



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: AT&T (2017-288)

Project Location: 321 SE 2nd Street

Request: Class I Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: October 24, 2018

Board Action:

Approved (5-0) the site plan modification and landscape plan.

Project Description:

The subject site is located at 321 SE 2nd Street with the Palm Beach County parcel number 12-43-46-16-01-094-0150. The subject property consists of Lots 15 to 20 inclusive (less E 5ft & S 5 ft st R/W) of the Block 95 and contains 1.077 acres. The office building, currently occupied by AT&T, was built in 1949 according to Palm Beach County Property appraiser. The proposed Class I Site Plan Modification request is associated with the replacement of the existing fence on the north and east side of the property, installation of two automatic sliding gates at the entrance and exit, installation of a new pedestrian gate, and modifications to the existing landscaping and parking layout.

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 24, 2018

File No.: 2017-288-SPI-SPR-CL1

Application Type: Class I Site Plan Modification –
AT&T Fence Replacement – 321 SE 2nd St

General Data:

Applicant: Overland Construction Co, Inc.

Owner: Bellsouth Telecommunications Inc. dba AT&T Florida

Location: 321 SE 2nd Street

PCN: 12-43-46-16-01-094-0150

Property Size: 1.077 Acres

FLUM: CC (Commercial Core)

Zoning: CBD (Central Business District)

Adjacent Zoning:

- CBD (North)
- CBD (West)
- RM (Multiple Family Residential) (South)
- CBD (East)

Existing Land Use: Office

Proposed Land Use: No change

Item before the Board:

The action before the Board is for the approval of the following aspects of a Class I Site Plan application for the AT&T Florida office building pursuant to LDR Section 2.4.5 (G)(1)(a):

- ☐ Site Plan
- ☐ Landscape Plan



Recommendation: By Separate Motions:

Site Plan:

Move approval of the Class I Site Plan Modification (2017-288) for **AT&T Florida**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5) of the Land Development Regulations.

**Note: If the site plan is denied, no further action shall be taken on the landscape plan due to potential inconsistencies.*

Landscape Plan:

Move approval of the request for Landscape Plan (2017-288) for **AT&T Florida**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 4.6.16 of the Land Development Regulations.

Project Planner:

Katarina Stepanovic, Planner (Contract):
stepanovick@mydelraybeach.com,
561-243-7348

Review Dates:

SPRAB Board: October 24, 2018

Attachments:

Site Plan
Landscape Plan



Background:

The subject site is located at 321 SE 2nd Street with the Palm Beach County parcel number 12-43-46-16-01-094-0150. The subject property consists of Lots 15 to 20 inclusive (less E 5ft & S 5 ft st R/W) of the Block 95 and contains 1.077 acres. Construction first began on the site in 1949 according to Palm Beach County Property appraiser.

At its meeting of August 27, 1973, the City Commission approved a site plan modification for a third floor on the AT&T building (fka Bellsouth Telecommunication). This approval included an offsite parking lot of 66 required spaces built on 190 SE 5th Ave (northeast corner of SE 4th Avenue and SE 2nd Street) to address required parking for the building expansion. The site located on 190 SE 5th Ave was developed as Uptown Delray in 2013 and was still required to provide required 66 parking spaces for the AT&T building.

On January 13, 2014 site plan for the required parking was administratively approved. The site plan reflected new changes with the property at 190 SE 5th Ave being developed and provided current outline of the existing parking on the north side of the property and remaining 66 parking spaces located on the 190 SE 5th Ave – Uptown Delray.

Project Description:

The proposed Class I Site Plan Modification request is for the replacement of the existing fence on the north and east side of the property with 6' high aluminum fence, installation of two automatic sliding gates measured 6' by 20' at the entrance and exit, installation of a new pedestrian gate, and minor landscaping modifications in order to bring the parking lot into the compliance with the existing LDR.

Site Plan Analysis:

Compliance with The Land Development Regulations (LDR):

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Parking Lot Improvements:

The proposed parking lot improvements shall be in compliance with **LDR Section 4.6.9** for parking space dimensions (Compact: 8'x16'; Handicapped 12'x18'; Standard: 9'x 18'), driveway dimensions (standard aisle width is 12' for a one-way driveway or parking lot aisle) and shall be double stripped per **LDR Section 4.6.9(D)(6)(e)**.

