

HISTORIC PRESERVATION BOARD

CITY OF DELRAY BEACH

STAFF REPORT

MEETING DATE: December 5, 2018

ITEM: 106 SE 7th Avenue, Marina Historic District, (2019-006) – Provide a recommendation to the City Commission for a historic property Ad Valorem Tax Exemption request associated with additions and alterations to a contributing structure.

RECOMMENDATION: Approve the Ad Valorem Tax Exemption

GENERAL DATA:

Owner..... Dan & Donnamarie Sloan

Location:..... 106 SE 7th Avenue, west side of
SE 7th Avenue, approximately 60 feet
south of SE 1st Street

Property Size:..... 0.45 Acres

Historic District:..... Marina Historic District

Current Zoning:..... RM (Multiple Family Residential –
Medium Density)

Adjacent Zoning:.....
North: RM
South: RM
East: RM
West: CBD (Central Business District)

Existing Future Land Use Designation:..... MD (Medium Density Residential
5-12 DU/Acre)

Water Service:..... Public water service is
provided on site.

Sewer Service:..... Public sewer service is
provided on site.



ITEM BEFORE THE BOARD

The action requested of the Board is a recommendation to the City Commission for a historic property Ad Valorem Tax Exemption request associated with additions and alterations to a contributing structure located at **106 SE 7th Avenue, Marina Historic District**, pursuant to Land Development Regulations (LDR) Section 4.5.1(J).

BACKGROUND & PROJECT DESCRIPTION

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a Unity of Title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM) and classified as contributing to the Marina Historic District.

In October, 1993, the Historic Preservation Board approved variances to reduce the required side and rear setbacks for a proposed 3-bay garage, a variance request to reduce the distance between two residential buildings within the multi-family developments, a waiver to reduce the right-of-way width on SE 7th Avenue from 60' to 40', and the site plan, subject to conditions. The Board required that a sidewalk be installed along the west side of SE 7th Avenue from the north property line to the northernmost parking space. The Board also gave partial approval for the proposed architectural design elements. While the development approval expired, the variances remained as these run with the land, as opposed to with the validity or establishment of an approved project.

In December, 1995, the Historic Preservation Board approved the restoration of the historic dwelling, expansion and upgrading of the existing one-story triplex to two stories, construction of a second-story on the existing single-family residence, construction of a three-bay garage, construction of a swimming pool, and the installation of fences, walkways, and decking, subject to conditions. One condition was that Unity of Title and condominium documentation be recorded as the development proposal contained three individually platted lots. Once these documents were recorded, the triplex became a three-unit condominium unit, the two-story, single family residence became a single-unit condominium, and the one-story, contributing structure became a single-unit condominium with an associated attached garage.

Then at its June 1, 2016 meeting the Historic Preservation Board approved a COA and Class II Site Plan Modification consisting of additions and alterations to the 1925 Mission style structure on the site, as follows:

- Addition to the south elevation with French doors facing south;
- Screened porch over existing patio on the south elevation with simulated coral rock columns and decorative trellis supporting new awning above;
- 2nd story addition to main structure consisting of 910 square feet;
- New shed style, fabric awnings on residence (Sunbrella, Forest Green Tweed);
- Extension of chimney to second story on north elevation;
- New single French door on west elevation of residence;
- New Weathershield PGT aluminum clad wood windows and doors in medium walnut finish; and,
- Alterations to the detached garage that included a new flat, single-panel door on the north elevation and new shed style fabric awnings (Sunbrella, Forest Green/Beige Blvd. stripe).

The applicant is now before the Board to request review of the Tax Exemption Application for the aforementioned site and building improvements.

Based on State regulations, an Ad Valorem Tax Exemption can be approved for a project before, during, or after it has been undertaken. The applicant therefore requests consideration of the Ad Valorem Tax Exemption as the project is complete.

AD VALOREM TAX EXEMPTION

Pursuant to LDR Section 4.5.1(J), a tax exemption is available for improvements to qualifying contributing properties in a designated historic district or individually designated properties, as listed in Section 4.5.1(I). Qualifying properties shall be exempt from that portion of ad valorem taxation levied by the City of Delray Beach on one hundred percent (100%) of the increase in assessed value resulting from any HPB approved renovation, restoration, rehabilitation, or other improvements of the qualifying property made on or after the effective date of the original passing of Ordinance 50-96 on November 19, 1996.

LDR Section 4.5.1(J)(1), clarifies that the exemption does not apply to the following:

- (a) Taxes levied for payment of bonds;
- (b) Taxes authorized by a vote of the electors pursuant to Section 9(b) or Section 12, Article 7 of the Florida Constitution; or
- (c) Personal property.

LDR Section 4.5.1(J)(2), explains the exemption period shall be for ten (10) years, unless a lesser term is set by the City Commission.

- (a) The term of the exemption shall be specified in the resolution approving the exemption and shall continue regardless of any changes in the authority of the City to authorize such exemption or change in ownership of the property.
- (b) To retain an exemption, the historic character of the property and the improvements which qualified the property for an exemption must be maintained in their historic state over the period for which the exemption was authorized.

LDR Section 4.5.1(J)(4) provides the parameters for qualifying properties and improvements. The subject property qualifies as it is listed on the Local Register of Historic Places. LDR Section 4.5.1(J)(5) requires that for an improvement to a historic property to qualify the property for an exemption, the improvement must:

- (a) be consistent with the United States Secretary of the Interior's Standards for Rehabilitation, as amended; and
- (b) be a constructed and/or installed improvement as approved by the Historic Preservation Board and as established in rules adopted by the Department of State, Division of Historical Resources, FAC 1A-38, as amended which defines real property improvements as changes in the condition of real property brought about by the expenditure of labor and money for the restoration, renovation, or rehabilitation of such property. Improvements shall include, but are not limited to: modifications, repairs, or additions to the principal contributing building and its associated accessory structures (i.e. a garage, cabana, guest cottage, storage/utility structures, swimming pools), whether existing or new. The exemption does not apply to improvements made to non-contributing principal buildings, existing non-contributing accessory structures, or undesignated structures and/or properties; and,
- (c) be consistent with Section 4.5.1(E), "Development Standards", of the City's Land Development Regulations; and
- (d) include, as part of the overall project, visible improvements to the exterior of the structure.

The project meets the above criteria (a) and (b) through previous approval by the Board of the associated improvements outlined above which constituted its compliance with the Secretary of the Interior's Standards for Rehabilitation, as well as the rules of Florida Administrative Code 1A-38, promulgated by the Florida Department of State, Division of Historical Resources. The development project further meets criterion (c) per the COA approval, which applied the LDR Development Standards in the assessment of the proposal. Finally, the project meets criterion (d) as the project encompasses visible improvements to the exterior of the building and related property.

Pursuant to LDR Section 4.5.1(J)(7), any property owner, or the authorized agent of the owner, that desires an ad valorem tax exemption for the improvement of a historic property must submit a Historic Property Tax Exemption Application to the Planning and Zoning Department upon completion of the qualifying improvements.

- (a) The application shall indicate the estimated cost of the total project, the estimated cost attributed solely to the historic structure, and project completion date as determined by the Certificate of Occupancy issued by the Building Department.
- (b) The Historic Property Tax Exemption Application shall be accompanied by a copy of the most recent tax bill from the Palm Beach County Property Appraiser for the property; a new property survey illustrating the improvements; a copy of the building permit application indicating estimated project cost; a copy of the Certificate of Occupancy/Final Inspection; and photographs illustrating the before and after of each improvement, including both the interior, exterior, and all new construction. The photographs shall be identified with a date and description indicating the impact of the improvement.
- (c) The application must be submitted within three (3) months from the date of issuance of a Certificate of Occupancy.
- (d) The Historic Preservation Planner will inspect the completed work to verify such compliance prior to Historic Preservation Board review.
 - a. If the Historic Preservation Board determines that the work is a qualifying improvement and is in compliance with the approved plans and the review standards contained in Section 4.5.1(E), the Board shall recommend that the City Commission grant the Historic Property Tax Exemption Application.
 - b. Upon a recommendation of approval of a Historic Property Tax Exemption Application by the Historic Preservation Board, the application shall be placed by resolution on the agenda of the City Commission for approval. The resolution of the City Commission approving the application shall provide the name of the owner of the property, the property address and legal description, a recorded restrictive covenant in the official records of Palm Beach County as a condition of receiving the exemption, and the effective dates of the exemption, including the expiration date.
 - c. If the Historic Preservation Board determines that the work as completed is either not consistent with the approved plans or is not in compliance with the review standards contained in Section 4.5.1(E), the applicant shall be advised that the request has been denied

The qualifying improvements were completed and the historic property Ad Valorem Tax Exemption Application was submitted on October 10, 2018, within three months of the Certificate of Occupancy, which was issued on September 24, 2018. The tax exemption will be limited to the increase in assessed value (as determined by the Palm Beach County Property Appraiser) resulting from the subject improvements and provide an abatement of taxes on the City and County portions for a period of ten years from the date of approval.

Pursuant to LDR Section 4.5.1(J)(8), Historic Preservation Exemption Covenant, the covenant required in order to qualify for the exemption:

- (a) To qualify for an exemption, the applicant must sign and return the Historic Preservation Exemption Covenant with the Final Application/Request for Review of Completed Work. The covenant as established by the Department of State, Division of Historical Resources, shall be in a form approved by the City of Delray Beach City Attorney's Office and applicable for the term for which the exemption is granted and shall require the character of the property and qualifying improvements to be maintained during the period that the exemption is granted.
- (b) On or before the effective date of the exemption, the owner of the property shall have the covenant recorded in the official records of Palm Beach County, Florida, and shall cause a certified copy of the recorded covenant to be delivered to the City's Historic Preservation Planner. Such covenant shall be binding on the current property owner, transferees, and their heirs, assigns and successors. A violation of the covenant shall

result in the property owner being subject to the payment of the differences between the total amount of the taxes which would have been due in March of each of the previous years in which the covenant or agreement was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in Sec. 212.12(3), Florida Statutes.

LDR Section 4.5.1(J)(10), Revocation Proceedings, provides guidelines to revocation of the tax exemption upon violation of the recorded covenant.

- (a) The Historic Preservation Board may initiate proceedings to revoke the ad valorem tax exemption provided herein, in the event the applicant, or subsequent owner or successors in interest to the property, fails to maintain the property according to the terms, conditions and standards of the Historic Preservation Exemption Covenant.**
- (b) The Historic Preservation Planner shall provide notice to the current owner of record of the property and the Historic Preservation Board shall hold a revocation hearing in the same manner as in Section 4.5.1(M)(10), and make a recommendation to the City Commission.**
- (c) The City Commission shall review the recommendation of the Historic Preservation Board and make a determination as to whether the tax exemption shall be revoked. Should the City Commission determine that the tax exemption shall be revoked, a written resolution revoking the exemption and notice of penalties as provided in Paragraph 8 of the covenant shall be provided to the owner, the Palm Beach County Property Appraiser, and filed in the official records of Palm Beach County.**
- (d) Upon receipt of the resolution revoking the tax exemption, the Palm Beach County Property Appraiser shall discontinue the tax exemption on the property as of January 1st of the year following receipt of the notice of revocation.**

The Sections noted above regarding the “Restrictive Covenant” and “Revocation Proceedings” are provided to demonstrate that the tax exemption is binding, and if violated, the property owner would have to comply with the consequences.

