

Development Services Department

### **BOARD ACTION REPORT – APPEALABLE ITEM**

Project Name:	Brook Haven Condos
<b>Project Location:</b>	1025 Casuarina Road
Request:	Approval of a Class I Site Plan Modification
Board:	Site Plan Review and Appearance Board
Meeting Date:	October 24, 2018

### **Board Action:**

Approved (5-0); Linda Purdo and Price Patton were absent.

### **Project Description:**

The subject property is located north of Casuarina Rd between Venetian Dr. and Gleason St. and contains 0.13 acres (6,000 sq. ft.) of a two story condominium structure. The subject property is located within the Multiple Family Residential – Medium Density (RM) zoning district and consists of a Future Land Use Map (FLUM) designation of Medium Density (MD).

On September 16, 2005, a Class I Site Plan Modification (2005-381) regarding replacement of existing awning windows for one of the units was submitted.

This Site Plan Modification is associated with architectural elevation changes regarding overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

### Staff Recommendation:

Approve

**Board Comments:** Board comments supportive of the request.

Public Comments: None

<u>Associated Actions:</u> N/A

<u>Next Action</u>: The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT 100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444 PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

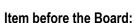
Meeting: October 24, 2018	File No.: 2018-198-SPM-SPR-	Application	Type:	Class	I	Site	Plan
	CL1	Modification -	- Brook Ha	aven Con	idos		

### General Data:

Agent: Annabella Garcia, Martin Architectural Group, P.C. Applicant: Brook Haven Condominium Association Owner: Brook Haven Condominium Association Location: 1025 Casuarina Rd PCN: 12-43-46-16-88-000-0060 Property Size: 0.13 acres (6,000 sq. ft.) FLUM: MD (Medium Density) Zoning: RM (Multiple Family Residential – Medium Density) Adjacent Zoning: © RM (North)

- o RM (West)
- o RM (South)
- RM + OS (Open Space) (East)

Existing Land Use: Condomonium Proposed Land Use: Condomonium



The action before the Board is for the approval of the following aspects of a Class I Site Plan application for **Brook Haven Condos** pursuant to LDR Section 2.4.5 (G)(1)(d):

□ Site Plan

Architectural Elevations

Recommendation: By Separate Motions:

### Site Plan:

Move approval of the Class I Site Plan Modification (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5) of the Land Development Regulations.

\*Note: If the site plan is denied, no further action shall be taken on the architectural elevation plan due to potential inconsistencies.

### **Architectural Elevations:**

Move approval of the Architectural Elevations (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

### Staff Recommendations:

### 1. Landscape Plan

 Recommending that the applicant submit a separate Landscape Plan for the modifications made for the Site Plan and Architectural Elevations.

Project Planner:	Review Dates:	Ī	Attachments:
Raisa Saniat, Planner-in-Training; <u>saniatr@mydelraybeach.com,</u> 561-243-6236	SPRAB Board:	1. 2.	Site Plans Architectural Elevations



### Background:

The subject property is located north of Casuarina Rd between Venetian Dr. and Gleason St. and contains 0.13 acres (6,000 sq. ft.) of a two story condominium structure. The subject property is located within the Multiple Family Residential – Medium Density (RM) zoning district and consists of a Future Land Use Map (FLUM) designation of Medium Density (MD).

On September 16, 2005, a Class I Site Plan Modification (2005-381) regarding replacement of existing awning windows for one of the units was submitted.

Now before the Board is a Class I Site Plan Modification associated with architectural elevation changes regarding overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

### **Project Description:**

The proposed Class I Site Plan Modification request is for overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

### Site Plan Analysis:

### **Architectural Elevations and Aesthetics**

- LDR Section 4.6.18(E) Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:
  - The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
  - ✓ The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
  - ✓ The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.
- Majority of the windows are to be replaced with aluminum high impact windows in the first floor and all windows are to be replaced with aluminum high impact windows in the second floor of the structure. On the south elevation, a new courtyard entrance is being proposed with trellis details and decorative coach lights (at a mounting height of 5'-5"), alongside a pivoting louvered roofing system (12' in length and 6'-8" in width). On the east interior courtyard elevation, an existing door is to be modified to an aluminum high impact window. Decorative Bermuda aluminum shutters (4'-6" by 3'-2") are to be placed all around the structure to replace any existing shutters. Relocation of coach lights and new handrails are being proposed along all the elevations. Walls are to be painted a very light gray. The windows, columns, and the fascia are to be painted white. The new proposed door on the south elevation is to be painted brown. The railings and Bermuda shutters are to be painted dark gray. The existing barrel tile roof and stucco finish is to remain. The proposed architectural elevation change will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

### Assessment and Conclusion

The proposed Site Plan modification and Architectural Elevation changes has created the requirement of a Landscape Plan submission due to the effected changes to the area. This will be addressed as part of a subsequent site plan application. The proposed changes complies with the policies of the Comprehensive Plan and the Land Development Regulations.



### **Alternative Actions:**

- A. Continue with direction.
- B. Move approval of the request for a Class I Site Plan Modification (2018-198) for the **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(5) and Chapter 3 Section 4.6.18(E).
- C. Move denial of the request for a Class I Site Plan Modification (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(G)(5) and Chapter 3 Section 4.6.18(E).



South Elevation

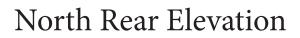


East Side Elevation

**Brook Haven** Delray Beach, Florida May 21, 2018





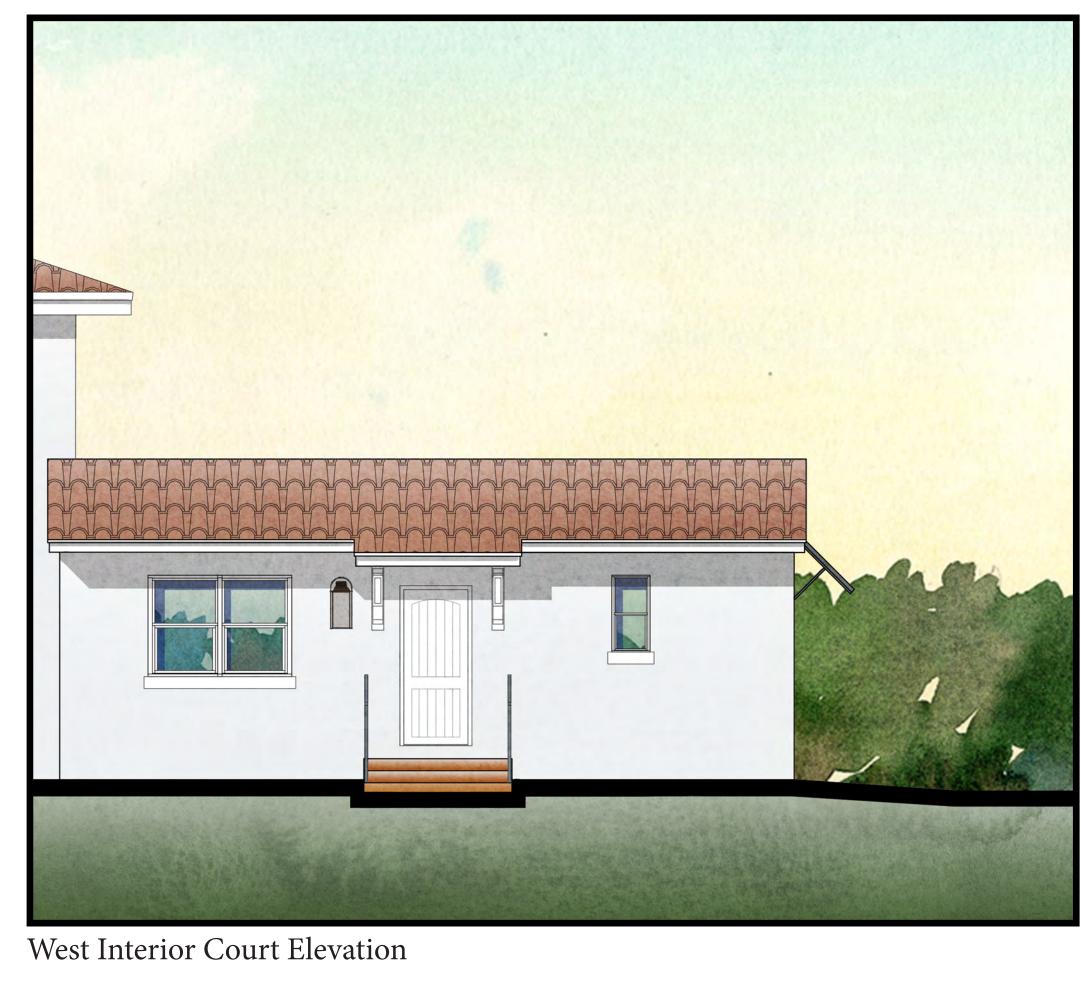


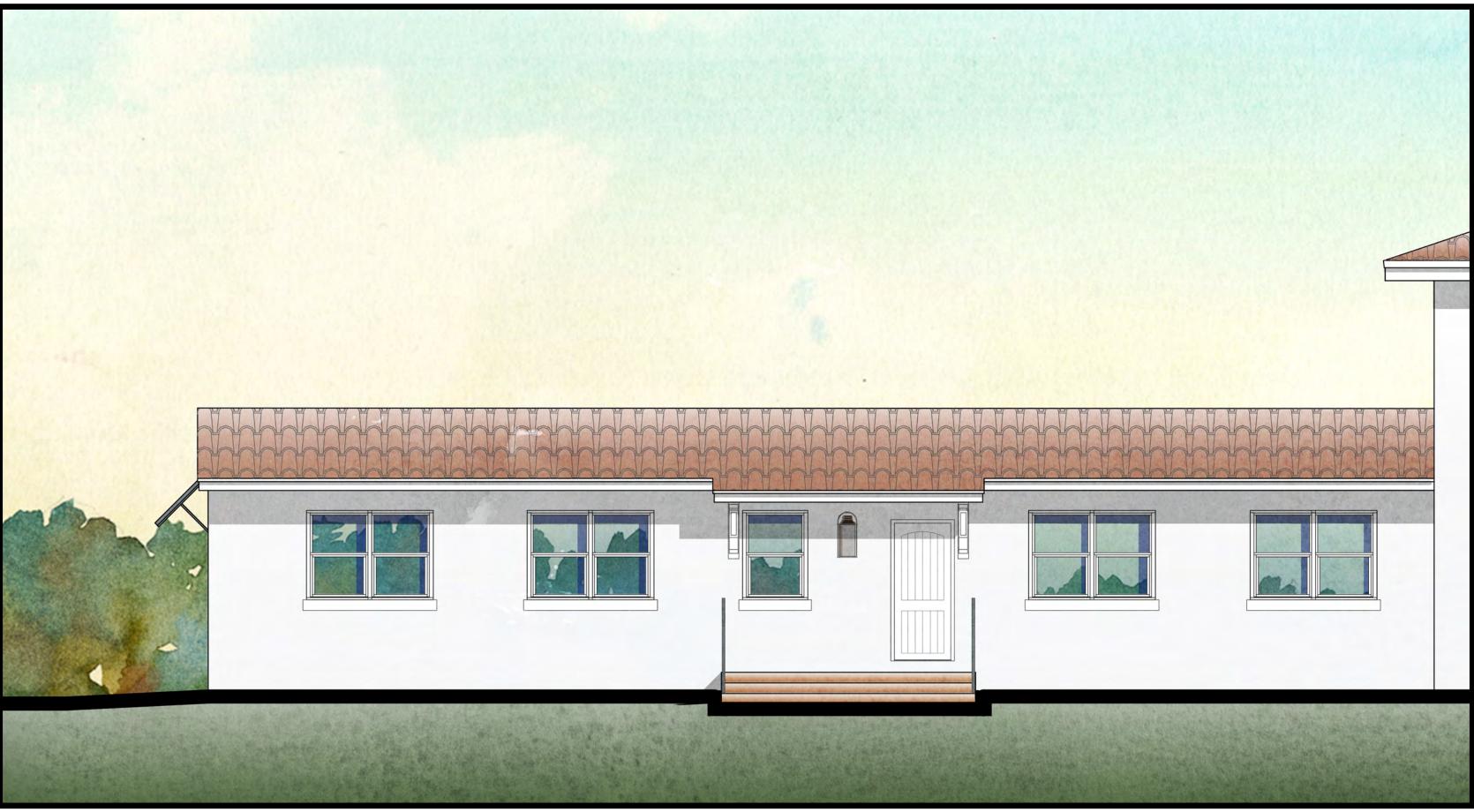


West Side Elevation

**Brook Haven** Delray Beach, Florida May 21, 2018







East Side Interior Court Elevation

**Brook Haven** Delray Beach, Florida May 21, 2018



## **OWNER'S DESIGNATION OF AGENCY** (This form must be completed by ALL property owners if designating an Agent) an Dorp \_, the fee simple owner of the following described property (give legal description): Tohn B. Reid's Village The P NOTA Book 21, Page Ma Palm Beau orida our hereby affirm that Anno arcia,-(Applicants/Agent's Name)

is hereby designated to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments and fees become part of the Official Records of the City of Delray Beach, Florida, and are not returnable.

The foregoing instrument was acknowledged before me this 23 day of <u>August</u>, 20 18 by <u>Peggy Henry Van Doop</u>, who is personally known to me or has produced (type of identification) as identification and who did (did not) take an oath.