- ✓ Site plans shows that a one-way driveway is proposed. Per LDR Section 4.6.9(D)(3)(b) a minimum width is 12' for a one-way driveway and 24' is provided. Parking space dimensions are correct dimensions thus meeting the code requirement.

Pursuant to **LDR Section 4.6.9(D)(6)(c)** parking facilities containing 21 or more parking spaces, all isles, approach lanes, and maneuvering areas shall be clearly marked with directional arrows and lines as approved by the City Engineer.

- ✓ Site plan shows clearly marked directional arrows thus meeting the code requirement.

Pursuant to **LDR Section 4.6.9(D)(4)(b)** wheel stops shall be provided for all parking, other than parallel, in the form of concrete or asphalt wheel stops or a continuous concrete curb which is located so that there is two feet of clear distance from the front edge of the device to the front of the parking space.

- ✓ Site plan shows that each parking space has a precast concrete wheel stop thus meeting the code requirement.

Handicap Accessible Parking:

Pursuant to **LDR Section 4.6.9(C)(1)(b)**, special parking spaces designed for use by the handicapped shall be provided pursuant to the provisions of Florida Accessibility Code for Building Construction.

- ✓ The Florida Accessibility Code for Building Construction and Federal ADA requires 1 ADA compliant space for every 25 spaces up to the first 100 spaces. As the project consists of 29 parking spaces, 2 ADA compliant spaces are required. The site plan shows 2 ADA parking spaces, thus meeting the code requirement.

Pursuant to **LDR Section 4.6.9(D)(8)(d)**, handicapped parking spaces shall be paved and properly marked. A paved route shall be provided between the handicapped parking space and the building entrance. Where an abrupt grade change occurs, as



between the surface of the parking area and a curb cut, a ramp shall be provided for handicap access. The ramp or curb cut with ramp shall be designed in accordance with the Florida Accessibility Code for Building Construction.

- ✓ The site plan shows that it complies with this requirement.

Compact Parking Spaces:

Pursuant to **LDR Section 4.6.9(D)(7)(a)** all compact spaces shall have "compact car only" painted on the required wheel stops. Pursuant to **LDR Section 4.6.9(C)(1)(g)** up to 30 percent of the required parking for any use may be designated for compact cars.

- ✓ The number of parking spaces at this site is 29 parking spaces out of which 5 spaces are designated as compact parking spaces making compact parking spaces 17% of provided parking. Site plan shows that compact parking spaces are marked thus meeting the code requirement.

Dead-end-Parking Bay:

Pursuant to **LDR Section 4.6.9(D)(4)(c)** dead-end parking bays are discouraged, but when site conditions dictate that there be dead-end parking bays, they shall be designed so that there is a 24 ft. wide by 6 ft. deep maneuvering area at the end of the bay. The maneuvering area shall not encroach upon the required landscape areas.

- ✓ The site plans does not show a dead-end-parking bay.

Stacking Distance:

Pursuant to **LDR Section 4.6.9(D)(3)(c)(1)**, The minimum distance between a right-of-way and the first parking space or aisleway in a parking lot shall be 20 feet for the parking lots having between 21 and 50 parking spaces (*For parking lots designed and operated with two or more access points, this standard may be reduced to a minimum stacking distance of 20 feet, subject to a staff performance analysis.).

- ✓ The proposed redesign of the parking lot introduces a one way driveways thus having one ingress entrance separate from one egress exit point. The site plan shows 20 feet of a stacking distance between the right-of-way and the first parking space thus meeting the code requirement.

Refuse Facilities:

Pursuant to **LDR Section 4.6.6(C)(1)** and **Section 4.6.16 (H)(7)(C)** dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way.

- ✓ The existing refuse area, located on the northwest side of the property, is enclosed on three sides by an existing masonry wall and has a wood gate on the fourth side, thus meeting the code requirement.

Visibility at Intersections:

Pursuant to **LDR Section 4.6.14(B)(1)** when a driveway intersects a street or alley, 10' sight visibility triangles areas shall be provided as measured from the area on both sides of a driveway formed by the intersection of a driveway and the parcel boundary with a length of 10' along the driveway and a length of 10' along the property line and the third side being a line connecting the ends of the other two lines.

