



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 701 SW 2<sup>nd</sup> Court (2018-037)

**Project Location:** 701 SW 2<sup>nd</sup> Court

**Request:** Class II Site Plan Modification

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** October 24, 2018

**Board Action:**

Approved (5-0) the site plan modification and landscape plan.

**Project Description:**

The subject site is located at 701 SW 2<sup>nd</sup> Court with the Palm Beach County parcel number of 12-43-46-17-31-000-0090. The subject property consists of Lots 9 and 10 of Carver Square and contains 0.24 acres. Each lot consists of a duplex structure built on 1954. The site plan modification is associated with the construction of four covered porches and a pergola, installation of privacy walls, enhancement of existing open space with new vegetation, and elevation improvements.

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:**

No associated actions.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 24, 2018

File No.: 2018-037-SPI-SPR-CL2

Application Type: Class II Site Plan Modification –  
701 SW 2<sup>nd</sup> Court

#### General Data:

**Applicant:** Delray Beach Housing Authority

**Agent:** Colomé and Associates, Inc.

**Owner:** Delray Beach Housing Authority

**Location:** 701 SW 2<sup>nd</sup> Court

**PCN:** 12-43-46-17-31-000-0090

**Property Size:** 0.24 Acres

**FLUM:** LD (Low Density Residential)

**Zoning:** R-1-A (Single Family Residential)

#### Adjacent Zoning:

- R-1-A (North)
- R-1-A (West)
- R-1-A (South)
- R-1-A (East)

**Existing Land Use:** Multifamily

**Proposed Land Use:** Multifamily

#### Item before the Board:

The action before the Board is for the approval of the following aspects of a Class II Site Plan application for the Delray Beach Housing Authority pursuant to LDR Section 2.4.5 (G)(1)(a):

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations



#### Recommendation:

Move approval of the Class II Site Plan Modification and Architectural Elevation Changes (2018-037) for **Delray Beach Housing Authority**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5), Section 2.4.5(H)(5), Section 4.6.16, and Section 4.6.18 of the Land Development Regulations.

*\*Note: If the site plan is denied, no further action shall be taken on the landscape plan due to potential inconsistencies.*

#### Landscape Plan:

Move approval of the request for Landscape Plan (2018-037) for **Delray Beach Housing Authority**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in Sections 4.6.16 of the Land Development Regulations.

#### Project Planner:

Katarina Stepanovic, Planner (Contract);  
[stepanovick@mydelraybeach.com](mailto:stepanovick@mydelraybeach.com),  
561-243-7348

#### Review Dates:

SPRAB Board: October 24, 2018

#### Attachments:

Site Plan  
Landscape Plan  
Renderings  
Color Samples



**Background:**

The subject site is located at 701 SW 2<sup>nd</sup> Court with the Palm Beach County parcel number 12-43-46-17-31-000-0090. The subject property consists of Lots 9 and 10 of Carver Square and contains 0.24 acres. Construction first began on the site in 1954 according to Palm Beach County Property appraiser.

Windows and roof replacements happened in 1993 and 2005.

The Perpetual Sidewalk Easement Agreement was requested by Ralph Lugo for the sidewalk along the SE 2<sup>nd</sup> Ct. The agreement is received and it is scheduled to appear in front of the City Commission at their regular meeting on October 16, 2018.

The recorded Unity of Title was also requested since the proposed work is happening across the lot lines. It was not possible to find recorded Unity of Title, so it is required to record one now. The Unity of Title is currently at the Clerk's Office being recorded.

**Project Description:**

The proposed Class II Site Plan Modification request is for:

- the construction of 4 new covered porches that are 5' long in front of the existing doors,
- replacement of 4 doors with new fiberglass doors with impact windows,
- installation of a new 4' tall wall on the north and the south side in between the buildings in order to enclose and create a courtyard between the duplexes (height is noted on the west elevation of the buildings),
- new concrete pavers inside the proposed courtyard which will increase the impervious area by 831 sq.ft.,
- placement of pre-engineered pergola in the middle of the proposed courtyard,
- replacement of the roof,
- change of color for the building's façade to SW 6750 Waterfall and the roof to Timberline Barkwood Shingles,
- planting of 7 new trees and various shrubs.

**Site Plan Analysis:**

**Compliance with The Land Development Regulations (LDR):**

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Pursuant to **LDR Section 4.3.4(E)(3)** for corner lots, the side having the least street frontage shall be the front for setback purposes.

- ✓ The subject property is located in the R-1-A zoning district. Therefore, a minimum front setback of 25' along SW 7th Avenue, and a minimum side street setback of 15' along SW 2nd Court shall be provided. According to the survey provided, the existing front setback along SW 7th Avenue is 18.7' and the existing side street setback provided along SW 2nd Court is 24.9'. The front setback nonconformity shall not be altered or enlarged in any way which increases its nonconformity, per **LDR Section 1.3.4**. The proposal does not include any changes to the existing setbacks and it is not increasing an existing nonconformity, thus meeting the code requirements.

Pursuant to **LDR Section 4.3.4** and Development Standard Matrix Table 4.3.4.(K) for R-1-A zoning district the minimum of 25% non-vehicular open space shall be provided.

- ✓ Per provided Site Plan, the site area is 10,498 sq.ft.; the proposed pervious area is 4,825 sq.ft. which makes it 45.9% of total lot area, thus meeting the code requirement.

**Architectural Elevation Analysis:**

Pursuant to **LDR Section 4.6.18(E)** Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the



image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.

2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
  3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.
- ✓ The proposed architectural elevation changes include the construction of 4 new covered porches that are 5' long in front of the existing doors, replacement of 4 doors with new fiberglass doors with impact windows, installation of a new 4' tall wall on the north and the south side in between the buildings in order to enclose and create a courtyard between the duplexes, placement of pre-engineered pergola in the middle of the proposed courtyard, and change of color for the building's façade to SW 6750 Waterfall and the roof to Timberline Barkwood Shingles.
  - ✓ No changes in the number of units or building height are proposed with this request. The proposed architectural elevation changes will not adversely affect the surrounding area, will not materially depreciate the neighboring areas, and the proposed changes are consistent with the selected architectural style Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).