Mark L. Jones (Printed Name of Notary Public)

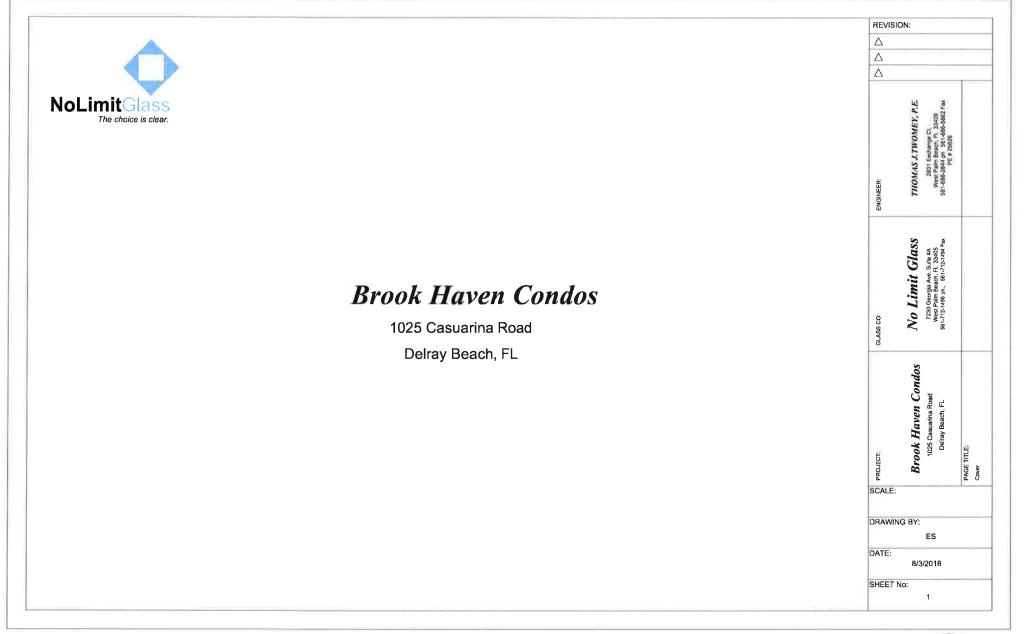
(Signature of Notary Public)

Commission # GG144662, My Commission Expires 01-14-2022

(NOTARY'S SEAL)



MARK L. JONES Commission # GG 144662 Expires January 14, 2022 Bonded Thru Budget Notary Services





### GENERAL NOTES

- 1. FOR SPECIFICATION, TEST REPORTS, AND FASTENING SEE NOTICES OF ACCEPTANCE FOR SPECIFIC PRODUCTS
- 2. ALL DIMENSION TO BE FIELD VERIFIED.
- 3. EXTERIOR PERIMETER CAULK BETWEEN ALUMINUM AND MASONRY TO BE TREMCO VULKEM NP-1 OR EQUAL COLOR TO MATCH METAL COLOR, WHITE.
- 4. ALL WINDOWS AND DOORS ARE FROM EXTERIOR.

### STOREFRONT NOTES.

- 5. ALL STOREFRONT METAL TO BE WHITE.
- 6. EXTERIOR PGT SH700 ALUM SINGLE HUNG 700, ALUMINUM WHITE COLOR FRAME WITH 5/16" LAMI GLASS(1/8AN-.090PVB-1/8AN) SEE NOA# 17-0630.08 FIXED GLASS TYPE C= 5/16" GRAY- IMPACT GLASS.
- 7. FOR MULL BARS SEE NOA # 17-0630.01
- 8. FOR FD101H WINDGUARD FRENCH DOOR WHITE COLOR FINISH , WITH 3/8" GRAY LAMI GLASS ,SEE NOA # 17-0504.01
- 9. STOREFRONT STRUCTURAL SILICONE WETSEAL TO BE DOW CORNING 995.

### EXCLUSION: PERMIT & FEES

### LEGEND

RO= ROUGH OPENINGFS= FRAME SIZEDRO= DOOR OPENINGDLO= DAYLIGHT OPENING

PROJECT:     BLASS CO:     BLASS CO:     ENCINEER:     Image: Constraint of the constraintof the constr	REVISIO			
PROJECT: BROOK Haven Condos ULASS CO Brook Haven Condos No Limit Glass THIOMAS LTWOMEY, P.E. 1025 Casuarina Road Z120 Georgia Ave. Salis Extimated State Ave	$\wedge$			
PROJECT: GLASS CO Brook Haven Condos No Limit Glass TrHOMAS LTWOMEY, P.E. 1025 Casuarina Road 2230 Georgia Ave. Salie Editional State Man Delray Beach, FL Sel-172-148 ph, Sel-172-148 ph, Sel	$\wedge$			
PROJECT; GLAE Brook Haven Condos 1025 Casuarina Road Delray Beach, FL.	ENGINEER	THOMAS J.TWOMEY, P.E.	2831 Exchange Ci. West Pain Beach: Fl. 33409 561-668-2842 ph 561-486-5862 Fix	
A A	GLASS CO.	No Limit Glass	7230 Georgia Ave, Suite #A Wont Palm Beach, Ft, 33405 561-712-1498 ph., 561-712-1494 Fax	
	PROJECT;	Brook Haven Condos	1025 Casuarina Road Delray Beach, FL	PAGE TITLE:
	DATE:	8/3/	2018	
DATE: 8/3/2018	SHEET			