The tax exemption request complies with the criteria contained in LDR Section 4.5.1(J) as the Historic Preservation Board approved the associated improvements by making positive findings with respect to the applicable LDR Sections, Delray Beach Historic Preservation Design Guidelines, and Secretary of the Interior’s Standards for Rehabilitation; therefore, positive findings can be made with respect to LDR Section 4.5.1(J).

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Recommend approval to the City Commission of the historic property Ad Valorem Tax Exemption Application for improvements to the property at **106 SE 7th Avenue, Marina Historic District**, based upon positive findings with respect to Land Development Regulation Section 4.5.1(J).
- C. Recommend denial to the City Commission of the historic property Ad Valorem Tax Exemption Application for improvements to the property at **106 SE 7th Avenue, Marina Historic District**, based upon a failure to make positive findings with respect to Land Development Regulation Section 4.5.1(J).

RECOMMENDATION

Recommend approval to the City Commission of the historic property Ad Valorem Tax Exemption Application (2018-150) for improvements to the property at **106 SE 7th Avenue, Marina Historic District**, based upon positive findings with respect to Land Development Regulation Section 4.5.1(J).

Attachments: Tax Exemption Application and Supporting Documents

Report Prepared by: Michelle Hoyland, Principal Planner

From: **Dan Sloan** ds1750@bellsouth.net
Subject: Re: Additional Requested Items :: Tax Abatement Form/Application for Phase 1 renovations to 106 SE 7th Avenue just completed.
Date: October 17, 2018 at 2:06 PM
To: Hoyland, Michelle HoylandM@mydelraybeach.com
Cc: Donnamarie Sloan donna@sloandesign.biz

Hi Michele,

Attached is a digital copy of:

1. CO from Building Dept (was also on the flash drive submitted previously)
2. Signed and Notarized Owners Consent forms from both Donna and Myself to appoint myself as Agent in this matter
3. Signed and Sealed Survey... NOTE Signed & Sealed ORIGINAL IS 24x36 i'll be dropping that off... Abe had said just drop off 11x17 size of all plans/surveys/etc. (was also on the flash drive submitted previously)
4. I'll take a whole bunch of Elevation Photos from a step ladder as soon as the Awnings are installed in the near future and send them under separate cover...there is a lot of landscaping/trees so it will be pretty hard to impossible to see the entire north and south facades for example.

I'd like to drop off the originals for items 1 to 3 this pm if ok...

Please let me know...thanks!

Dan Sloan, Architect
AIA, LEED A.P.
Sloan & Sloan
Architecture + Interior Design
AIA, ASID, & FGBC Members
(561) 243-8755
dan@sloandesign.biz
www.sloandesign.biz

City of Delray Beach Florida
100 NW 1ST AVE
DELRAY BEACH FL 33444



CERTIFICATE OF OCCUPANCY/CERTIFICATE OF COMPLETION

Application Number 17-00167664 000 000
CO Issue Date 9/24/18
Parcel Number 12 43 46 16 D7 000 0010
Property Address 106 SE 7TH AVE
DELRAY BEACH FL 33483
Subdivision Name SLOAN HAMMOCK LAND COND
Legal Description SLOAN HAMMOCK LAND COND
LAND UNIT 1
MARINA HISTORIC DISTRICT
Property Zoning UNKNOWN
Owner SLOAN DANIEL & MARIE
106 SE 7TH AVE
DELRAY BEACH FL 33483-5243
Contractor CONCH CUSTOM HOMES INC
Description of Work ADDITION - SINGLE FAMILY
Valuation \$ 141,675
Construction Type UNKNOWN
Occupancy Type RESIDENTIAL
Flood Zone UNKNOWN
Building Code Edition FBC/SBC: 1994, 1997, 2001, 2004, 2007, 2010, 2014

NOTES:

CONSTRUCT ADDITION TO SINGLE FAMILY:
ADDITION OF 1ST FLOOR LIBRARY, 2ND
FLOOR MASTER SUITE
uplift test ok 04.24.18 pe
CODE VER: FBC 2014



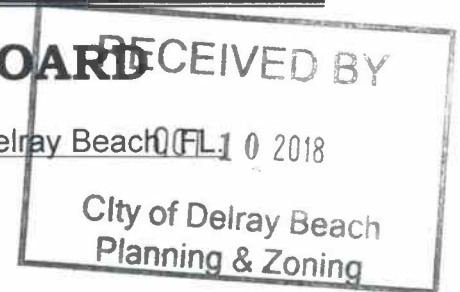
HISTORIC PROPERTY AD VALOREM TAX EXEMPTION APPLICATION



HISTORIC PRESERVATION BOARD

Submittal Date: _____ Property Address: 106 SE 7th Ave, Delray Beach, FL 33431 01/01/2018

Historic District/Site: Marina Historic District



INSTRUCTIONS FOR COMPLETING AND FILING THE TAX EXEMPTION APPLICATION

The submittal of an application package will require an application submittal appointment. The appointment is required to ensure that all required materials, exhibits, and information is included and provided. Prior to the submittal of the application package please call the Planning, Zoning and Building Department at 561.243-7040 for an appointment. All application packages will only be accepted for processing when deemed complete at the time of submittal. If the submittal is deemed incomplete, the application will not be accepted until all components, including any fees, are provided together in one submittal.

Applications may be submitted to the Planning and Zoning Department at any time between the hours of 8:00 a.m. and 5:00 p.m., Monday thru Friday. Please submit application and all required materials at the same time. Incomplete applications will not be accepted. The Historic Preservation Board (HPB) will act on a tax exemption application at the next applicable meeting upon confirmation by the Historic Preservation Planner that the application is complete and satisfies the requirements of LDR Section 4.5.1(J) and is therefore eligible for review by the Historic Preservation Board. This review period takes approximately **sixty (60) days**. Please review page 9 for complete application processing information.

Tax Exemption Applications must be submitted within three months of Certificate of Occupancy (Final Inspection), and **no later than July 1st** to receive the exemption on the following year's taxes.

The application must be accompanied by the \$100.00 processing fee (make checks payable to the City of Delray Beach). Please print or type all of the required information and ensure that the application is complete and accurate. It is necessary that an owner, or an authorized agent, be present at the Board meeting when the application is reviewed. If a property owner wishes to designate a representative/agent, please execute the "Owner's Consent and Designation of Agency" form found in this application.

Pursuant to the City's Land Development Regulations' Section 2.4.6(J)(2)(b) no application for a COA will be accepted by the HPB unless it contains all required and pertinent information. A pre-application conference with a member of the Planning Staff is strongly recommended, and can be scheduled at your convenience.

All projects will be reviewed and evaluated for conformance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Standards for Rehabilitation are broadly worded to guide the improvement of all types of historic properties.

The underlying concern expressed in the referenced Standards and Guidelines is the preservation of significant historic materials and features of a building or archaeological site in the process of restoration, rehabilitation or renovation. Evaluation is based on whether or not the overall project is consistent with the Standards and Guidelines. Proposed work that does not appear to be consistent with the Standards and Guidelines will be identified, and advice will be given to assist property owners, architects, or builders in bringing the project into conformance.

Notes:

1. A digital copy of all plan exhibits and application documentation provided on CD is required with the submittal of the application and each subsequent resubmittal. The digital copy must be in a PDF format and shall be prepared at a size of 8½" x 11" or 11"x 17", depending upon legibility.
2. Citizens that request a presentation before the Board or City Commission that is on a portable flash drive device must provide their media to the City Clerk's Office, no later than 12:00 pm one day prior to the meeting where they wish to present. The City laptops will not accept (won't even recognize) any jump drives inserted without prior IT scanning. There will be a zero tolerance policy on this. Applicants have the option to bring their own laptops for their presentation.
3. Board & City Commission Presentations: All applicants are now expected to present their items in full to the Board or City Commission prior to Staff's presentation. City Staff will introduce the item and enter the file into the record; the applicant will then be given time to present their item. Following the applicant's presentation, City Staff will provide a brief overview of code compliance and recommended actions, in addition to relevant information not provided by the applicant.

All applicant presentations must be submitted to the Project Planner a minimum of 3 full business days prior to the day of the City Commission or Board meeting. For example, the SPRAB meetings occur on Wednesdays. The applicant's presentation must be submitted by 5pm on the Thursday prior to the meeting.

**CITY OF DELRAY BEACH PLANNING AND ZONING DEPARTMENT
PROPERTY TAX EXEMPTION APPLICATION**

Project Name/Address: Sloan Residence Renovations & Additions- Phase 1

PART ONE - APPLICANT INFORMATION:

APPLICANT

Name: Dan & Donnamarie Sloan

Mailing Address: 106 SE 7th Ave, Delray Beach, FL. 33483.

Telephone Number: (561) 243-8755 E-Mail: dsloan@sloandesign.biz

AGENT

Name: _____

Mailing Address: _____

Telephone Number: _____ E-Mail: _____

OWNER (if other than applicant)

Name: _____

Mailing Address: _____

Telephone Number: _____ E-Mail: _____

Applicant is: Owner ☒ Lessee [] Other _____

Statement of Significance:

Summarize how the building contributes to the significance of the district. This summary should relate to the significance of the district (including the district's period of significance) as identified in the National Register nomination or district designation documentation. Is it similar to other buildings in the district in scale, building materials, style, and period of construction? Note important persons from the past associated with the building, former uses of the property, and the name of the architect or builder, if known.

PLEASE SEE ATTACHED

PART THREE – PROJECT INFORMATION

Type of request:

(XX) Exemption under 196.1997, F.S. (standard exemption)

() Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public)

Project Start Date: 4/4/17 Project Completion Date: 9/24/18

(Certificate of Occupancy Issued by Building Department)

Total Estimated Project Costs: \$139,500

Total Project Cost Attributed Solely to the Historic Structure: \$139,500

PART FOUR: APPLICATION REQUIREMENTS

Please provide one complete of all applicable items noted below.

☒ **Warranty Deed**

☒ **Survey** – Provide a copy of a survey from both before and after the improvements when the building footprint(s) has changed.

☒ **Site Plan, Exterior Elevations, Floor Plans** – As approved by the HPB.

☒ **Attachment Sheets** – When necessary.