- ✓ Site plan shows that 10' sight visibility triangles are provided on both side of the exiting driveway, thus meeting the code requirement.

Landscape Plan Analysis:

Pursuant to **LDR Section 4.6.16(H)(7)(a)** provide for perimeter landscaping adjacent to public rights-of-way to screen vehicular parking, open-lot sales, service and storage areas to the extent physically possible and deemed feasible.

- ✓ The applicant has an existing 6'-8' ficus hedge around the perimeter of the property, thus meeting the code requirement.

Pursuant to **LDR Section 4.6.16 (E)(6)** palms must have an overall height of a minimum of 16' and a minimum of 8' of clear trunk at the time of planting.

- ✓ Landscape plans shows that the applicant is proposing to add nine (9) Sabal Palm/Sabal Palmetto at a 16' overall height at time of planting; thus, meeting this requirement.



Pursuant to **LDR Section 4.6.16.(H)(3)(i)** landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of nine feet, exclusive of the required curb, shall be placed at intervals of no less than one landscaped island for every 13 standard parking spaces. One shade tree shall be planted in every island with a minimum of 75 square feet of shrubs and groundcovers. Properties within the Central Business District (CBD) shall adhere to the same landscape island width stated above, unless documentation of site constraints provide that such island width is not feasible. In such cases, the City will accept landscape islands with a minimum width of seven feet, exclusive of curb, with 105 square feet of planting area. Under no circumstances shall any landscape island have a width smaller than seven feet, exclusive of curb.

Pursuant to **LDR Section 4.6.16.(H)(3)(j)** each row of parking spaces shall be terminated by landscape islands with dimensions as indicated above. An exception to this requirement is when a landscaped area, with the dimensions above, exists at the end of the parking row.

- ✓ Existing parking lot was deficient in terms of the codes sections stated above. The new proposed parking lot improvements include construction of a new landscape island on the west side of the parking lot with the width of 7' containing two (2) Live Oak Highrise trees at a 16' overall height, thus meeting the code requirements.

The Landscape Plan provides the following plantings:

- The addition of two (2) Sabal Palms-16' o.a. height to the one existing interior landscape island, which contained one (1) existing Sabal Palm, in the restriped parking area.
- The addition of three (3) Live Oak trees-16' o.a. height, 8' c.t., 7' spr. and forty-five (45) Cocoplum hedge-3 gallon can, 24" o.c. within a proposed landscape strip, in the center of the restriped parking area.
- The addition of one (1) Tabebuia tree-16' o.a. height, 8' c.t., 7' spr. and three (3) Sabal Palms-16' o.a. to a landscape island on the east side of the restriped parking area.
- The addition of three (3) Sabal Palms-16' o.a. height and five (5) Cocoplum hedge-3 gallon can, 24" o.c. within the existing landscape strip, one the northwest corner of the restriped parking area.
- The addition of five (5) Cocoplum hedge-3 gallon can, 24" o.c., within an existing landscape bed, on the south east corner of the restriped parking area.

Required Findings:

Pursuant to **LDR Section 2.4.5(G)(5)** Findings: Formal findings are not required for a Class I or II modification.

Pursuant to **LDR Section 2.4.5(H)(5)** Findings: An overall determination of consistency with respect to the items in **LDR Section 4.6.16.** is required in order for a landscaping plan to be approved. In Landscape Plan Analysis section of this report, LDR Section 4.6.16. is examined and it is found that the landscaping plans is consistent with the LDR.

Pursuant to **LDR Section 4.6.18.(E)** Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed improvements on the parking lot will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Since parking lot is brought up to the code, the proposed changes are contributing to the City's image as a place of beauty and it is in harmony with the general area. Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

Review by Others:

Technical Advisory Committee (TAC)

The Site Plan application has been reviewed by the following City Departments for compliance with the LDR:

