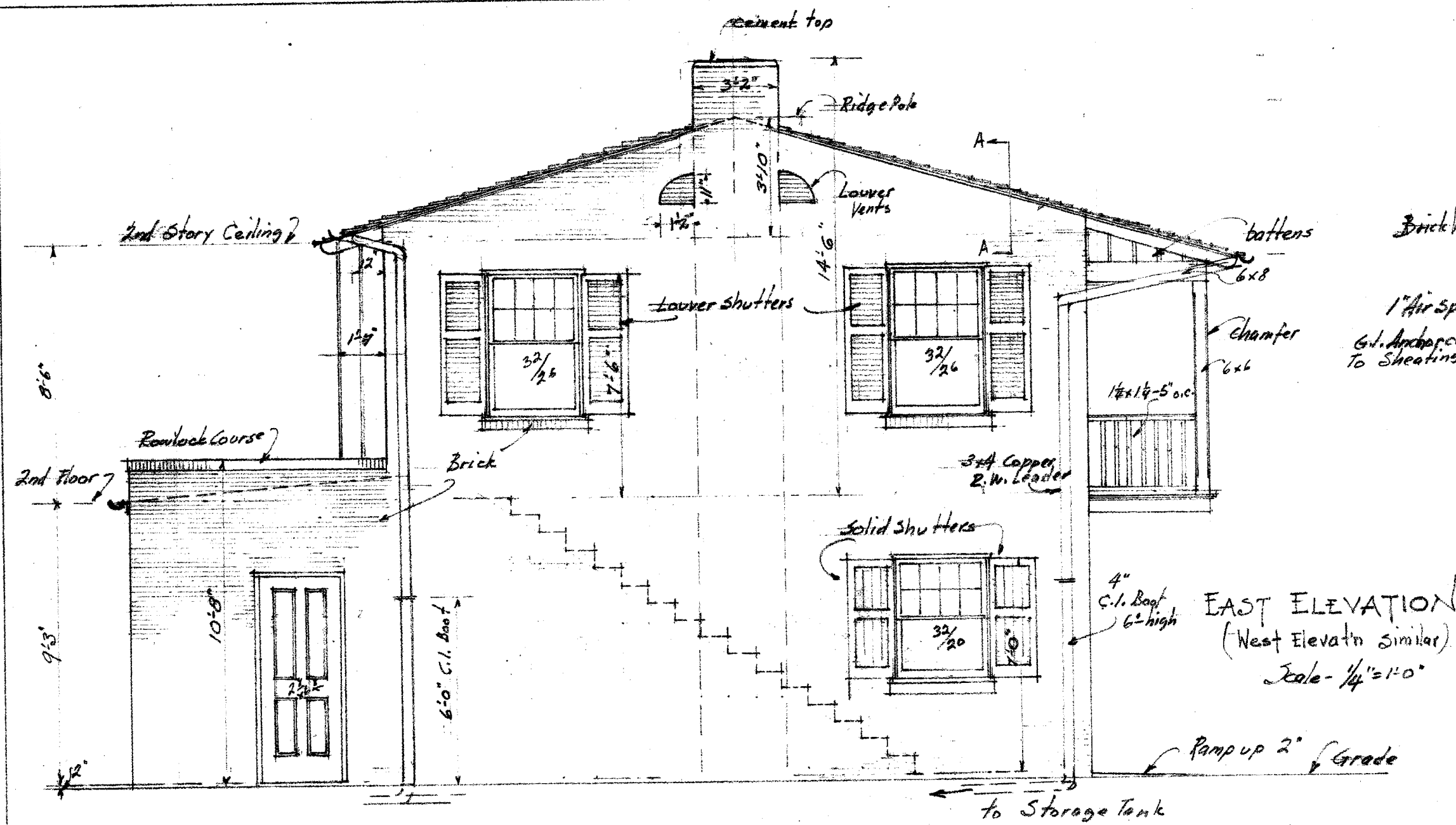


ELEVATION NOTES

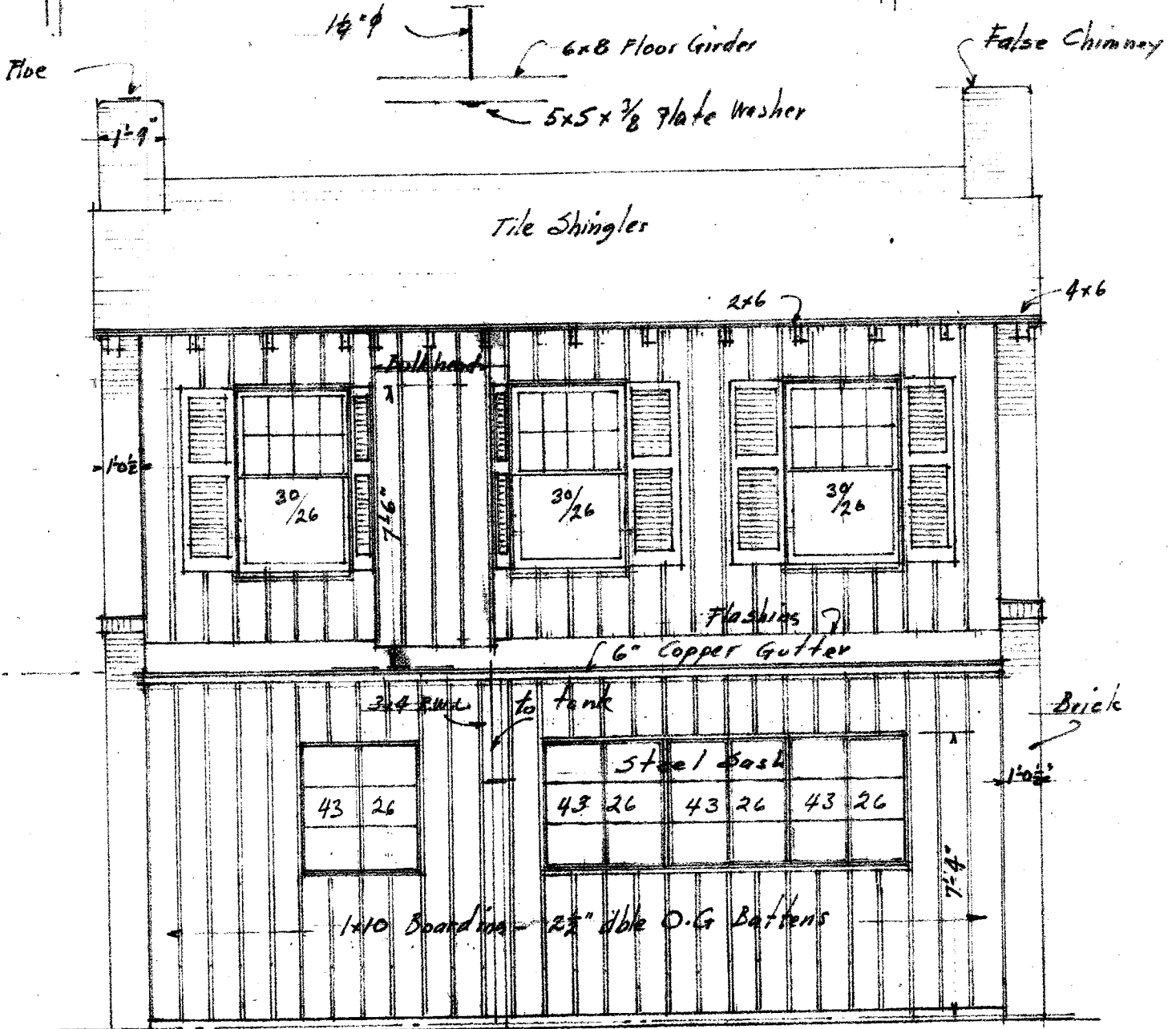
1. HANSON ROOF TILE - 'VICTORIAN SLATE' #48-333 WALNUT (COLOR THRU) OVER 1/2\"/>
2. PT. 848 3\"/>
3. 4\"/>
4. ALUMINUM DECORATIVE RAIL W/ E.A.P. POWDER COAT FINISH (COLOR BLACK) TOP OF RAIL FIN. 1/2\"/>
5. 1\"/>
6. 1\"/>
7. 1\"/>
8. 1\"/>
9. 1\"/>
10. 1\"/>
11. 1\"/>
12. 1\"/>
13. 1\"/>
14. 1\"/>
15. 1\"/>
16. ALL OVERHEAD INSULATED GARAGE DOORS ARE TO BE PAINTED BLACK (TYP.) - DECORATIVE CUSTOM CUPOLA.
17. DECORATIVE FIXED ALUMINUM LOUVERS SET IN A 48\"/>
18. 4\"/>
19. 4\"/>
20. WINDOW 1, OR EQUAL, ALUM. POCKET SLIDING DOORS - 8000 SERIES TO BE DOUBLE-GLAZED TINTED GLASS W/ AN AVE. U-FACTOR EQUAL TO 0.85 AND AVE. SHGC EQUAL TO 0.65 WITH 65 PENETRATION VALUE (SEE ENERGY CALCULATIONS) TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).
21. 1\"/>
22. POURED IN PLACE CONC. SLAB. SEE STRUCT. DRWG. (TYP.) ALL BALCONIES TO SLOPE 1/4\"/>
23. 4\"/>
24. ALL ALUM. EXT. DOOR THRESHOLDS & WINDOW SILLIS TO BE SET IN MORTAR OVER (1) LAYER OF GRADE COURSE FLOOR OR EQUAL. (CONCRETE THRESHOLD/CONCRETE SILL).