☒ **Photographs (Labeled)** – Provide a before and after photo of each exterior elevation, all new construction, and all interior improvements. Each page should contain a before and after photo of the same item; provide a corresponding description of the photos and the improvements. Photographs are not returnable. Polaroid photographs are not acceptable. Such documentation is necessary for evaluation of the effect of the improvements on the historic structure. Where such documentation is not provided, review and evaluation cannot be completed. This shall result in a recommendation for denial of the request for exemption. NOTE: All features should be identified with the approximate date, a description, and impact of work on existing feature. All pages should include the property address.

☒ **Most Recent Tax Bill**

☒ **Applicable Fee, payable to the City of Delray Beach** - See cover sheet.

☐ **Executed Agent Authorization Form** - N/A

PART FIVE: APPLICATION REVIEW

For Historic Preservation Planner Use Only.

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Certifies that the above referenced property qualifies as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
 - () Certifies that the above referenced property does not qualify as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
 - () Certifies that the above referenced property qualifies for the special exemption provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
 - () Certifies that the above referenced property does not qualify for the special exemption provided under s. 196.1998, F.S.
-

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that improvements to the above referenced property are consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.
 - () Determines that improvements to the above referenced property are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*
-

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that the completed improvements to the property are consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends approval of the requested historic preservation tax exemption.
- () Determines that the completed improvements to the above referenced property are not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments: _____

Signature _____

Typed or printed name _____

Title _____

PART SIX: OWNER ATTESTATION

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by the Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Daniel Sloan, for Daniel & Donna Sloan
Name


Signature

10/01/18
Date

Complete the following if signing for an organization or multiple owners:

Title

Organization name

I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work as approved by the Historic Preservation Board. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work approved by the Historic Preservation Board. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application, I agree to allow access to the property by Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

Daniel Sloan, for Daniel & Donna Sloan
Name


Signature

10/01/18
Date

Complete the following if signing for an organization or multiple owners:

Title

Organization name

RECEIVED BY

OCT 22 2018

City of Delray Beach
Development Services Dept.
Planning & Zoning Div.

PART SEVEN: OWNER'S CONSENT AND DESIGNATION OF AGENCY

(This form must be completed by ALL property owners)

I, Donnamarie M. Sloan, the fee simple owner (jointly with Daniel Sloan) of the following described
(Owner's Name)
property (give legal description):

Sloan Residence, 106 SE 7th Ave., Delray Beach, FL. 33483 a/k/a Unit #1 Sloan Hammock,

a Land Condominium, Delray Beach, FL as recorded in PB 12283, Page 841, Public

Records of Palm Beach Co., FL,

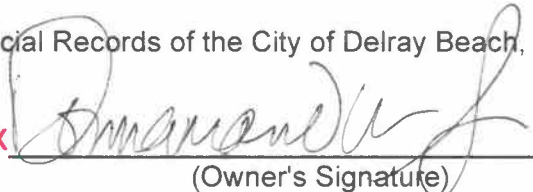
hereby petition to the City of Delray Beach for approval of a Tax Exemption Application for the
property located at 106 SE 7th Ave., Delray Beach, FL. 33483 and affirm that

Dan Sloan, Architect of Record & Joint Owner is hereby designated

(Applicants/Agent's Name)

to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted
are true and accurate to the best of my knowledge. Further, I understand that this application,
attachments and fees become part of the Official Records of the City of Delray Beach, Florida,
and are not returnable.

x 
(Owner's Signature)

The foregoing instrument was acknowledged before me this 17, day of October,

20 18 by DONNA SLOAN, who is personally known to me or has produced
Florida License (type of identification) as identification and who did take an oath.

Mary E. Doughty
(Printed Name of Notary Public)


(Signature of Notary Public)

Commission # FF995974, My Commission Expires 6/17/2020.

(NOTARY'S SEAL)



Mary E. Doughty
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF995974
Expires 6/17/2020

PART SEVEN: OWNER'S CONSENT AND DESIGNATION OF AGENCY

(This form must be completed by ALL property owners)



I, Daniel Sloan, the fee simple owner (jointly with Donnamarie Sloan) of the following described
(Owner's Name)
property (give legal description):

Sloan Residence, 106 SE 7th Ave., Delray Beach, FL. 33483 a/k/a Unit #1 Sloan Hammock,

a Land Condominium, Delray Beach, FL as recorded in PB 12283, Page 841, Public

Records of Palm Beach Co., FL,

hereby petition to the City of Delray Beach for approval of a Tax Exemption Application for the
property located at 106 SE 7th Ave., Delray Beach, FL. 33483 and affirm that

Dan Sloan, Architect of Record & Joint Owner is hereby designated
(Applicants/Agent's Name)

to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted
are true and accurate to the best of my knowledge. Further, I understand that this application,
attachments and fees become part of the Official Records of the City of Delray Beach, Florida,
and are not returnable.

x [Signature]
(Owner's Signature)

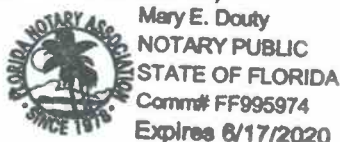
The foregoing instrument was acknowledged before me this 17, day of October,
2018 by Daniel Sloan, who is personally known to me or has produced
Florida License (type of identification) as identification and who did take an oath.

Mary E. Dauty
(Printed Name of Notary Public)

[Signature]
(Signature of Notary Public)

Commission # FF995974, My Commission Expires 6/17/2020.

(NOTARY'S SEAL)



City of Delray Beach Florida
100 NW 1ST AVE
DELRAY BEACH FL 33444

CERTIFICATE OF OCCUPANCY/CERTIFICATE OF COMPLETION

Application Number 17-00167664 000 000
CO Issue Date 9/24/18
Parcel Number 12 43 46 16 D7 000 0010
Property Address 106 SE 7TH AVE
DELRAY BEACH FL 33483
Subdivision Name SLOAN HAMMOCK LAND COND
Legal Description SLOAN HAMMOCK LAND COND
LAND UNIT 1
MARINA HISTORIC DISTRICT
Property Zoning UNKNOWN
Owner SLOAN DANIEL & MARIE
106 SE 7TH AVE
DELRAY BEACH FL 33483-5243
Contractor CONCH CUSTOM HOMES INC
Description of Work ADDITION - SINGLE FAMILY
Valuation \$ 141,675
Construction Type UNKNOWN
Occupancy Type RESIDENTIAL
Flood Zone UNKNOWN
Building Code Edition : . . FBC/SBC: 1994, 1997, 2001, 2004, 2007, 2010, 2014

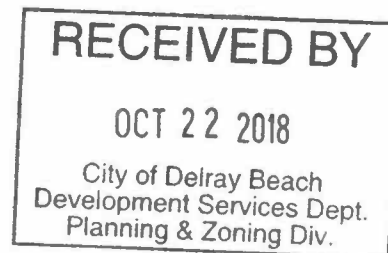
NOTES:

CONSTRUCT ADDITION TO SINGLE FAMILY:
ADDITION OF 1ST FLOOR LIBRARY, 2ND
FLOOR MASTER SUITE
uplift test ok 04.24.18 pe
CODE VER: FBC 2014
THE CITY OF DELRAY BEACH ENCOURAGES THE
USE OF ENERGY STAR PRODUCTS.

Building Official Steve Tobias,



VOID UNLESS SIGNED BY BUILDING OFFICIAL OR DESIGNEE



The described portion of the structure has been inspected for compliance with the requirements of the code for the occupancy and division of occupancy and the use for which the proposed occupancy is classified.

ADDENDUM "A" To PROPERTY TAX EXEMPTION APPLICATION for 106 SE 7th Ave., Delray Beach, FL. Dated 10/1/2018

Description of Physical Appearance Prior to Improvements:

<Provide information about the major *exterior and interior* features of the building. Describe the building in its *existing condition* (before improvement) – not as it was when first built (unless unchanged) or as it will be after improvement. Note the architectural style, exterior construction materials (wood, brick, etc.), type of roof (flat, gable, hipped, etc.), number of stories, basic plan (rectangular, irregular, L-shaped, etc.), and distinguishing architectural features (placement and type of windows, chimneys, porches, decorative interior features or spaces). Describe any changes that have been made to the building since its original construction (i.e., additions, porch enclosures, new storefronts, relocation of doors and windows, and alterations to the interior). Other buildings on the property such as carriage houses, barns and sheds should also be described. Finally, discuss the way in which the building relates to others in the district in terms of siting, scale, material, construction, and date of construction.>

A BRIEF DESCRIPTION and HISTORY of The SLOAN RESIDENCE

106 SE 7th Avenue, Delray Beach, Florida, Updated 4/06/06 [File: History.SloanRes.COA.doc](#)

A. HISTORY of the RESIDENCE

This Contributing Residence was constructed in 1924 and is one of the oldest residences in the Marina Historic District. No specific information about the original owner or builder was able to be found. The Architectural Style of the building is the Mission Style, which was rooted in the American West and Southwest and was a very popular 1920's boom Design. All of the historic districts in the city of Delray Beach have examples of this style.

The one story building had an elongated rectangular plan. The Exterior Construction Materials included a Flat roof system (tar and gravel) with distinctive curved parapet walls around the perimeter, and a textured Stucco exterior. Frame construction was utilized with a crawl space, decorative roof drain scuppers and downspouts (galvanized and partially rusted out).

The distinctive architectural features included: Stucco exterior finishes (which was done by skip trowelling on stucco and then smoothing out slightly with a damp sponge to soften the edges), Curved parapet walls at the roof line, 4/1 and 5/1 Wood double hung windows and 6 light wood casement windows in the rear bedroom, a distinctive masonry fireplace on the north facade, and Terra Cotta Attic Ventilators (rectangular shaped hand made with (6) subdivisions, installed at an angle to keep out rain but allow air to flow into attic). The interior has distinctive features including a concrete fireplace tooled to look like stone, Wood Door and window trim, "Dade County" pine flooring throughout except for the bathrooms, and hand plastered walls.

B. DESCRIPTION OF PHYSICAL APPEARANCE

(Building Description before 1993-1994 Renovations)

Changes made to the original building prior to the Sloan's purchase of the property in 1992 include a front porch and one car garage which were added in the 1950's, the front porch windows were replaced with crude wood slats and the porch door and garage doors were replaced with inexpensive store bought wood "Barn" doors. One of the dining room windows was replaced with an aluminum awning window. Certain windows had been so weather damaged that they were boarded up. Interior alterations included: removing the original claw foot cast iron tub (and burying it in the back yard) and replacing it with a very inexpensive steel tub with stick on vinyl tiles as a shower surround. The Exterior walls and wood windows show extensive termite damage, which needed to be repaired. A secondary (not to code) bathroom had been added to the rear of the house in the 60's. This bathroom has an incongruous shed roof and board and batten siding.

A BRIEF DESCRIPTION and HISTORY of The SLOAN RESIDENCE

106 SE 7th Avenue, Delray Beach, Florida, Updated 4/06/06 File: History.SloanRes.COA.doc

C. DESCRIPTION OF 1993-1994 RENOVATIONS

(This work was designed and constructed by Dan & Donna Sloan)

This work encompassed removing all rotted perimeter and interior bearing stud walls and reframing same with new 2x4 Pressure Treated Wood Stud walls. As part of this work new foundations were installed for each bearing element. This painstaking work was accomplished in 8' segments as the old structure had to be carefully braced prior to removal of rotted wood wall segments.

