



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Brook Haven Condos  
**Project Location:** 1025 Casuarina Road  
**Request:** Approval of a Class I Site Plan Modification  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** October 24, 2018

**Board Action:**

Approved (5-0); Linda Purdo and Price Patton were absent.

**Project Description:**

The subject property is located north of Casuarina Rd between Venetian Dr. and Gleason St. and contains 0.13 acres (6,000 sq. ft.) of a two story condominium structure. The subject property is located within the Multiple Family Residential – Medium Density (RM) zoning district and consists of a Future Land Use Map (FLUM) designation of Medium Density (MD).

On September 16, 2005, a Class I Site Plan Modification (2005-381) regarding replacement of existing awning windows for one of the units was submitted.

This Site Plan Modification is associated with architectural elevation changes regarding overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

**Staff Recommendation:**

Approve

**Board Comments:**

Board comments supportive of the request.

**Public Comments:**

None

**Associated Actions:**

N/A

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 24, 2018

File No.: 2018-198-SPM-SPR-  
CL1

Application Type: Class I Site Plan  
Modification – Brook Haven Condos

#### General Data:

**Agent:** Annabella Garcia, Martin Architectural Group, P.C.

**Applicant:** Brook Haven Condominium Association

**Owner:** Brook Haven Condominium Association

**Location:** 1025 Casuarina Rd

**PCN:** 12-43-46-16-88-000-0060

**Property Size:** 0.13 acres (6,000 sq. ft.)

**FLUM:** MD (Medium Density)

**Zoning:** RM (Multiple Family Residential – Medium Density)

#### Adjacent Zoning:

- RM (North)
- RM (West)
- RM (South)
- RM + OS (Open Space) (East)

**Existing Land Use:** Condominium

**Proposed Land Use:** Condominium



#### Item before the Board:

The action before the Board is for the approval of the following aspects of a Class I Site Plan application for **Brook Haven Condos** pursuant to LDR Section 2.4.5 (G)(1)(d):

- ☐ Site Plan
- ☐ Architectural Elevations

**Recommendation:** By Separate Motions:

#### Site Plan:

Move approval of the Class I Site Plan Modification (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5) of the Land Development Regulations.

*\*Note: If the site plan is denied, no further action shall be taken on the architectural elevation plan due to potential inconsistencies.*

#### Architectural Elevations:

Move approval of the Architectural Elevations (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations.

#### Staff Recommendations:

##### 1. Landscape Plan

- Recommending that the applicant submit a separate Landscape Plan for the modifications made for the Site Plan and Architectural Elevations.

#### Project Planner:

Raisa Saniat, Planner-in-Training;  
[saniatr@mydelraybeach.com](mailto:saniatr@mydelraybeach.com),  
561-243-6236

#### Review Dates:

SPRAB Board:

#### Attachments:

1. Site Plans
2. Architectural Elevations



### Background:

The subject property is located north of Casuarina Rd between Venetian Dr. and Gleason St. and contains 0.13 acres (6,000 sq. ft.) of a two story condominium structure. The subject property is located within the Multiple Family Residential – Medium Density (RM) zoning district and consists of a Future Land Use Map (FLUM) designation of Medium Density (MD).

On September 16, 2005, a Class I Site Plan Modification (2005-381) regarding replacement of existing awning windows for one of the units was submitted.

Now before the Board is a Class I Site Plan Modification associated with architectural elevation changes regarding overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

### Project Description:

The proposed Class I Site Plan Modification request is for overall improvements to the structure, including door and window replacements, addition of an Arcadia's pivoting louvered roofing system, and Bermuda shutters.

### Site Plan Analysis:

#### Architectural Elevations and Aesthetics

- **LDR Section 4.6.18(E) – Criteria for Board Action:** The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:
  - ✓ The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
  - ✓ The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
  - ✓ The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.
- Majority of the windows are to be replaced with aluminum high impact windows in the first floor and all windows are to be replaced with aluminum high impact windows in the second floor of the structure. On the south elevation, a new courtyard entrance is being proposed with trellis details and decorative coach lights (at a mounting height of 5'-5"), alongside a pivoting louvered roofing system (12' in length and 6'-8" in width). On the east interior courtyard elevation, an existing door is to be modified to an aluminum high impact window. Decorative Bermuda aluminum shutters (4'-6" by 3'-2") are to be placed all around the structure to replace any existing shutters. Relocation of coach lights and new handrails are being proposed along all the elevations. Walls are to be painted a very light gray. The windows, columns, and the fascia are to be painted white. The new proposed door on the south elevation is to be painted brown. The railings and Bermuda shutters are to be painted dark gray. The existing barrel tile roof and stucco finish is to remain. The proposed architectural elevation change will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

### Assessment and Conclusion

The proposed Site Plan modification and Architectural Elevation changes has created the requirement of a Landscape Plan submission due to the effected changes to the area. This will be addressed as part of a subsequent site plan application. The proposed changes complies with the policies of the Comprehensive Plan and the Land Development Regulations.



**Alternative Actions:**

- A. Continue with direction.
- B. Move approval of the request for a Class I Site Plan Modification (2018-198) for the **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(5) and Chapter 3 Section 4.6.18(E).
- C. Move denial of the request for a Class I Site Plan Modification (2018-198) for **Brook Haven Condos**, by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(G)(5) and Chapter 3 Section 4.6.18(E).





South Elevation



East Side Elevation



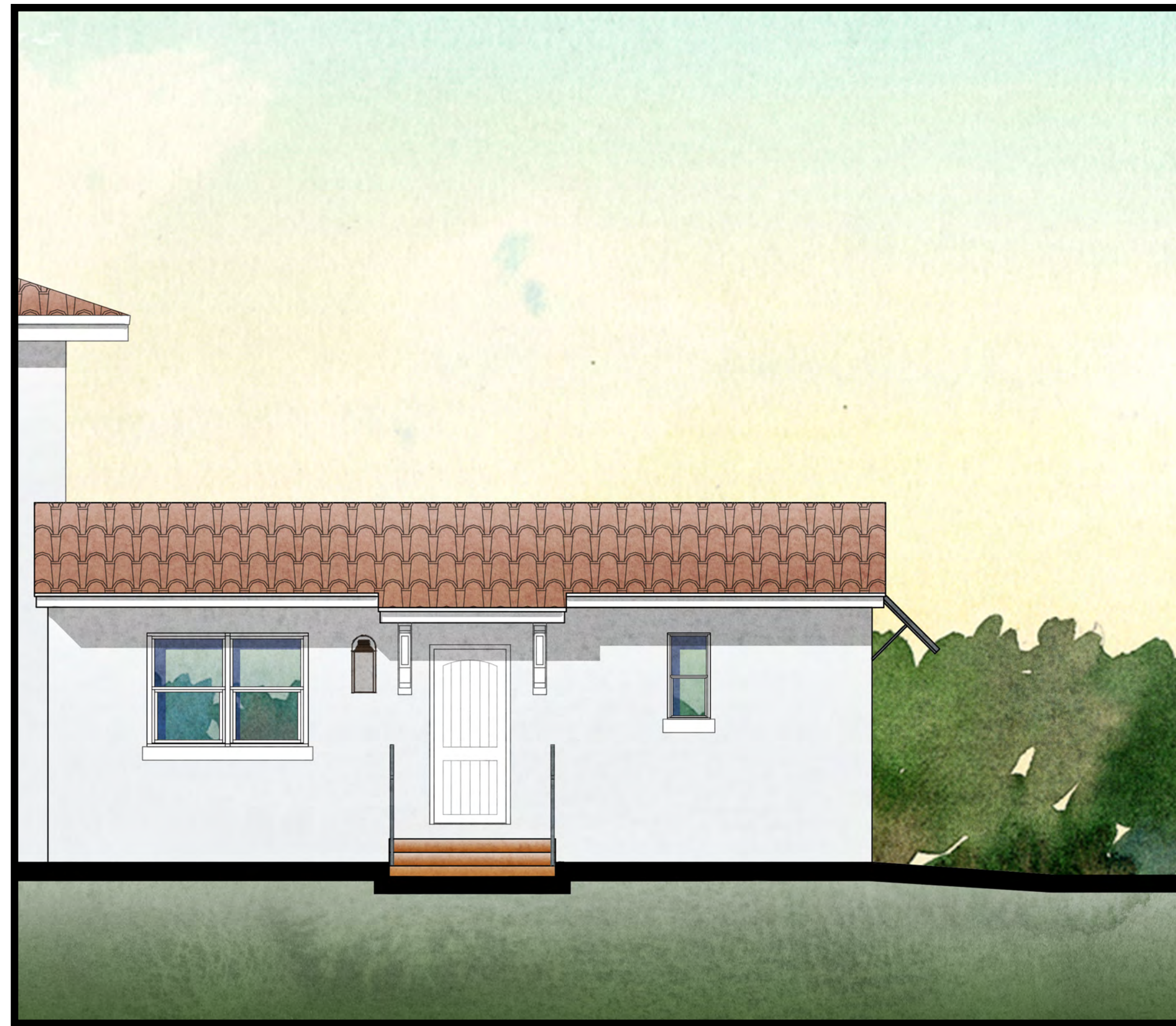


North Rear Elevation



West Side Elevation





West Interior Court Elevation



East Side Interior Court Elevation



**OWNER'S DESIGNATION OF AGENCY**

(This form must be completed by **ALL** property owners if designating an Agent)

I Peggy Henry Van Dorp, the fee simple owner of the following  
(Owner's Name)

described property (give legal description):

Lot 5, Black H, John B. Reid's Village,  
According to the Plat thereof as  
recorded in Plat Book 21, Page 95,  
Public Records of Palm Beach  
County, Florida.

hereby affirm that Annabella Garcia, Int'l. Assoc. AIA  
(Applicants/Agent's Name)

is hereby designated to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments and fees become part of the Official Records of the City of Delray Beach, Florida, and are not returnable.