25. ALL WINDOWS TO HAVE 1/4\"/>
26. DECORATIVE CHIMNEY TO RECEIVE 'CONCORD' THIN LINE BRICK VENEER BY 'MOUNTAIN STONE' OR EQUAL. INSTALLED AS PER MANUF. SPEC. - OVER 25 SELF-FINISHING PAPER BACKED GALV. METAL LATH OVER 'TYVEK' (COMFLEX) STUCCO UNPAID OVER 1/2\"/>
27. 1\"/>
28. DECORATIVE DURACAST TUSCAN TAPERED ROUND ALUM. COLUMNS W/ STANDARD SQUARE TUSCAN CAP & BASE BY 'TYVEK' OR EQUAL. COVER STRICTLY COVERED PORCH. - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
29. 1\"/>
30. ALL EXTERIOR DOORS & WINDOWS TO HAVE 'VALKUT' CALLIGRAPHY - BRICK/CORAL/WHITE/COCHIN (TYP.).
31. 'TELLUSMITH' CUPOLA BY EAST COAST LEATHERWORKS (CUPOLA) OR EQUAL W/ 48\"/>
32. 8\"/>
33. 8\"/>
34. 8\"/>
35. 'CONCORD' BRICK - VENEER BY 'MOUNTAIN STONE' OR EQUAL (CONTRACTOR TO PROVIDE SAMPLE FOR OWNER APPROVAL) - INSTALL AS PER MANUF. SPEC.
36. DECOR. ALUM. PLANTATION SHUTTERS (COLOR BLACK) TO HAVE 2\"/>
37. DECOR. ALUM. PLANTATION SHUTTERS (COLOR BLACK) TO HAVE 2\"/>