At the same time all floor joists, ceiling joists, and roof rafters were either replaced or new 2x pressure treated members were "sistered" to the side of each and every member. Again, very slow process. Next custom made wood windows 4/1 or 5/1 light pattern with traditional narrow mullions were installed with "Florida" style exterior brickmold to match the original windows. Exterior wood French doors were then installed

Subsequently, all mechanical, electrical, and plumbing system components were 100% replaced and the structure was insulated. Next all walls received blue board and a very textured layer of plaster except for kitchen, bath, and ceilings, which were finished smooth.

As all of the old doors were missing from the home (not one room had a interior door) salvaged doors from the Pennsylvania Hotel in West Palm Beach were located. These 1926 doors were of varying sizes, but similar raised panel styles with crystal mortise set locksets. A custom doorframe was built for each door and each door opening was in turn built to accommodate the particular door assembly. Interior door and window trim was installed replicating the style prevalent at the time and based on samples found in the home.

Cabinetry was then installed, final mechanical, electrical, and plumbing system components installed. Then floor finishes and painting and staining was completed.

ADDENDUM "B" To PROPERTY TAX EXEMPTION APPLICATION for 106 SE 7th Ave., Delray Beach, FL. Dated 10/1/2018

Statement of Significance:

<Summarize how the building contributes to the significance of the district. This summary should relate to the significance of the district (including the district's period of significance) as identified in the National Register nomination or district designation documentation. Is it similar to other buildings in the district in scale, building materials, style, and period of construction? Note important persons from the past associated with the building, former uses of the property, and the name of the architect or builder, if known.>

This Home was completely renovated in 1995-6 with the goal acting as the Architectural Centerpiece of the of the "Sloan Hammock" project (106 to 114 SE 7th Ave). The intent was to create a complex that utilized a historical structure as the focal point and incorporates a modern interpretation of Florida Vernacular Architecture in the new and renovated surrounding structures. This created an intimate development that retained the old Florida charm in a modern day setting. The public spaces of the property and accompanying gardens are one of the most intimate and charming in Delray Beach today and the historic home is a key feature.

The single family house that forms the focal point of the project was constructed in 1924-5 on a 50'x135' lot and was designed in the Mission Style of Architecture. We restored this structure to its original character and constructed a garage/home office outbuilding of compatible architectural style to the rear of the residence. An intimate landscaped courtyard was created between the two structures. Through the years numerous additions and modifications were made to this property. The most unsightly was the broken asphalt and concrete paving of most of the front yard and side yards. As part of the restoration the paving was completely removed and restored to landscaped areas. The new garage & parking area off the alley provided the necessary parking capacity and would utilize the existing paved alley for access. Because of the location of the historic residence on the site space is at a premium. Therefore, the construction of the garage required a variance from the RM setback requirements. This project falls under the RM Development standards due to City Staff's requirement that the three lots be combined in order to develop the site as a unified project. The lot was originally developed under the R1A Development Standards which are more appropriate for this historic district.

This historical residence is similar to other Mission Style homes in the Marina Historic District built slightly later. Several of these Mission Style homes are 2 story with a Barrel Tile Mansard Decorative Elements, a mixture of Single Hung and Casement Windows, and other typical Mission Style design elements. They all have Stucco Wall Finishes of varying textures.

If interest is the fact that a famous local architect, Samuel Ogren, Sr., drew up plans to reconfigure the home (which were never realized). These plans are the only drawings or records we have found in the Delray Beach Historical Society Archives or City Building Dept. Records to date. The name of the original builder and architect are lost to history.

Return to:
LISTICK & KRALL, P.A.
616 E. Atlantic Avenue
Delray Beach, FL 33483

This instrument prepared by:
MARK L. KRALL, ESQ.
LISTICK & KRALL, P.A.
616 E. Atlantic Avenue
Delray Beach, FL 33483



Quit-Claim Deed

THIS QUIT-CLAIM DEED, executed this 5th day of January, A.D., 2001, by HISTORIC PARTNERS, a Florida General Partnership, whose address is 106 S.E. 7th Avenue, Delray Beach, FL. 33483, first party, to DANIEL SLOAN and DONNA MARIE SLOAN, his wife, whose post office address is 106 S.E. 7th Avenue, Delray Beach, FL. 33483, second party:

WITNESSETH, that the said first party, for and in consideration of the sum of TEN and 00/100 - - - (\$10.00) - - - - DOLLARS, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Palm Beach, State of Florida, to wit:

Unit 1, of SLOAN HAMMOCK, a land Condominium, according to the Declaration of Condominium thereof, as recorded in Official Records Book 9271, Page 258, of the Public Records of Palm Beach County, Florida, said unit being located within the boundaries of: Lot 2, Block 118, of the Plat of Delray Beach, f/k/a Town of Linton, according to the Plat thereof, as recorded in Plat Book 1, Page 3, and on the Plat of Conkling & Thorndyke (a resubdivision of Block 118) according to the Plat thereof, recorded in Plat Book 2, Page 8, both of the Public Records of Palm Beach County, Florida.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behalf of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered
in our presence:

HISTORIC PARTNERS, a Florida general partnership

By: [Signature] (SEAL)
Daniel Sloan, General Partner

[Signature]
Witness signature

MARK L. KRALL
Printed name of witness

SINCE THE PARTNERS OF THE GRANTOR PARTNERSHIP
ARE THE SAME AS THE GRANTEE'S, MINIMAL DOCUMENTARY
STAMPS ARE ATTACHED.

Jessie Rodriguez
Witness signature

Jessie Rodriguez
Printed name of witness

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me this 5th day of January, 2001, by DANIEL SLOAN, the General Partner of HISTORIC PARTNERS, a Florida general partnership, who is personally known to me or who has produced a Florida driver's license as identification and who did take an oath.

Mark L. Krall
Print name: MARK L. KRALL
NOTARY PUBLIC, STATE OF FLORIDA
Serial No.:
My commission expires:

This is Not a Certified Copy

2018 NOTICE OF PROPOSED PROPERTY TAXES AND PROPOSED OR ADOPTED NON-AD VALOREM ASSESSMENTS

Full Parcel ID: 12-43-46-16-D7-000-0010				DO NOT PAY THIS IS NOT A BILL			The taxing authorities which levy taxes against your property will soon hold PUBLIC HEARINGS to adopt budgets and tax rates for the next year. The purpose of these PUBLIC HEARINGS is to receive opinions from the general public and to answer questions on the proposed tax change and budget PRIOR TO TAKING FINAL ACTION. Each taxing authority may AMEND or ALTER its proposals at the hearing.			
Legal Description: SLOAN HAMMOCK LAND COND LAND UNIT 1										
	COLUMN 1			COLUMN 2			COLUMN 3			A public hearing on the proposed taxes and budget will be held at the locations and dates below
Taxing Authority *Dependent Special Districts	Your Property Taxes Last Year			Your Taxes This Year If proposed budget change is made			Your Taxes This Year If no budget change is made			
	Taxable Value	Millage Rate	Tax Amount	Taxable Value	Millage Rate	Tax Amount	Taxable Value	Millage Rate	Tax Amount	
COUNTY										9/04 6:00 PM (561) 355-3996 301 N Olive Ave 6th Fl WPB 33401
County Operating	245,260	4.7815	1,172.71	251,460	4.7815	1,202.36	251,460	4.5537	1,145.07	
County Debt	245,260	.1208	29.63	251,460	.1165	29.30	251,460	.1165	29.30	
PUBLIC SCHOOLS										9/05 5:05 PM (561) 434-8837 3300 Forest Hill Blvd WPB 33406
By State Law	270,260	4.2710	1,154.28	276,460	4.0740	1,126.30	276,460	4.0883	1,130.25	
By Local Board	270,260	2.4980	675.11	276,460	2.4980	690.60	276,460	2.3911	661.04	
MUNICIPALITY										9/06 6:00 PM (561) 243-7128 100 NW First Ave Delray Beach 33444
Delray Beach Operating	245,260	6.8611	1,682.75	251,460	6.7611	1,700.15	251,460	6.5482	1,646.61	
Delray Beach Debt	245,260	.2289	56.14	251,460	.2108	53.01	251,460	.2108	53.01	
INDEPENDENT SPECIAL DISTRICTS										9/13 5:15 PM (561) 686-8800 3301 Gun Club Rd WPB 33406 9/06 5:30 PM (561) 627-3386 190 E 13th St Riviera Bch FL 33404 9/07 5:01 PM (561) 740-7000 2300 High Ridge Rd ByntrnBch 33426 9/11 5:15 PM (561) 659-1270 600 Okeechobee Blvd. WPB,FL 33401
So. Fla. Water Mgmt. Basin	245,260	.1384	33.94	251,460	.1310	32.94	251,460	.1310	32.94	
So. Fla. Water Mgmt. Dist.	245,260	.1275	31.27	251,460	.1209	30.40	251,460	.1209	30.40	
Everglades Construction	245,260	.0441	10.82	251,460	.0417	10.49	251,460	.0417	10.49	
Fl. Inland Navigation District	245,260	.0320	7.85	251,460	.0320	8.05	251,460	.0302	7.59	
Children's Services Council	245,260	.6590	161.63	251,460	.6403	161.01	251,460	.6266	157.56	
Health Care District	245,260	.7808	191.50	251,460	.7400	186.08	251,460	.7424	186.68	
Total Millage Rate & Tax Amount		20.5431	5,207.63		20.1478	5,230.69		19.6014	5,090.94	SEE REVERSE SIDE FOR EXPLANATION

NON-AD VALOREM ASSESSMENT					
LEVYING AUTHORITY	PURPOSE OF ASSESSMENT	UNITS	RATE	ASSESSMENT	CONTACT INFO.
SOLID WASTE AUTHORITY OF PBC CITY OF DELRAY BEACH	GARBAGE SERVICES	1	181.00	181.00	(561) 697-2700
	STORMWATER ASSESSMENT	1	62.68	62.68	(561) 243-7298
Total Non-Ad Valorem Assessment				243.68	



**2018 NOTICE OF PROPOSED PROPERTY TAXES
AND PROPOSED OR ADOPTED
NON-AD VALOREM ASSESSMENTS**



12-43-46-16-D7-000-0010 12984 HOMESTEAD
SLOAN DANIEL &
SLOAN MARIE
106 SE 7TH AVE
DELRAY BEACH FL 33483-5243

VALUE INFORMATION

If you feel that the market value of your property is inaccurate or does not reflect fair market value, or you are entitled to an exemption or classification that is not reflected above, contact your County Property Appraiser at the numbers listed on the reverse side of this page.