Peggy Henry Van Dorp  
(Owner's Signature)

The foregoing instrument was acknowledged before me this 23 day of August, 2018 by Peggy Henry Van Dorp, who is personally known to me or has produced (type of identification) as identification and who did (did not) take an oath.

Mark L. Jones  
(Printed Name of Notary Public)

(Signature of Notary Public)

Commission # GG144662, My Commission Expires 01-14-2022

(NOTARY'S SEAL)



MARK L. JONES  
Commission # GG 144662  
Expires January 14, 2022  
Bonded Thru Budget Notary Services



# *Brook Haven Condos*

1025 Casuarina Road  
Delray Beach, FL

REVISION:	
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ENGINEER	<b>THOMAS JTWOMEY, P.E.</b> 2831 Exchange Ct. West Palm Beach, FL 33409 561-486-2831 Ph. 561-486-5862 Fax PE # 25008
GLASS CO:	<b>No Limit Glass</b> 7230 Georgia Ave, Suite #A West Palm Beach, FL 33405 561-712-1198 Ph., 561-712-1194 Fax
PROJECT:	<b>Brook Haven Condos</b> 1025 Casuarina Road Delray Beach, FL
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8/3/2018	
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*M.P.*

8.22.18

**GENERAL NOTES**

1. FOR SPECIFICATION, TEST REPORTS, AND FASTENING SEE NOTICES OF ACCEPTANCE FOR SPECIFIC PRODUCTS
2. ALL DIMENSION TO BE FIELD VERIFIED.
3. EXTERIOR PERIMETER CAULK BETWEEN ALUMINUM AND MASONRY TO BE TREMCO VULKEM NP-1 OR EQUAL COLOR TO MATCH METAL COLOR, WHITE.
4. ALL WINDOWS AND DOORS ARE FROM EXTERIOR.

**STOREFRONT NOTES.**

5. ALL STOREFRONT METAL TO BE WHITE.
6. EXTERIOR PGT - SH700 ALUM SINGLE HUNG 700, ALUMINUM WHITE COLOR FRAME WITH 5/16" LAMI GLASS(1/8AN-.090PVB-1/8AN)  
SEE NOA# 17-0630.08  
FIXED GLASS TYPE C= 5/16" GRAY- IMPACT GLASS.
7. FOR MULL BARS SEE NOA # 17-0630.01
8. FOR FD101H WINDGUARD FRENCH DOOR WHITE COLOR FINISH , WITH 3/8" GRAY - LAMI GLASS ,SEE NOA # 17-0504.01
9. STOREFRONT STRUCTURAL SILICONE WETSEAL TO BE DOW CORNING 995.

**EXCLUSION:**  
PERMIT & FEES**LEGEND**

RO = ROUGH OPENING  
FS = FRAME SIZE  
DRO = DOOR OPENING  
DLO = DAYLIGHT OPENING

**FBC 2017/ASCE-7-10****165 MPH (ULT)  
EXPOSURE C  
RISK CATAGORY II****DESIGN WIND PRESSURE  
ALL OPENINGS****WINDOWS AND DOORS****POS PSF +  
NEG PSF -****REVISION:**

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ENGINEER:

**THOMAS ITWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-488-2844 ph. 561-488-5862 Fax  
PE # 25906

GLASS CO.

**No Limit Glass**  
7230 Georgia Ave. Suite 10A  
West Palm Beach, FL 33405  
561-712-1499 ph. 561-712-1494 Fax

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

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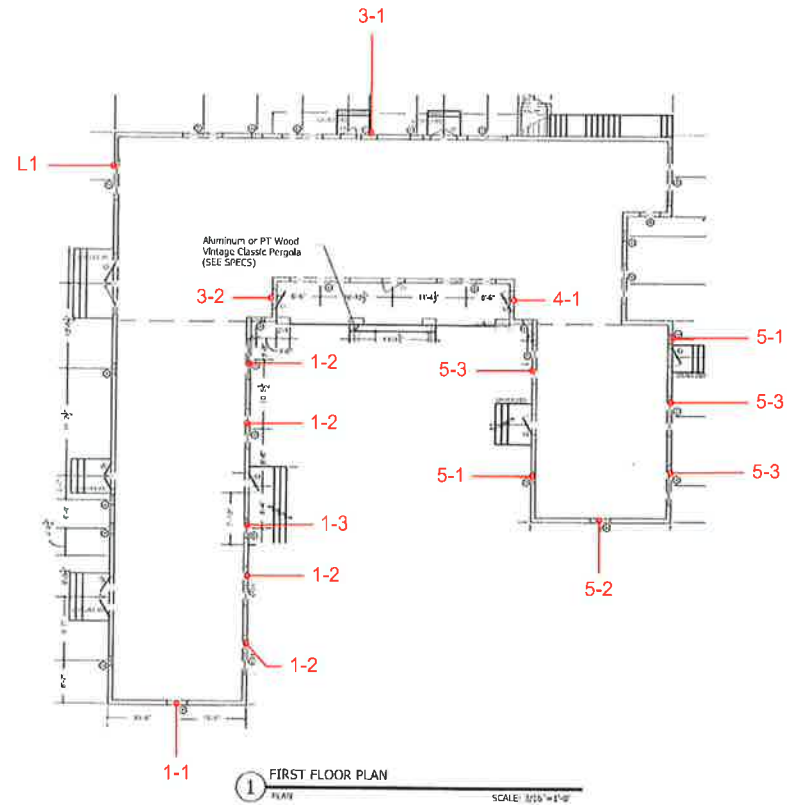
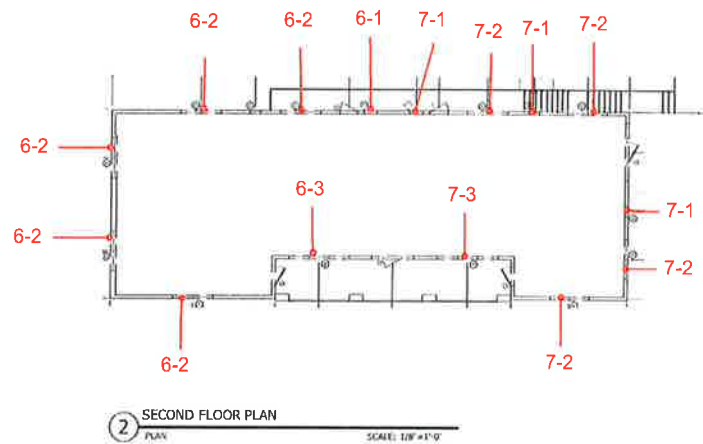
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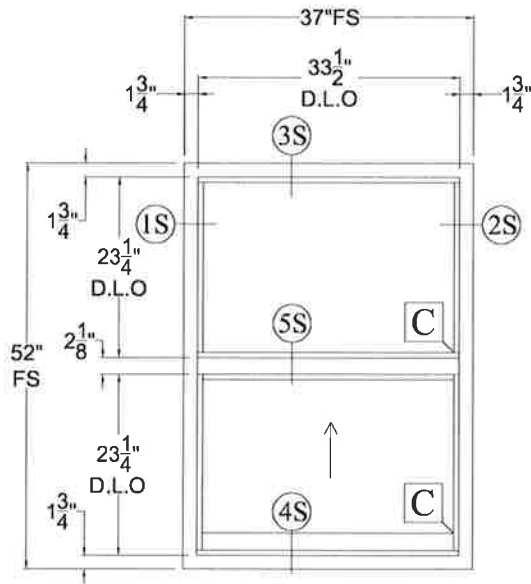