38. DECORATIVE FIXED ALUMINUM LOUVERED VENTS, FIXED COLOR (COLOR TO BE BLACK) BY 'SOUTH FLORIDA ALUMINUM' OR EQUAL. (CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL).
39. SEE ELECTRICAL & GAS DRAWINGS FOR ALL EXTERIOR LIGHTING FIXTURES & SPECK. (NOTE: ALL FIXTURES TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
40. 8\"/>
41. 8\"/>
42. STRUCTURAL TIE COLUMNS W/ RUST INHIBITOR COATING OR STUCCO. ALUM. PLANTATION SHUTTERS (COLOR BLACK) TO HAVE 2\"/>
43. PROVIDE KICK OUT FLASHING TO DIVERT ROOF WATER FLOW AWAY FROM WALL.
44. FRONT DOOR TO BE 'SIGNATURE DOOR CO.' STAINED GLASS DOOR. INSTALLED BY 'COASTAL SHIP' W/ DOOR COUNTRY IMPACT AND WIND CYCLING TESTING REQUIREMENTS. CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE (TYP.).
45. OUTDOOR UPPER AND LOWER W/ RAISED PANEL CABINETS (MARINE GRADE) - CONTRACTOR TO PROVIDE SHOP DRWG. & IMPACT REQNTS.
46. GRANITE KITCHEN COUNTERTOPS & BACK SPLASH TO UNDERSIDE OF UPPER CABINETS (VERIFY COLOR W/ OWNER) - CONTRACTOR TO IMPORT OWNER ON SEALING GRANITE ONCE A YEAR.