- ✓ Engineering



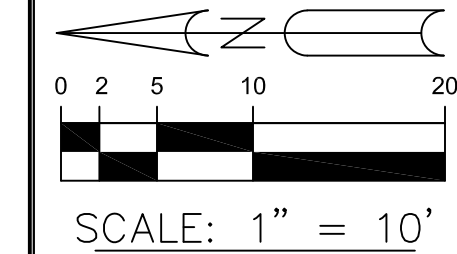
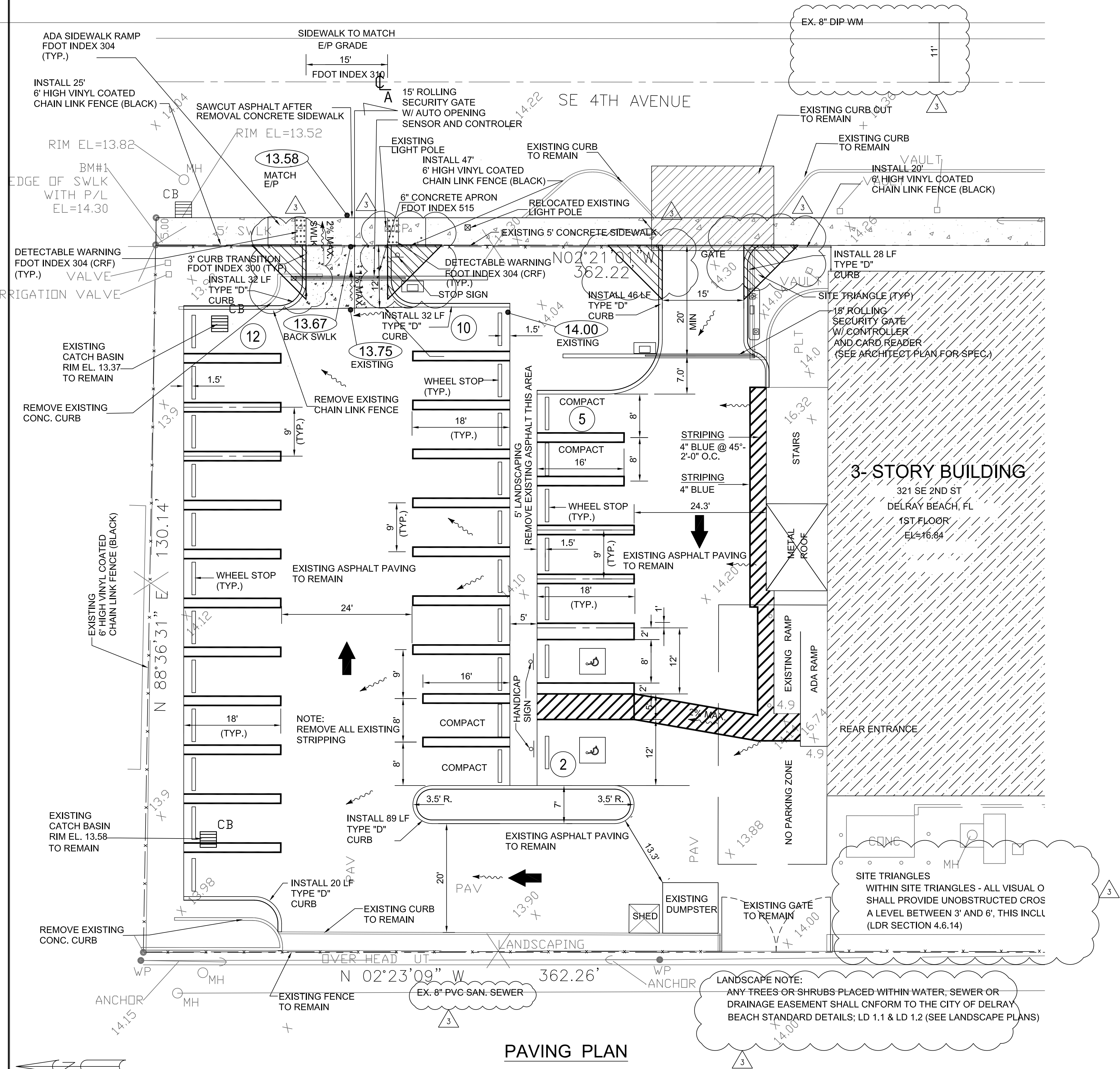
- ✓ Landscaping
- ✓ Planning

Assessment and Conclusion

The proposed replacement of the existing fence on the north and east side of the property with 6' high aluminum fence, installation of two automatic sliding gates measured 6' by 20' at the entrance and exit, installation of a new pedestrian gate, and minor landscaping modifications in order to bring the parking lot into the compliance with the existing LDR will not adversely affect the surrounding area and will not materially depreciate the neighboring areas. Since parking lot is brought up to the code, the proposed changes are contributing to the City's image as a place of beauty and it is in harmony with the general area. Parking lot improvements are going to make parking lot safer and with more landscaping than it had before. The proposal complies with the policies of the Comprehensive Plan and the Land Development Regulations.