FBC 2017/ASCE-7-10

RISK CATAGORY II

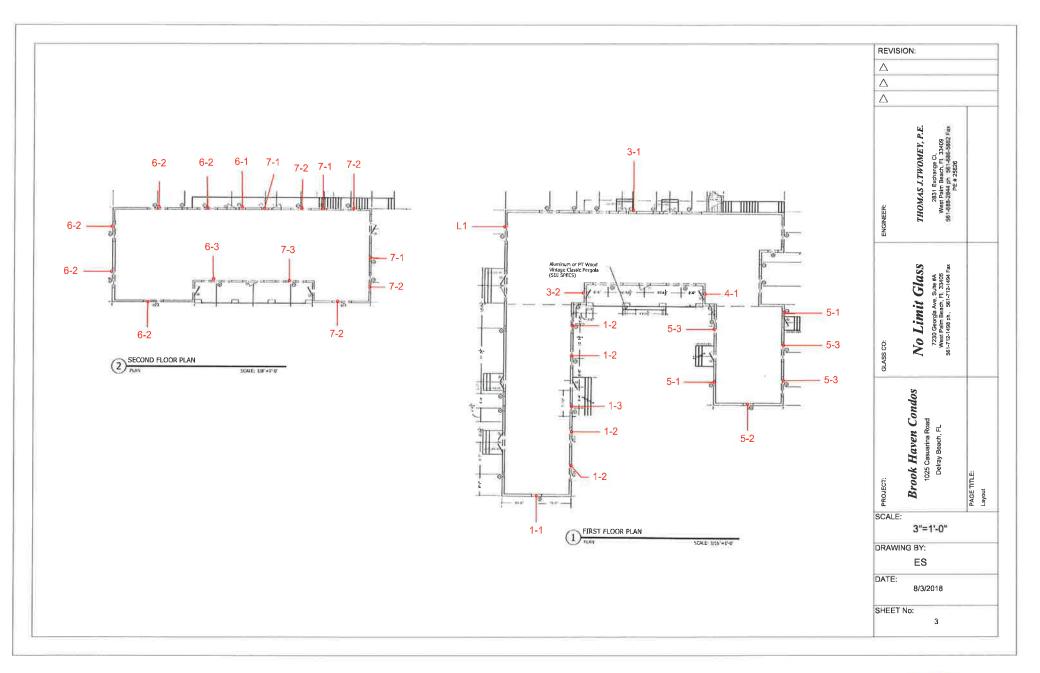
DESIGN WIND PRESSURE

165 MPH (ULT) EXPOSURE C

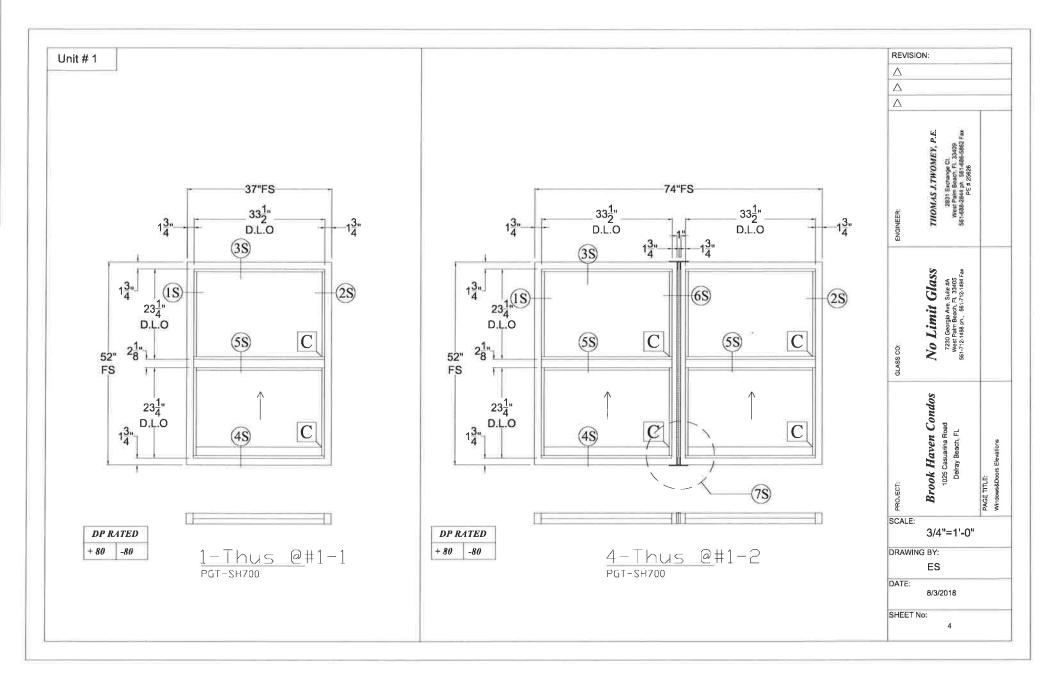
ALL OPENINGS WINDOWS AND DOORS

POS PSF + NEG PSF -

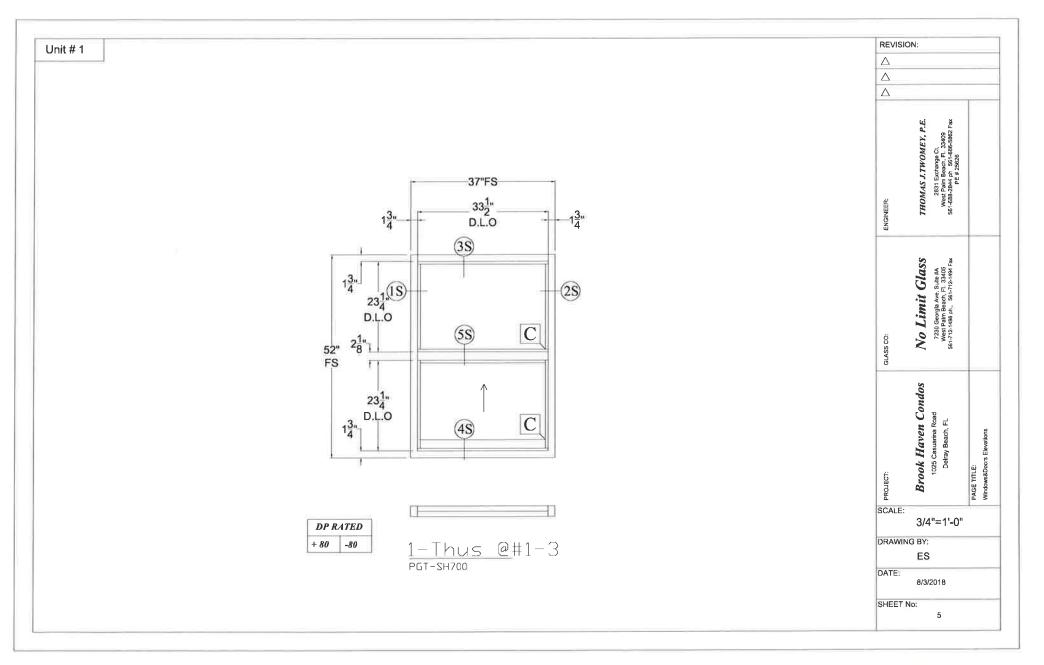




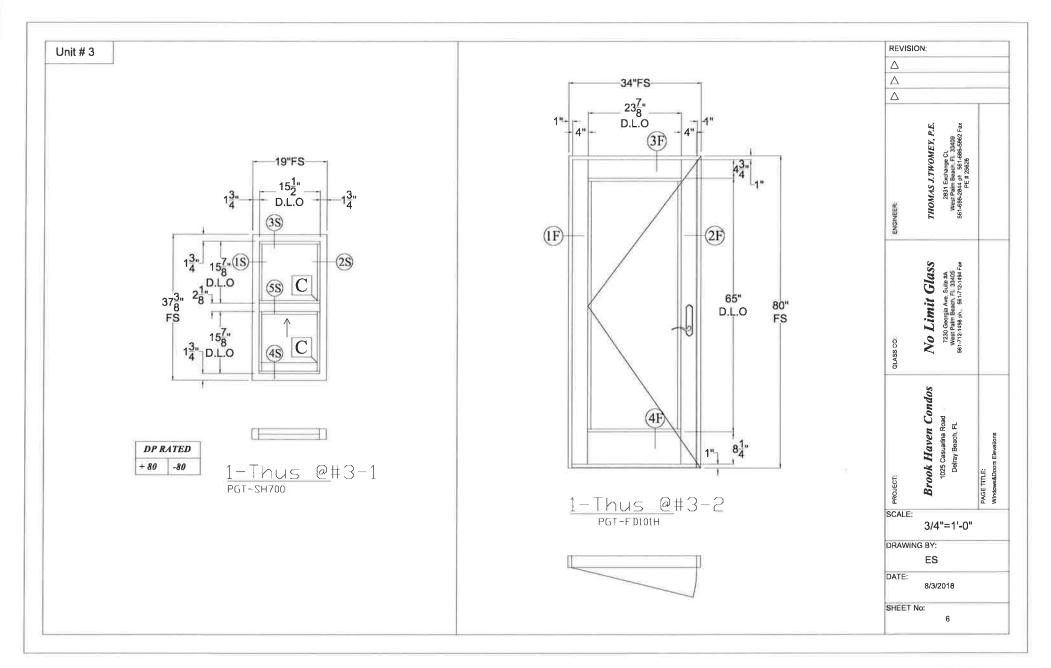




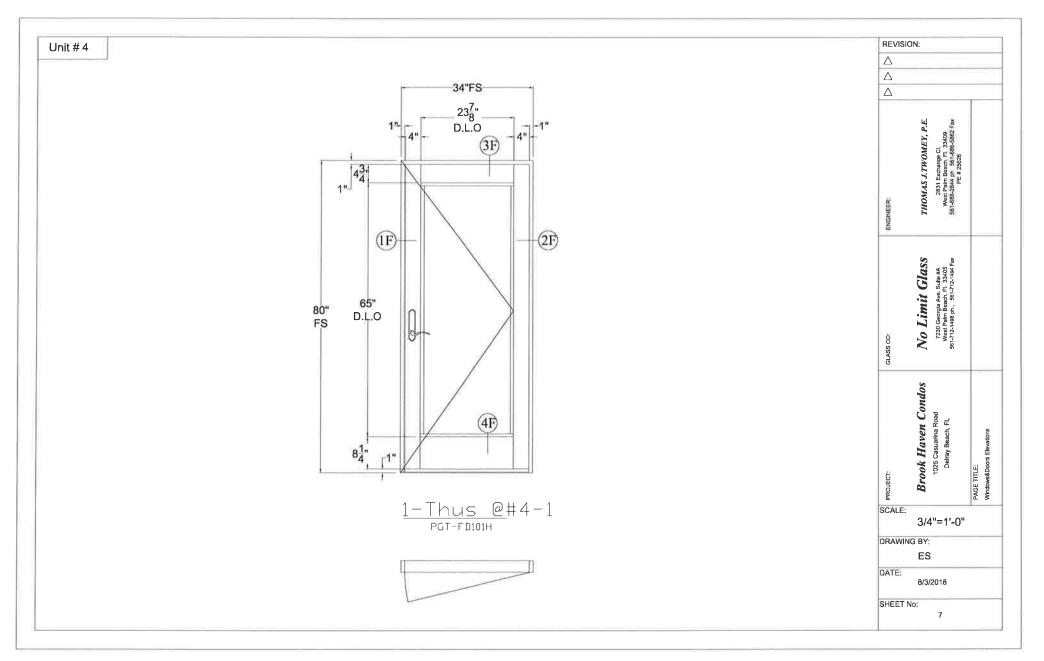




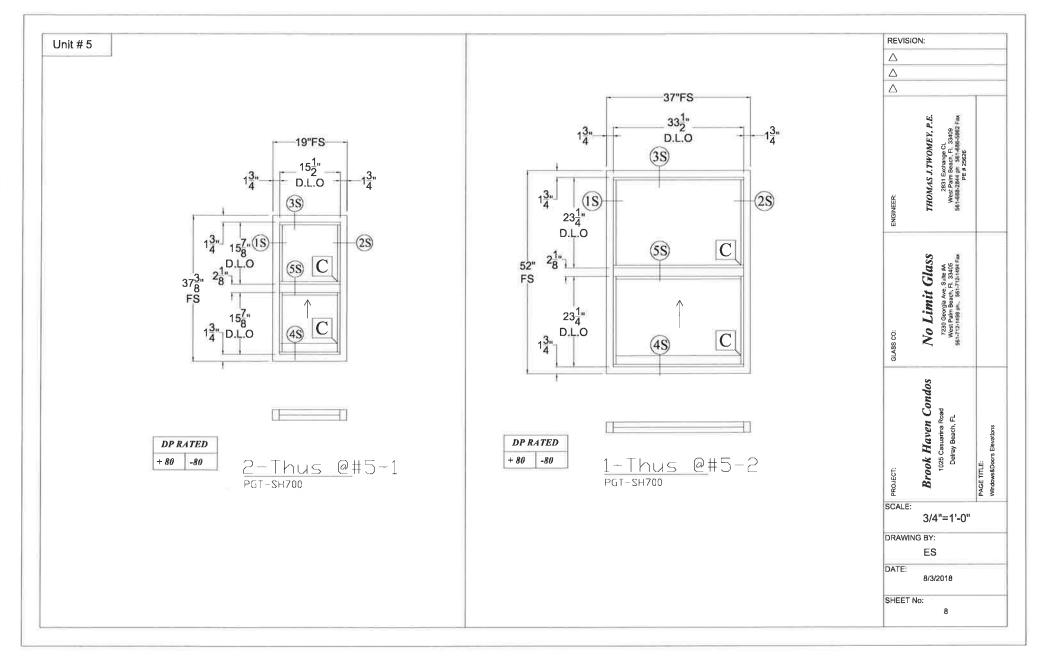




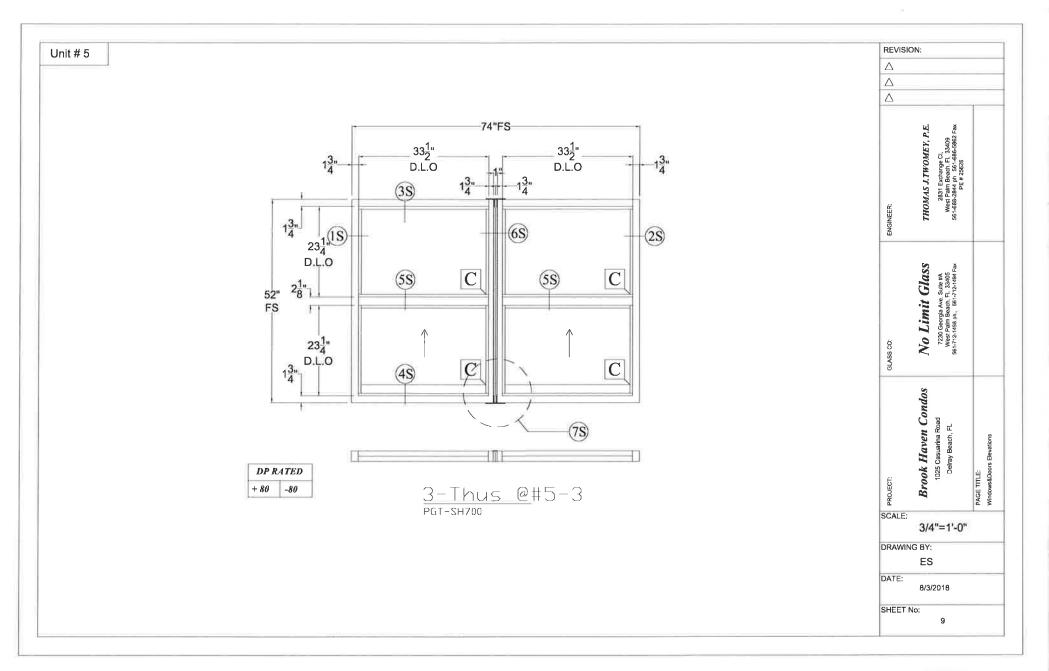




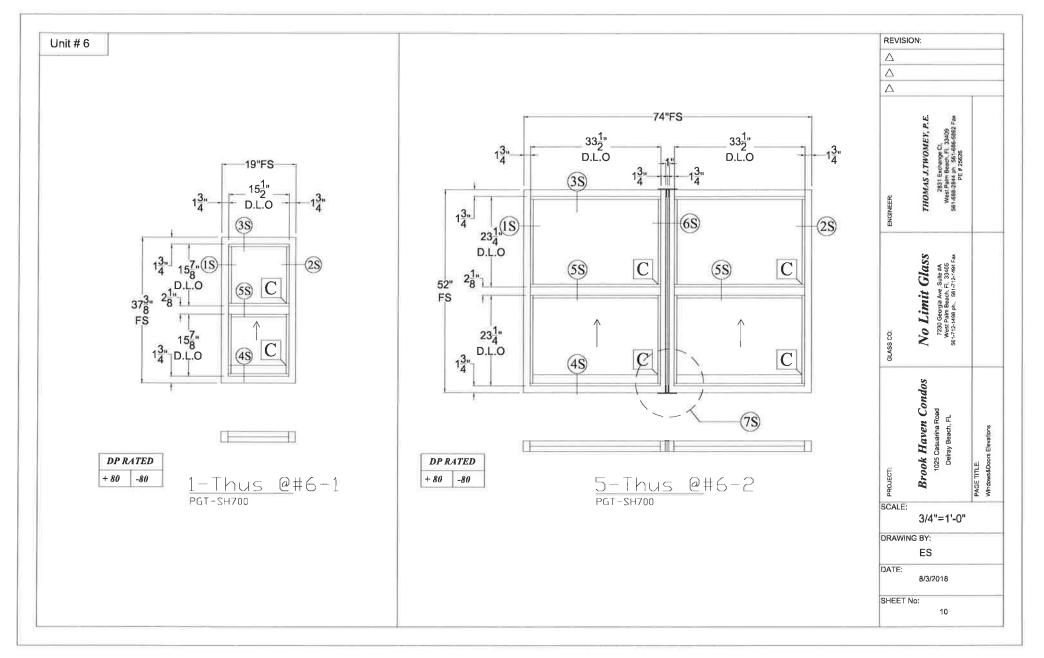




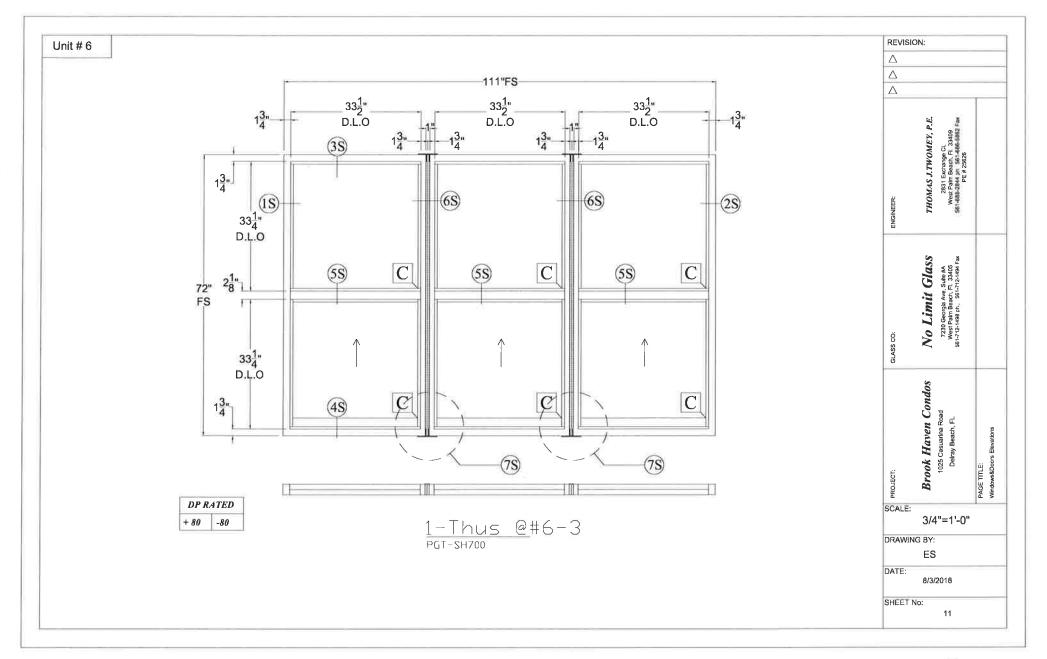




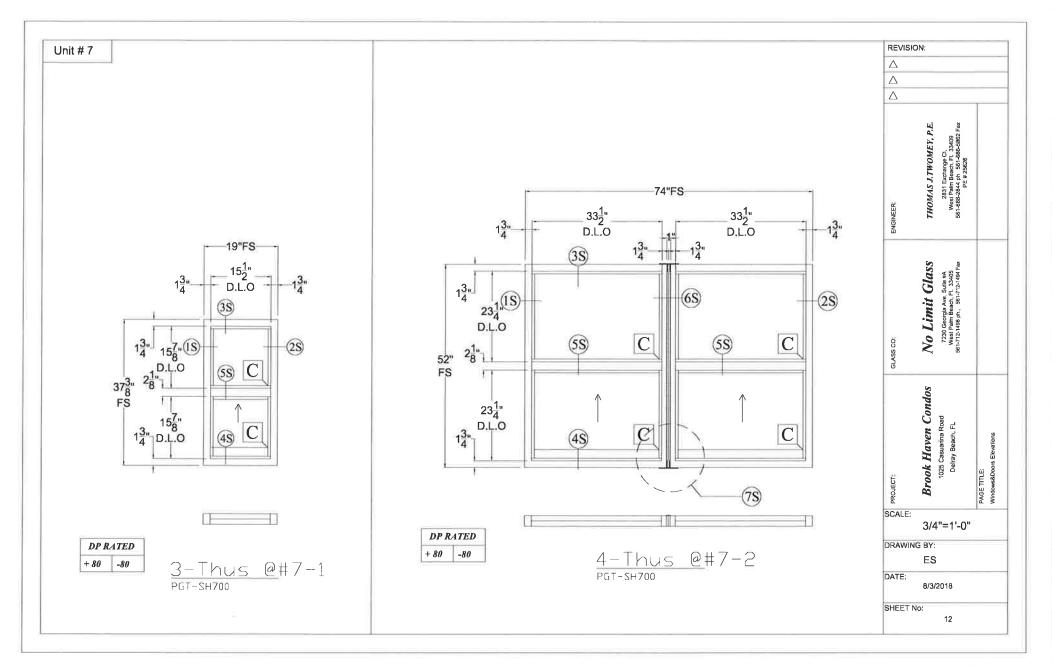




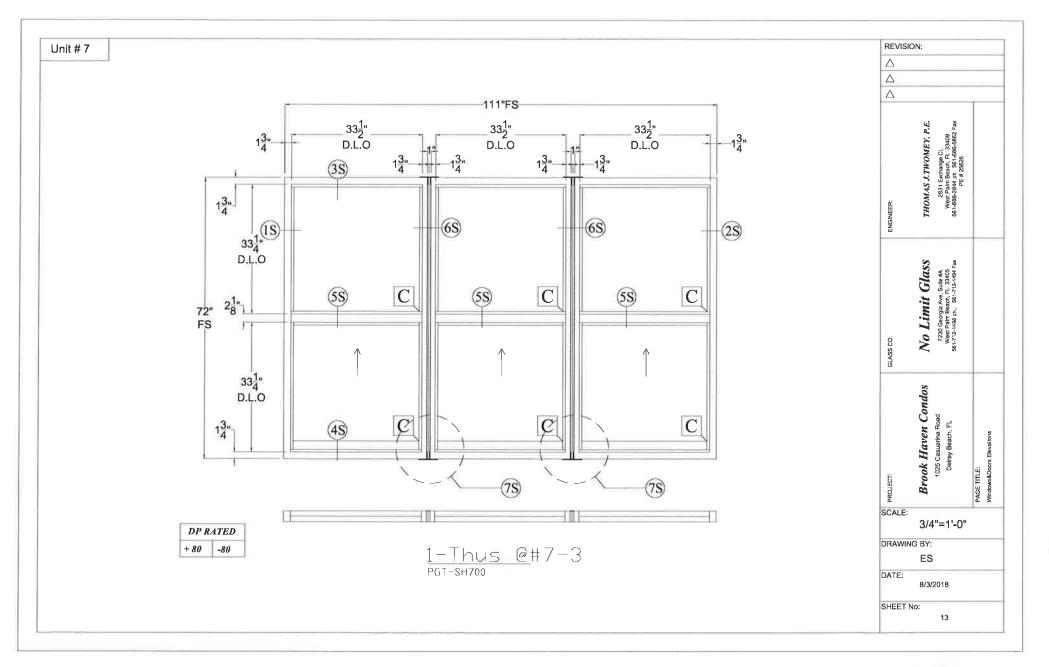




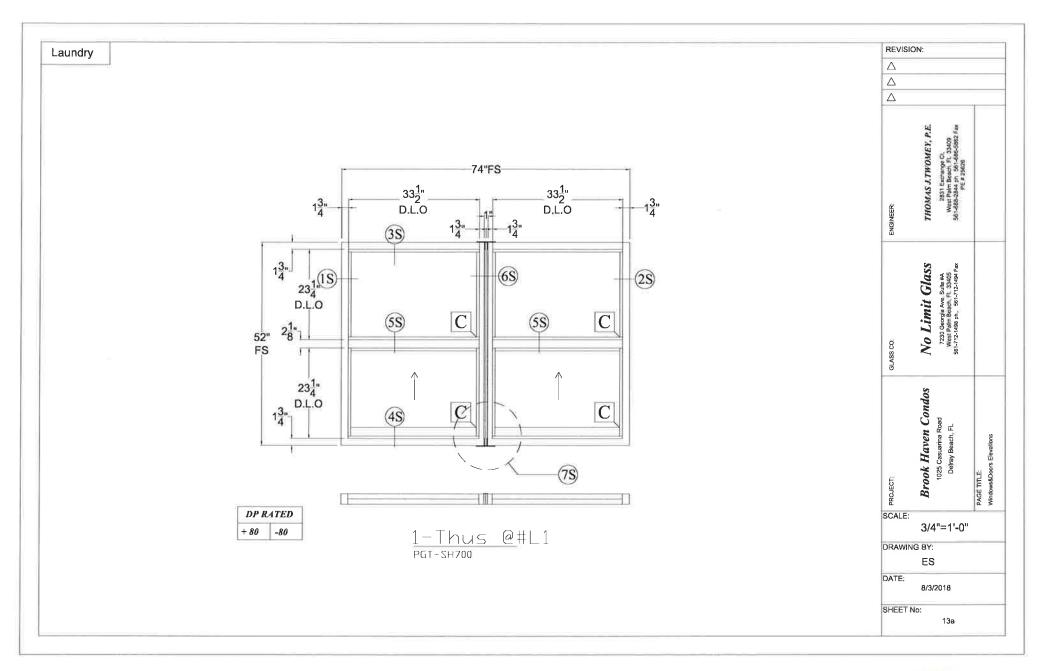




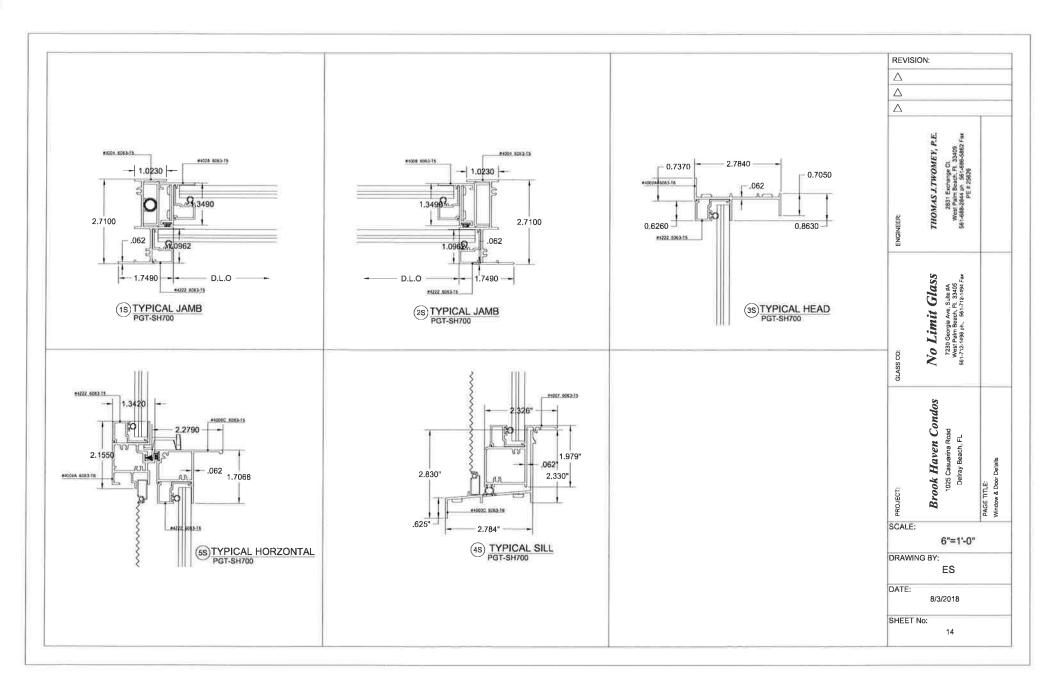


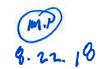


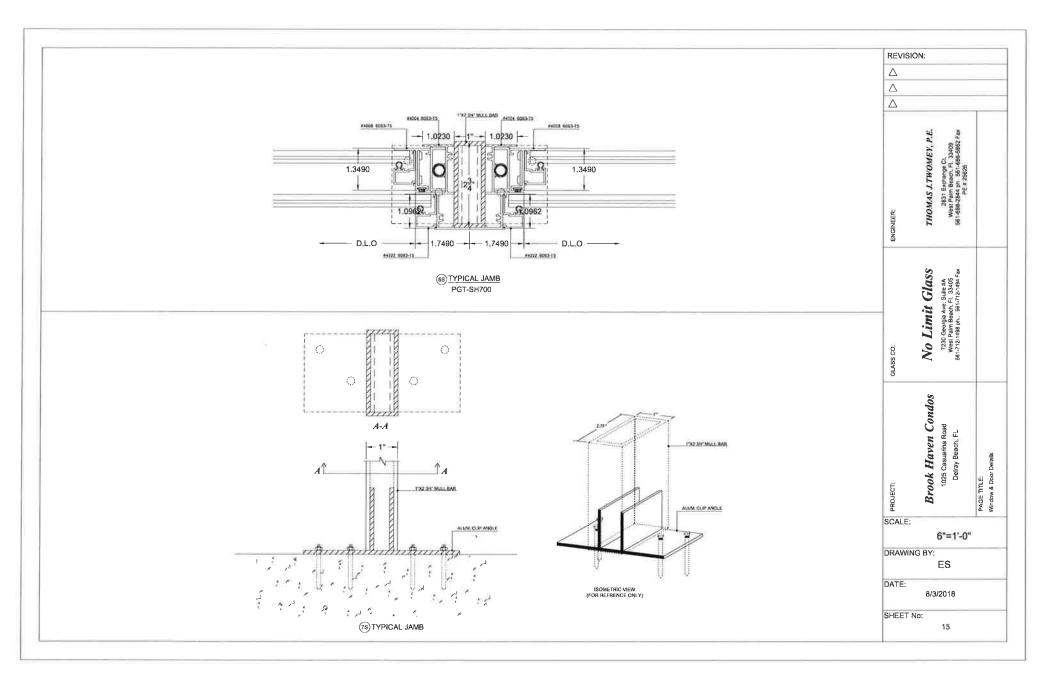




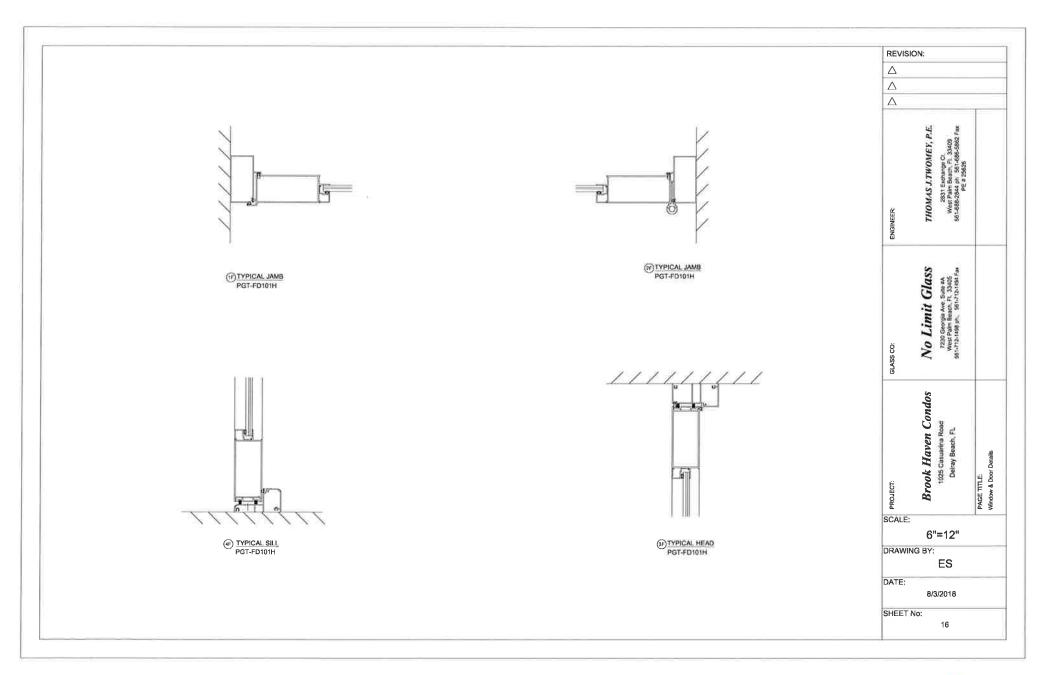




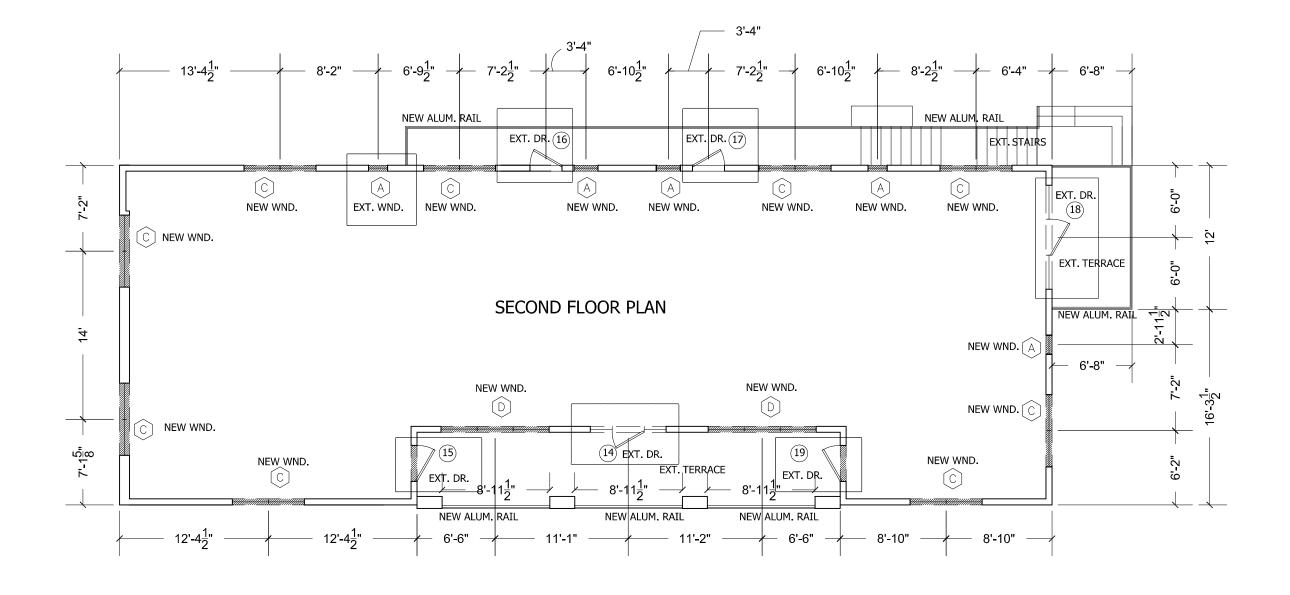














# CODE REFERENCE FLORIDA BUILDING CODE SIXTH EDITION - EXISTING BUILDING 2017 CHAPTER5 CLASSIFICATION OF WORK SECTION501 GENERAL 501.1Scope. The provisions of this chapter shall be used in conjunction with Chapters 6 through 13 and shall apply to the alteration, repair, addition and change of occupancy of existing structures, including historic and moved structures, as referenced in Section 301.1.2. The work performed on an existing building shall be classified in accordance with this chapter. 501.1.1 Compliance with other alternatives. Alterations, repairs, additions and changes of occupancy to existing structures shall comply with the provisions of Chapters 6 through 13 or with one of the alternatives provided in Section 301.1. 501.2Work area. The work area, as defined in Chapter 2, shall be identified on the construction documents SECTION504 ALTERATION—LEVEL 2 504.1Scope. Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment. 504.2Application

Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter

- CONFLICT.

# SEE LANDSCAPE PLANS FOR FENCES, GATES AND LANDSCAPE. CONCRETE STEPS C EXT. WND. (A)EXT. WND. EXT. WND. NEW WND. NEW WND. Aluminum or PT Wood Vintage Classic Pergola <u>NEW</u> CONCRETE (SEE SPECS) -EXT. WND. EXT. DR 6'-6" ~3'-0 NEW WND. EXT. WND. $\left[ A \right]$ 4'-9" / SLOPE COORDINATE RAISERS & GRADING W/ STRUCTURAL ENG. DRWGS AND SITE. NEW CONCRETE STEPS NEW WND. 4 \ EXT. DR. ∞NEW ALUM RAIL NEW DR. $\rightarrow$ NEW ALUM. R EXT. WND. <u>م</u>مًا م NEW WND. -+CONCRETE STEPS STEPS EXT. DR. $\rightarrow$ NEW WND. NEW ALUM. RAIL NOTE: EXT. WND. [A]NEW WND. NEW WND. /──── 10'-6" ───<del>/</del> 10'-6"

# **GENERAL NOTES**

ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON THE STRUCTURAL PLANS OR BY SPECS 1. ALL PLANS SUBMITTED FOR SPECIFIC PERMITS SHALL MEET THE CITY'S CODES REQUIREMENTS.

. CONTRACTOR TO VERIFY THAT ALL REQUIRED APPROVALS PERTAINING TO THE PROJECT HAVE BEEN SATISFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. SUBCONTRACTORS TO SUBMIT SHOP DRAWINGS TO ARCHITECT'S/ENGINEER'S FOR APPROVAL.

3. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.

4. THE SUBCONTRACTORS SHALL INCLUDE IN THEIR BID ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE APPLICABLE CODES.

5. PRIOR TO SUBMISSION OF ANY BIDS THE SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY THE ARCHITECT'S DIMENSIONS, DETAILS, AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES OR CONFLICT ARE PRESENT, THE SUBCONTRACTORS SHALL NOTIFY THE OWNER IMMEDIATELY. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.

6. THE SUBCONTRACTORS SHALL REFER TO THE APPROPRIATE SHOP DRAWINGS FOR INFORMATION RELATIVE TO THE BUILDING STRUCTURE, COLUMNS, FLOOR AND ROOF FRAMING.

7. THE GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH SUB CONTRACTORS, SUPPLIERS, VENDORS, AND SPECIALTY CONTRACTORS.

8. ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMEN'S COMPENSATION INSURANCE.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO ALL SUBCONTRACTORS AND VENDORS DURING THE EXECUTION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ON SITE IN A CONVENIENT LOCATION, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT AND SUPPLEMENTAL DOCUMENTS, INCLUDING ALL THE LATEST REVISIONS, ADDENDUM, SHOP DRAWINGS AND SUPPLEMENTAL INFORMATION AS MAY BE REQUIRED FOR PROPER EXECUTION OF THE PROJECT.

10. EACH CONTRACTOR SHALL PROTECT THE WORK OF OTHER SUBCONTRACTORS. ANY CONFLICTS ARE TO BE RESOLVED BETWEEN THE SUBCONTRACTORS INVOLVED AND ANY WORK DAMAGED SHALL BE REPLACED BY THE SUBCONTRACTOR CAUSING THE DAMAGE. THE CONTRACTOR AND THE OWNER SHALL BE NOTIFIED OF SUCH

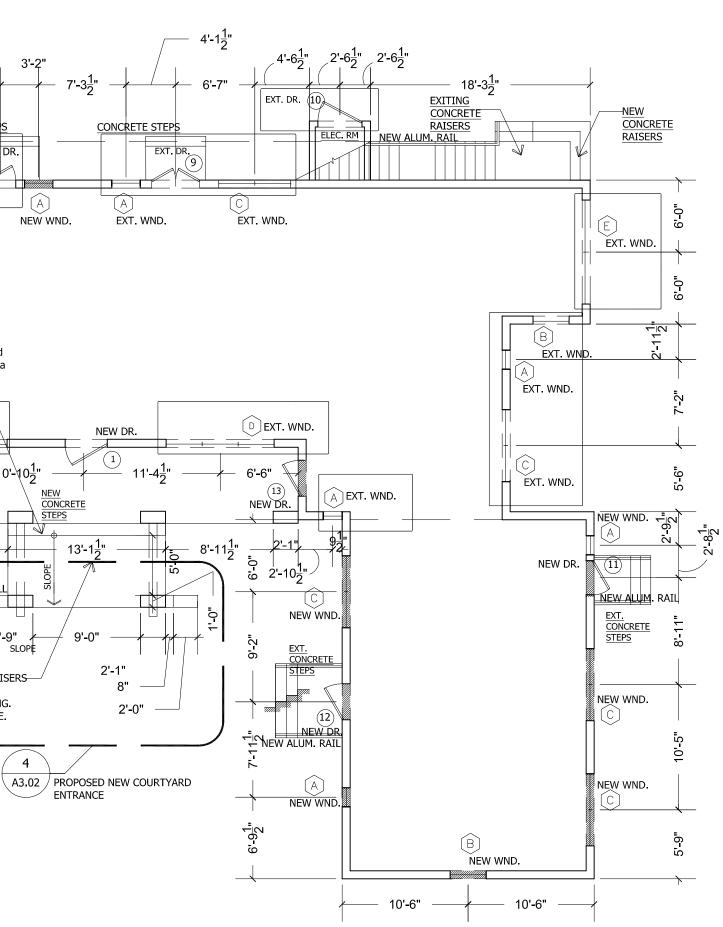
11. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE THESE DRAWINGS PLANS. (NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK, OF ANY VARIATIONS IN THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS).

12. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER'S PUBLISHED INSTRUCTIONS, OR IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.

13. ALL WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANCE & SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE APPLICABLE CODES, SEE SPECS AND PRODUCT APPROVALS PRIOR TO INSTALLATION.

14. ALL WINDOW AND DOOR SIZES ARE NOMINAL, VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS PRIOR TO WINDOW PLACEMENT. WINDOW SUPPLIER TO VERIFY ALL EGRESS WINDOW LOCATIONS TO SATISFY APPLICABLE CODES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

FIRST FLOOR PLAN PI AN

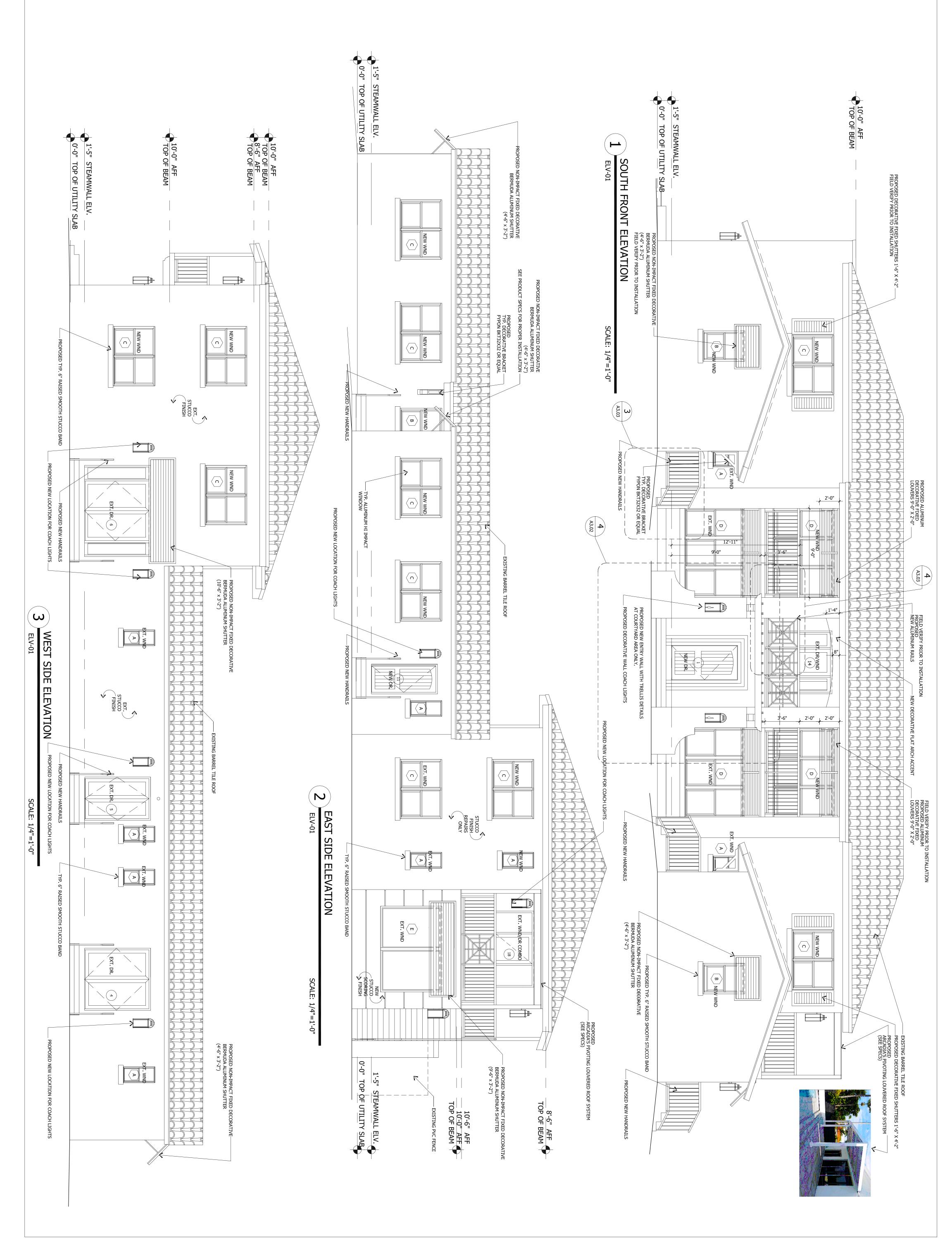


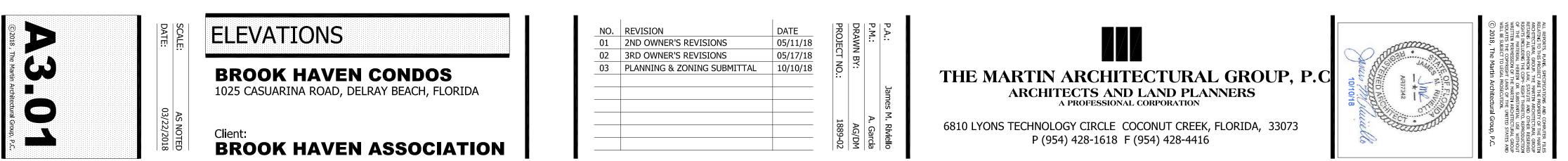
THIS DRAWING IS FOR GENERAL BUILDING ORIENTATION ONLY. SEE STRUCTURAL DRAWINGS FOR ANY AND ALL BUILDING MODIFICATIONS.