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ENGINEER:	THOMAS J. TWOMEY, P.E. 2831 Exchange Ct. West Palm Beach, FL 33409 561-488-2944 ph. 561-488-5982 fax PE # 25626
GLASS CO:	No Limit Glass 7230 Georgia Ave., Suite #A West Palm Beach, FL 33405 561-712-1499 ph. 561-712-1494 fax
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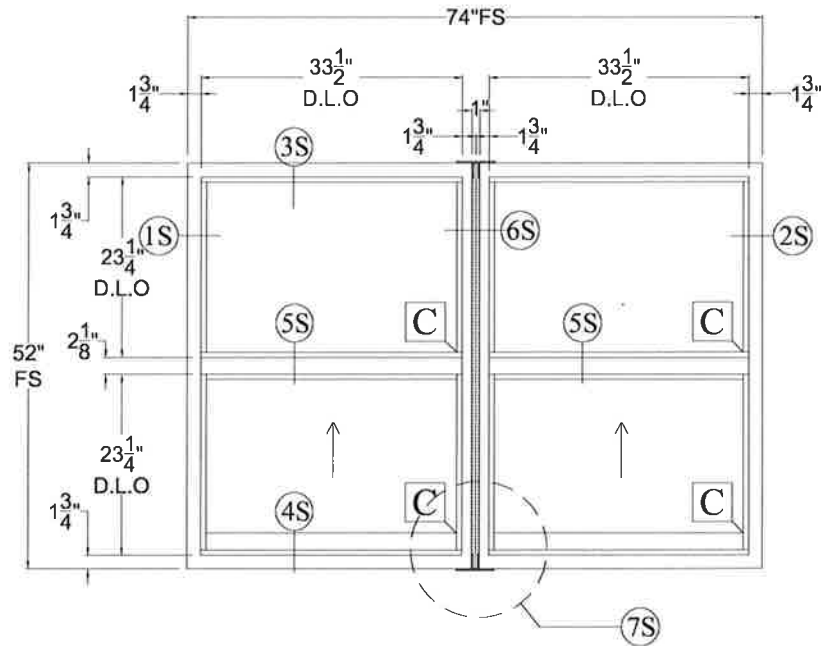
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ENGINEER:

THOMAS J. TWOMEY, P.E.  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-488-2844 ph. 561-488-5862 fax  
PE # 25626

GLASS CO:

**No Limit Glass**  
7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
951-712-1494 ph., 951-712-1494 fax

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

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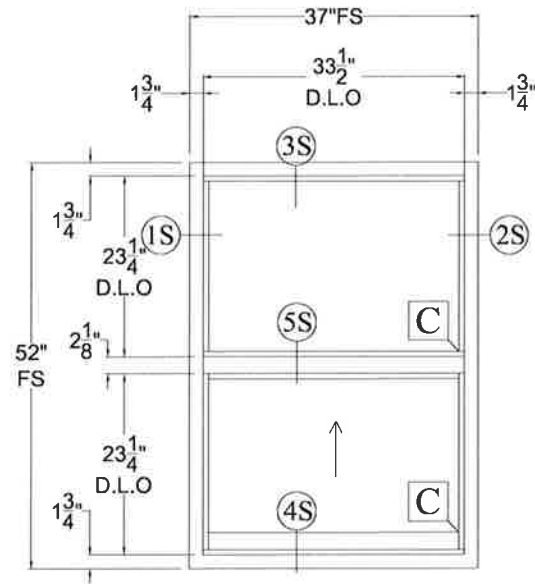
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Unit # 1



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ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-688-2844 ph 561-686-5862 Fax  
PE # 25626

GLASS CO:

**No Limit Glass**  
7230 Georgia Ave, Suite #A  
West Palm Beach, FL 33405  
561-712-1498 ph., 561-712-1494 Fax

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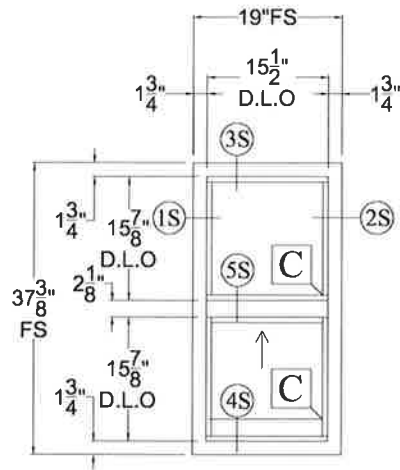
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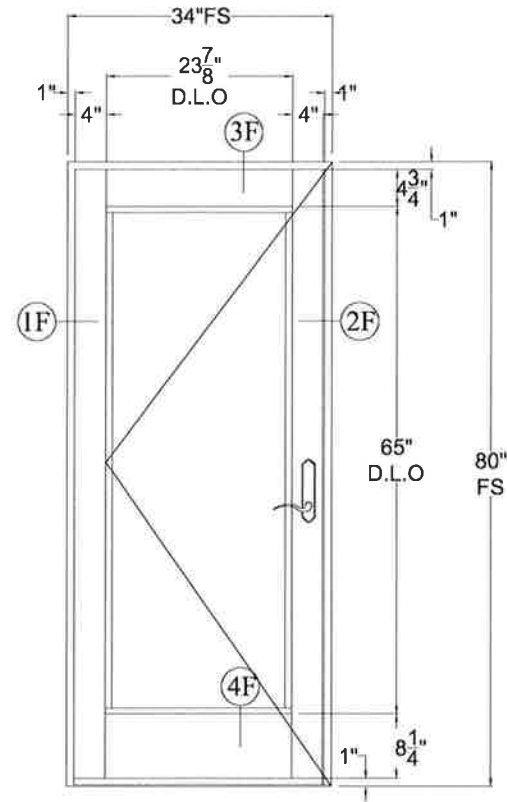
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ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-888-2844 ph 561-886-5862 fax  
PE # 25626

GLASS CO.

**No Limit Glass**  
7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
961-712-1436 ph., 961-712-1494 fax

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

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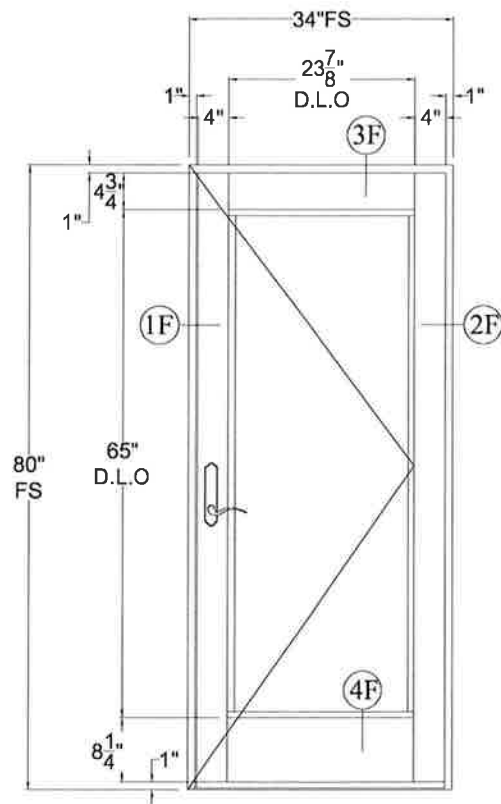
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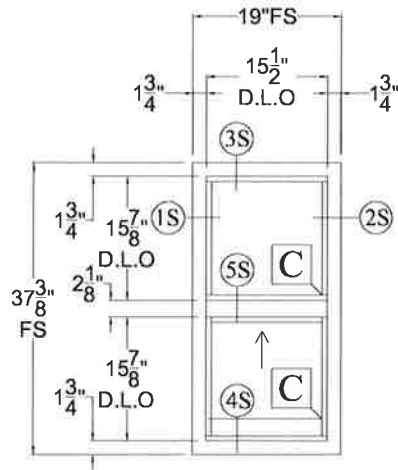


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GLASS CO:	<b>No Limit Glass</b> 7230 Georgia Ave. Suite #A West Palm Beach, FL 33405 561-712-1486 ph., 561-712-1494 Fax
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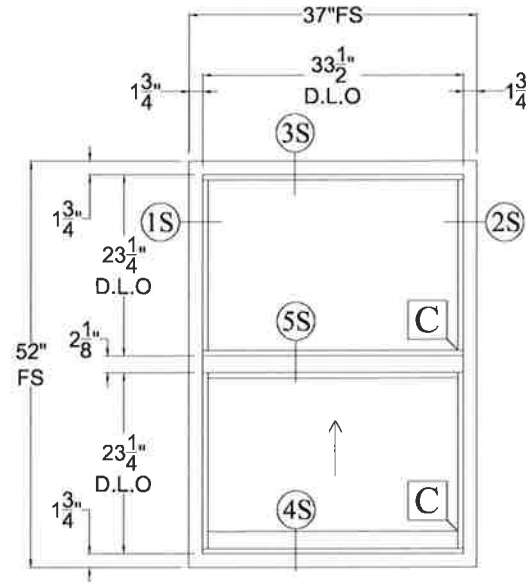
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ENGINEER:  
**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-588-2844 ext. 561-496-5862 Fax  
PE # 26026

GLASS CO:  
**No Limit Glass**  
7230 Georgia Ave., Suite #A  
West Palm Beach, FL 33405  
561-712-1458 ext. 561-712-1454 Fax