GARAGE & APARTMENT FOR MR. & MRS. LOUIS E. VOORHEIS DELRAY BEACH		
DATE 4/28/35	SAMUEL OGREN ARCHITECT DELRAY BEACH, FLORIDA	JOB NO. 46C
SHEET # 2		



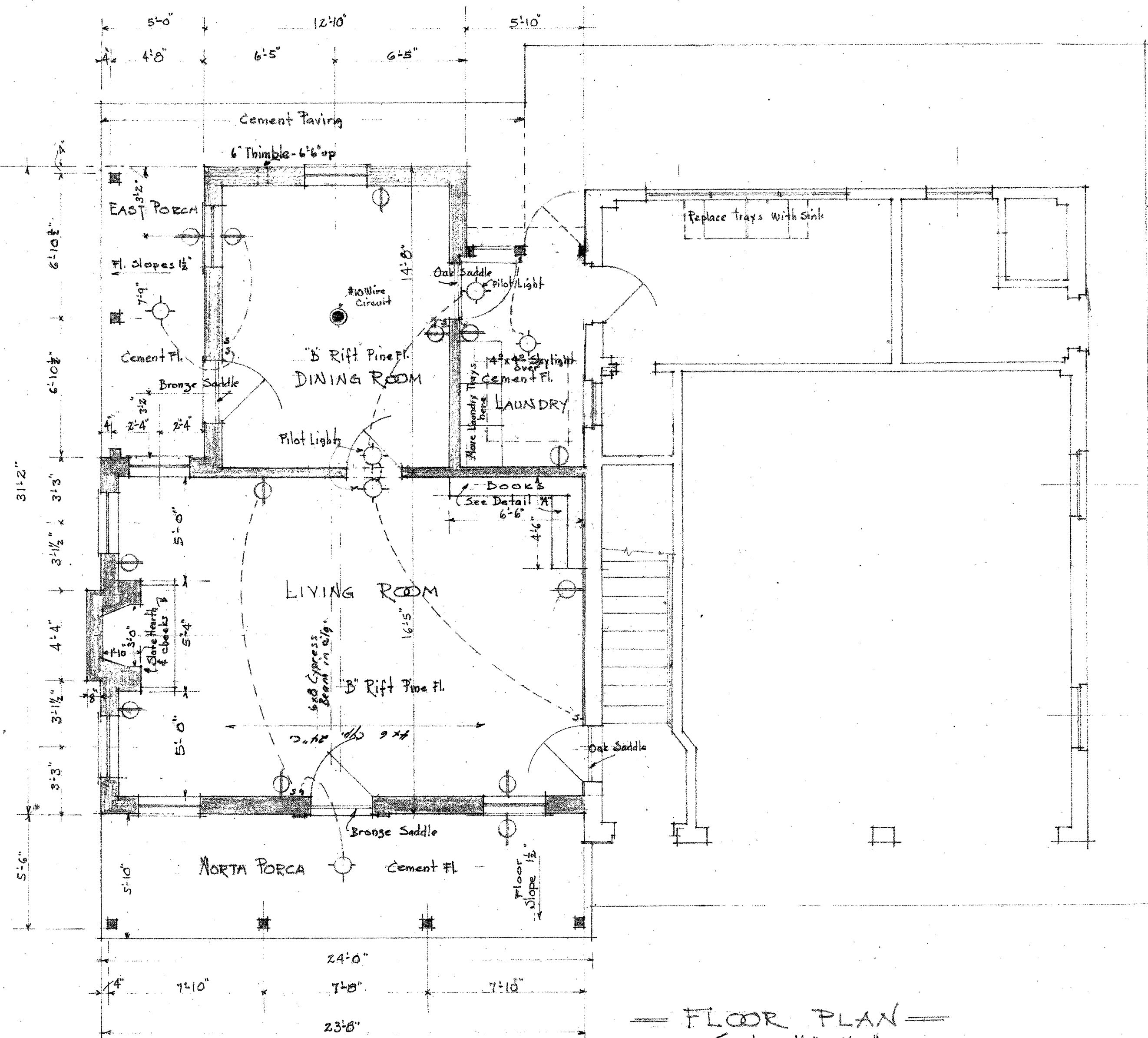
FRONT ELEVATION
Scale - 1/4" = 1'-0"