If the Property Appraiser's office is unable to resolve the matter as to market value, classification, or an exemption, you may file a petition for adjustment with the Value Adjustment Board. Petition forms are available from the County Property Appraiser's office. Your petition must be filed with the Clerk of Value Adjustment Board on or before: **5:00 PM September 14, 2018** at 301 N Olive Ave, West Palm Beach, FL 33401.

Market Value	Last Year (2017)	This Year (2018)
	478,000	478,000

Market (also called "Just") value is the most probable sale price for your property in a competitive, open market on Jan. 1, 2018. It is based on a willing buyer and a willing seller.

Taxing Authority	Assessed Value		Exemptions		Taxable Value	
	Last Year	This Year	Last Year	This Year	Last Year	This Year
County Operating	295,260	301,460	50,000	50,000	245,260	251,460
County Debt	295,260	301,460	50,000	50,000	245,260	251,460
Public Schools	295,260	301,460	25,000	25,000	270,260	276,460
Municipality Operating	295,260	301,460	50,000	50,000	245,260	251,460
Municipality Debt	295,260	301,460	50,000	50,000	245,260	251,460
Independent Special Dist	295,260	301,460	50,000	50,000	245,260	251,460

Assessed Value is the market value minus any assessment reductions.

Exemptions are specific dollar or percentage amounts that reduce your assessed value.

Taxable Value is the value used to calculate the tax due on your property (Assessed Value minus Exemptions).

Assessment Reductions	Applies To	Value
Save our Homes Assessment Cap- 2.1 percent in 2018	All Taxing Authorities	176,540

Properties can receive an assessment reduction for a number of reasons including the Save our Homes Benefit and the 10% non-homestead property assessment limitation.

Exemptions Applied	Applies To	Exempt Value
Homestead	All Taxing Authorities	25,000
Additional Homestead	Non-School Taxing Authorities	25,000

Any exemption that impacts your property is listed in this section along with its corresponding exempt value. Specific dollar or percentage reductions in assessed value may be applicable to a property based upon certain qualifications of the property or property owner. In some cases, an exemption's value may vary depending on the taxing authority. The tax impact of an exempt value may also vary for the same taxing authority, depending on the levy (i.e., operating millage vs debt service millage).

Photo Documentation for Tax Abatement Application for
Sloan Residence Renovations & 2nd Story Addition Prepared by Dan Sloan,
106 SE 7th Avenue, Delray Beach, FL , Preconst Photos 2/29/06, Post Construction Photos 10/01/18

COA #2016-139 & Building Permit# 17-000167664



Photo Documentation for Tax Abatement Application for
Sloan Residence Renovations & 2nd Story Addition Prepared by Dan Sloan,
106 SE 7th Avenue, Delray Beach, FL , Preconst Photos 2/29/06, Post Construction Photos 10/01/18

COA #2016-139 & Building Permit# 17-000167664



Important Note: Awnings are Not Yet Installed.
Estimated Installation Date is 10/15/2018

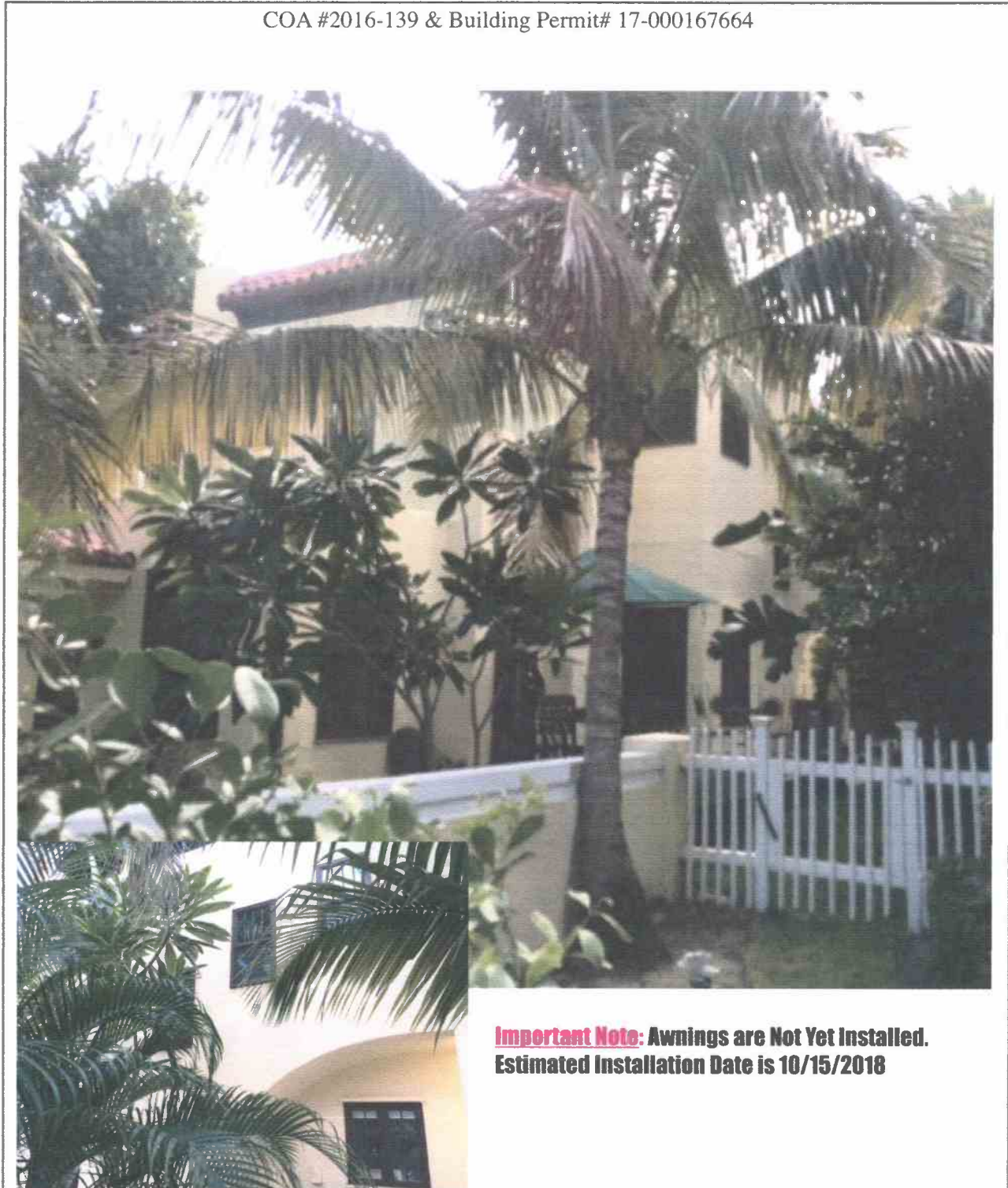
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Sloan Residence Renovations & 2nd Story Addition Prepared by Dan Sloan,
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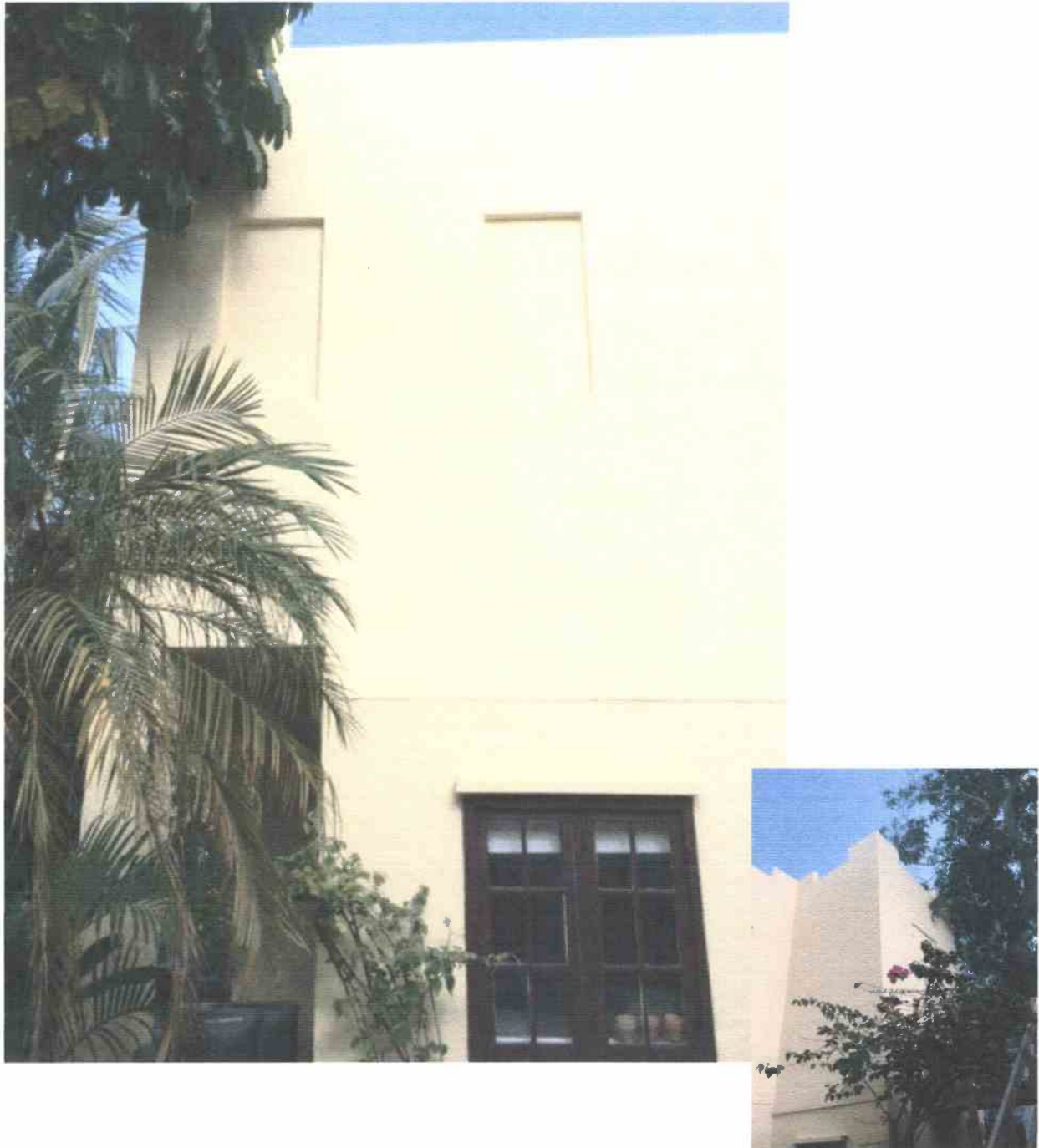