PROJECT:  
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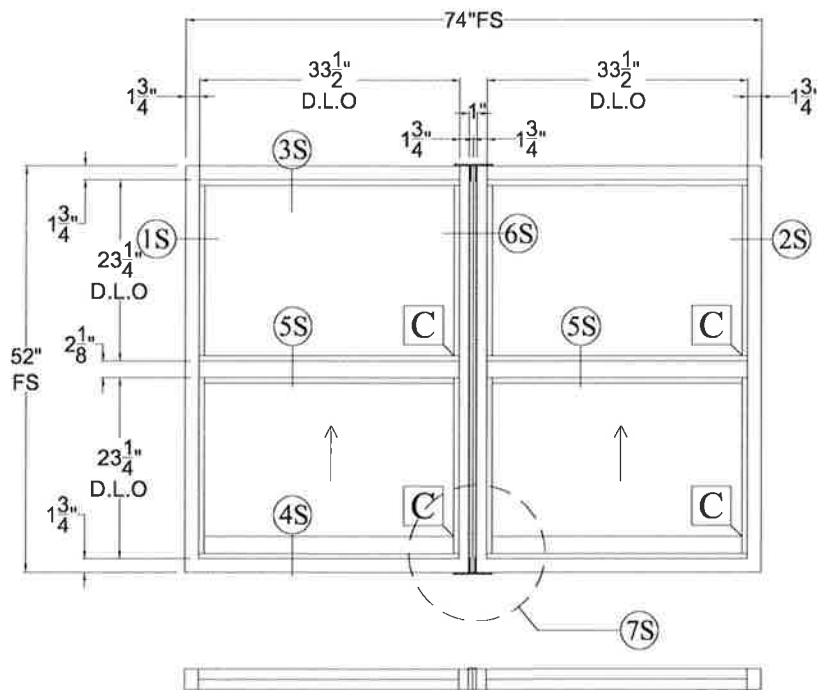
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Unit # 5



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ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-688-2844 ph 561-686-5862 fax  
PE # 25626

GLASS CO:

**No Limit Glass**  
7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
561-772-1496 ph 561-772-1494 fax

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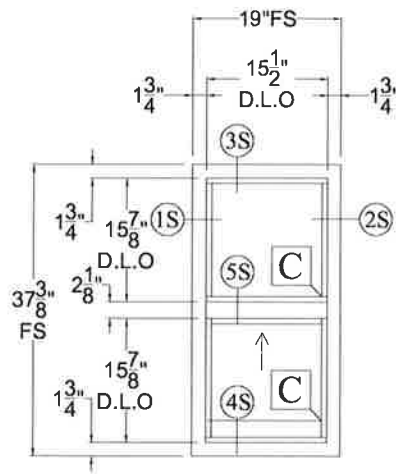
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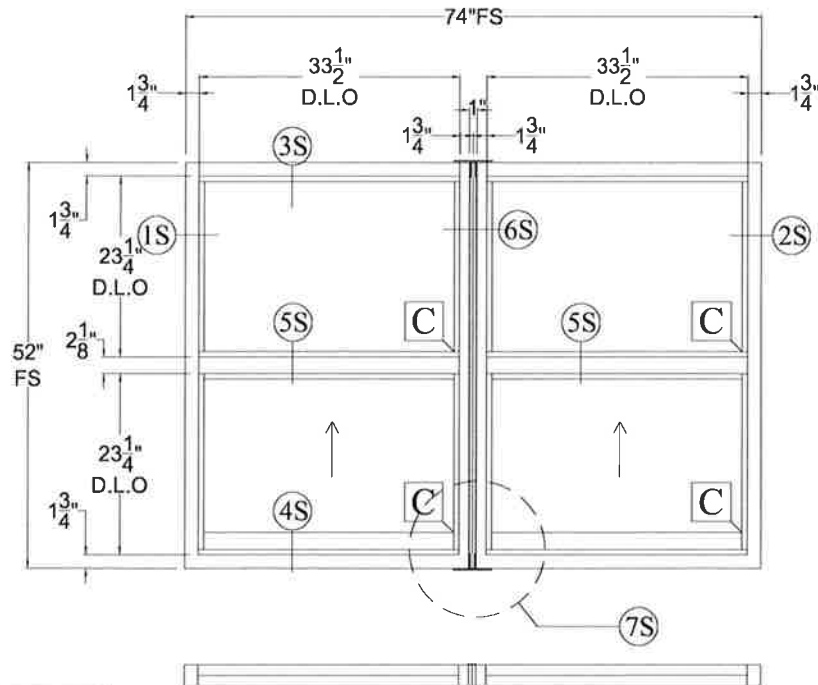
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ENGINEER

THOMAS J. TWOMEY, P.E.  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-486-2844 ph. 561-486-5862 Fax  
PE # 25626

GLASS CO.

No Limit Glass  
7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
561-712-1498 ph. 561-712-1494 Fax

PROJECT:

Brook Haven Condos  
1025 Casuarina Road  
Delray Beach, FL

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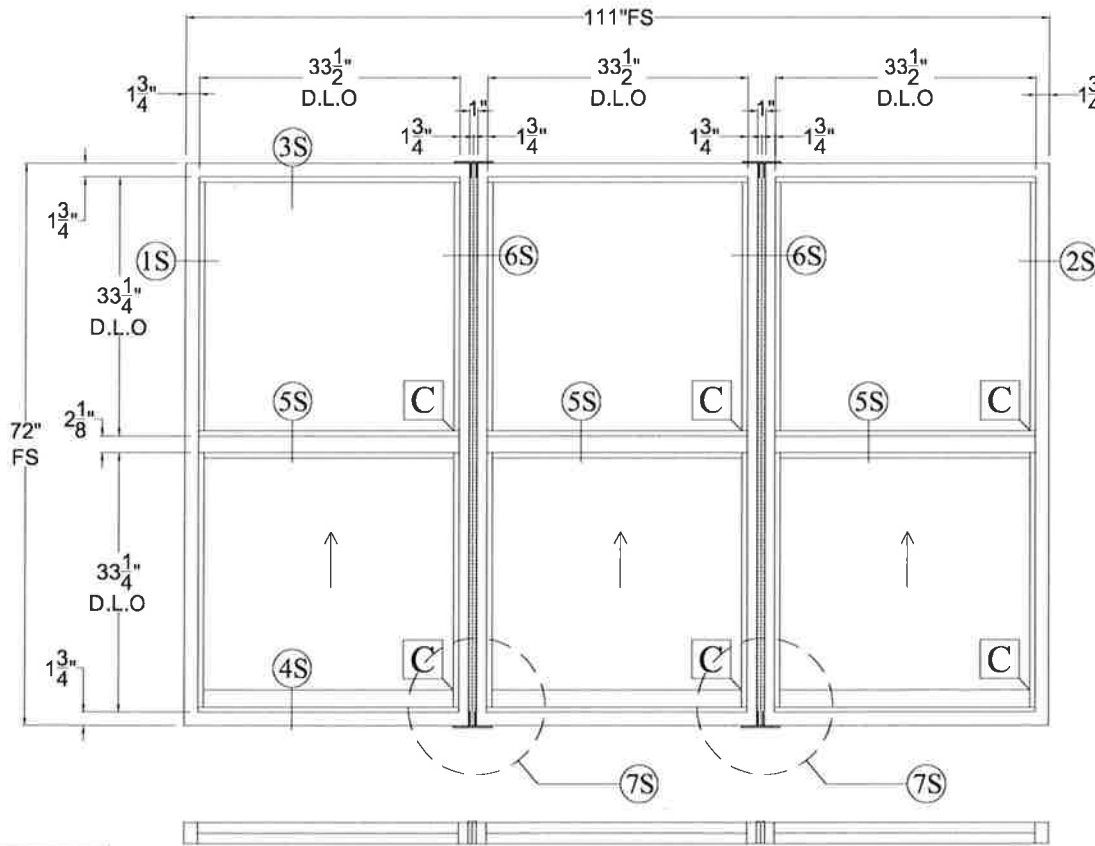
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Unit # 6



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ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-486-2844 ph. 561-486-5862 Fax  
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GLASS CO:

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West Palm Beach, FL 33405  
561-712-1498 ph. 561-712-1494 Fax