### Landscape Plan Analysis:

Pursuant to **LDR Section 4.6.16.(G)(1)** all prohibited plant species shall be eradicated from the development site and reestablishment of prohibited species shall not be permitted.

- ✓ *Schinus terebinthifolius* (commonly known as Brazilian Pepper) is on the list of the invasive species and it is proposed to be removed from the site, thus meeting the code requirement.

Pursuant to **LDR Section 4.6.16.(H)(2)(a)** one tree shall be planted for every 2,000 square feet of lot area or fraction thereof. Existing trees preserved on the site may be credited toward this tree requirement.

- ✓ Based on the lot area the required number of trees to be provided is 6. The Landscape Plan is providing the following 7 trees: 1 Dahoon Holly, 1 Mango, 1 Simpson's Stopper, 1 Pygmy Date Palm, 1 Glaucous Cassia, and 2 Southern Live Oaks; thus meeting and exceeding the code requirement.

Pursuant to **LDR Section 4.3.4.** and Development Standard Matrix Table 4.3.4.(K) for R-1-A zoning district the minimum of 25% non-vehicular open space shall be provided.

- ✓ Per provided Site Plan, the site area is 10,498 sq.ft.; the proposed pervious area is 4,825 sq.ft. which makes it 45.9% of total lot area, thus meeting the code requirement.

### Required Findings:

Pursuant to **LDR Section 2.4.5(G)(5)** Findings: Formal findings are not required for a Class I or II modification.

Pursuant to **LDR Section 2.4.5(H)(5)** Findings: An overall determination of consistency with respect to the items in LDR Section 4.6.16. is required in order for a landscaping plan to be approved. In Landscape Plan Analysis section of this report, LDR Section 4.6.16. is examined and it is found that the landscaping plans is consistent with the LDR.

Pursuant to **LDR Section 4.6.18.(E)** Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

4. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
  5. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
  6. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.
- ✓ The proposed architectural elevation changes will not adversely affect the surrounding area, will not materially depreciate the neighboring areas, and the proposed changes are consistent with the selected architectural style Based on the above, positive findings can be made with respect to LDR Section 4.6.18(E).



**Review by Others:**

**Technical Advisory Committee (TAC)**

The Site Plan application has been reviewed by the following City Departments for compliance with the LDR:

- ✓ Landscaping
- ✓ Planning

**Assessment and Conclusion:**

The proposed architectural elevation changes include the construction of 4 new covered porches that are 5' long in front of the existing doors, replacement of 4 doors with new fiberglass doors with impact windows, installation of a new 4' tall wall on the north and the south side in between the buildings in order to enclose and create a courtyard between the duplexes, placement of pre-engineered pergola in the middle of the proposed courtyard, and change of color for the building's façade to SW 6750 Waterfall and the roof to Gaf Timberline – Barkwood. The proposed site plan changes include construction of new concrete pavers inside the proposed courtyard which will increase the impervious area by 831 sq.ft. The proposed landscape plan changes include removal of one invasive tree, planting of new 7 trees, and planning of various shrubs. All these changes are going to make the site more code compliant and more aesthetically pleasing for the surrounding neighborhood.

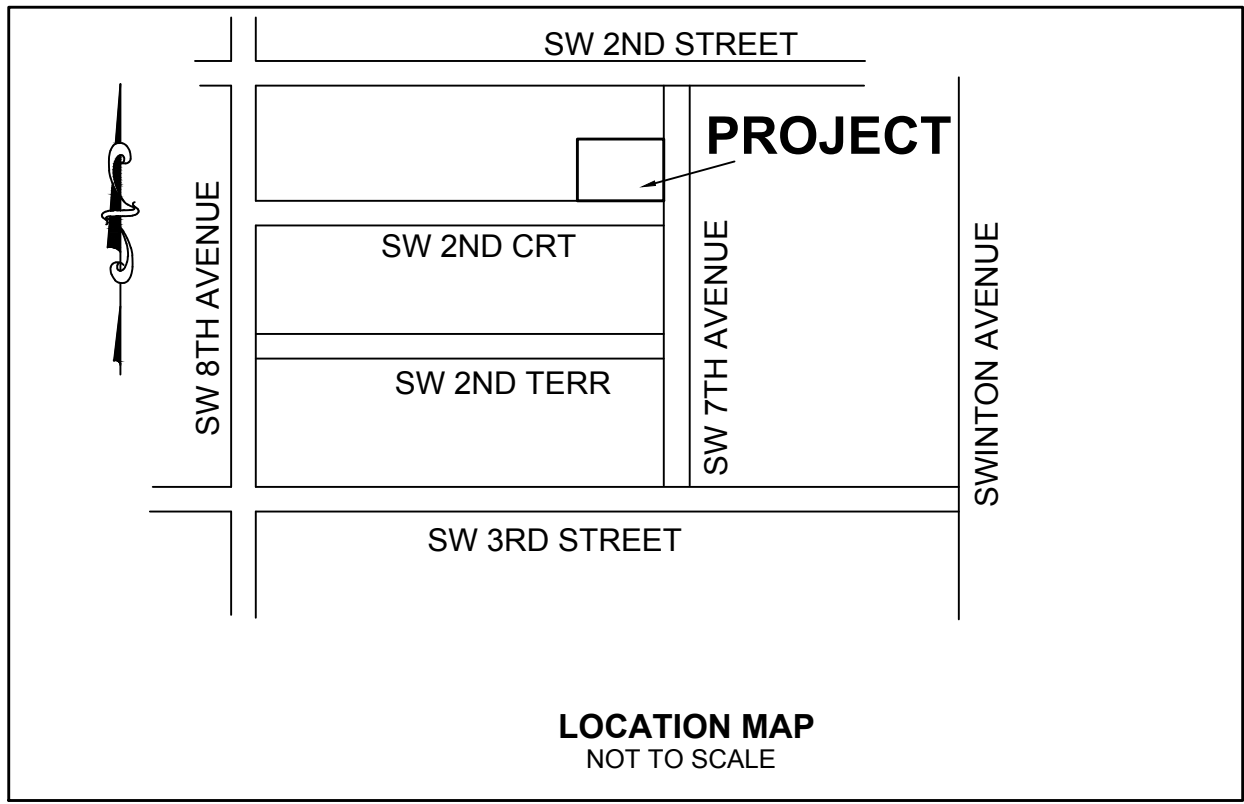
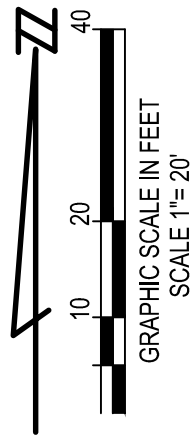
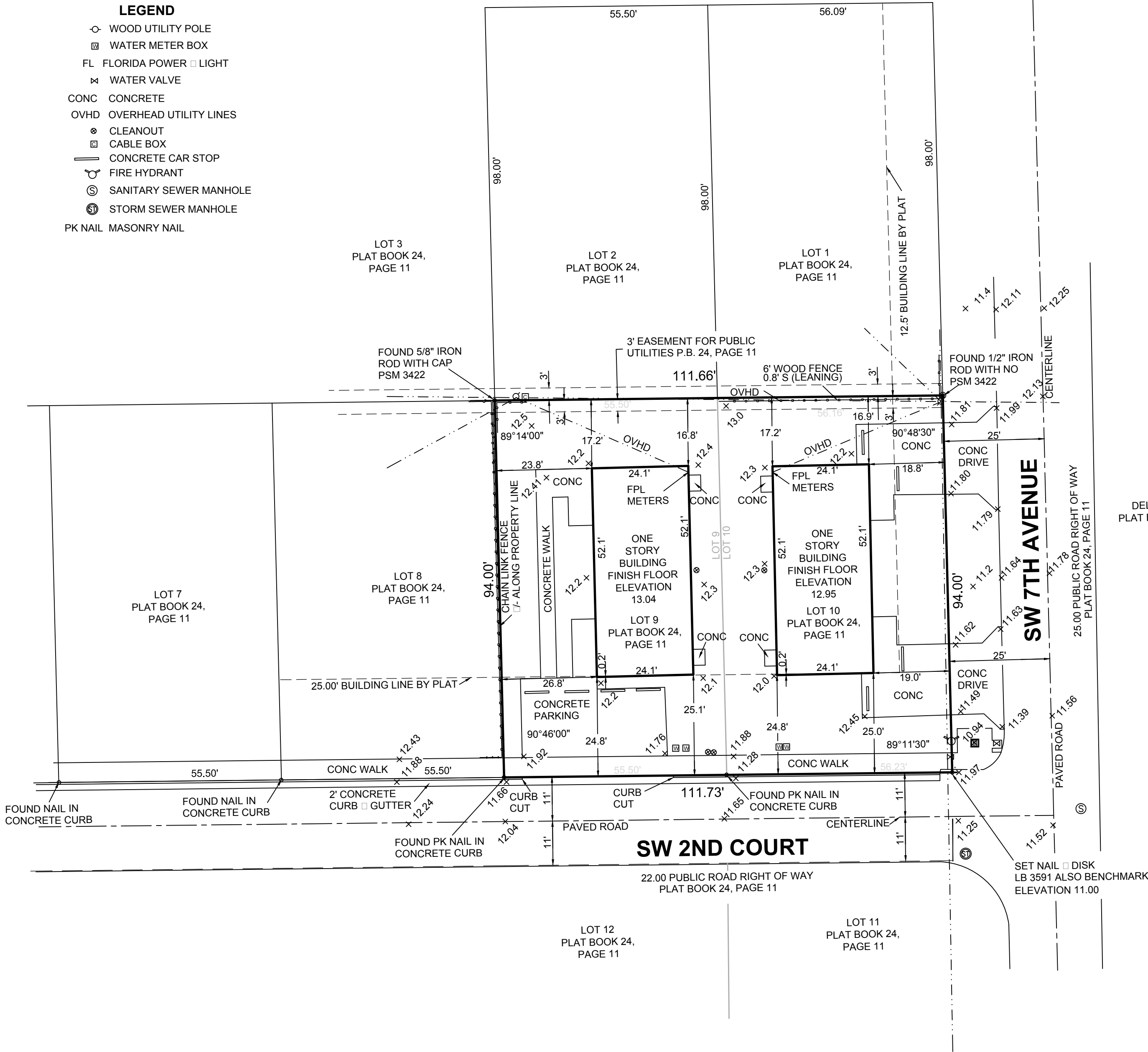
The proposal complies with the policies of the Comprehensive Plan and the Land Development Regulations.

**Alternative Actions:**

- A. Continue with direction.
- B. Move approval of the request for a Class II Site Plan Modification (2018-037) for the **Delray Beach Housing Authority**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 2.4.5(G)(5), Section 2.4.5(H)(5), Section 4.6.16, and Section 4.6.18.
- C. Move denial of the request for a Class II Site Plan Modification (2018-037) for **Delray Beach Housing Authority**, by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in LDR Section 2.4.5(G)(5), Section 2.4.5(H)(5), Section 4.6.16, and Section 4.6.18.



- LEGEND**
- WOOD UTILITY POLE
  - WATER METER BOX
  - FL FLORIDA POWER LIGHT
  - WATER VALVE
  - CONC CONCRETE
  - OVHD OVERHEAD UTILITY LINES
  - CLEANOUT
  - CABLE BOX
  - CONCRETE CAR STOP
  - FIRE HYDRANT
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - PK NAIL MASONRY NAIL



**LEGAL DESCRIPTION:**

LOT 9 & 10, PLAT OF CARVER SQUARE, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 24, PAGE 11, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING 10498 SQUARE FEET OR 0.24 ACRES, MORE OR LESS

**SURVEYOR'S NOTES:**

1. THE SURVEY DEPICTED HEREIN IS CLASSIFIED AS BOUNDARY SURVEY.
2. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL OF A FLORIDA REGISTERED
3. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
4. THE SCALE OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION.
5. THE LAND DESCRIPTION WAS PROVIDED BY THE OWNER.
6. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN UNITED STATES STANDARD FEET AND DECIMAL PARTS THEREOF.
7. SUBJECT PROPERTY LIES IN ZONE X AS SHOWN ON FLOOD MAP 12099C0579F, EFFECTIVE DATE OCTOBER 05, 2017.
8. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON PALM BEACH COUNTY ENGINEERING BENCHMARK "D 31" WITH A PUBLISHED ELEVATION OF 16.28.

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON 3-12-2018. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5-17 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

DATE: 03/12/2018

DAVID P. LINDLEY, P.L.S.  
REG. LAND SURVEYOR 5005  
STATE OF FLORIDA - LB 3591

**SURVEY NOTES:**

BUILDINGS ENCROACH SOUTH 25.00' SETBACK BY 0.2' AS SHOWN  
FENCE EXTENDS THROUGH THE NORTH UTILITY EASEMENT AS SHOWN

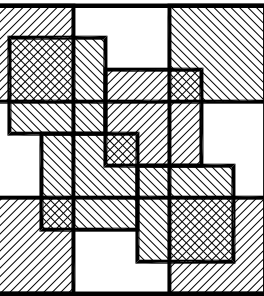
**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING - LAND PLANNING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1991 / FAX (561)-750-1452

701 SW 2ND COURT  
DELRAY BEACH, FL  
BOUNDARY SURVEY

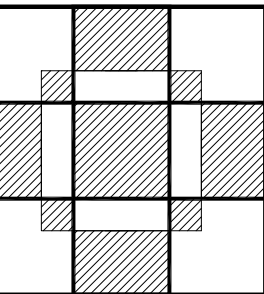
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OF 1 SHEETS



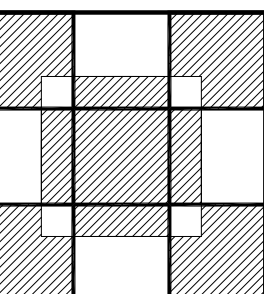
Colomé  
& Associates, Inc.  
AA 0003439  
530 24TH STREET  
WEST PALM BEACH  
FLORIDA 33407  
(561) 833-9147  
Architect: Elizabeth A. G. Colomé  
REG. NUMBER: AR 0014839



702 SW 2ND COURT  
RENOVATIONS  
DELRAY BEACH  
HOUSING AUTHORITY

DELRAY BEACH  
FLORIDA

PROJECT NO.  
201667

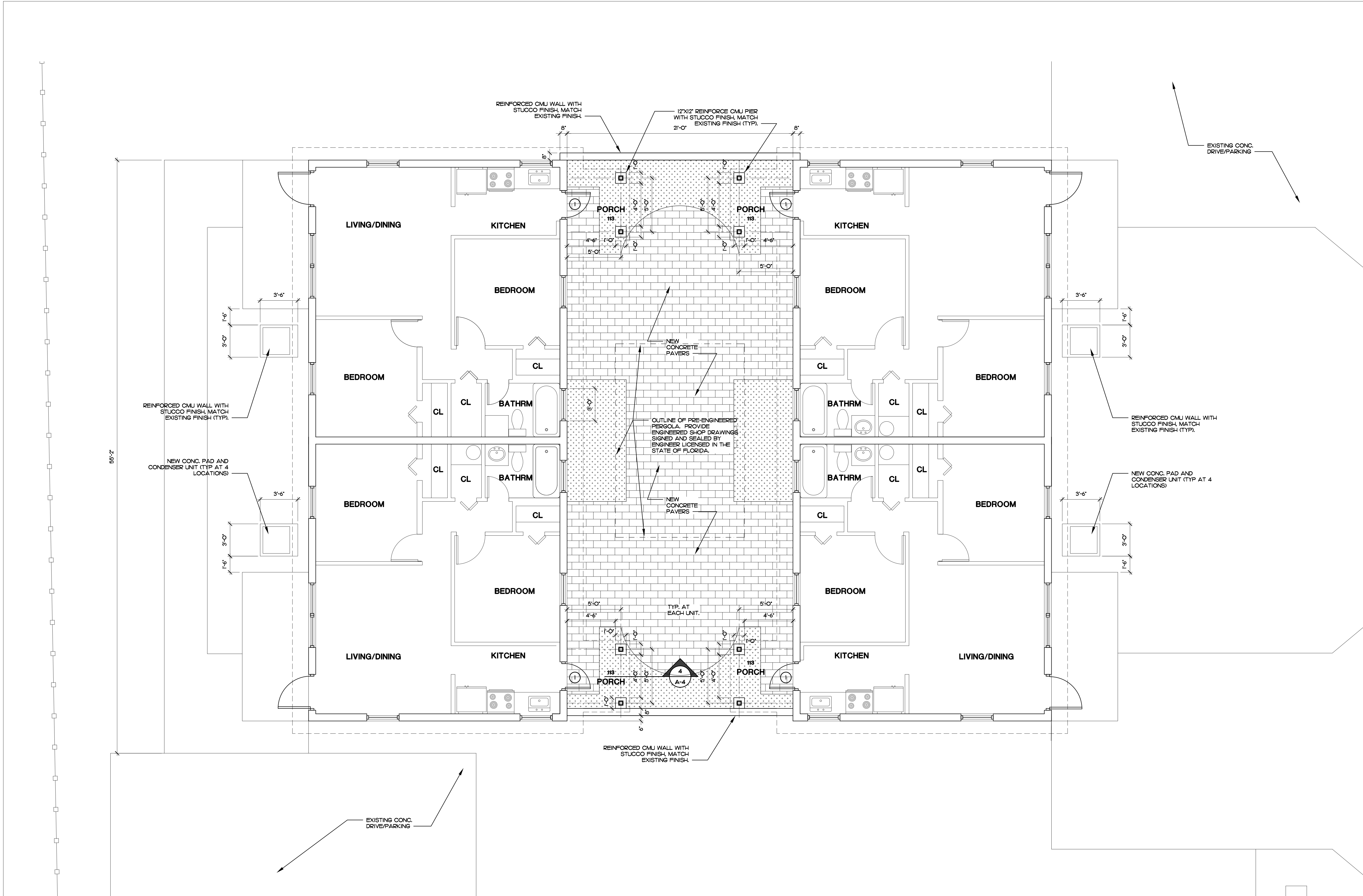


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REVISIONS:  
A JUNE 15, 2018  
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06/30/2017  
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EAC