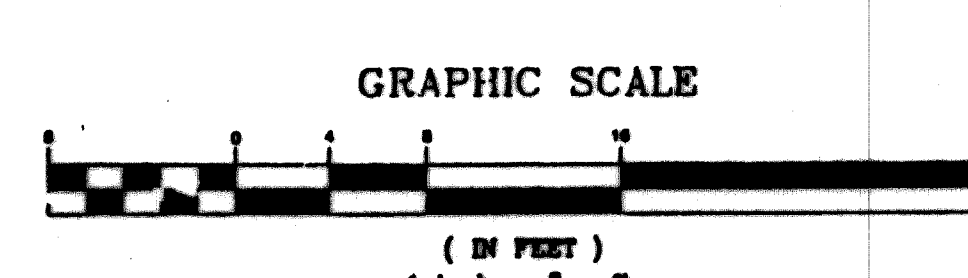
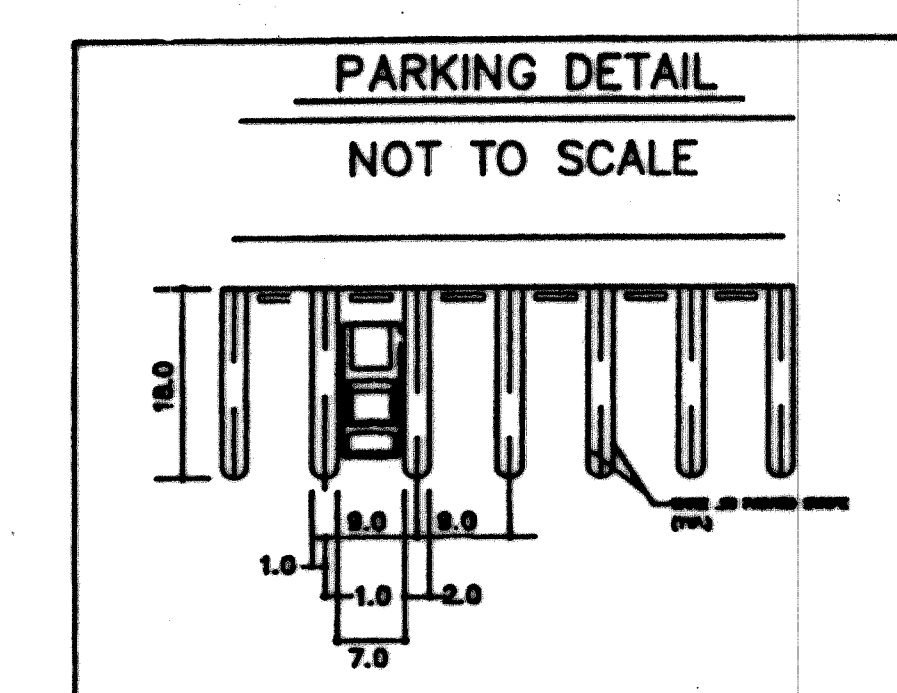
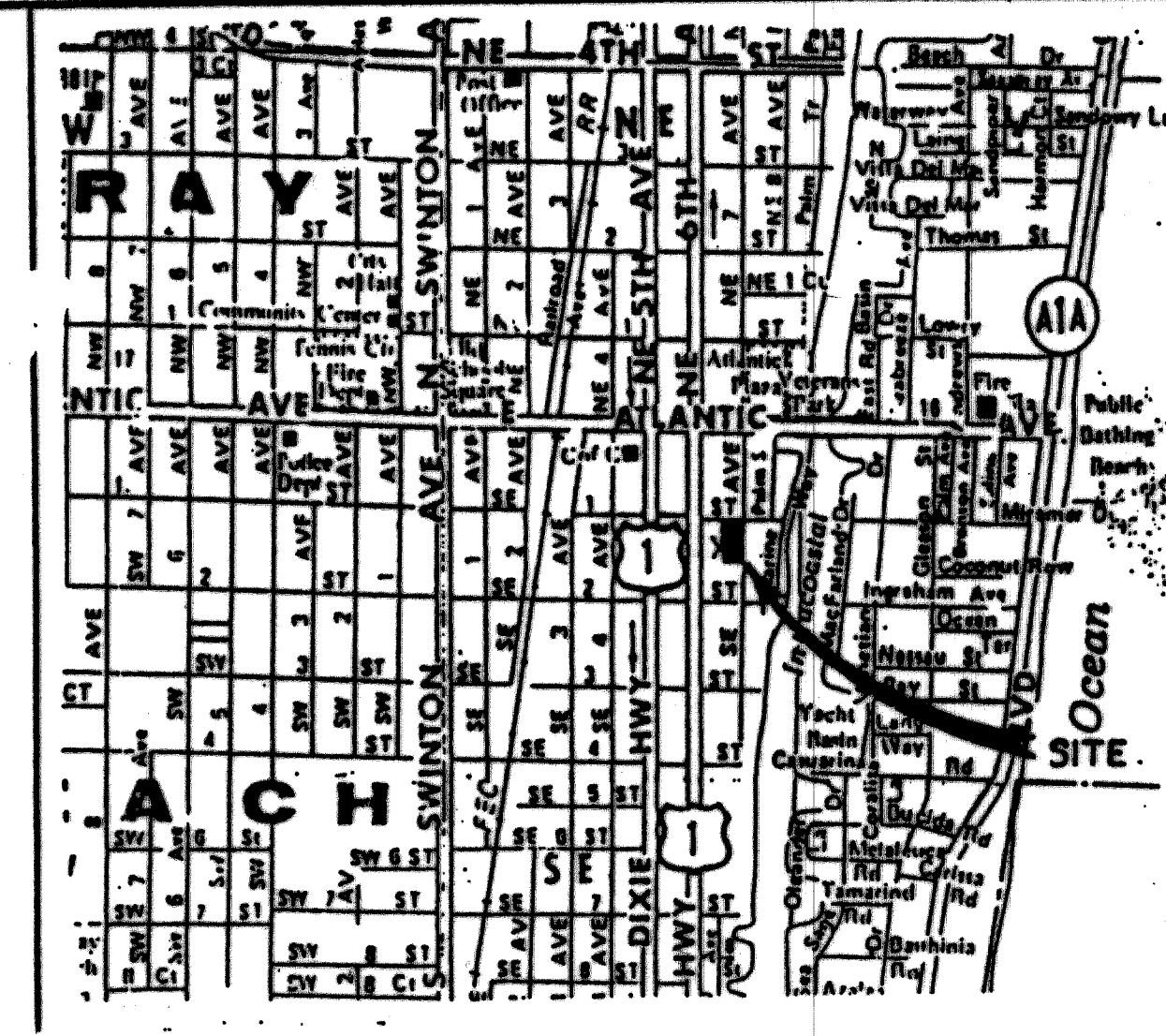
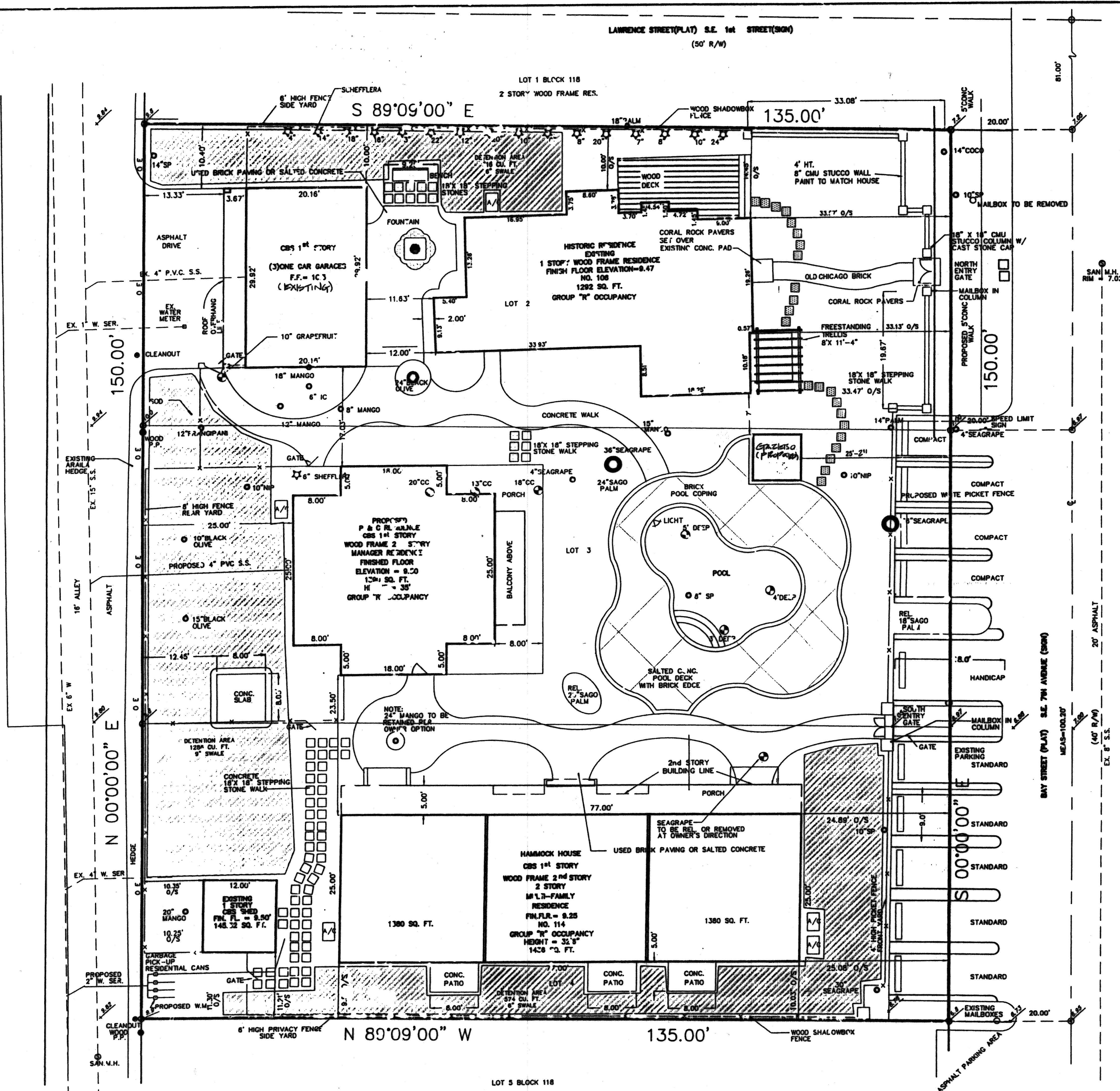
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COA #2016-139 & Building Permit# 17-000167664





These Construction Documents and the Conceptual Design Drawing they are predicated upon are the property of Sloan Design & Presentation Studios Inc. © 2006. all rights reserved. Not to be used without the express written permission of owner.



LAND DESCRIPTION:
 Lots 2, 3 and 4, Block 118, "Block 118 - D. RAY, FLA.", according to the plat book thereof, as recorded in Plat Book 2, Page 8 of the Public Records of Palm Beach County, Florida.

Told lands situate in the City of Delray Beach, Palm Beach County, Florida.

Containing 20,250 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants, and Rights-of-Way of Record.