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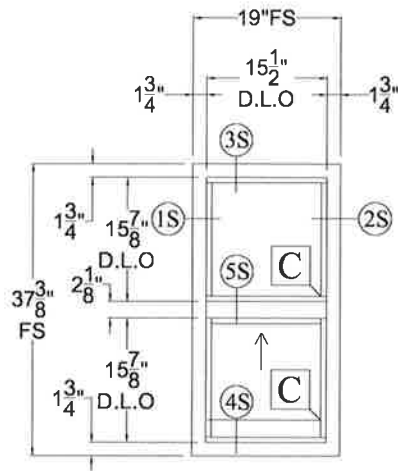
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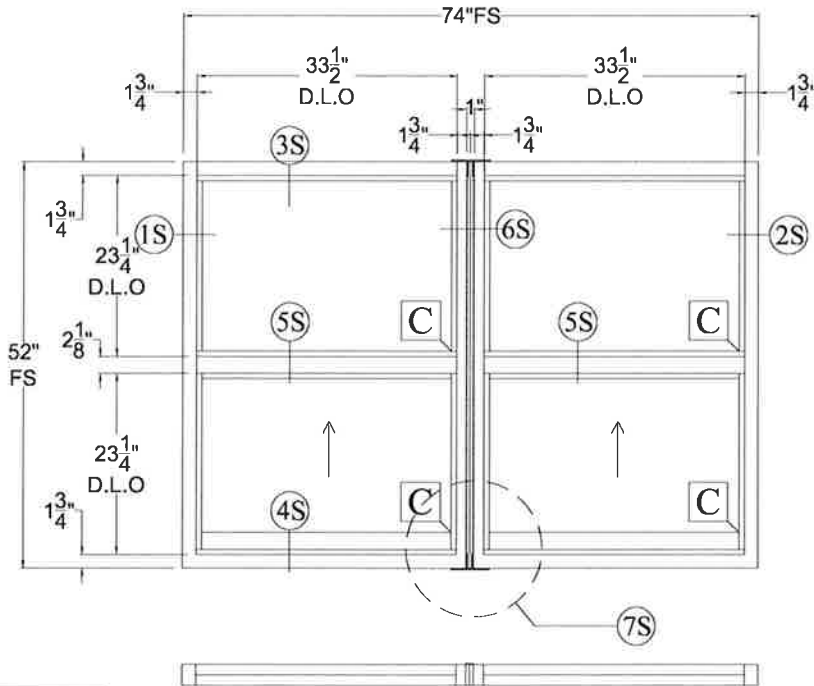
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Unit # 7



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REVISION:

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ENGINEER:

THOMAS J. TWOMEY, P.E.  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-686-2644 ph. 561-686-5862 Fax  
PE # 23626

GLASS CO:

No Limit Glass  
7230 Georgia Ave. Suite #1A  
West Palm Beach, FL 33405  
561-712-1436 ph., 561-712-1434 Fax

PROJECT:

Brook Haven Condos  
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Delray Beach, FL

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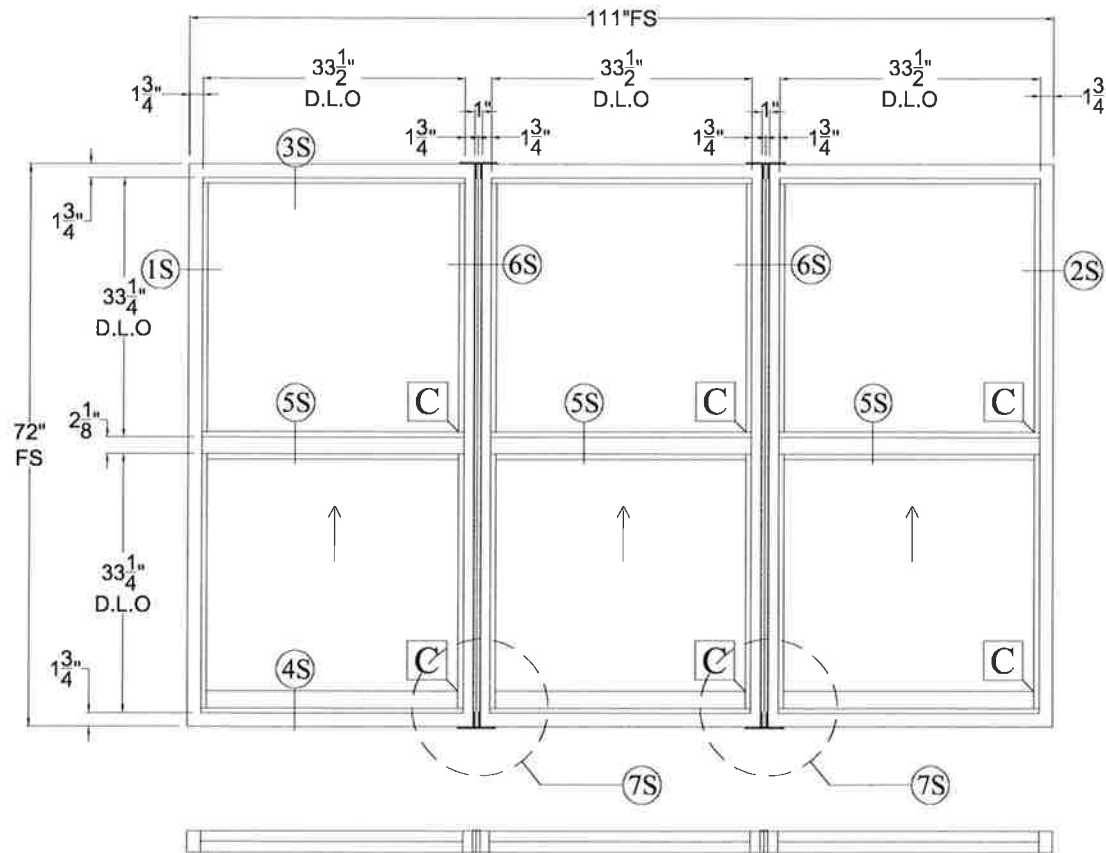
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Unit # 7



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REVISION:

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ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-688-2844 ph. 561-688-5862 Fax  
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7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
561-712-1436 ph. 561-712-1434 Fax

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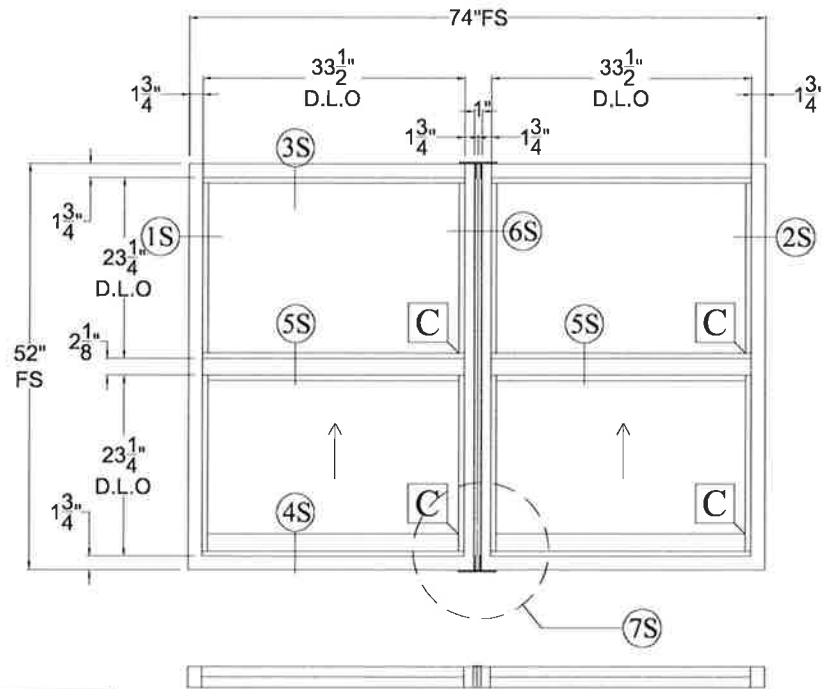
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*M.P.*  
8.22.18

Laundry



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△

ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-488-2844 ph. 561-488-5862 Fax  
P.E. # 25626

GLASS CO:

**No Limit Glass**  
7230 Georgia Ave. Suite 4A  
West Palm Beach, FL 33405  
561-712-1498 ph. 561-712-1494 Fax

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

PAGE TITLE:  
Windows&Doors Elevations

SCALE:

3/4"=1'-0"

DRAWING BY:

ES

DATE:

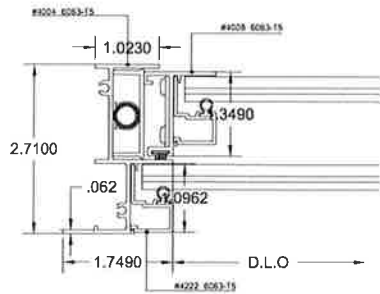
8/3/2018

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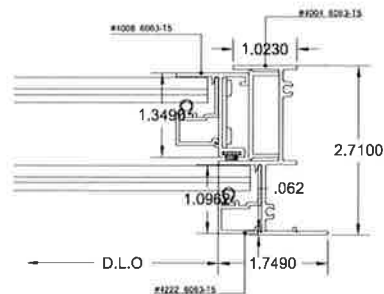
13a