REAR ELEVATION
Scale - 1/4" = 1'-0"

GARAGE & APARTMENT FOR MR. & MRS. LOUIS E. VOORHEIS DELRAY BEACH		
DATE 4/29/35	SAMUEL OGREN ARCHITECT DELRAY BEACH, FLORIDA	JOB NO. 46C
Sheet #3		

219 SE 7TH AVENUE,
DELRAY BEACH, FLORIDA.



— FLOOR PLAN —
Scale - 1/4" = 1'-0"

- New Work = [shaded area]

ADDITION TO GARAGE APARTMENT
FOR
MR. LOUIS E. VOORHEIS
DELRAY BEACH - FLA.

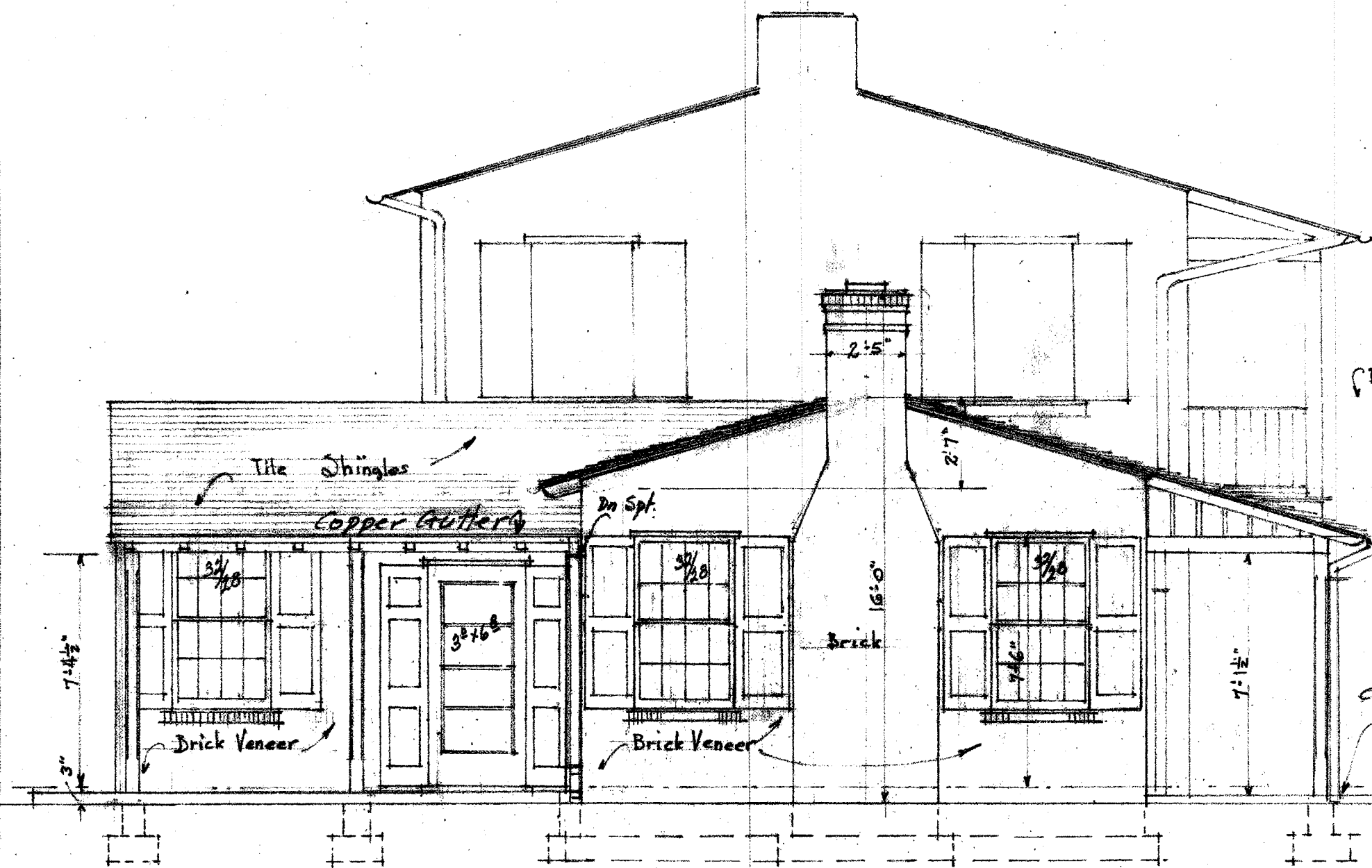
DATE
FEB 13 1936

SAMUEL OGREN
ARCHITECT
DELRAY BEACH, FLORIDA

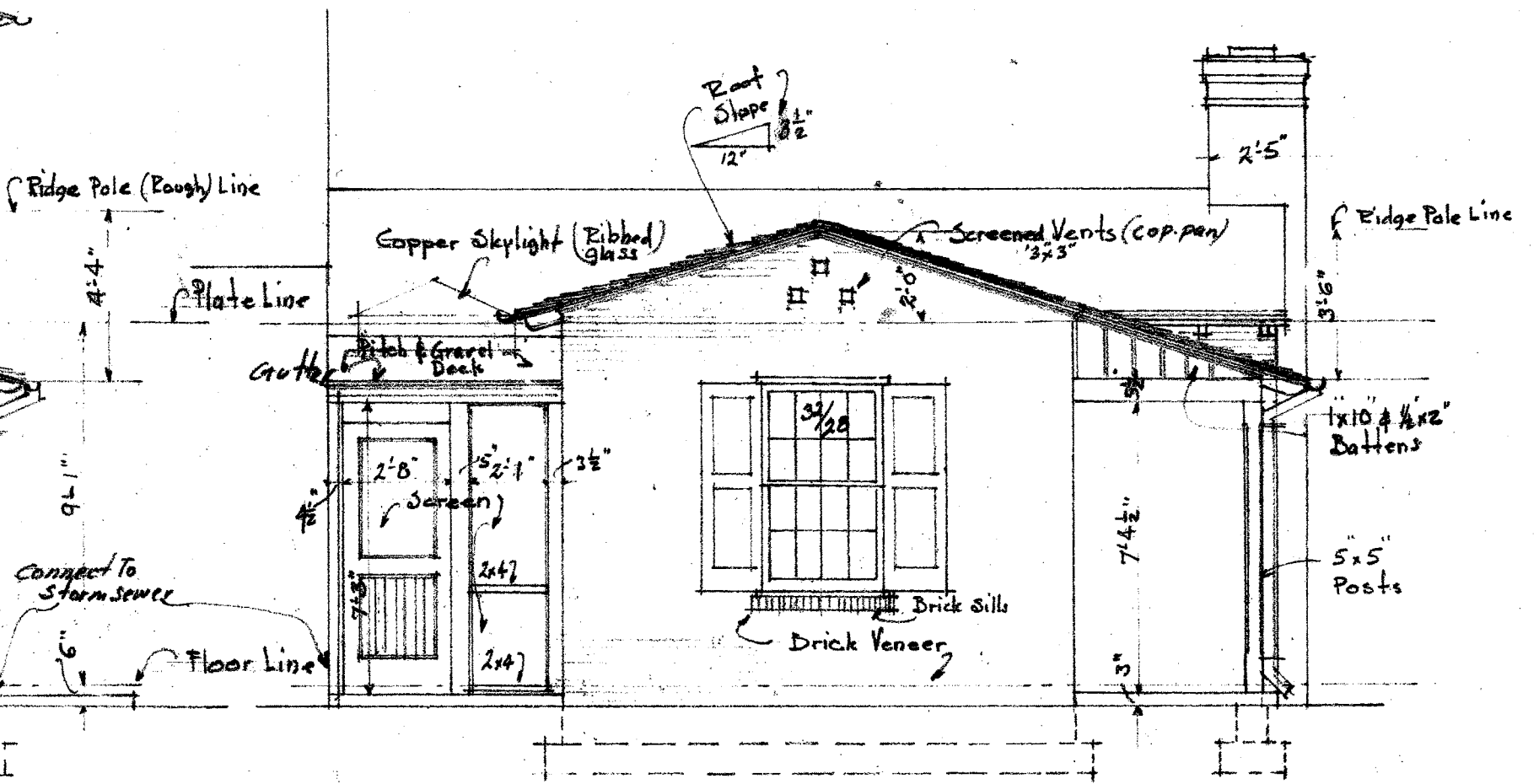
JOB NO.
46F

Sheet #2