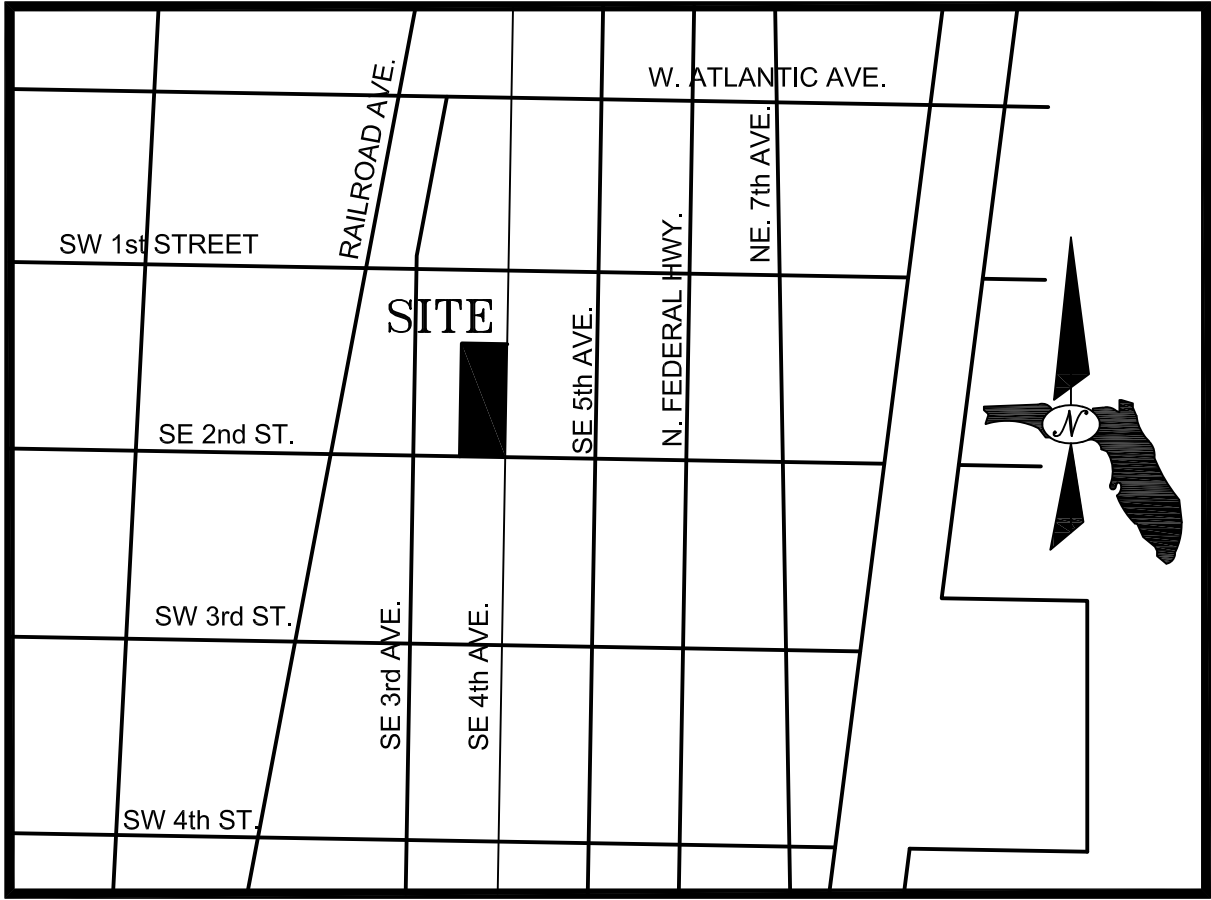
Alternative Actions:

- A. Continue with direction.
- B. Move approval of the request for a Class I Site Plan Modification (2017-288) for the **AT&T Florida**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(5), Section 2.4.5(H)(5), and Section 4.6.16.
- C. Move denial of the request for a Class I Site Plan Modification (2017-288) for **AT&T Florida**, by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(G)(5), Section 2.4.5(H)(5), and Section 4.6.16.