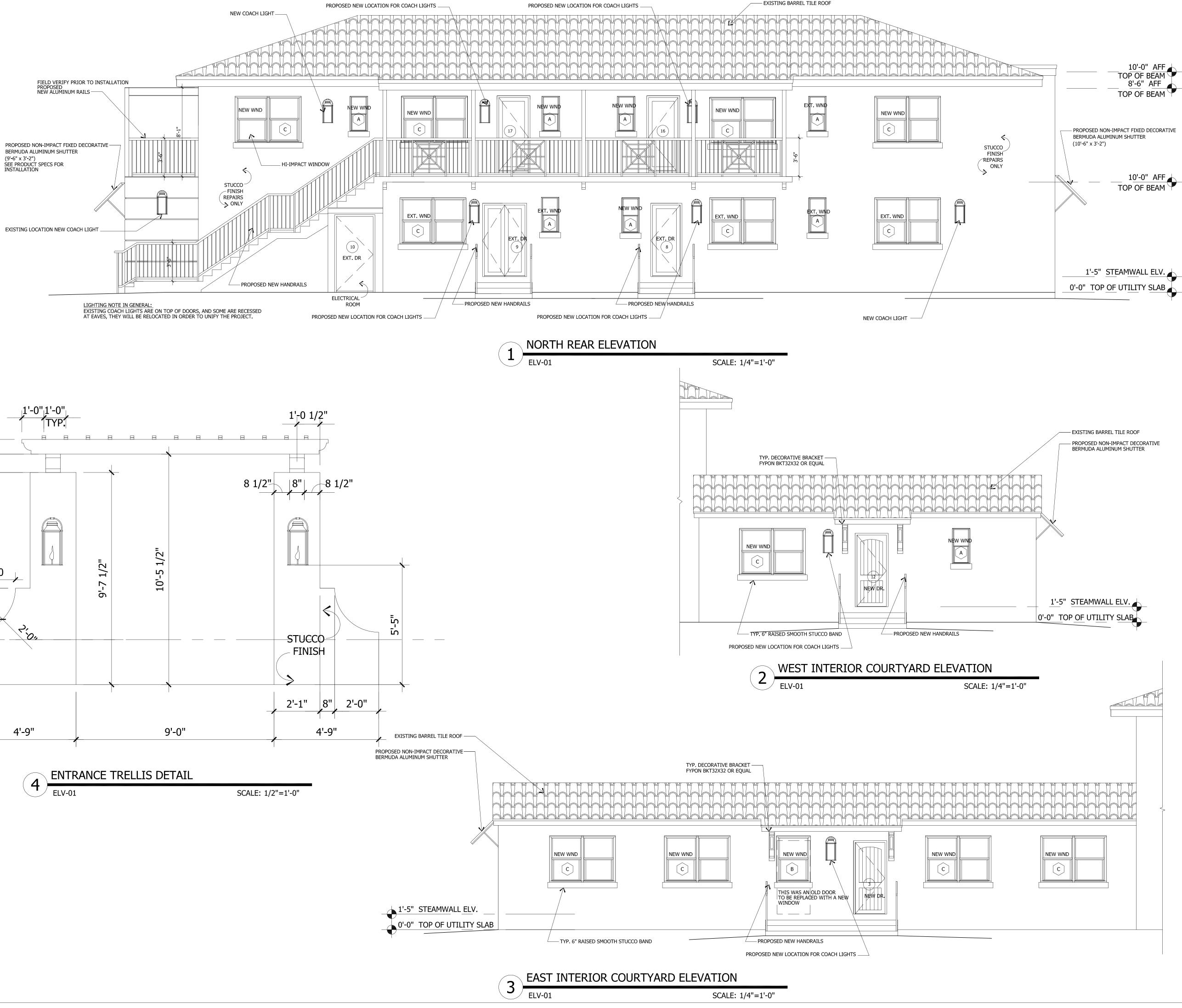
SCALE: 3/16"=1'-0"

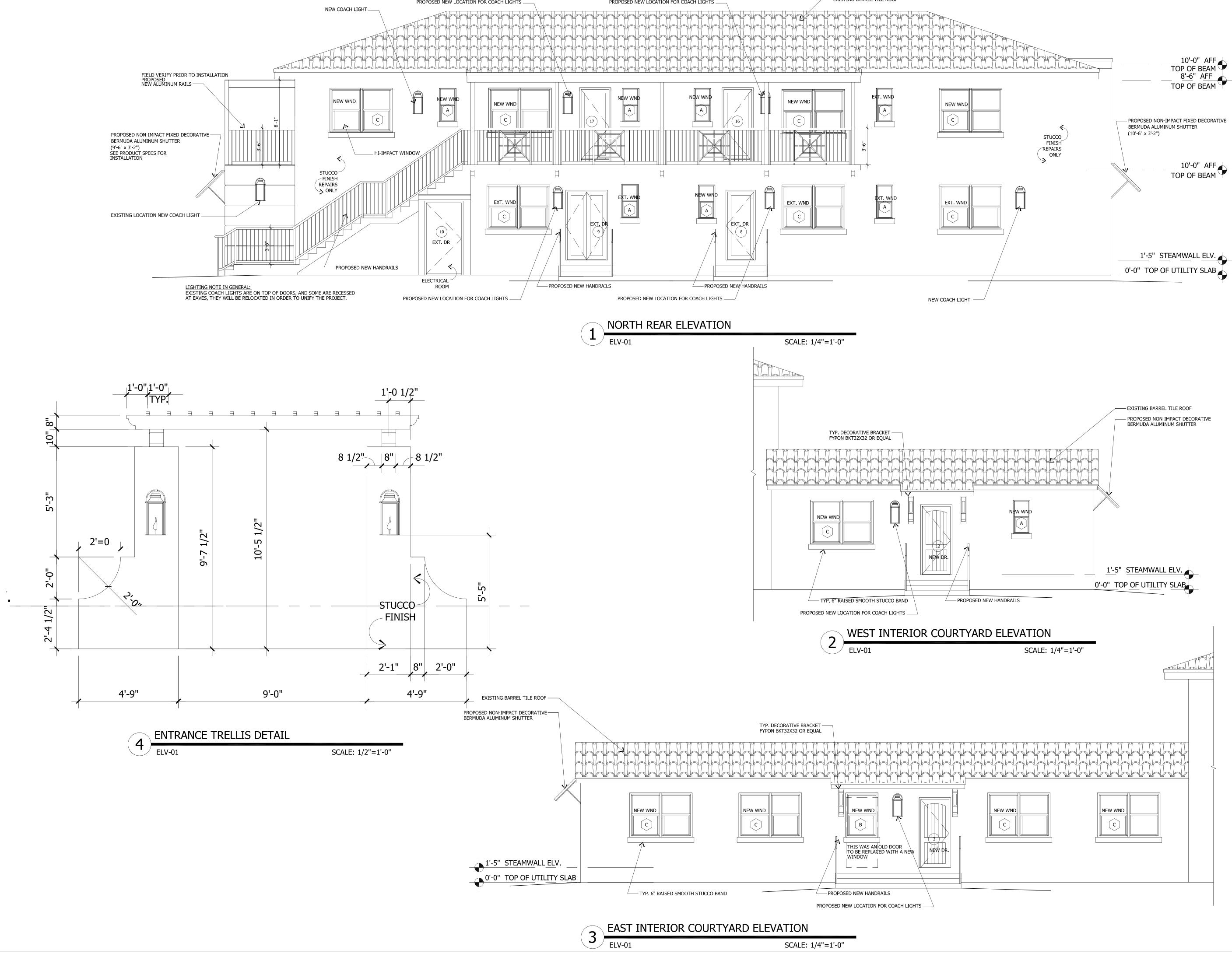
No.       Revision       DATE         01       ZND OWNERS REVISIONS       05/11/18         02       3RD OWNERS REVISIONS       05/11/18         03       PLANNING & ZONING SUBMITTAL       10/10/18         03       PLANNING & ZONING SUBMITTAL       10/10/18         203       PLANNING & ZONING SUBMITTAL       10/10/18         203       PLANNING & ZONING SUBMITTAL       10/10/18         204       DELRAY BEACH, FLORIDA       30         205       PLANNING & ZONING SUBMITTAL       10/10/18         205       PLANNING & ZONING SUBMITTAL       10/10/18         205       PLANNING & ZONING SUBMITTAL       2004         204       PLANNING & ZONING SUBMITTAL       2004         205       PLANNING & ZONING SUBMITTAL       2004         205       PLANNING & ZONING SUBMITTAL       2004         205       PLANNING & ZONING SUBMITTAL       2004         2054) 428-1618       728-1618       728-4416         2054) 428-1618       7054) 428-4416       2054) 428-4416	RELATING TO TH ARCHITECTURAL RETAINS ALL CO RIGHTS INCLUDIO OF THE MATERI WRITTEN PERMIS VIOLATES THE C WILL BE SUBJECT	LANS, SPECIFICATIONS IS PROJECT ARE THE PRO GROUP. THE MARTINA WG THE COPY. RIGHT TH SSION OF THE MARTINA SSION OF THE MARTINA TO LEGAL PROSECUTIO TO LEGAL PROSECUTIO MARTIN ARCHITECTU	DEERTY OF THE MARTINE GROUP AND OTHER RESERVED ERFOR REPRODUCTION ANTIAL USE WITHOUT ARCHITECTURAL GROUP I. USE WITHOUT I. USE I. USE I. USE I. USE I. I. USE I. USE I. USE I. USE I. I. USE I. USE I. USE I. USE I. I. USE I. USE I. USE I. USE I. USE I. I. USE I. USE I. USE I. USE I. USE I. USE I. I. USE I. USE
P.M.:       A. Garcia         DRAWN BY:       AG/DM         PROJECT NO.:       1889-02         MO       BALAN         DOK HAVEN       01         23D OWNER'S REVISIONS       05/11/18         01       2010         02       3RD OWNER'S REVISIONS         03       PLANNING & ZONING SUBMITTAL         04       03         05       PLANNING & ZONING SUBMITTAL         06       DATENAY BEACH, FLORIDA         07       PLANNING & ZONING SUBMITTAL         08       PLANNING & ZONING & ZONING SUBMITTAL         09       PLANNING & ZONING SUBMITTAL         09       PLANNING & ZONING SUBMITTAL         01       DATENAY BEACH, FLORIDA         02       PLANA RA ASSOCIATION		THE MARTIN ARCHITECTURAL GRO ARCHITECTS AND LAND PLANNERS	COCONUT CREEK, FLORIDA F (954) 428-4416
OOR PLAN       No.       Revision         01       ZND OWNER'S REVISIONS       02       3RD OWNER'S REVISIONS         02       3RD OWNER'S REVISIONS       03       PLANNING & ZONING SUBMITTAL         03       PLANNING & ZONING SUBMITTAL       03       PLANNING & ZONING SUBMITTAL         000K HAVEN ASSOCIATION       00       ASUARINA ROAD, DELRAY BEACH, FLORIDA       00	P.M.: DRAWN	BY:	A. Garcia AG/DM
OOR HAVEN CONDOS       DOK HAVEN CONDOS       DOK HAVEN CONDOS       CASUARINA ROAD, DELRAY BEACH, FLORIDA       DOK HAVEN ASSOCIATION	œ   œ		
OOR PLA DOK HAV CASUARINA ROA	NO. REVISION 01 ZND OWNER'S REVISIONS 02 3PD OWNEP'S BEVISIONS	03 PLANNING & ZONING SUBMITTAL	
		CONDOS VY BEACH, FLORIDA	ASSOCIATION