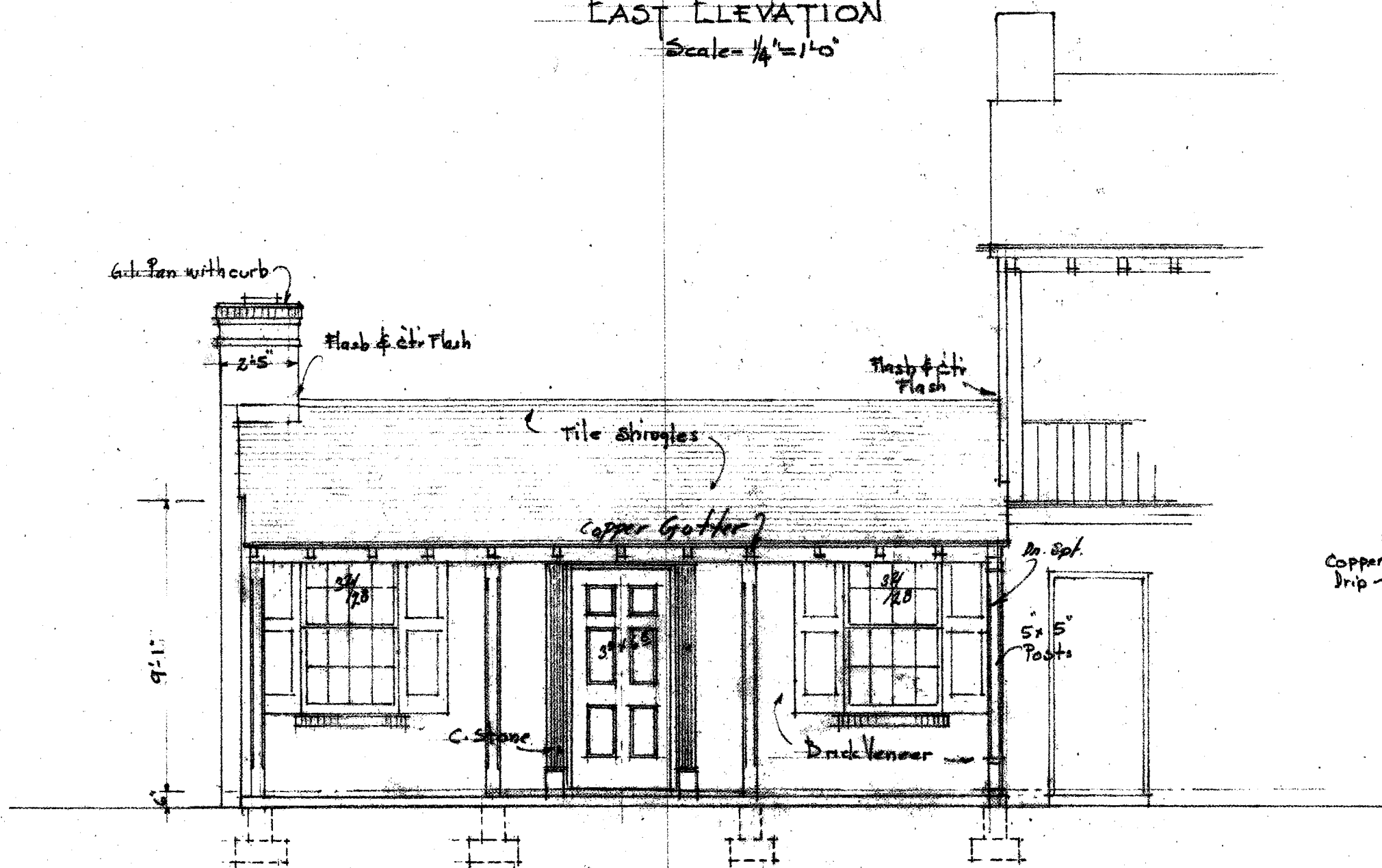
C-3605



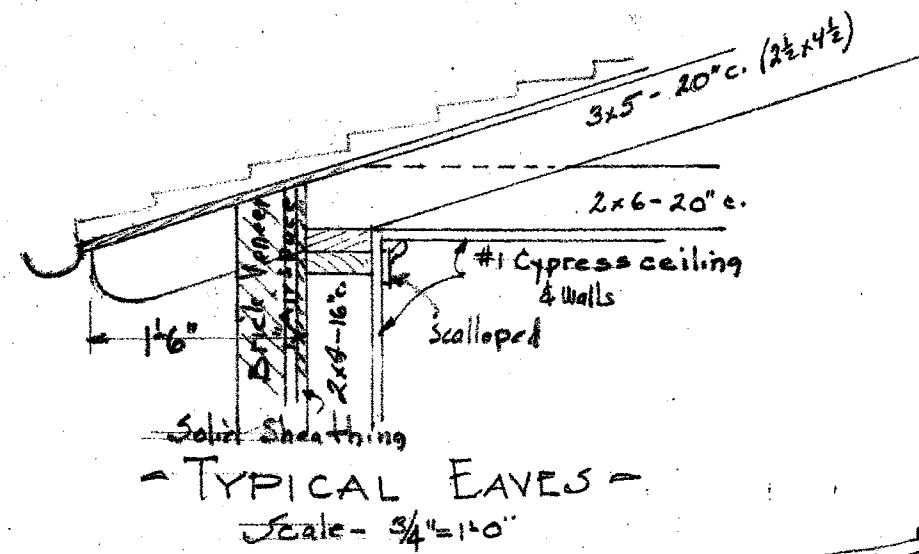
EAST ELEVATION
Scale = 1/4" = 1'-0"



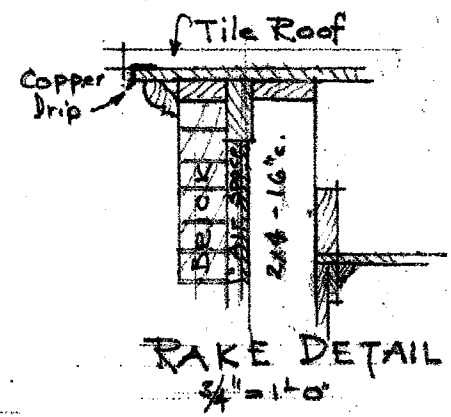
SOUTH ELEVATION



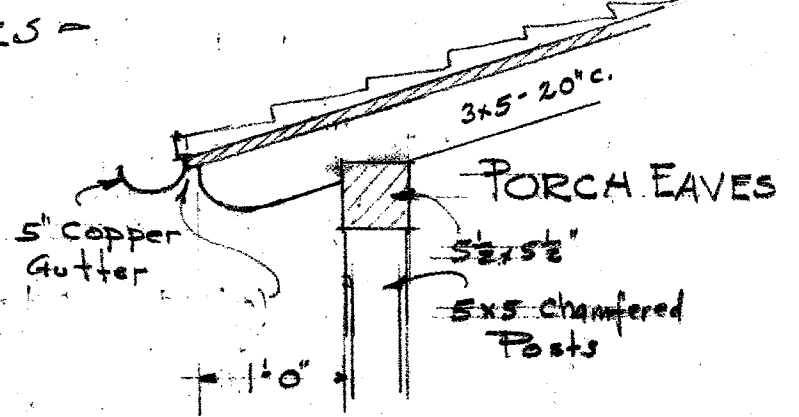
NORTH ELEVATION
Scale = 1/4" = 1'-0"



TYPICAL EAVES
Scale = 3/4" = 1'-0"



RAKE DETAIL
Scale = 1/4" = 1'-0"



PORCH EAVES
Scale = 1/4" = 1'-0"

ADDITIONS TO GARAGE APARTMT.
FOR
MR. LOUIS E. VOORHEIS
DELRAY BEACH - FLA.

DATE FEB 14 1936	SAMUEL OGREN ARCHITECT DELRAY BEACH, FLORIDA	JOB NO. 46 F c 3605
SHEET #3		