PAVING PLAN

- GENERAL NOTES:
1. FOR FENCE DETAILS SEE ARCHITECTS PLANS
 2. FOR GATE DETAILS SEE ARCHITECTS PLANS

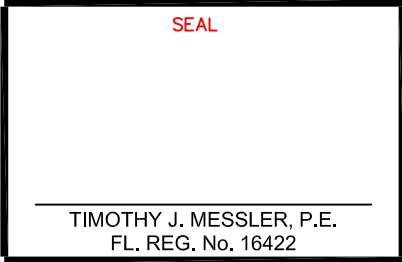


VICINITY MAP
N.T.S.

- CONTRACTOR NOTE:
1. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OR IMPROVEMENTS OF OTHERS WITH REGARD TO NEW CONSTRUCTION, OR FOR THE NEED OF REMOVAL, RELOCATION OR ALTERATION OF EXISTING FACILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO PALM BEACH COUNTY, FLORIDA POWER & LIGHT, BELLSOUTH TELEPHONE AND THEIR CONTRACTORS, SUB-CONTRACTORS OR AGENTS.
 2. INFORMATION SHOWN ON THE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED, HOWEVER, AND IT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF ANY EXISTING UTILITIES.
 3. ALL PAVEMENT MARKINGS, REFLECTIVE MARKERS AND SIGNS SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS" LATEST EDITION, FLORIDA D.O.T. STANDARDS CURRENTLY ADOPTED AND IN USE, AND PALM BEACH COUNTY ENGINEERING DEPARTMENT TYPICAL NO. T-P-13 ALL STRIPING AND MARKINGS SHALL BE PAINT.

PARKING SPACES

PARKING SPACE TAG	DETAIL	QUANTITY	NOTES
SS STANDARD SPACE	C/A40101	22	-
HC HANDICAPPED SPACE	C/A40101	2	GC PROVIDE SIGNAGE, SEE DETAIL D/A50001
CS COMPACT SPACE	C/A40101	5	GC PROVIDE "COMPACT CAR PARKING" STENCIL ON WHEEL STOPS
TOTAL:		29	



CONSULTANT STAMP

ARD

HOWELL RUSK DOBSON
ARCHITECTS

3355 LENOX ROAD, SUITE 1190, ATLANTA, GEORGIA 30326 404.266.9631

REVISIONS / AUTHORIZATIONS			
NL	REVISIONS / AUTHORIZATIONS	DATE	BY
2	REVISION 2 - RESPONSE TO CITY COMMENTS	07/18/18	TM
3	REVISION 3 - RESPONSE TO CITY COMMENTS	09/05/18	TM

PROPRIETARY AT&T INFORMATION
NOT FOR GENERAL USE OR DISCLOSURE OUTSIDE OF AT&T
THIS INFORMATION MAY ONLY BE USED BY AUTHORIZED PERSONNEL OF THE LOCAL GOVERNMENT AGENCY IN CONNECTION WITH APPLICATION FOR PERMITS AND AUTHORIZATIONS FOR BUILDINGS, CONSTRUCTION, AND/ OR ZONING CHANGES.

DRAWINGS PREPARED FOR

AT&T CORPORATE REAL ESTATE

PROJECT TITLE **PROJECT DRAWING**

01

321 SE 2ND ST
DELRAY BEACH
FL US

DLBHFLMA 143230.01.01 E8105

SHEET TITLE: **SITE PLAN CIVIL**

AT&T PROJECT NUMBER: S26505	DATE: 07/18/18	SCALE: AS NOTED
AT&T AUTHORIZATION HERNANDO FERNANDEZ	DRAWN BY: TM	CHECKED BY: TM
SHEET: S26505C10101		SHEET NO. C10101



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