*M.P.*  
8.22.18

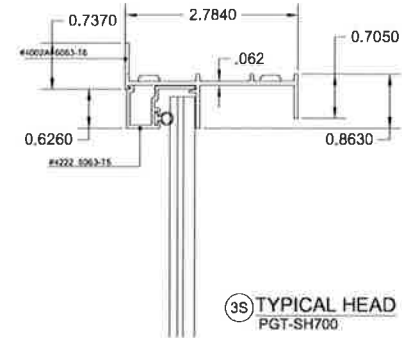




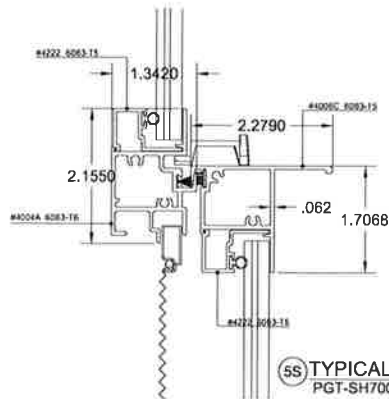
(1S) TYPICAL JAMB  
PGT-SH700



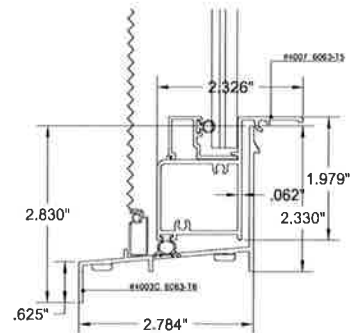
(2S) TYPICAL JAMB  
PGT-SH700



(3S) TYPICAL HEAD  
PGT-SH700



(5S) TYPICAL HORIZONTAL  
PGT-SH700



(4S) TYPICAL SILL  
PGT-SH700

REVISION:

△  
△  
△

ENGINEER:

**THOMAS J TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
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PE # 25626

GLASS CO:

**No Limit Glass**  
7230 Georgia Ave. Suite #A  
West Palm Beach, FL 33405  
561-712-1494 ph 561-712-1494 Fax

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

PAGE TITLE:  
Window & Door Details

SCALE:

6"=1'-0"

DRAWING BY:

ES

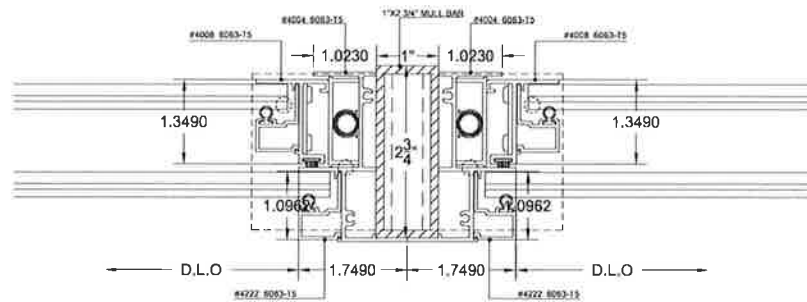
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8/3/2018

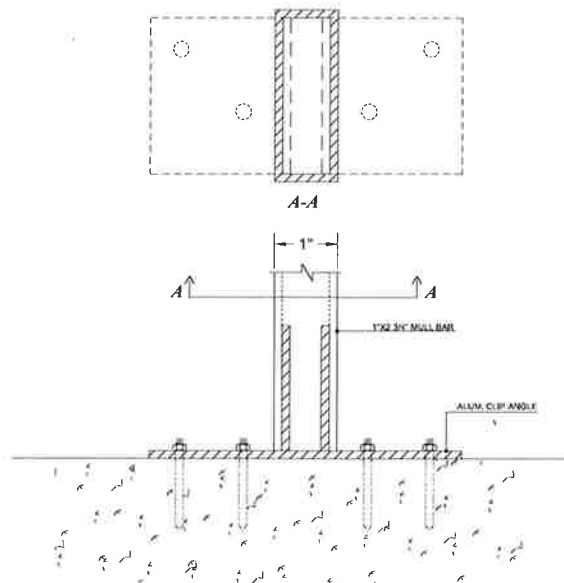
SHEET No:

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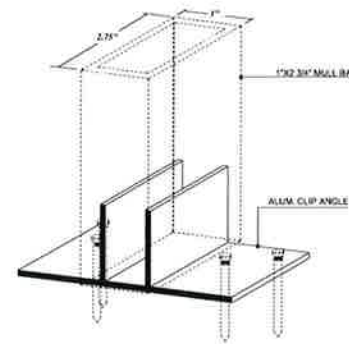
*(M.P.)*  
8.22.18



(6S) TYPICAL JAMB  
PGT-SH700



(7S) TYPICAL JAMB



ISOMETRIC VIEW  
(FOR REFERENCE ONLY)

REVISION:



ENGINEER:

**THOMAS J. TWOMEY, P.E.**  
2831 Exchange Ct.  
West Palm Beach, FL 33409  
561-686-2844 PH 561-686-5962 FAX  
P.E. # 25626

GLASS CO.

**No Limit Glass**  
7230 Georgia Ave., Suite #A  
West Palm Beach, FL 33405  
561-712-1498 PH. 561-712-1494 FAX

PROJECT:

**Brook Haven Condos**  
1025 Casuarina Road  
Delray Beach, FL

PAGE TITLE:  
Window & Door Details

SCALE:

6"=1'-0"

DRAWING BY:

ES

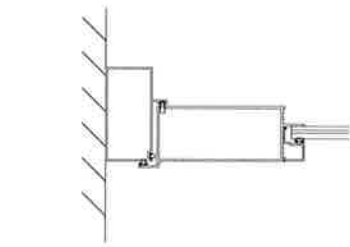
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8/3/2018

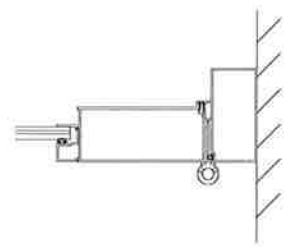
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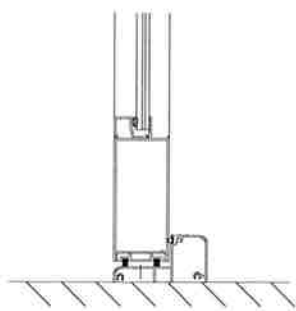
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8.22.18