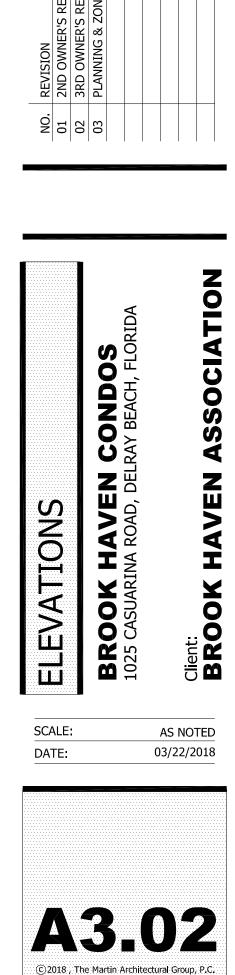


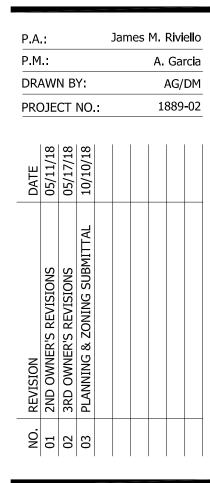


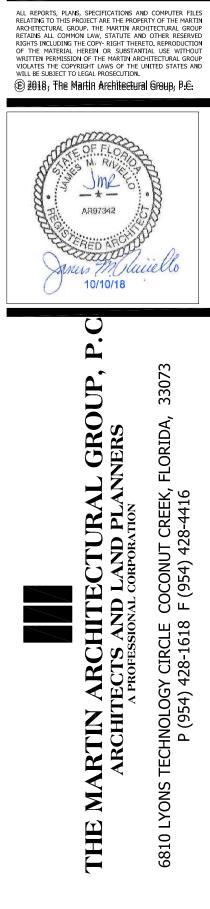


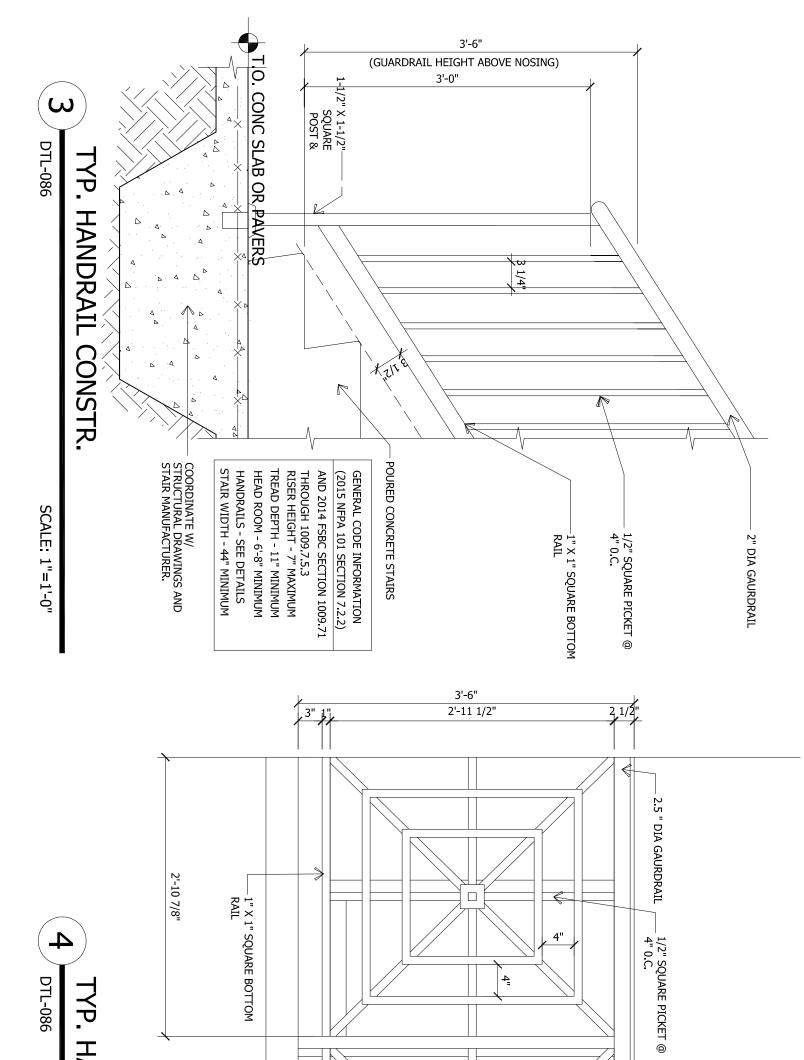


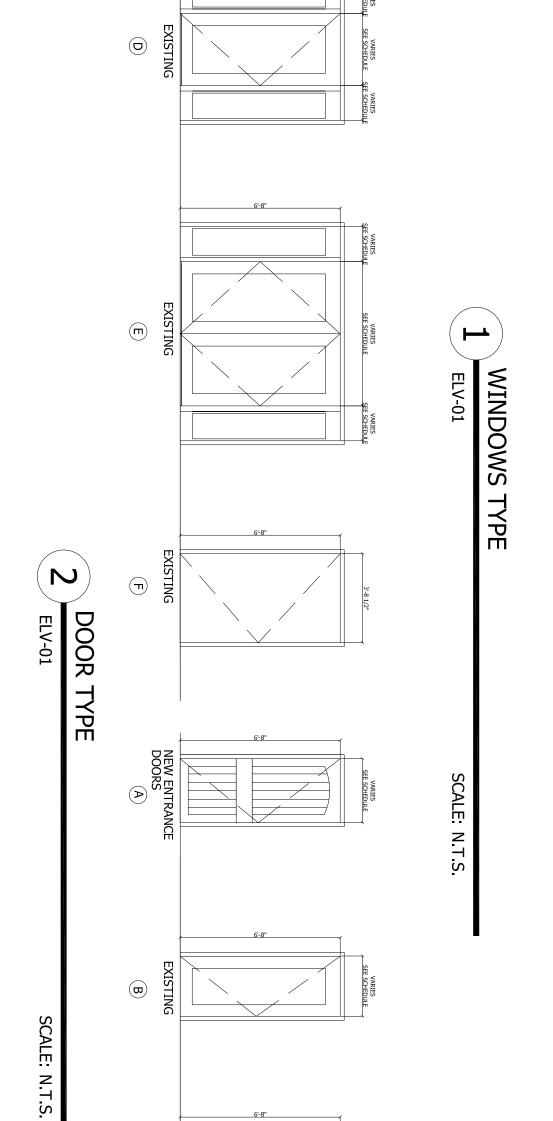


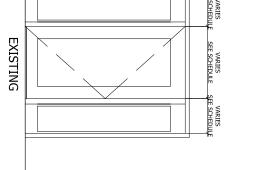


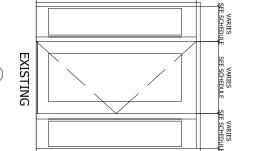




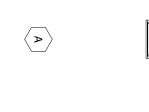




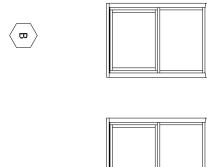


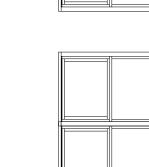


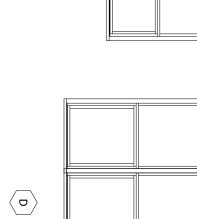
6'-8"



 $\langle n \rangle$ 







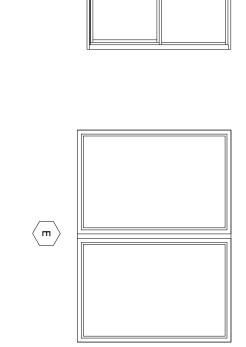
# IANDRAIL CONSTR. MEDALLION DETAILS SCALE: 1"=1'-0"

3. ALL HABITABLE ROOM ENTRY DOORS 4. DOOR MANUFACTURE BASIS OF DESIG	CONTRACTOR MUS AND IF THERE ARE ALL GLAZING AT HA	G	EXISTING	EXISTING	EXISTING	3'-0" x 6'-8" FG 2'-10" x 6'-8" AL/	<u></u>	EXISTING	EXISTING	EXISTING NOT LISED	EXISTING	3'-0" x 6'-8" FG EXISTING	" x 6'-8"	3'-8" x 6'-8" FG	DOOR SIZE	DC	<ol> <li>MINIMUM GLAZING FOR ALL WINDOWS SHALL BE D.S.B. VERIFY REQUIRED INCREASES IN STRENGTH DUE TO WINDOW AREA AND/OR HEIGHT ABOVE GRADE.</li> <li>WINDOWS SHALL COMPLY WITH PRODUCT APPROVAL DATA.</li> <li>PROVIDE TEMPERED GLASS AT ALL OPENINGS WITHIN 12" OF ALL DOORS AND AT ALL TUB AND SHOWER ENCLOSURES PER FLORIDA BUILDING CODE 2014 UNLESS IMPACT RESISTANT.</li> <li>REQUIRED EGRESS WINDOWS OR DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS TO PROVIDE A CLEAR OPENING OF NOT LESS THAN 24" MINIMUM HEIGHT AND 20" MINIMUM WIDTH AND A MINIMUM OF 5.7 SQ. FT. IN AREA WITH THE BOTTOM OF THE OPENING NOT MORE THAN 44" ABOVE FINISH FLOOR AND SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017.</li> </ol>	<ol> <li>FIELD VERIFY ALL WINDOW SIZES AND OPENINGS PRIOR TO ORDERING FROM SUPPLIER. MAS</li> <li>WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" ABD LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF AND LOWEST PART OF THE VINDOW SILL SHALL BE A MINIMUM OF 24" AID LOWEST PART OF AND LOWEST PA</li></ol>	GENERA	(3) 37" x 72" SH EXISTING FX	(2) 52" x 74"	A         19" x 37 3/8"         SH           (₀)         37" x 52"         SH	
OF DESIG	ALL DOOR OP ANGES NOTIFY	GENERAL				FG A							/GLAS	M		DOOR S	L WINDOWS SH WITH PRODUCT S AT ALL OPENIN STANT. WS OR DOORS S IUM HEIGHT AND NISH FLOOR AND	OPENING C	OW N				
V - PGT WI MASON	OPENING IFY THE AF					MTL.						MTL.		י צ	TYPE	SCHEDULE	SHALL BE D.S. CT APPROVAL IINGS WITHIN IINGS WITHIN ND 20" MININ ND SHALL COI	OPENINGS NR OPENIN OF THE WI	NOTES				
INDOWS AND ITE- BARRIN	F VERIFY ALL DOOR OPENING AND MASONRY ANY CHANGES NOTIFY THE ARCHITECT. AZARDOUS LOCATIONS SUCH AS TUB, SHOWE	DOOR NC											「 「		FIRE ATING		BE D.S.B. VERIF PROVAL DATA. WITHIN 12" OF , LL BE OPERABLE )" MINIMUM WID HALL COMPLY WI	PRIOR TO O G OF THE W NDOW SILL		ALUM.	ALUM.	ALUM.	
ARE TO BE UNDERCUT 1" PER FLORIDA MECHANICAL CODE OF 2017 BN - PGT WINDOWS AND DOORS (ALUMINUM) MASONITE- BARRINGTON - EXTERIOR FIBERGLASS DOOR	SHOWER ENCLOSURES, ETC. S	NOTES				FL #22363.2 N.O.A 17-0504.01						FL #22363.2		FL #22363.2	PRODUCT APPROVALS	DOC	VERIFY REQUIRED INCREASES ATA. 2" OF ALL DOORS AND AT ALL 2" OF ALL DOORS AND AT ALL M WIDTH AND A MINIMUM OF N WIDTH THE FLORIDA BUILDI	ORDERING FROM SUPPLIER. WINDOW IS MORE THAN 72' L SHALL BE A MINIMUM OF 2		ANODIZED / ALUM. ANODIZED / ALUM.	ANODIZED / ALUM.	ANODIZED / ALUM. ANODIZED / ALUM.	
RGLASS DOOR	TH MANUFACTURER'S P					OUT-SWING DOOR	MASONIT					MASONIT	OUT-SWING DOOR	MASONIT		DOOR WIND PRESSURES	S IN STRENGTH DUE TUB AND SHOWER 5.7 SQ. FT. IN ARE ING CODE 2017.	ier. Masonry opening height is from top of sill. 72" Above the finished grade or surface below, 9F 24" Above the finished floor in the room in w		NO.17-0630.08	NO.17-0630.08	NO.17-0630.08	
	PRIOR TO Y SAFETY					MASONITE "BARRINGTON SIERRA" - OUT-SWING DOOR	MASONITE "BARRINGTON SIERRA"					MASONITE "BARRINGTON SIERRA"	NG DOOR	MASONITE "BARRINGTON SIERRA"	REMARKS	0,	ENCLOSURES	iing height Ished grade Inished floo		MARBLE	MARBLE	MARBLE	+
	) CONSTRUCTIO GLASS.					ON SIERRA"	ON SIERRA"					ON SIERRA"		ON SIERRA"			V AREA AND, S PER FLORII BOTTOM OF	IS FROM TO E OR SURFAC OR IN THE R		YES	YES	YES	
	ON,					- 2 Panels- Top Plan	- 2 Panels- Top Plank - Outswing					- 2 PANELS-		- 2 PANELS- TOP PLANK -			IN STRENGTH DUE TO WINDOW AREA AND/OR HEIGHT ABOVE TUB AND SHOWER ENCLOSURES PER FLORIDA BUILDING CODE 5.7 SQ. FT. IN AREA WITH THE BOTTOM OF THE OPENING NOT NG CODE 2017.	エー	÷	REPLACING VERIFY	REPLACING VERIFY	REPLACING VERIFY	
						NK - OUTSWING DOOR- CERT. NI013717.17-R1	DOOR- CERT.					TOP PLANK - OUTSWING DOOR- CERT. NI013717.17-R1		NK - OUTSWING DOOR- CERT. NI013717.17-R1			ING VGLE IPLE REENS	B BASEMENT CA CASEMENT DH DOUBLE HUNG	WINDOW TYPE KEY	MULLION AS PER NOA 17- 0630.01	MULLION AS PER NOA 17-0630.01		