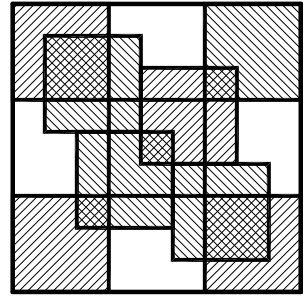
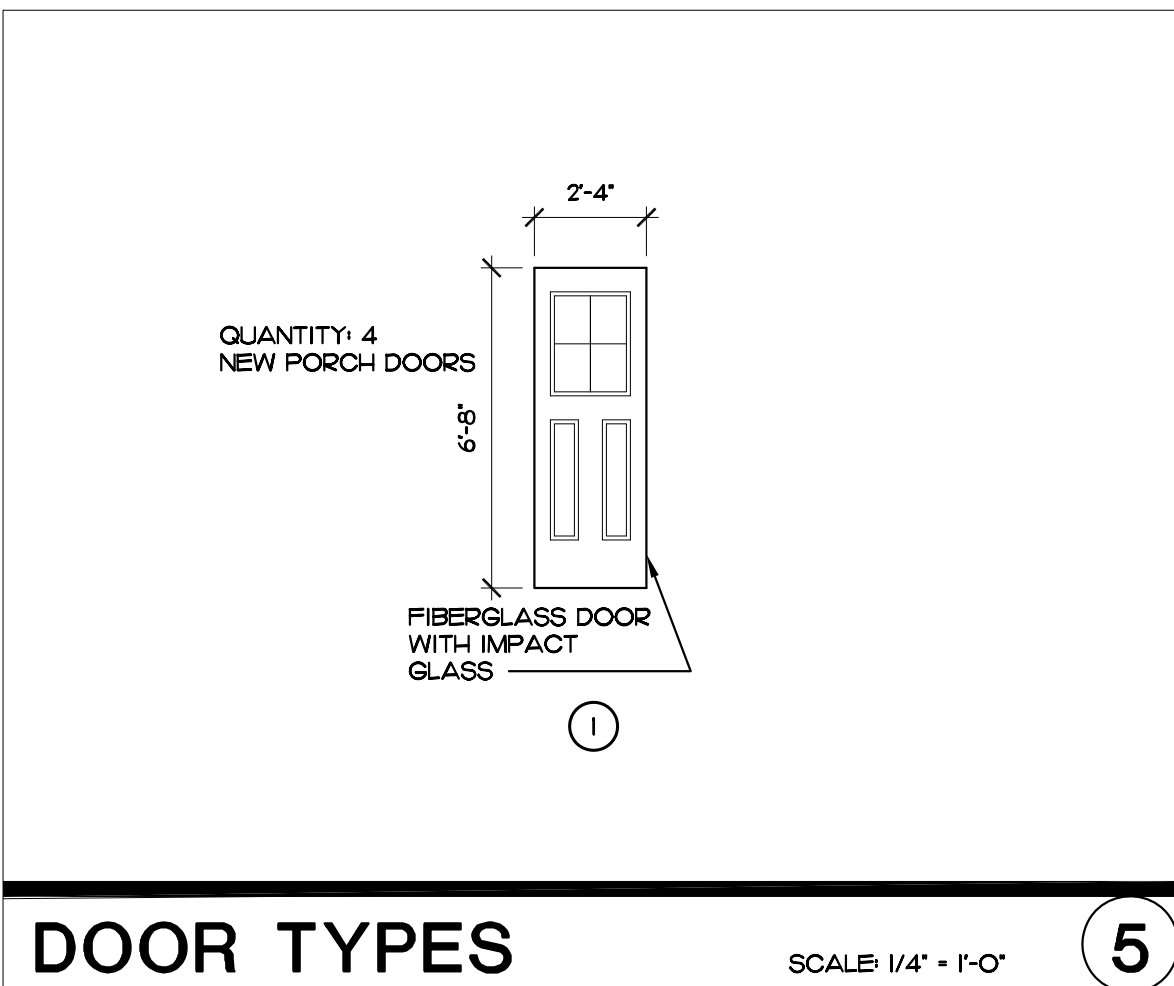
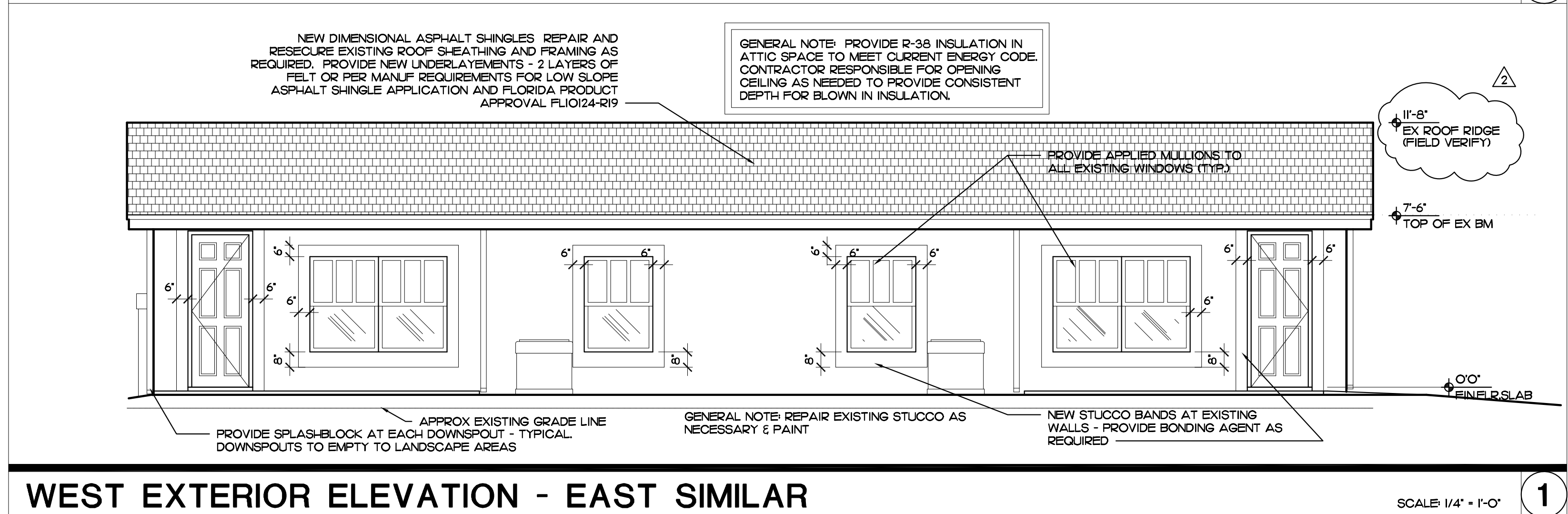
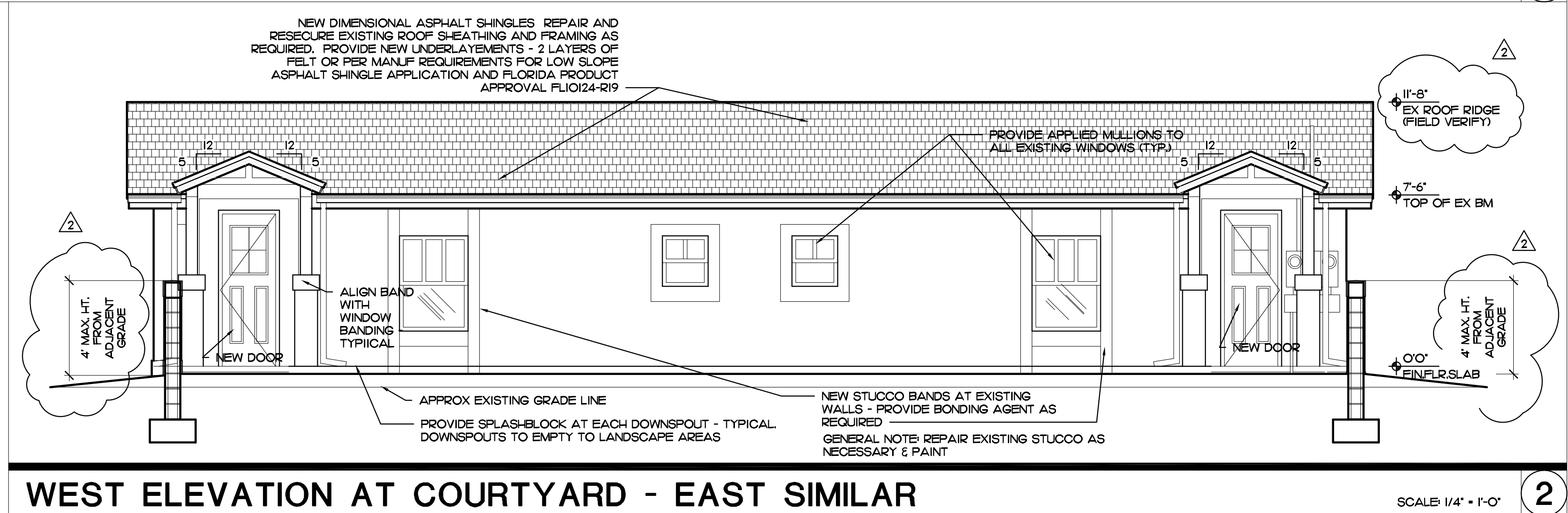