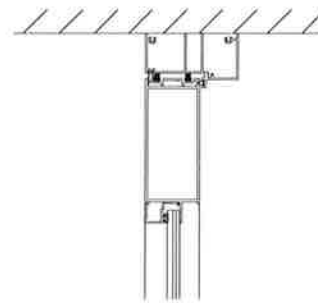
1F TYPICAL JAMB  
PGT-FD101H



2F TYPICAL JAMB  
PGT-FD101H



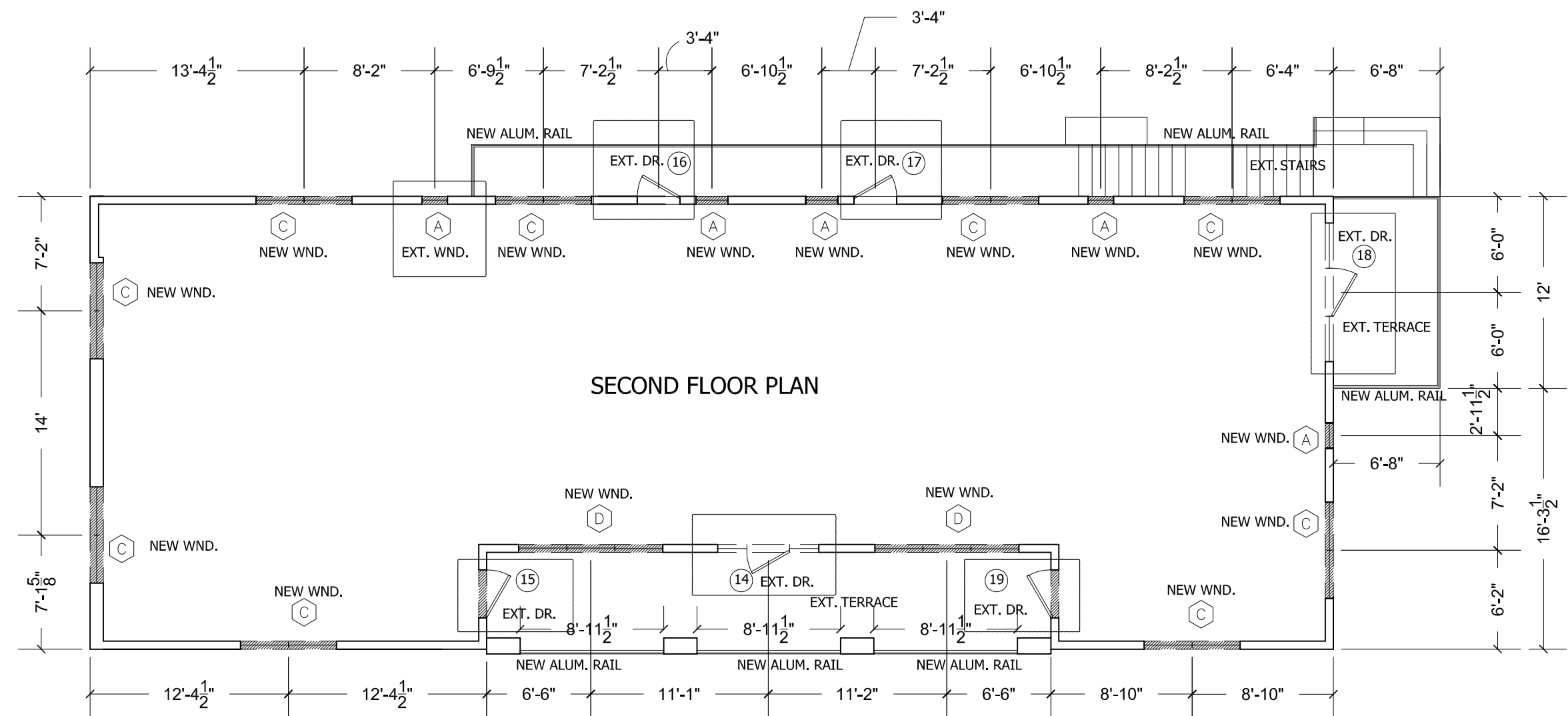
4F TYPICAL SILL  
PGT-FD101H



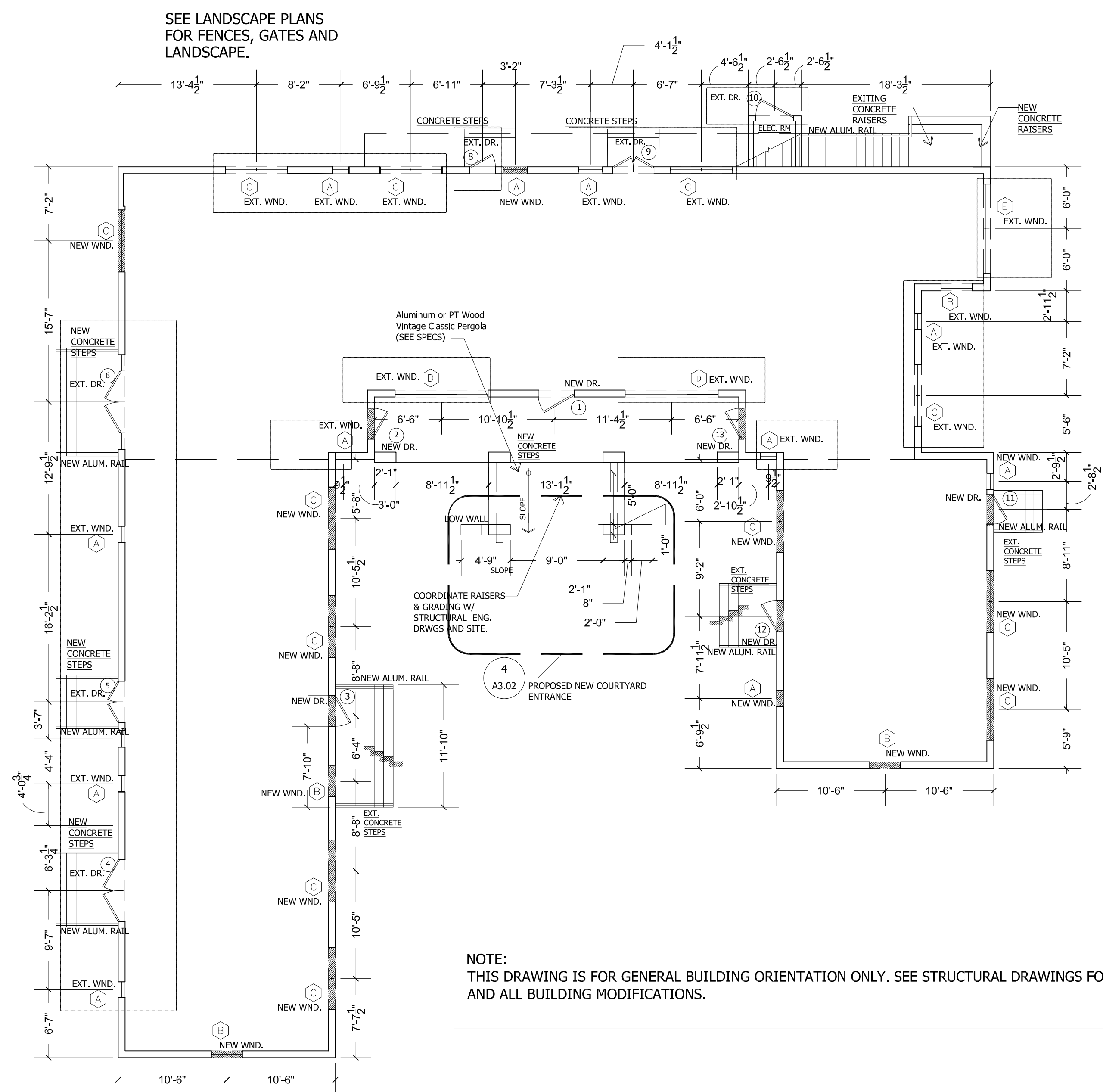
5F TYPICAL HEAD  
PGT-FD101H

REVISION:		
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ENGINEER:	<b>THOMAS J. TWOMEY, P.E.</b> 2831 Exchange Ct. West Palm Beach, FL 33409 561-688-2944 ph 561-688-5862 Fax PE # 25626	
GLASS CO:	<b>No Limit Glass</b> 7230 Georgia Ave. Suite 4A West Palm Beach, FL 33405 561-712-1488 ph 561-712-1484 Fax	
PROJECT:	<b>Brook Haven Condos</b> 1025 Casuarina Road Delray Beach, FL	PAGE TITLE: Window & Door Details
SCALE:	6"=12"	
DRAWING BY:	ES	
DATE:	8/3/2018	
SHEET No:	16	

8.22.18



2 SECOND FLOOR PLAN  
PLAN SCALE: 1/8"=1'-0"



1 FIRST FLOOR PLAN  
PLAN SCALE: 3/16"=1'-0"

### CODE REFERENCE

FLORIDA BUILDING CODE SIXTH EDITION - EXISTING BUILDING 2017

**CHAPTER5**  
CLASSIFICATION OF WORK  
**SECTION501**  
**GENERAL**  
**501.1.Scope.**  
The provisions of this chapter shall be used in conjunction with Chapters 6 through 13 and shall apply to the alteration, repair, addition and change of occupancy of existing structures, including historic and moved structures, as referenced in Section 301.1.2. The work performed on an existing building shall be classified in accordance with this chapter.

**501.1.1 Compliance with other alternatives.**  
Alterations, repairs, additions and changes of occupancy to existing structures shall comply with the provisions of Chapters 6 through 13 or with one of the alternatives provided in Section 301.1.