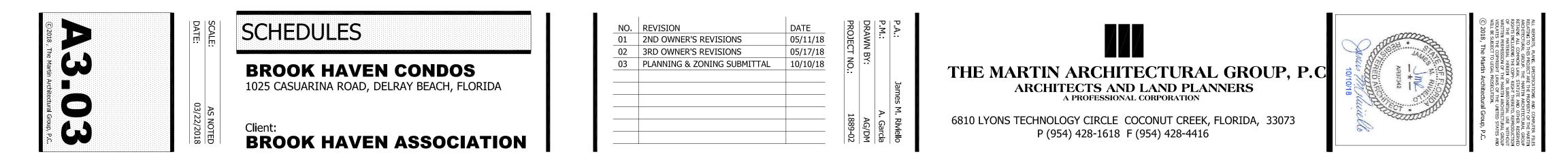
 $\odot$ 

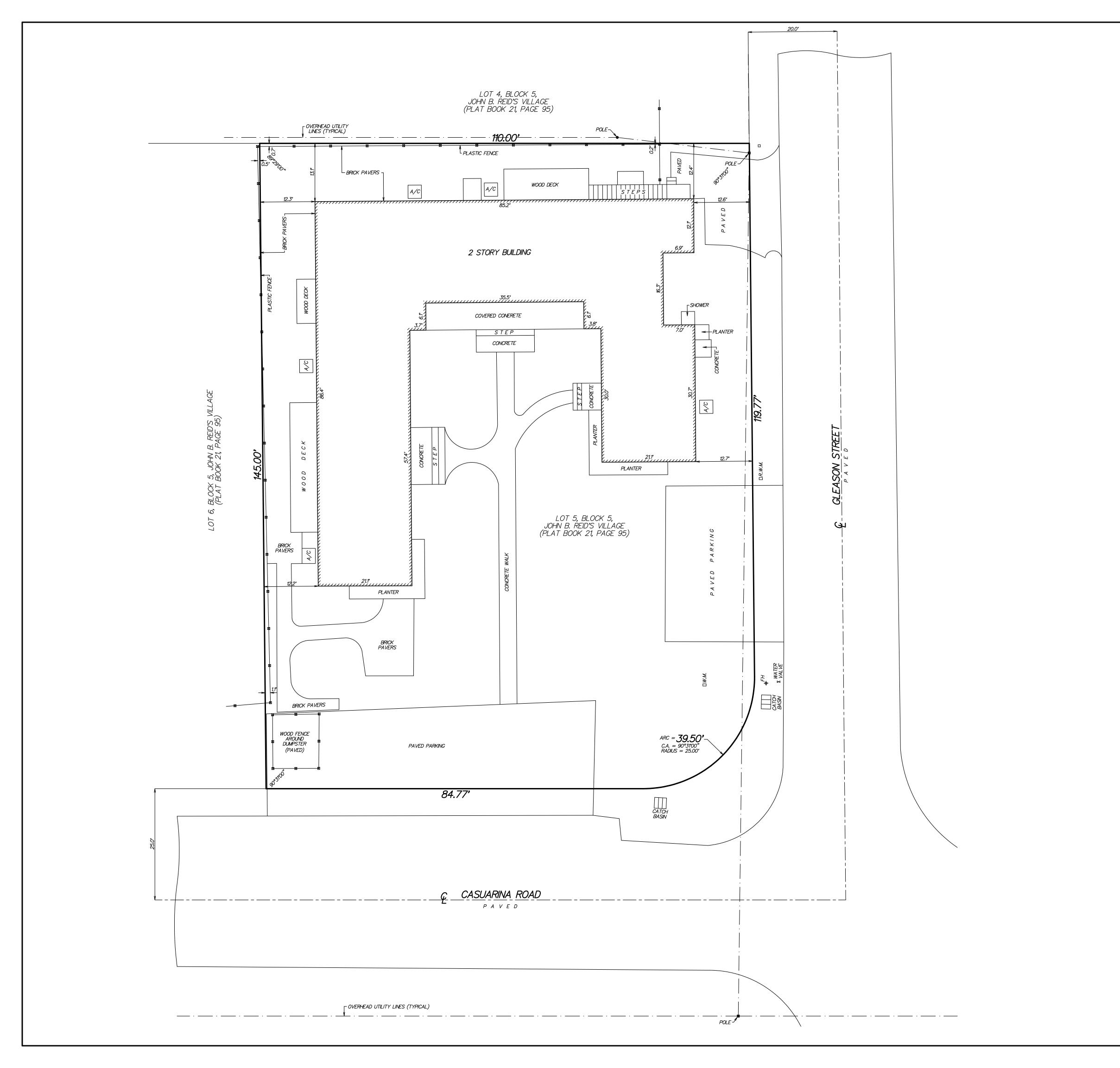
EXIS

TING



				WINDOW	SCHEDULE	111		SEE I WIND	SEE ELEVATIONS FOR WINDOW WIND PRESSURES
SIZE	TYPE	GLASS TYPE	E FRAME	FINISH	N.O.A.	SILL	SCREEN	MASONRY X	REMARKS
) 19" x 37 3/8" ) 37" x 52"	H R	LOW E	ALUM.	ANODIZED / ALUM. ANODIZED / ALUM.	NO.17-0630.08 NO.17-0630.08	MARBLE	YES	REPLACING VERIFY	
(c)     (2)     52" × 74"       (c)     (3)     37" × 72"	R R	LOW E	ALUM.	ANODIZED / ALUM. ANODIZED / ALUM.	NO.17-0630.08 NO.17-0630.08	MARBLE	YES	REPLACING VERIFY REPLACING VERIFY	MULLION AS PER NOA 17- 0630.01 MULLION AS PER NOA 17- 0630.01
GENERAL WI	WINDOW	V NOTES	ES  -						
FIELD VERIFY ALL WIND	ALL WINDOW SIZES	AND OPENINGS	NGS PRIOR TO	ORDERING FROM SUPPLIER.	MASONRY	OPENING HEIGHT IS FROM TOP OF SILL.	IS FROM TO	P OF SILL.	VINDOW TY
WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS I LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SILL SHALL BE A THE WINDOW IS LOCATED, PER F.B.C. R312.2.1. MINIMUM GLAZING FOR ALL WINDOWS SHALL BE D.S.B. VERIFY REOUIRED	ART OF TH LEAR OPE TED, PER F	e clear ope Ning of the B.C. R312.2.	ENING OF THE WIN WINDOW SILL SH 1. BE D.S.B. VERIFY	WINDOW IS MORE THAN 72" ABOVE TI L SHALL BE A MINIMUM OF 24" ABOVE IFY REQUIRED INCREASES IN STRENGT	그 그 뉴	INISHED GRADE	OR SURFAC	HE FINISHED GRADE OR SURFACE BELOW, THE THE FINISHED FLOOR IN THE ROOM IN WHICH 'H DUE TO WINDOW AREA AND/OR HEIGHT ABOVE	CA CASEMENT DH DOUBLE HUNG F FIXED SH SINGLE HUNG
GRADE.				זרז אבלסזערת זאכיירי	3				
WINDOWS SHALL COMPLY WITH PRODUCT AP PROVIDE TEMPERED GLASS AT ALL OPENINGS 2014 UNLESS IMPACT RESISTANT.	'LY WITH F ASS AT ALI ESISTANT.	COMPLY WITH PRODUCT APPROVAL ED GLASS AT ALL OPENINGS WITHIN ACT RESISTANT.	PROVAL DATA. WITHIN 12" OF	ALL DOORS AND AT	ALL TUB AND SHOWER	ENCLOSURES	PER FLORIDA	A BUILDING CODE	
REQUIRED EGRESS WINDOWS OR DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS TO PROVIDE A CLEAR OPENING OF NOT LESS THAN 24" MINIMUM HEIGHT AND 20" MINIMUM WIDTH AND A MINIMUM OF 5.7 SQ. FT. IN AREA WITH THE BOTTOM OF THE OPENING NOT MORE THAN 44" ABOVE FINISH FLOOR AND SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2017.	dows or Nimum Hei Finish Fl	doors shai Ght and 20 Dor and sh	ll be operab " minimum w All comply 1	LE FROM THE INSIDE W IDTH AND A MINIMUM VITH THE FLORIDA BUI	1THOUT THE USE OF OF 5.7 SQ. FT. IN ARU DING CODE 2017.	<sup>:</sup> Tools to Pr( Ea with the e	OVIDE A CLE	ar opening of The opening not	SPECIALTIES SCREENS MUNTINS
DOOR SIZE	DOOR		SCHEDULE		SEE ELEVATIONS FOR DOOR WIND PRESSURES	5			
	MTL.			PRODUCT AP	SEE ELEVATIONS FOR DOOR WIND PRESSURE APPROVALS REN	URES REMARKS			
3'-8" x 6'-8" 2'-10" x 6'-8"				RATING FL PRODUCT APPP D CA 17-0504 01		NS FOR RESSURES REMARKS MASONITE "BARRINGTON	SIERRA"	- 2 PANELS- TOP PLANK	IK - OUTSWING DOOR- CERT. NI013717.17-R1
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8"	FG MTL.			PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2		NS FOR RESSURES REMARKS MASONITE "BARRINGTON OUT-SWING DOOR MASONITE "BARRINGTON	SIERRA"	2 PANELS- TOP 2 PANELS- TOP	- OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8" EXISTING EXISTING	FG AL/GLAS			PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2		ES MARKS TE "BARRINGT( ING DOOR TE "BARRINGT(	SIERRA"	2 PANELS- TOP	- OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8" EXISTING EXISTING EXISTING	FG MTL.			PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2		ES MARKS TE "BARRINGT( /ING DOOR /ING DOOR	SIERRA"	2 PANELS- TOP 2 PANELS- TOP	- OUTSWING DOOR- CERT. - OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8" EXISTING EXISTING EXISTING NOT USED EXISTING	FG AL/GLAG MTL.			PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2		ES MARKS TE "BARRINGT( TE "BARRINGT(	SIERRA"	2 PANELS- TOP 2 PANELS- TOP	- OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING	FG MTL.			PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2		S MARKS TE "BARRINGT( ING DOOR TE "BARRINGT(	SIERRA"	2 PANELS- TOP	- OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING				PRODUCT AP FL #22363.2 FL #22363.2 FL #22363.2 FL #22363.2		ES MARKS TE "BARRINGT( TE "BARRINGT(	STERRA"	2 PANELS- 2 PANELS-	DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-8" x 6'-8"	FG FG FG MTL.			PRODUCT AP         FL #22363.2         N.O.A 17-0504.0         FL #22363.2		NS FOR RESSURES REMARKS MASONITE "BARRINGTON SIERRA" MASONITE "BARRINGTON SIERRA" MASONITE "BARRINGTON SIERRA"	SIERRA"	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-0" x 6'-8" 2'-10" x 6'-8"	FG FG FG AL/GLAS			PRODUCT AP         FL #22363.2         N.O.A 17-0504.0         FL #22363.2         N.O.A 17-0504.0		NS FOR RESSURES REMARKS OUT-SWING DOOR MASONITE "BARRINGTO MASONITE "BARRINGTO MASONITE "BARRINGTO MASONITE "BARRINGTO OUT-SWING DOOR	SIERRA"	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING				PRODUCT AP         FL #22363.2         RL #22363.2         FL #22363.2		S VIARKS TE "BARRINGT( TING DOOR TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT(	SIERRA"	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-0" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING	AL/GLAS FG MTL.			PRODUCT AP         FL #22363.2         N.O.A 17-0504.0         FL #22363.2         N.O.A 17-0504.0		S VIARKS TE "BARRINGT( TING DOOR TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TING DOOR	SIERRA <sup>®</sup>	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING	AL/GLAG FG MTL.			PRODUCT AP         FL #22363.2         N.O.A 17-0504.0         FL #22363.2         FL #2000000000000000000000000000000000000		S MARKS MARKS TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT( TE "BARRINGT(	SIERRA"	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" × 6'-8" 2'-10" × 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-8" × 6'-8" 2'-10" × 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING	GEN		DOR N       M <td>PRODUCT AP         FL #22363.2         STES</td> <td></td> <td>S VIARKS TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO</td> <td>SIERRA"</td> <td>2 PANELS- 2 PANELS- 2 PANELS-</td> <td>OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.</td>	PRODUCT AP         FL #22363.2         STES		S VIARKS TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO TE "BARRINGTO	SIERRA"	2 PANELS- 2 PANELS- 2 PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" 3'-0" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING 3'-0" x 6'-8" 2'-10" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTI	FG FG MTL.	S NOTLIFY TH	DOOR SCHEDULE         PG       AL/GLAS       MTL.         FG       A       MTL.         FIL       H       H         MTL.       H       H         H       H       H         H       H       H         H       H       H         H       H       H         H       H       H         H       H       H <td>PRODUCT AP FL #22363.2 FL #22363.2</td> <td></td> <td>PRIOR TO</td> <td>STRUCTIO</td> <td>PANELS-</td> <td>OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.</td>	PRODUCT AP FL #22363.2 FL #22363.2		PRIOR TO	STRUCTIO	PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING S'-0" x 6'-8" 2'-10" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING CONTRACTOR MUST AND IF THERE ARE ALL GLAZING AT H/ ALL HABITABLE RO	REAL PERIFY ALL PERIFY ALP PERIFY	DR SCHEDU AS B TYPE AS B MTL. AS B MTL. AS B MTL. AS B MTL. AS B MTL. AS B MTL. COCATIONS SUCH AS LOCATIONS SUCH AS	DOR NOOR NOOR NOOR NOT L. MITL. THRES. THRES. THREAT THREA	PRODUCT AP FL #22363.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #2563.2 FL #25		ARKS	ON SIERRA"	PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.
3'-8" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING 3'-0" x 6'-8" 2'-10" x 6'-8" 2'-10" x 6'-8" EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING EXISTING AND IF THERE ARE ALL GLAZING AT H/ ALL HABITABLE RO DOOR MANUFACTUI	POOR S AL/GLAS FG FG FG FG FG FG FG FG FG FG	PGATIONS SU DOORS ARE TC	SONITE- BARF	PRODUCT AP FL #22363.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #22563.2 FL #2563.2 FL #2563.		PRIOR TO	ON SIERRA"	PANELS-	OUTSWING DOOR- CERT. OUTSWING DOOR- CERT.





# <u>SURVEYOR'S REPORT/LEGEND:</u>

 $\varphi = CENTERLINE$ 

C.A. = CENTRAL ANGLE

IR. = 5/8" IRON ROD WITH CAP #LB 353

FH = FIRE HYDRANT

W.M. = WATER METER

R.W.M. = RECLAIMED WATER METER

UB. = UTILITY BOXFLOOD ZONE:

FLOOD ZONE: COMMUNITY PANEL NO. 125102 0981 SUFFIX F MAP REVISED: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THS SURVEY HAS ACHEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQURED FOR COMMERCIAL/HGH RISK PROPERTY CLOSURE WAS ACHEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOT 5, BLOCK H, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 95, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MAP OF BOUNDARY SURVEY SITE ADDRESS: 1025 CASUARINA ROAD DELRAY BEACH, FLORIDA 33483 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J–17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Taul

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC. LAND SURVEYORS CERTIFICATE OF AUTHORIZATION #LB353 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445 (561) 276-4501 732-3279 FAX 276-2390

TE OF SURVEY CTOBER 20, 2017	7 SCALL	LE:
eld book Page no. ).316 69	ORDEI	ER NO.: