



## *Development Services Department*

### **BOARD ACTION REPORT – APPEALABLE ITEM**

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<b>Project Name:</b>	<b>Hideaway-by-the-Sea</b>
<b>Project Location:</b>	<b>126 SE 7th Avenue</b>
<b>Request:</b>	<b>Certificate of Appropriateness (COA)</b>
<b>Board:</b>	<b>Historic Preservation Board</b>
<b>Meeting Date:</b>	<b>November 7, 2018</b>

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#### **Board Action:**

Approved the Certificate of Appropriateness for the installation of 2 new aluminum pergolas to the existing historic structure on the property located at 126 SE 7<sup>th</sup> Avenue, Marina Historic District, on a 6 to 0 vote (Reeve Bright absent).

#### **Project Description:**

The property is located within the RM (Multi-Family Residential) zoning district. The 0.16-acre lot measures 50' wide x 135' deep and contains a 1,660 sq. ft. existing duplex. The historic Post-World War II, Mid-Century Modern style structure was built in 1949 and is classified as contributing to the Marina Historic District. According to the City Property cards, the historic structure had a floorplan consisting of six rooms, flat roof and composition shingle roof, concrete block construction, stucco exterior walls, plaster interior finish, and terrazzo flooring.

At its June 13, 2018 meeting the Historic Preservation Board approved a COA request for exterior renovations and additions to the existing duplex including:

1. Construction of two (2) 65 sq. ft. bathroom additions on the south side of the structure, one  
1. bathroom for each dwelling unit of the duplex;
2. Construction of two new pools (one on the east side of the property and one on the west  
side of  
3. the property);
4. Installation of dark anodized bronze aluminum impact-resistant windows and doors;
5. Installation of a new bitumen sloped roof to match the existing roof over the enclosed porch  
on  
6. each dwelling unit;
7. 5. Removal of wood-framed washer/dryer exterior enclosure on the North side of the  
property;
8. 6. Installation of new fencing, landscaping and hardscaping;
9. 7. Exterior color change to Benjamin Moore – “Frostone” (white); and,
10. 8. Reconfiguration of the existing non-conforming parking area.

A variance was also approved at this meeting to allow two new 65 sq. ft. additions to encroach 7.5' into the required 15' side interior setback on the South side of the property.

The subject COA includes installation of 2 new white aluminum-framed pergolas on the east and west sides of the existing structure. The COA request is now before the Board for consideration.

Staff supported the Certificate of Appropriateness request.

#### **Board Comments:**

The Board comments were supportive.

## Appealable Item Report

### **Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:** All required actions were taken.

**Next Action:** HPB action is final.

# HISTORIC PRESERVATION BOARD

## CITY OF DELRAY BEACH

## STAFF REPORT

**MEETING DATE:** November 7, 2018

**ITEM:** 126 SE 7<sup>th</sup> Avenue, Marina Historic District – Certificate of Appropriateness (2018-218) for the installation of 2 new aluminum pergolas to the existing historic structure.

**RECOMMENDATION:** Approve the Certificate of Appropriateness

### GENERAL DATA:

Owner/Applicant..... HIDEAWAY BY THE SEA, LLC

Agent:..... Roger Cope, Cope Architecture, Inc.

Location:..... West side of SE 7<sup>th</sup> Avenue,  
between SE 1<sup>st</sup> Street and SE 2<sup>nd</sup> Street

Property Size:..... 0.16 Acres

Historic District: ..... Marina Historic District

Zoning:..... RM (Multiple Family Residential  
Medium Density)

Adjacent Zoning:.....  
North: RM  
East: RM  
South: RM  
West: CBD

Existing Future Land  
Use Designation:..... MD (Medium Density 5-12 DU/Acre)

Water Service:..... Public water service is provided  
on site.

Sewer Service:..... Public sewer service is provided  
on site.



## ITEM BEFORE THE BOARD

The item before the Board is approval of a Certificate of Appropriateness (2018-218) for the installation of 2 new aluminum pergolas on the east and west sides of the structure located at **126 SE 7<sup>th</sup> Avenue, Marina Historic District**, pursuant to Land Development Regulation (LDR) Section 2.4.6(H).

## BACKGROUND & PROJECT DESCRIPTION

The property is located within the RM (Multi-Family Residential) zoning district. The 0.16-acre lot measures 50' wide x 135' deep and contains a 1,660 sq. ft. existing duplex. The historic Post-World War II, Mid-Century Modern style structure was built in 1949 and is classified as contributing to the Marina Historic District. According to the City Property cards, the historic structure had a floorplan consisting of six rooms, flat roof and composition shingle roof, concrete block construction, stucco exterior walls, plaster interior finish, and terrazzo flooring.