TABULAR DATA

TOTAL SITE AREA	20,250 SQ. FT.	0.4648 AC.
BUILDING COVERAGE	5,893 SQ. FT.	29.1%
TOTAL FLOOR COVERAGE	13,348 SQ. FT.	
IMPERVIOUS AREA	4,375 SQ. FT.	22.6%
N (A) CAPED SPACE	9,782 SQ. FT.	48.3%
5 DWELLING UNITS		
10.6 DWELLING UNITS PER ACRE		
5 UNITS RANGING FROM 1,292 TO 1,898 SQ. FT.		
USE SINGLE FAMILY: CALCULATED AT 2 SPACES PER UNIT = 4		
USE MULTI/FAM: CALCULATED AT 2 SPACES PER UNIT = 6		
TOTAL SPACES REQUIRED = 10 + GUEST x 0.5/UNIT = 25 = 12.5		
TOTAL SPACES PROVIDED = 13		
SETBACKS		
FRONT: 25 FT.		
REAR: 25 FT.		
INTERIOR SIDE: 15 FT: ONE STORY & TWO STORY		
STREET SIDE: N/A		
HEIGHT: 35 FT. 2 FLOORS		

WATER QUALITY VOLUME REQUIRED & PROVIDED - 2176 c.f.
 SITE LIGHTING TO BE PROVIDED ON INDIVIDUAL UNITS
 RENTALS TO BE ON A YEARLY LEASE BASIS

SUBMITTED BY:

 JOHN F. WHEELER
 REGISTERED ENGINEER
 CERTIFICATE NO. 25478
 STATE OF FLORIDA
 DATE: SEP 29 1995

SLOAN HAMMOCK
 SITE PLAN

9/28/95
 EX. 1
 9/28/95

2242
 EX. 2
 9/28/95

1"=8'
 EX. 3
 9/28/95

9/28/95
 EX. 4
 9/28/95

2242
 EX. 5
 9/28/95

1"=8'
 EX. 6
 9/28/95

9/28/95
 EX. 7
 9/28/95

2242
 EX. 8
 9/28/95

1"=8'
 EX. 9
 9/28/95

9/28/95
 EX. 10
 9/28/95

2242
 EX. 11
 9/28/95

1"=8'
 EX. 12
 9/28/95

LAWRENCE STREET(PLAT) S.E. 1st STREET(SIGN)

(50' R/W)

LOT 1 BLOCK 118

2 STORY WOOD FRAME RES.

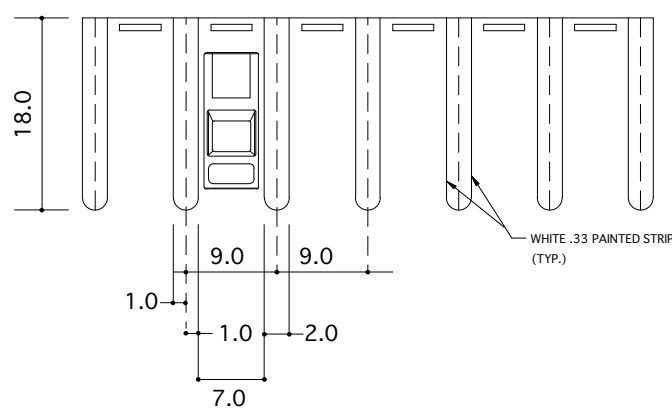
S 89°09'00" E

135.00'

81.00'

PARKING DETAIL

NOT TO SCALE



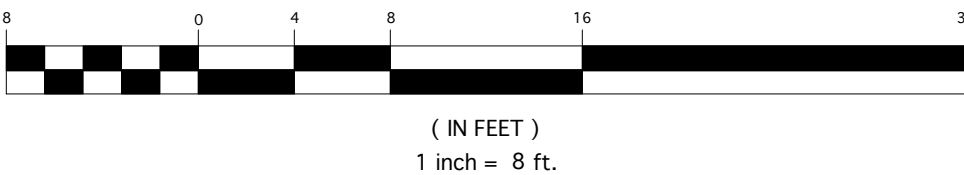
LOCATION MAP

NOT TO SCALE

TYPICAL
LEGEND NOTES

A/C - AIR CONDITIONER
L - ARC LENGTH
ASPH - ASPHALT
ALUM - ALUMINUM
BLDG - BUILDING
BLK - BLOCK
C & G - CURB AND GUTTER
C.B. - CATCH BASIN
C.M.P. - CORRUGATED METAL PIPE
C.O. - CLEANOUT
CALC. - CALCULATED
CATV - CABLE TELEVISION RISER
CBS - CONCRETE BLOCK & STUCCO CONC. - CONCRETE
COR - CORNER
COV. COVERED
D.E. - DRAINAGE EASEMENT
E.O.P. - EDGE OF PAVEMENT
E.O.W. - EDGE OF WATER
ELEC. - ELECTRIC
ELEV. - ELEVATION
ESMT. - EASEMENT
EXIST. - EXISTING
F.H. - FIRE HYDRANT
F.P.L. - FLORIDA POWER & LIGHT
FIN. - FINISHED
FLK. - FLOOR
FND. - FOUND
G.V. - GATE VALVE
I.P. - IRON PIPE
I.R./CAP. - IRON ROD & CAP
INT. - INTERSECTION
INV. - INVERT
L.P. - LIGHT POLE
CHATT. - CHATTAHOOCHEE
L.W.D.D. - LAKE WORTH DRAINAGE DISTRICT
M. - MANHOLE
MEAS. - MEASURED
MON. - MONUMENT
N/T - NAIL & TAB
NO. - NUMBER
O.E. - OVERHEAD ELECTRIC
O/L - ON LINE
O/S - BUILDING OFFSET
O.R.B. - OFFICIAL RECORD BOOK
P.B. - PLAT BOOK
P.C. - POINT OF CURVATURE
P.C.P. - PERMANENT CONTROL POINT
P.I. - POINT OF INTERSECTION
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCEMENT
P.P. - POWER POLE
P.R.M. - PERMANENT REFERENCE MONUMENT
PROP. - PROPOSED
P.T. - POINT OF TANGENCY
R - RADIUS
R.R. - RAILROAD
R/W - RIGHT-OF-WAY
RES. - RESIDENTIAL
RGE. - RANGE
S.B.T. - SOUTHERN BELL TELEPHONE
SAN. - SANITARY
SEC. - SECTION
SQ. FT. - SQUARE FEET
T.O.B. - TOP OF BANK
T.V. - TELEVISION
TWP. - TOWNSHIP
U.E. - UTILITY EASEMENT
W.M. - WATER METER
Δ - DELTA (CENTRAL ANGLE)
ALUM. - ALUMINUM
SCHEFFLERA

GRAPHIC SCALE



LAND DESCRIPTION :
Lots 2, 3 and 4, BLOCK 118, "BLOCK 118 - DELRAY, FLA.",
according to the plat book thereof, as recorded in Plat Book 2,
Page 8 of the Public Records of Palm Beach County, Florida.

Said lands situate in the City of Delray Beach, Palm Beach
County, Florida.

Containing 20,248 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants,
and Rights-of-Way of Record.

TABULAR DATA

TOTAL SITE AREA	20,250 SQ. FT.	0.4648 AC.
BUILDING COVERAGE	5,814 SQ. FT.	28.7%
TOTAL FLOOR COVERAGE	13,345 SQ. FT.	
PARKING/PAVED AREA	1,364 SQ. FT.	6.7%
OPEN (LANDSCAPED) SPACE	13,072 SQ. FT.	64.6%
5 DWELLING UNITS		
10.6 DWELLING UNITS PER ACRE		
5 UNITS RANGING FROM 1,292 TO 1,898 SQ. FT.		
USE SINGLE FAMILY:	CALCULATED AT 2 SPACES PER UNIT = 4	
USE MULTI/3BR:	CALCULATED AT 2 SPACES PER UNIT = 6	
TOTAL SPACES REQUIRED	= 10 + GUEST x 0.5/UNIT = 25 = 12.5	
TOTAL SPACES PROVIDED	= 13	
SETBACKS		
FRONT:	25 FT.	
REAR:	25 FT.	
INTERIOR SIDE:	15 FT: ONE STORY & TWO STORY	
STREET SIDE	N/A	
HEIGHT:	35FT. 2 FLOORS	

WATER QUALITY VOLUME REQUIRED & PROVIDED - 1688 c.f.
SITE LIGHTING TO BE PROVIDED ON INDIVIDUAL UNITS
RENTALS TO BE ON A YEARLY LEASE BASIS

NOTE:

NEW 2016 PROPOSED 3' X 12.5' FIRST FLOOR ADDITION IS 2/10 OF 1%
CHANGE TO LOT COVERAGE RATIO = 0% CHANGE

SLOAN HAMMOCK
SITE PLAN

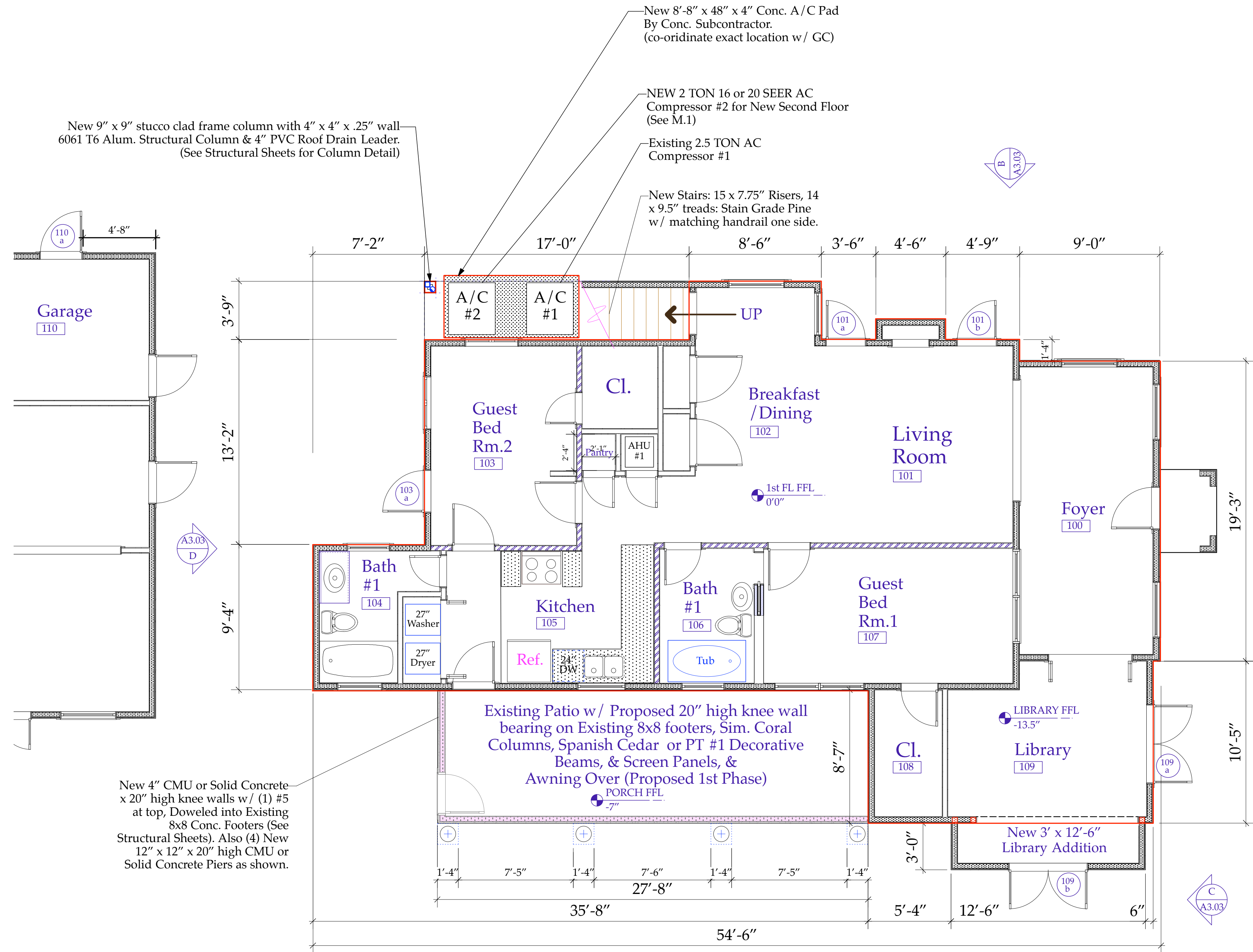
SHOWING PROPOSED 385F 1ST FLOOR ADDITION