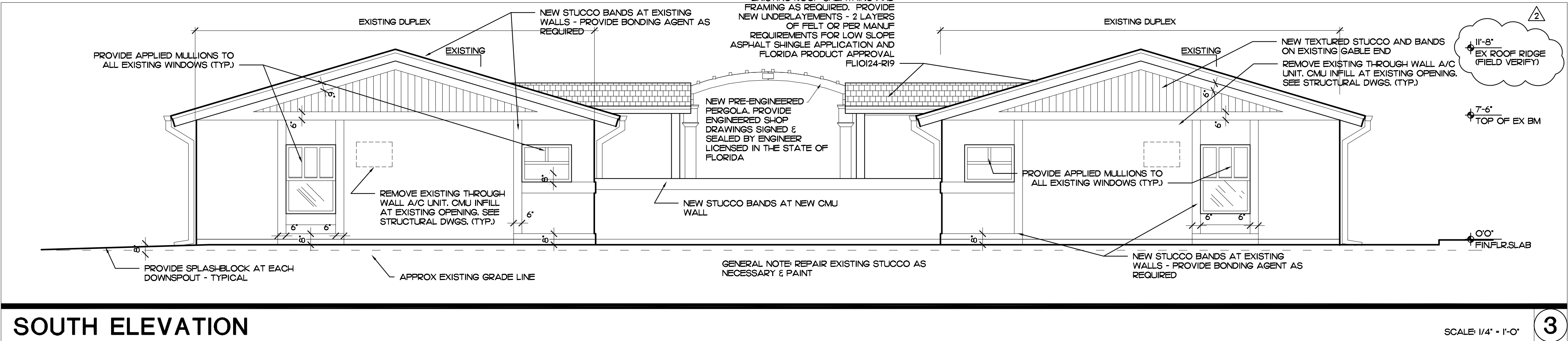
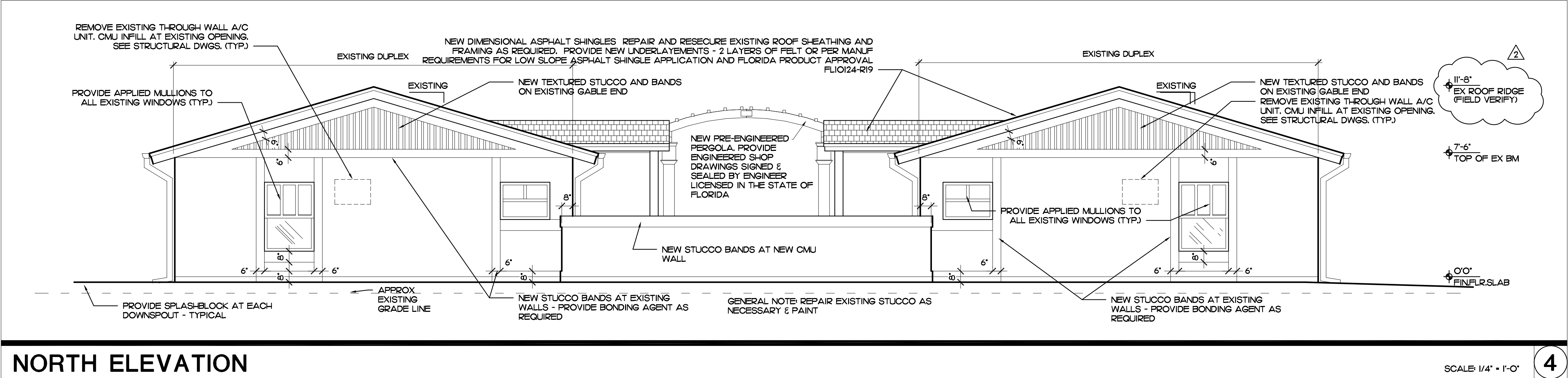
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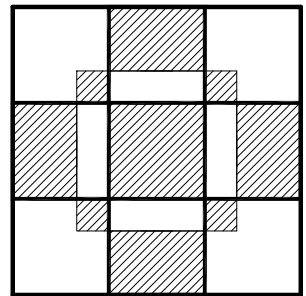