In 2003, a Certificate of Appropriateness (2003-053) was administratively approved for rebuilding of the flat roof over the existing enclosed porch on the front façade (East Elevation) with modified bitumen.

At its June 13, 2018 meeting the Historic Preservation Board approved a COA request for exterior renovations and additions to the existing duplex including:

1. Construction of two (2) 65 sq. ft. bathroom additions on the south side of the structure, one bathroom for each dwelling unit of the duplex;
2. Construction of two new pools (one on the east side of the property and one on the west side of the property);
3. Installation of dark anodized bronze aluminum impact-resistant windows and doors;
4. Installation of a new bitumen sloped roof to match the existing roof over the enclosed porch on each dwelling unit;
5. Removal of wood-framed washer/dryer exterior enclosure on the North side of the property;
6. Installation of new fencing, landscaping and hardscaping;
7. Exterior color change to Benjamin Moore – “Frosthine” (white); and,
8. Reconfiguration of the existing non-conforming parking area.

A variance was also approved at this meeting to allow two new 65 sq. ft. additions to encroach 7.5' into the required 15' side interior setback on the South side of the property.

The subject COA includes installation of 2 new white aluminum-framed pergolas on the east and west sides of the existing structure. The COA request is now before the Board for consideration.

## ANALYSIS OF PROPOSAL

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

### ZONING AND USE REVIEW

Pursuant to LDR Section 4.3.4(K), Development Standards, properties located within the RM (Medium Density Residential) zoning district shall be developed according to the requirements noted in the chart below. As illustrated, the proposal is in compliance with the applicable requirements; therefore, positive findings can be made.

Development Standards		Required	Proposed
Setbacks (Minimum):	Front (East)	25'	40'
	Side Interior (South)	15'	15'
	Side Interior (North)	15'	No Change
	Rear (West)	25'	28'



## **LDR SECTION 4.5.1, HISTORIC PRESERVATION, DESIGNATED DISTRICTS, SITES, AND BUILDINGS**

Pursuant to LDR Section 4.5.1(E) - **Development Standards**: all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

### **Standard 2**

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **Standard 10**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The pergolas will provide a covered area on the subject property adjacent to the new pool and patio areas, creating an exterior living space for each of the units. The white, aluminum-framed pergola structures are differentiated from the duplex yet are compatible with the massing, size scale, and architectural features of Mid-Century Modern style structures. The pergolas will be attached to the residential structure in a manner that if removed in the future will not compromise the integrity of the historic building.

The proposal meets the applicable standards noted above and their intent as the proposed changes ensure an appropriate exterior alteration of the historic property and duplex structure, protecting the historic integrity of the duplex and its environment by allowing the modernization of the exterior living spaces with durable materials.

Pursuant to LDR Section 4.5.1(E)(7) - **Visual Compatibility Standards**: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m). Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

### **Applicable Visual Compatibility Standards**

- (a) **Height**: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- (b) **Front Facade Proportion**: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height

of the front elevation of other existing structures and buildings within the subject historic district.

- (g) **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.

The proposed exterior alterations to the existing, historic duplex are appropriate and compatible with the Marina Historic District. The height of the 2 new pergolas (9') does not exceed the highest element of the existing residence. The proposed pergolas are compatible with the existing proportion of the front façade. The pergolas continue the flat roof line of the original Florida Rooms that characterized the original structure. The white aluminum frame of the pergolas is a durable material that is compatible with the Mid-Century Modern style of the historic duplex. The proposal meets the intent of the review criteria above; thus, positive findings are made with respect to the sections indicated above.