**501.2Work area.**  
The work area, as defined in Chapter 2, shall be identified on the construction documents

**SECTION504**  
**ALTERATION—LEVEL 2**  
**504.1.Scope.**  
Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

**504.2Application.**  
Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter

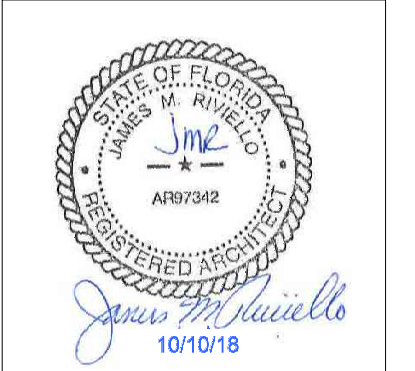
### GENERAL NOTES

- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON THE STRUCTURAL PLANS OR BY SPECS
1. ALL PLANS SUBMITTED FOR SPECIFIC PERMITS SHALL MEET THE CITY'S CODES REQUIREMENTS.
2. CONTRACTOR TO VERIFY THAT ALL REQUIRED APPROVALS PERTAINING TO THE PROJECT HAVE BEEN SATISFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. SUBCONTRACTORS TO SUBMIT SHOP DRAWINGS TO ARCHITECT'S/ENGINEER'S FOR APPROVAL.
3. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
4. THE SUBCONTRACTORS SHALL INCLUDE IN THEIR BID ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE APPLICABLE CODES.
5. PRIOR TO SUBMISSION OF ANY BIDS THE SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY THE ARCHITECT'S DIMENSIONS, DETAILS, AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES OR CONFLICT ARE PRESENT, THE SUBCONTRACTORS SHALL NOTIFY THE OWNER IMMEDIATELY. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.
6. THE SUBCONTRACTORS SHALL REFER TO THE APPROPRIATE SHOP DRAWINGS FOR INFORMATION RELATIVE TO THE BUILDING STRUCTURE, COLUMNS, FLOOR AND ROOF FRAMING.
7. THE GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH SUB CONTRACTORS, SUPPLIERS, VENDORS, AND SPECIALTY CONTRACTORS.
8. ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMEN'S COMPENSATION INSURANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO ALL SUBCONTRACTORS AND VENDORS DURING THE EXECUTION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ON SITE IN A CONVENIENT LOCATION, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT AND SUPPLEMENTAL DOCUMENTS, INCLUDING ALL THE LATEST REVISIONS, ADDENDUM, SHOP DRAWINGS AND SUPPLEMENTAL INFORMATION AS MAY BE REQUIRED FOR PROPER EXECUTION OF THE PROJECT.
10. EACH CONTRACTOR SHALL PROTECT THE WORK OF OTHER SUBCONTRACTORS. ANY CONFLICTS ARE TO BE RESOLVED BETWEEN THE SUBCONTRACTORS INVOLVED AND ANY WORK DAMAGED SHALL BE REPLACED BY THE SUBCONTRACTOR CAUSING THE DAMAGE. THE CONTRACTOR AND THE OWNER SHALL BE NOTIFIED OF SUCH CONFLICT.
11. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE THESE DRAWINGS PLANS. (NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK, OF ANY VARIATIONS IN THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS).
12. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER'S PUBLISHED INSTRUCTIONS, OR IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.
13. ALL WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANCE & SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE APPLICABLE CODES, SEE SPECS AND PRODUCT APPROVALS PRIOR TO INSTALLATION.
14. ALL WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS PRIOR TO WINDOW PLACEMENT. WINDOW SUPPLIER TO VERIFY ALL EGRESS WINDOW LOCATIONS TO SATISFY APPLICABLE CODES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

SEE LANDSCAPE PLANS  
FOR FENCES, GATES AND  
LANDSCAPE.

NOTE:  
THIS DRAWING IS FOR GENERAL BUILDING ORIENTATION ONLY. SEE STRUCTURAL DRAWINGS FOR ANY  
AND ALL BUILDING MODIFICATIONS.

ALL REPORTS, PLANS, SPECIFICATIONS AND COMPUTER FILES  
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**THE MARTIN ARCHITECTURAL GROUP, P.C.**  
**ARCHITECTS AND LAND PLANNERS**  
A PROFESSIONAL CORPORATION  
6810 LYONS TECHNOLOGY CIRCLE COCONUT CREEK, FLORIDA, 33073  
P (954) 428-1618 F (954) 428-4416

P.A.: James M. Rivello  
P.M.: A. Garcia  
DRAWN BY: AG/DM  
PROJECT NO.: 1899-02

NO.	REVISION	DATE
01	2ND OWNER'S REVISIONS	05/11/18
02	3RD OWNER'S REVISIONS	05/17/18
03	PLANNING & ZONING SUBMITTAL	10/10/18

**FLOOR PLAN**  
**BROOK HAVEN CONDOS**  
1025 CASUARINA ROAD, DELRAY BEACH, FLORIDA  
Client: **BROOK HAVEN ASSOCIATION**

SCALE: AS NOTED  
DATE: 03/22/2018

**A2.01**  
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**A3.02**  
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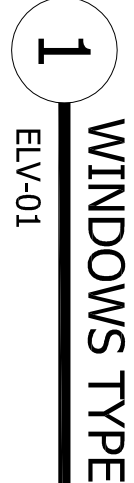


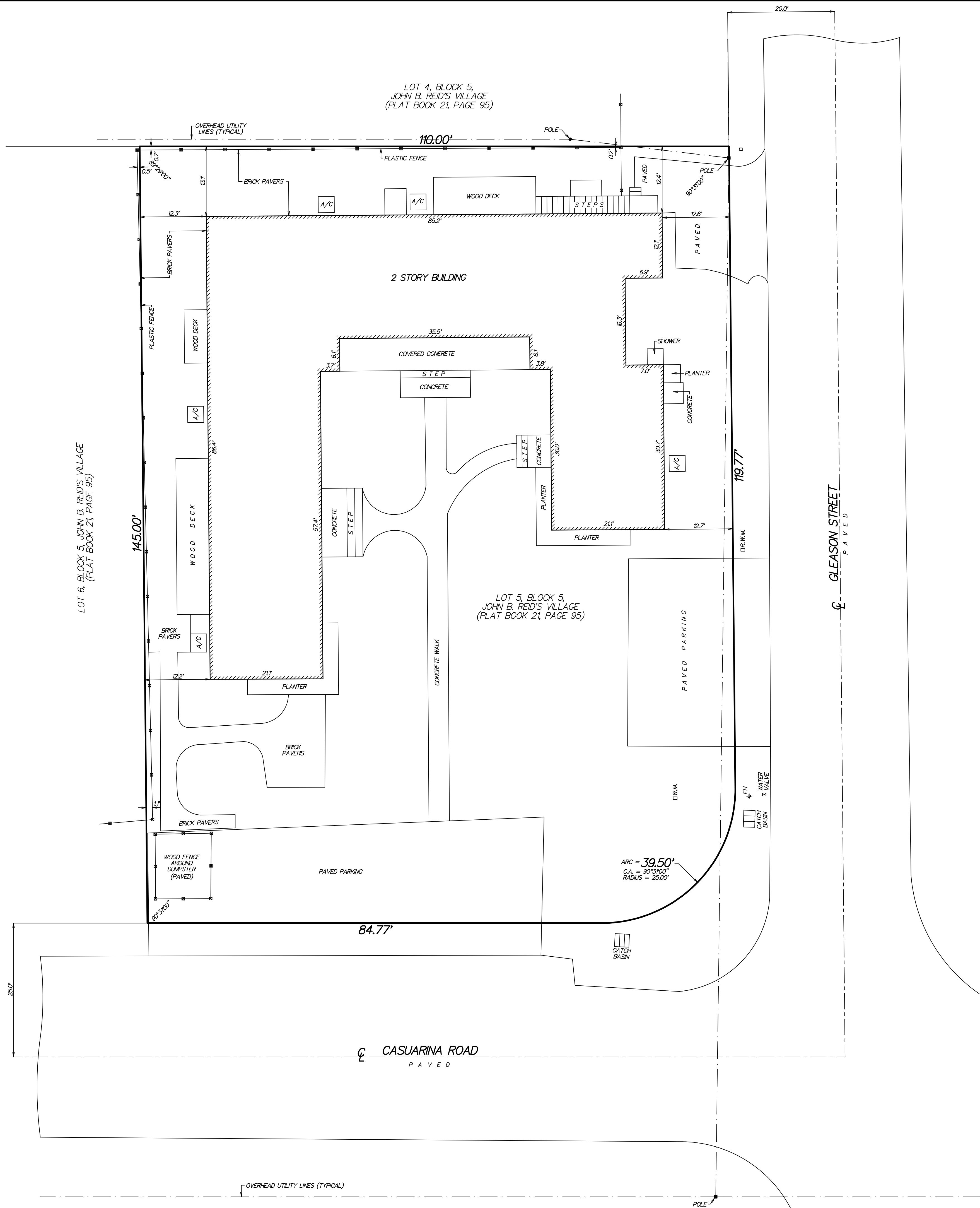
## GENERAL WINDOW NOTES

FIELD VERIFY ALL WINDOW SIZES AND OPENINGS

## GENERAL DOOR NOTES

1. CONTRACTOR MUST VERIFY ALL DOOR OPENING AND MASONRY OPENING SIZES WITH MANUFACTURER'S PRIOR TO CONSTRUCTION AND IF THERE ARE ANY CHANGES MUST NOTIFY THE ARCHITECT.
2. ALL GLAZING AT HAZARDOUS LOCATIONS SUCH AS TUB, SHOWER ENCLOSURES, ETC. SHALL BE CATEGORY SAFETY GLASS.
3. ALL HABITABLE ROOM ENTRY DOORS ARE TO BE UNDERCUT 1" PER FLORIDA MECHANICAL CODE OF 2017.
4. DOOR MANUFACTURE BASIS OF DESIGN - W/ WINDOWS AND DOORS (ALUMINUM) - SEE SPECIFICATION LAST PAGE





**SURVEYOR'S REPORT/LEGEND:**

CL = CENTERLINE  
CA = CENTRAL ANGLE  
IR = 5/8" IRON ROD WITH CAP #LB 353  
FH = FIRE HYDRANT  
WM = WATER METER  
RWM = RECLAIMED WATER METER  
UB = UTILITY BOX

FLOOD ZONE:  
COMMUNITY PANEL NO. 125102 0981  
SUFFIX F  
MAP REVISED: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1:1000 IN 1000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK. PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS.

**DESCRIPTION:**

LOT 5, BLOCK 5, JOHN B. REID'S VILLAGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 95, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**MAP OF BOUNDARY SURVEY**

SITE ADDRESS: 1025 CASUARINA ROAD  
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

*Paul D. Engle*  
PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**O'BRIEN, SUITER & O'BRIEN, INC.**

LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY  
OCTOBER 20, 2017  
FIELD BOOK  
D.316

PAGE NO.  
69

SCALE: 1" = 10'  
ORDER NO.: 17-51kb