FLOOR PLAN

SCALE: 1/4" = 1'-0"



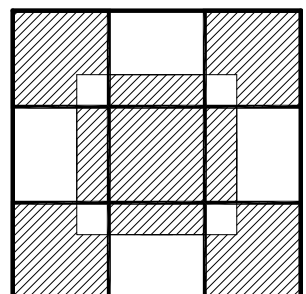
Colomé  
& Associates, Inc.  
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530 24TH STREET  
WEST PALM BEACH  
FLORIDA, 33407  
(561) 833-9147  
Architect: Elizabeth A. G. Colomé  
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702 SW 2ND COURT  
RENOVATIONS  
DELRAY BEACH  
HOUSING AUTHORITY

DELRAY BEACH  
FLORIDA

PROJECT NO.  
201667



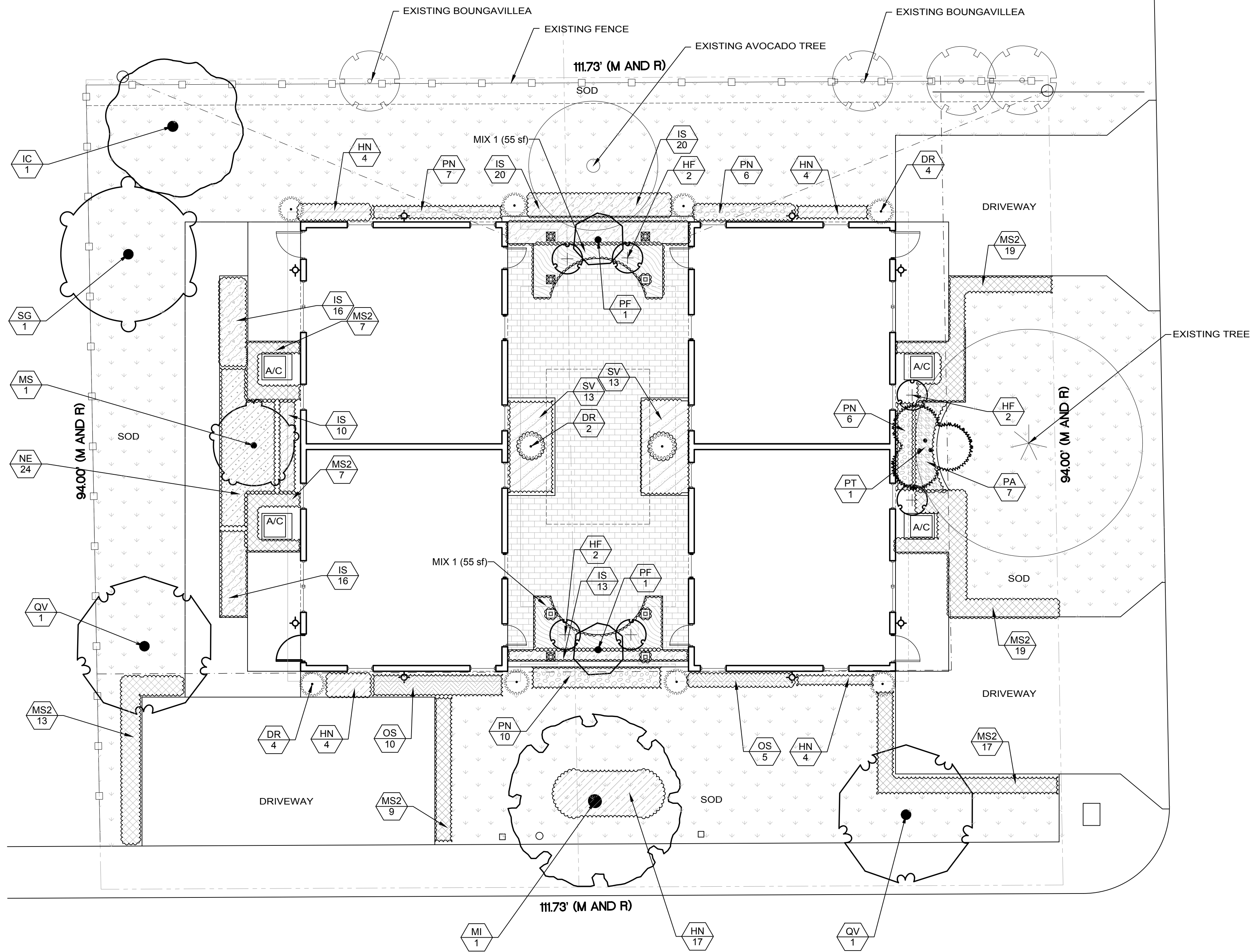
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AND DOOR  
TYPE

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DATE: 06/30/2017  
DRAWN BY: HDM  
CHECKED BY: EAC

SHEET  
NUMBER:

A-2





PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	
IC	1	Ilex cassine / Dahoon Holly	16'X5-6" 3"CAL	
MI	1	Mangifera indica / Mango	16'X5-6" 3"CAL	
MS	1	Myrcianthes fragrans 'Simpson's Stopper' / Simpson's Stopper	6-7' MULTISTEM	
PT	1	Phoenix roebelenii 'Triple' / Pygmy Date Palm	3',4',5' O.A.	
QV	2	Quercus virginiana / Southern Live Oak	16'X5-6" 3"CAL	
SG	1	Senna surattensis Glauous Cassia / Glauous Cassia	16'X5-6" 3"CAL	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
DR	10	Dracaena reflexa / Pleomele	7 gal	AS SHOWN
HF	6	Hamelia patens / Fire Bush	10 gal	
PF	2	Plumeria pudica / Frangipani	8-10' x 5-6"	AS SHOWN
SHRUB AREAS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING
HN	33	Hamelia nodosa / Dwarf Firebush	3 gal	24" o.c.
IS	96	Ilex vomitoria 'Schillings' / Schillings Holly	3 gal	18" o.c.
MS2	91	Myrcianthes fragrans 'Simpson's Stopper' / Simpson's Stopper	3 gal	24" o.c.
NE	24	Nephrolepis exaltata / Boston Fern	3 gal	24" o.c.
OS	15	Odontonema strictum / Firespike	3 gal	24" o.c.
PA	7	Plumbago auriculata / Blue Plumbago	3 gal	24" o.c.
PN	29	psychotria nervosa / Wild Coffee	3 gal	24" o.c.
SV	26	Schefflera arboricola 'Variegata' / Dwarf Variegated Schefflera	3 gal	24" o.c.

CONCEPT PLANT SCHEDULE

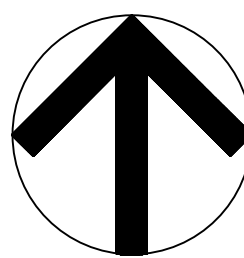
MIX 1	109 sf	
Asclepias tuberosa / Butterfly Weed	26	50% 1 gal 18" oc
Salvia coccinea / Scarlet Sage	26	50% 1 gal 18" oc

LANDSCAPE CALCULATION		
A	TOTAL LOT AREA	11153 S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	4289 S.F.
C	TOTAL PERVIOUS LOT AREA	6864 S.F.
D	AREA OF SHRUBS AND GROUND COVERS REQUIRED	2059.2 S.F.
E	AREA OF SHRUBS AND GROUND COVERS PROVIDED	1132 S.F.
F	NATIVE VEGETATION REQUIRED	514.8 S.F.
G	NATIVE VEGETATION PROVIDED	577 S.F.
H	TOTAL PAVED VEHICULAR USE AREA	1190 S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	119 S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED	5041 S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	1 TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED	1 TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS	148 L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	5.92 TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED	6 TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED OF SITE	2 TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	4 TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED	4 TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED	7 TREES

521 25th Street  
West Palm Beach  
FL 33407  
Tel (561) 747-3462  
Fax (561) 747-0281  
www.studio-sprout.com  
LA 0000907  
LCC 000213



STUDIO Sprout



SCALE 1/8"=1'-0"

DESIGNED BY CRF

DRAWN BY

CHECKED BY CRF

CAD DWG.

DATE 06.30.17

REVISIONS 03.01.18

DELRAY HOUSING DUPLEX  
702 SW 2ND COURT, DELRAY BEACH 33444  
DELRAY BEACH, FL

LANDSCAPE PLAN