#### ALTERNATIVE ACTIONS

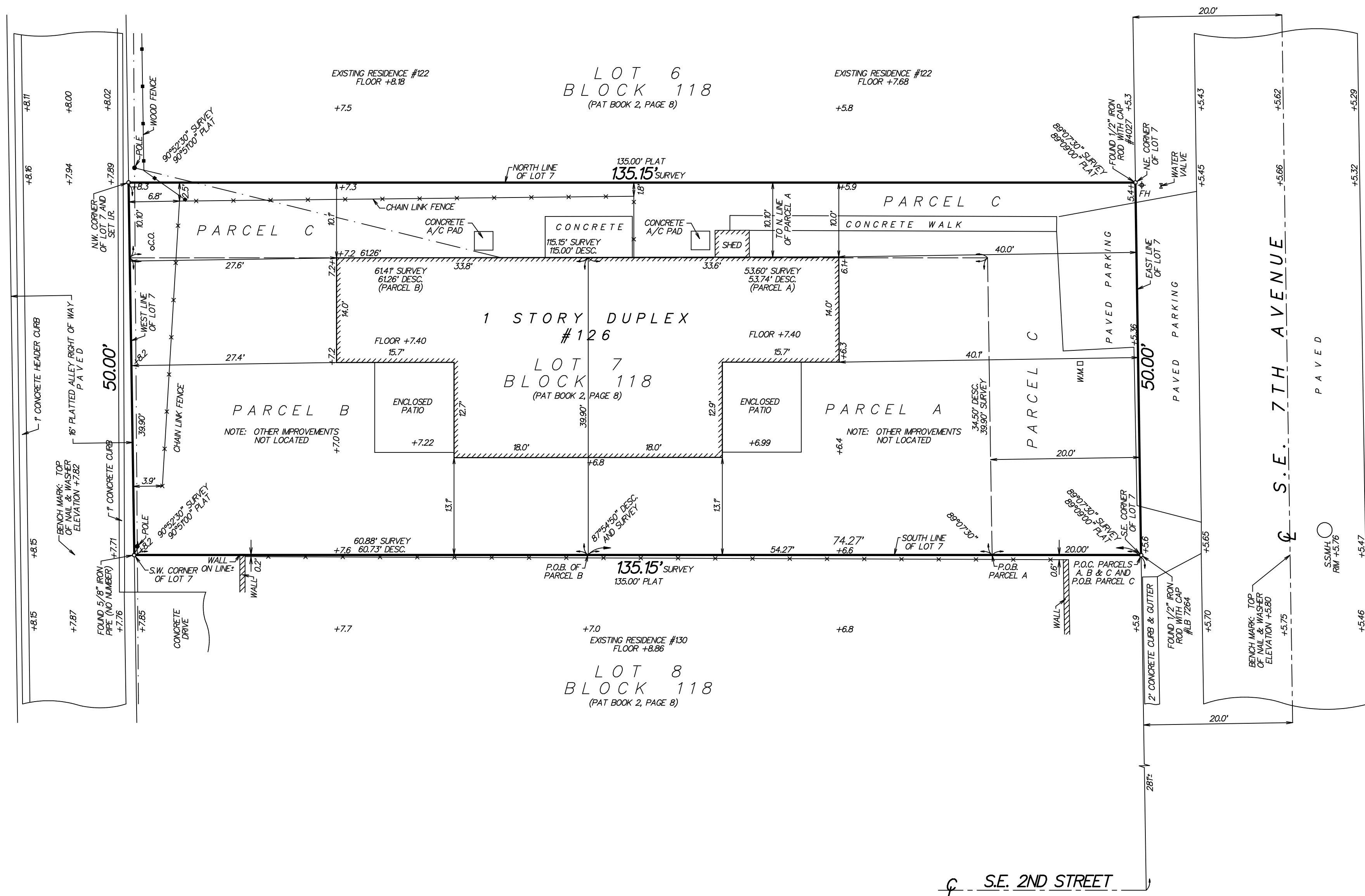
- A. Continue with direction.
- B. Approve Certificate of Appropriateness (2018-218) for the property located at **126 SE 7<sup>th</sup> Avenue, Marina Historic District** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in Land Development Regulation Section 2.4.6(H)(5).
- C. Deny Certificate of Appropriateness (2018-218) for the property located at **126 SE 7<sup>th</sup> Avenue, Marina Historic District**, by adopting the findings of fact and law contained in the staff report, and by finding that the request and approval thereof is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Land Development Regulation Section 2.4.6(H)(5).

#### RECOMMENDATIONS

Approve Certificate of Appropriateness 2018-218 for **126 SE 7<sup>th</sup> Avenue, Marina Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof meets the criteria set forth in the Land Development Regulations Section 2.4.6(H)(5).

**Attachments:**

- Site plan, elevations, and survey



DESCRIPTION:

PARCEL A:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WESTERLY ALONG SAID SOUTH LINE OF SAID LOT 7, A DISTANCE OF 54.27 FEET TO A POINT; THENCE RUN NORTHERLY MAKING AN ANGLE OF 89°54'50" THROUGH THE NORTHWEST FROM THE PREVIOUS COURSE, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN EASTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 53.74 FEET TO A POINT; THENCE RUN SOUTHERLY ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.50 FEET TO THE POINT OF BEGINNING.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE FOLLOWING DESCRIBED:

PARCEL C:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO A POINT; THENCE RUN NORTHERLY, ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 15.00 FEET TO A POINT IN THE WEST LINE OF LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF LOT 7 AND THE POINT OF BEGINNING.

PARCEL B:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 74.27 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTHERLY, MAKING AN ANGLE OF 89°54'50" THROUGH THE NORTHWEST FROM THE PREVIOUS COURSE, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY, ALONG A LINE PARALLEL TO AND 10.1 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 61.26 FEET TO A POINT IN THE WEST LINE OF SAID LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 60.73 FEET TO THE POINT OF BEGINNING.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO THE FOLLOWING DESCRIBED:

PARCEL C:

PART OF LOT 7, RESUBDIVISION OF BLOCK 118, DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 8, PALM BEACH COUNTY, PUBLIC RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 7; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 20.00 FEET TO A POINT; THENCE RUN NORTHERLY, ALONG A LINE PARALLEL TO AND 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 7, A DISTANCE OF 39.90 FEET TO A POINT; THENCE RUN WESTERLY ALONG A LINE PARALLEL TO AND 10.10 FEET SOUTH OF THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 15.00 FEET TO A POINT IN THE WEST LINE OF LOT 7; THENCE RUN NORTHERLY, ALONG THE SAID WEST LINE OF LOT 7, A DISTANCE OF 10.10 FEET TO THE NORTHWEST CORNER OF SAID LOT 7; THENCE RUN EASTERLY, ALONG THE SAID NORTH LINE OF LOT 7, A DISTANCE OF 135.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE RUN SOUTHERLY, ALONG THE SAID EAST LINE OF LOT 7, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF LOT 7 AND THE POINT OF BEGINNING.

LEGEND:

C = CENTERLINE

FH = FIRE HYDRANT

W.M. = WATER METER

S.S.M.H. = SANTARY SEWER MANHOLE

C.O. = SANTARY SEWER CLEAN OUT

— — — — — = OVERHEAD UTILITY LINES

IR. = 5/8" IRON ROD WITH CAP #LB 353

P.O.B. = POINT OF BEGINNING

P.O.C. = POINT OF COMMENCEMENT

DESC. = DESCRIPTION

+5.80 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: STATE ROAD DEPARTMENT BENCH MARK IN ATLANTIC AVENUE BRIDGE OVER INTRACOASTAL WATERWAY

FLOOD ZONE: X

COMMUNITY PANEL NO. 125102 0979

SUFFIX F

EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FEATURES

MAP OF BOUNDARY SURVEY  
SITE ADDRESS: 126 S.E. 7TH AVENUE,  
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.  
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY MAY 30, 2018	SCALE: 1" = 10'
FIELD BOOK D.319	ORDER NO.: 18-27db
PAGE NO. 8	



PROJECT DATA:

PROPOSED TOTAL GROUND FLOOR AREA -	± 1,790.00 SQ. FT.	± 26.5% OF SITE
PARKING & PAVED AREAS -	± 2,911.00 SQ. FT.	± 43.2% OF SITE
OPEN LANDSCAPED SPACE -	± 1,688.00 SQ. FT.	± 25.0% OF SITE
WATER BODIES (POOL) -	± 355.00 SQ. FT.	± 5.3% OF SITE

TOTALS	± 6,750.00 SQ. FT.	100% OF SITE
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PARKING DATA:

	REQUIRED	PROVIDED
RM - MULTI FAMILY RESIDENTIAL:		
TWO (2) PER HOUSEHOLD		TWO (2)
FOUR (4) (TWO (2) PER HOUSEHOLD)		FOUR (4) (TWO (2) PER HOUSEHOLD)
TOTALS:		

SITE DATA:

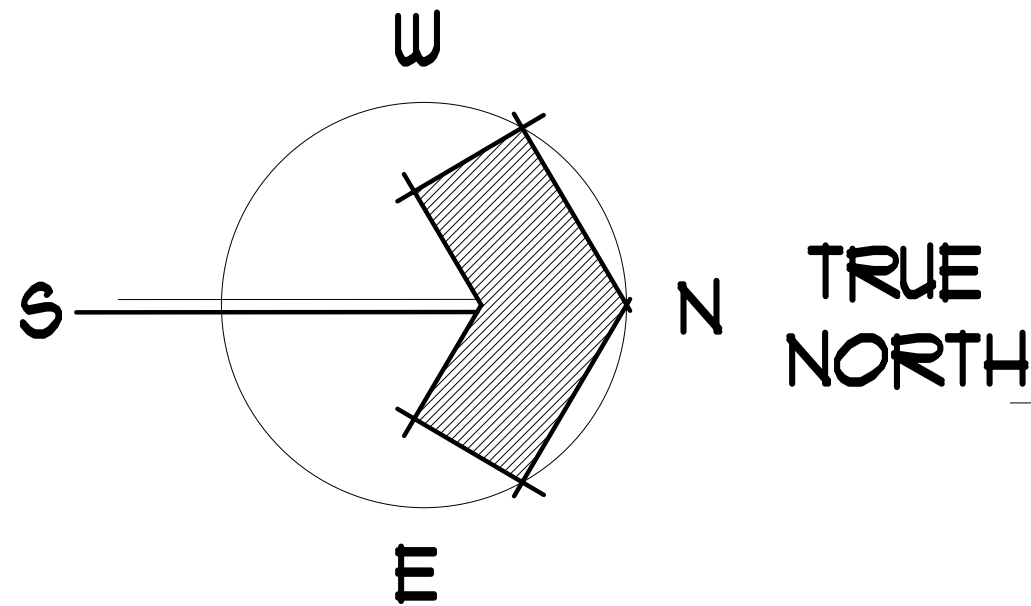
(APPROX. 6,750.00 SQ. FT. OR ± 0.55 ACRES)  
ZONED: RM (MULTI FAMILY RESIDENTIAL)  
PROPOSED USE: TWO (2) SINGLE FAMILY RESIDENCES (NO CHANGE)  
EXISTING 4' HIGH BLACK COATED CHAINLINK FENCE TO REMAIN, TYP.

GENERAL GRADING NOTES:

- 1.) UNDER NO CIRCUMSTANCES SHALL THIS PROPERTY BE GRADED SO THAT STORM WATER RUNS OFF ONTO ANY ADJACENT PROPERTIES.
- 2.) SEE SUFFICIENT PROPOSED FINAL GRADES AND ASSOCIATED DETAIL INSURING STORM WATER DOES NOT FLOW ONTO ADJACENT PROPERTIES.
- 3.) PLEASE SEE SURVEY FOR EXISTING GRADES @ ALL PROPERTY LINES & ON ALL ADJACENT PROPERTIES. MINIMUM TWO (2) GRADES PER PROPERTY LINE.
- 4.) PLEASE SEE FLOOR PLANS FOR FINISH FLOOR ELEVATIONS OF ALL STRUCTURES WHICH ARE ALL MINIMUM 18" ABOVE THE CROWN OF THE ADJACENT STREETS OR ROADWAYS.
- 5.) PLEASE SEE SITE PLAN AND DETAILS FOR MINIMUM 3" DEEP SODDED SWALE BETWEEN SITE'S PROPERTY LINE AND ALL ADJACENT STREETS OR ROADWAYS.

SYMBOLS LEGEND:

± 2.8' NOVO	EXISTING TOPOGRAPHY (GRADE) TO REMAIN - SEE SURVEY
± 2.8' NOVO	PROPOSED NEW TOPOGRAPHY (FINISH GRADE)
± 2.8' NOVO	



AI ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"

1949  
EXISTING 1-STORY  
TWIN TOWNHOMES  
(EXISTING FIN. FLR. @ +11.24')

16' ALLEY  
(+11' OF PAVING & 16' R.O.W.)

SE 7th AVENUE  
(+22' OF PAVING & 40' R.O.W.)

PROPOSED PROJECT CHART:

RM	MIN. LOT SIZE (sq. ft.)	MIN. LOT WIDTH (ft.)	MIN. LOT DEPTH (ft.)	MIN. FLOOR AREA (sq. ft.)	MIN. LOT FRONTAGE (ft.)	MIN. OPEN SPACE (%) LDR	MAX. LOT COVERAGE (%) LDR	MIN. FRONT SETBACK (ft.)	MIN. SIDE INTERIOR SETBACK (ft.) LDR	MIN. SIDE STREET SETBACK (ft.)	MIN. REAR SETBACK (ft.)	MAX. BUILDING HEIGHT (ft.)	PERVIOUS AREA (sq. ft.)	IMPERVIOUS AREA (sq. ft.)
REQUIRED	8,000	60	100	1,000	60	40	NA	25/30	15/30	NA	25	35	2,700	4,050
PROVIDED	6,750	50	135	1,790	50	25	NA	40.5	15/30	NA	27.1	21.25	1,687	5,063
EXISTING	6,750	50	135	1,660	50	60	NA	40.5	10.1 @ NORTH	NA	27.1	23.25	4,480	2,270

"HIDE-A-WAY BY THE SEA"  
126 SE 7TH AVENUE  
DELRAY BEACH, FLORIDA

SITE PLAN

COPE ARCHITECTS, INC.  
1141 W. NEWELL AVENUE  
DELRAY BEACH, FLORIDA 33444-3713  
ARCHITECTURE - PLANNING - INTERIORS  
cell 561 789-3791 email copearchitectsinc@gmail.com

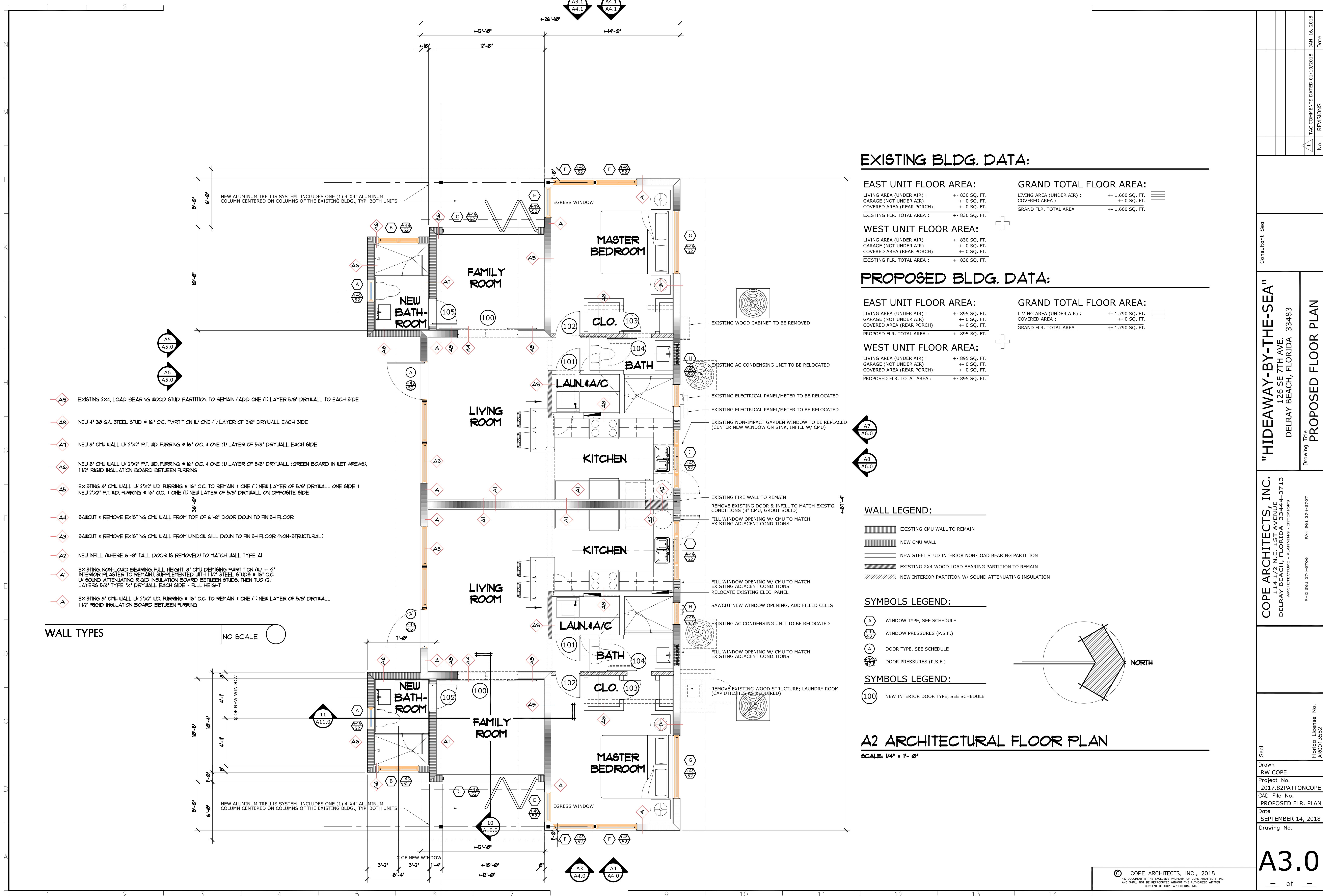
Seal  
Florida License No.  
AR0013552

Drawn  
RW COPE  
Project No.  
2017.02PATTONCOPE  
CAD File No.  
SITEPLAN

Date  
SEPTEMBER 14, 2018  
Drawing No.

A2.0  
of





EXISTING BLDG. DATA:

EAST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 830 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,660 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,660 SQ. FT.
EXISTING FLR. TOTAL AREA :	++ 830 SQ. FT.		

WEST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 830 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,660 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,660 SQ. FT.
EXISTING FLR. TOTAL AREA :	++ 830 SQ. FT.		

PROPOSED BLDG. DATA:

EAST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 895 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,790 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,790 SQ. FT.
PROPOSED FLR. TOTAL AREA :	++ 895 SQ. FT.		

WEST UNIT FLOOR AREA:		GRAND TOTAL FLOOR AREA:	
LIVING AREA (UNDER AIR) :	++ 895 SQ. FT.	LIVING AREA (UNDER AIR) :	++ 1,790 SQ. FT.
GARAGE (NOT UNDER AIR):	++ 0 SQ. FT.	COVERED AREA :	++ 0 SQ. FT.
COVERED AREA (REAR PORCH):	++ 0 SQ. FT.	GRAND FLR. TOTAL AREA :	++ 1,790 SQ. FT.
PROPOSED FLR. TOTAL AREA :	++ 895 SQ. FT.		

WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW CMU WALL
- NEW STEEL STUD INTERIOR NON-LOAD BEARING PARTITION
- EXISTING 2X4 WOOD LOAD BEARING PARTITION TO REMAIN
- NEW INTERIOR PARTITION W/ SOUND ATTENUATING INSULATION

SYMBOLS LEGEND:

- WINDOW TYPE, SEE SCHEDULE
- WINDOW PRESSURES (P.S.F.)
- DOOR TYPE, SEE SCHEDULE
- DOOR PRESSURES (P.S.F.)

SYMBOLS LEGEND:

- NEW INTERIOR DOOR TYPE, SEE SCHEDULE

A2 ARCHITECTURAL FLOOR PLAN

SCALE: 1/4" = 1'- 0"

Seal	"HIDEAWAY-BY-THE-SEA" 126 SE 7TH AVE. DELRAY BEACH, FLORIDA 33483		PROPOSED FLOOR PLAN		Consultant Seal	No. REVISIONS		Date		
COPE ARCHITECTS, INC. 114 1/2 N.E. 1ST AVENUE DELRAY BEACH, FLORIDA 33444-3713 ARCHITECTURE - PLANNING - INTERIORS		PHD 561 274-6706 FAX 561 274-6707		JAN. 16, 2018		TAC COMMENTS DATED 01/10/2018		Date		
Drawn RW COPE		Project No. 2017.82PATTONCOPE		CAD File No. PROPOSED FLR. PLAN		Date SEPTEMBER 14, 2018				
Drawing No.		A3.0		of						

ELEV. +-10'-6"  
ROOF BEARING @ SOUTH

ELEV. +-7'-8"  
ROOF BEARING @ NORTH

ELEV. +-0'-0" (+-7.40' NAVD)  
TOP OF EXISTING FINISH FLOOR

### A3 EXISTING ENTRY (EAST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

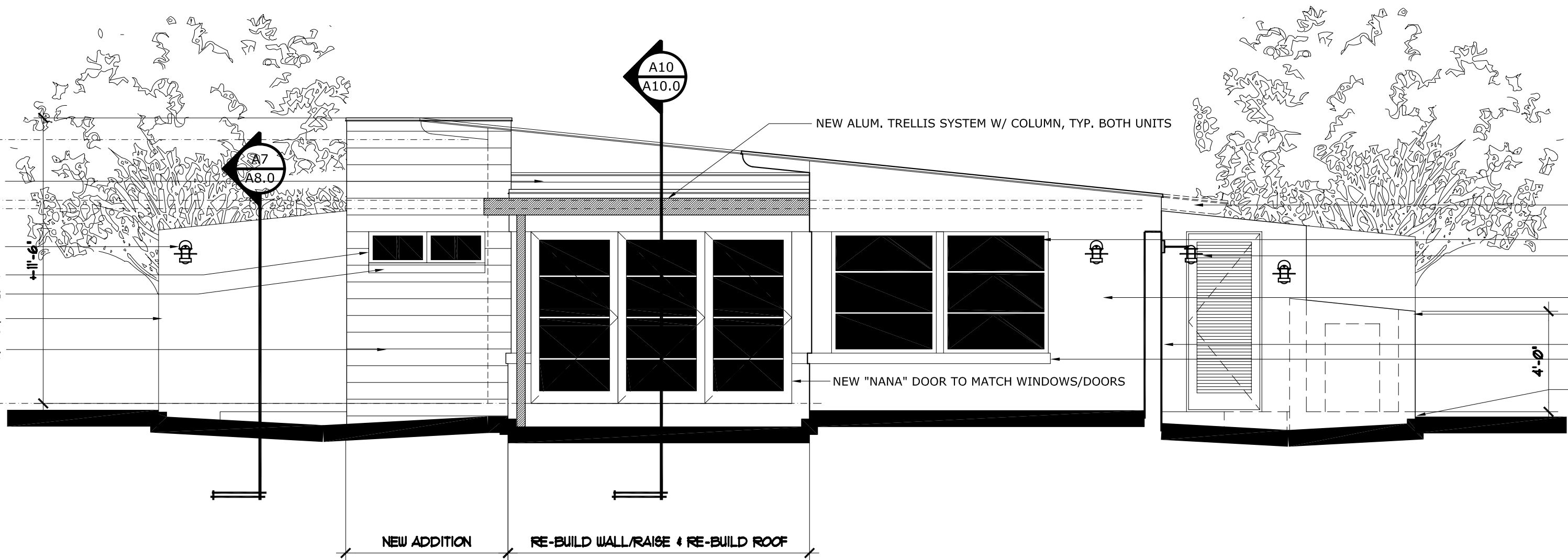
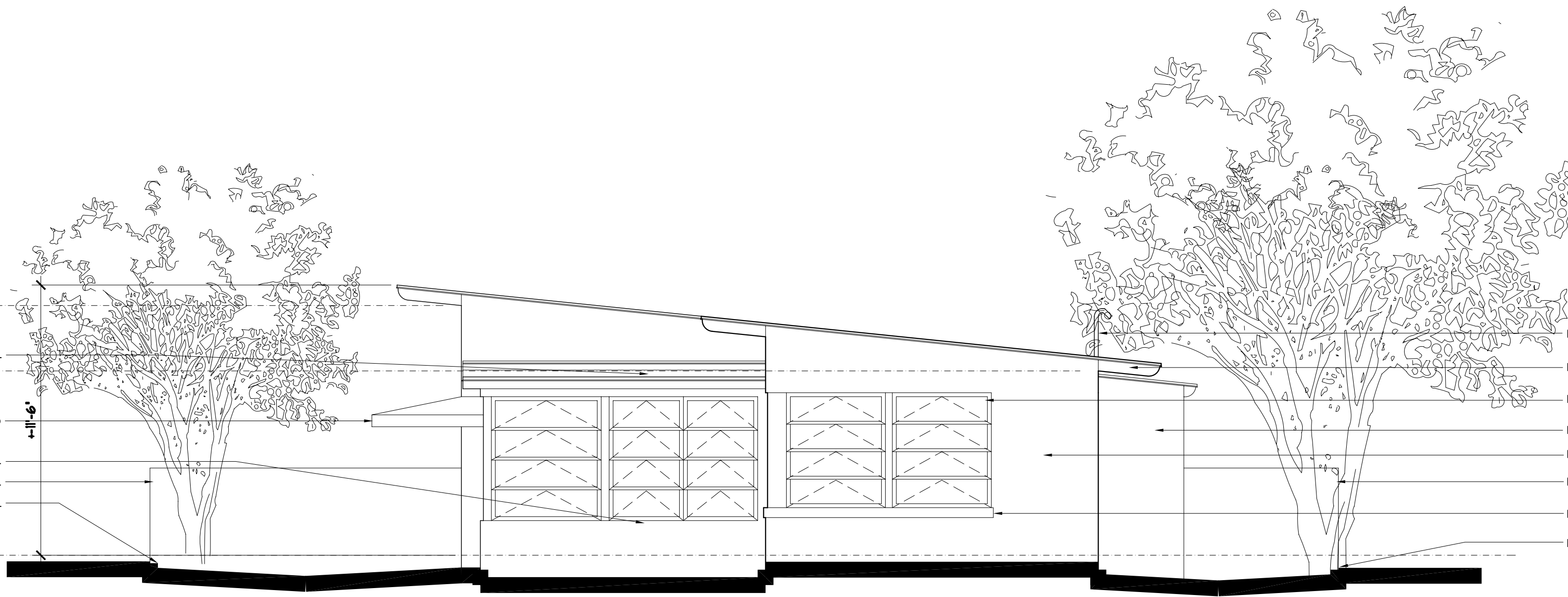
ELEV. +-10'-6"  
ROOF BEARING @ SOUTH

ELEV. +-7'-8"  
ROOF BEARING @ NORTH

ELEV. +-0'-0" (+-7.40' NAVD)  
TOP OF EXISTING FINISH FLOOR

### A4 NEW ENTRY (EAST) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



Seal	Drawn RW COPE	Project No. 2017.82PATTONCOPE	CAD File No. EAST ELEVATIONS	Date SEPTEMBER 14, 2018	Drawing No.	A4.0	of	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
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