File:
SH_SitePlan_v2016.vwx

UPDATED:
Feb. 1, 2017

SP.1

Sloan Res_Mstr Ste_2016v16.vwx

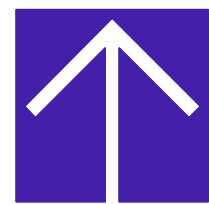


Wall Type Key

New Exterior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

New Non Bearing Int. Wall w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

New Interior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.



FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

ORIGINAL RESIDENCE SF = 1315 SF (Discrepancy on Survey (has original footprint of Bath #1 not current footprint.

First Floor Plan
AREA TAKEOFF SHEET
A2.02 Area

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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AA26002208

No.	Date	Appr	Revision Notes

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes

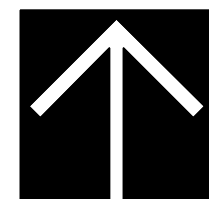
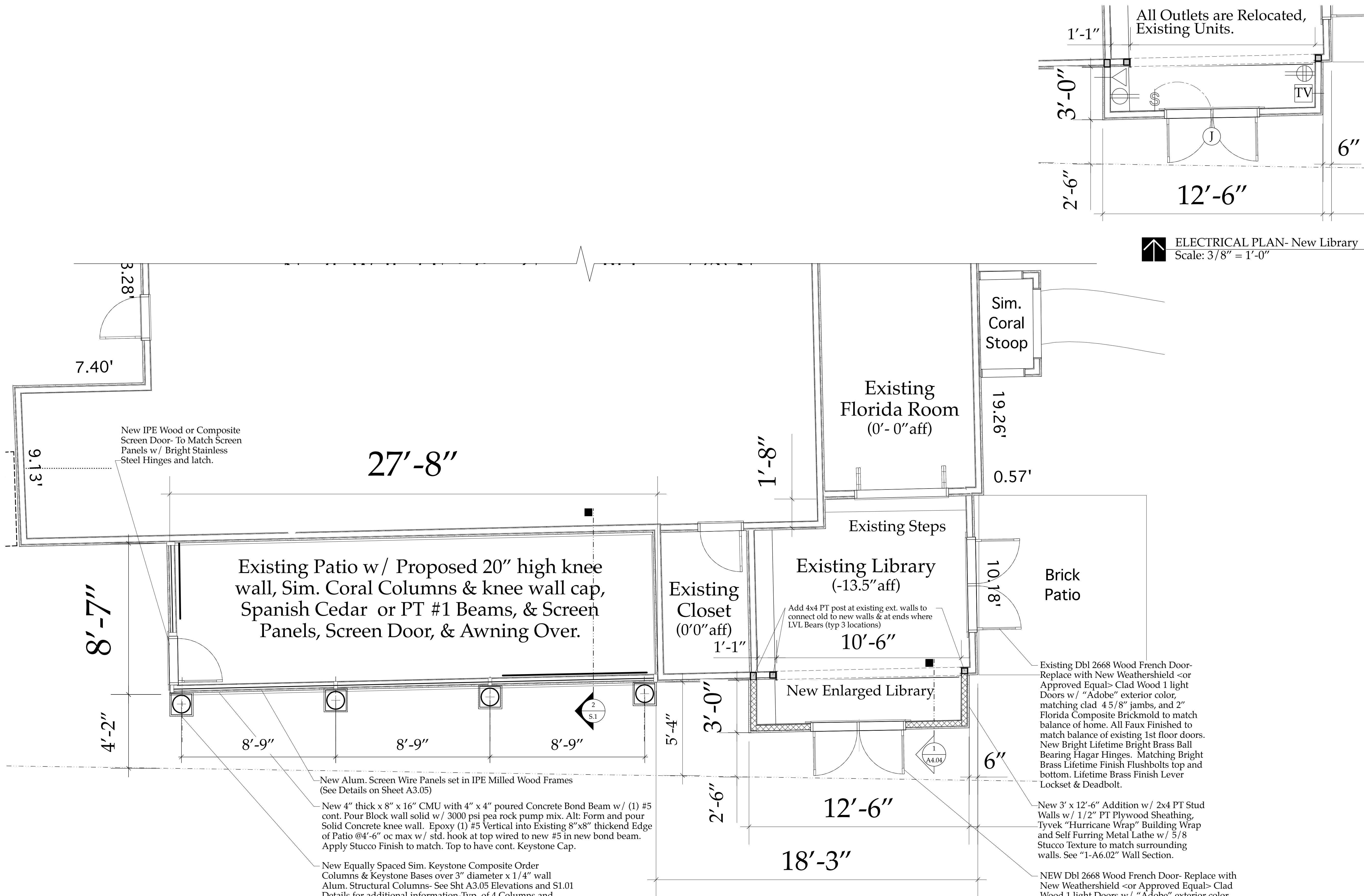
Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

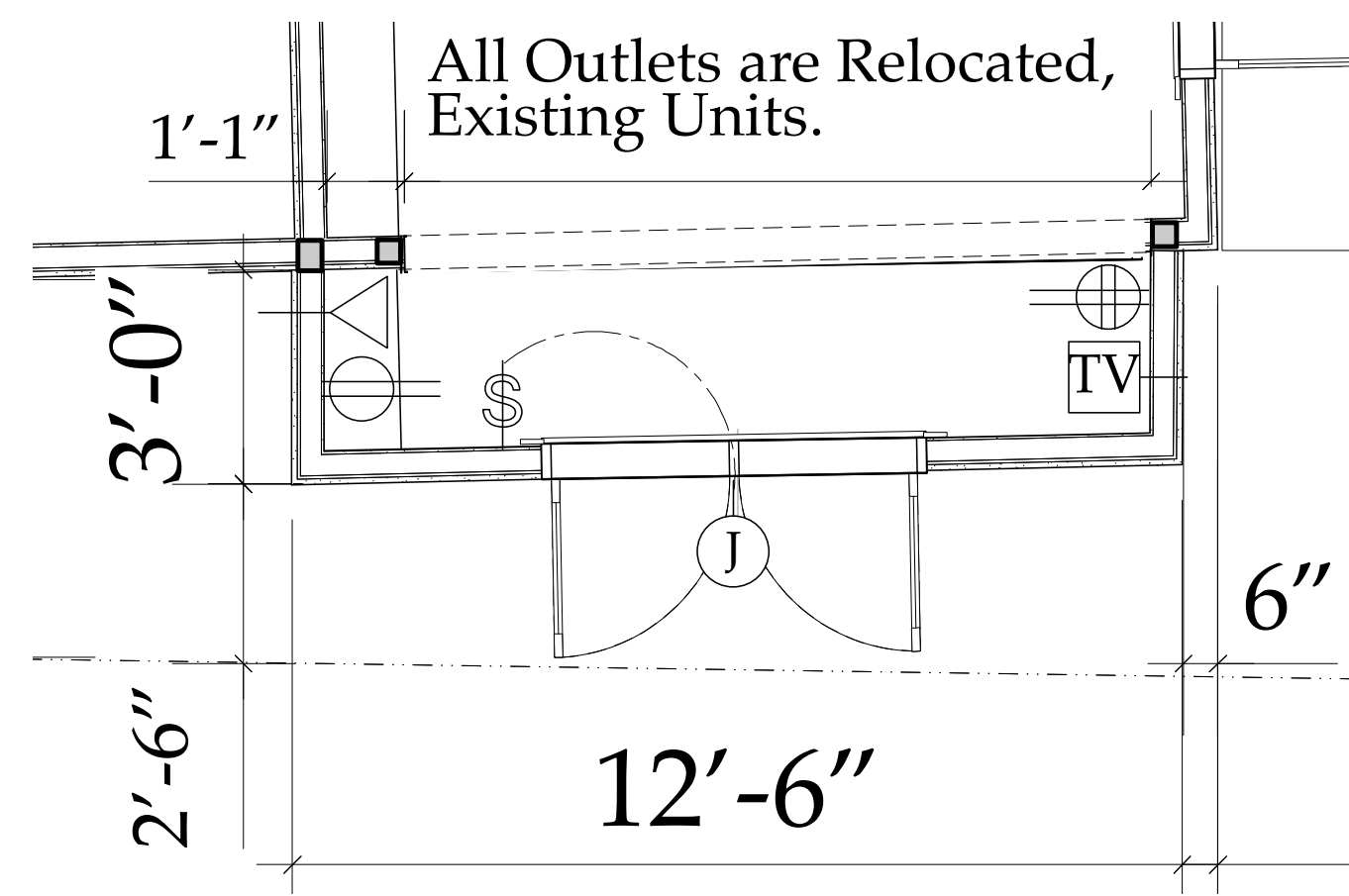
Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
FIRST FLOOR PLAN AREA TAKEOFF
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02 Area
Date 4/21/2016	of Total Sheets
CAD File Name Sloan Res_Mstr Ste_2016.vrx	



PROPOSED NEW FIRST FLOOR PLAN- Partial
Scale: 3/8" = 1'-0"



ELECTRICAL PLAN- New Library
Scale: 3/8" = 1'-0"

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Sloan Residence Renovations Phase 1- Library & Screen Porch

No.	Date	Issue Notes

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(561) 243-8755 Email:dsloan@sloandesign.biz

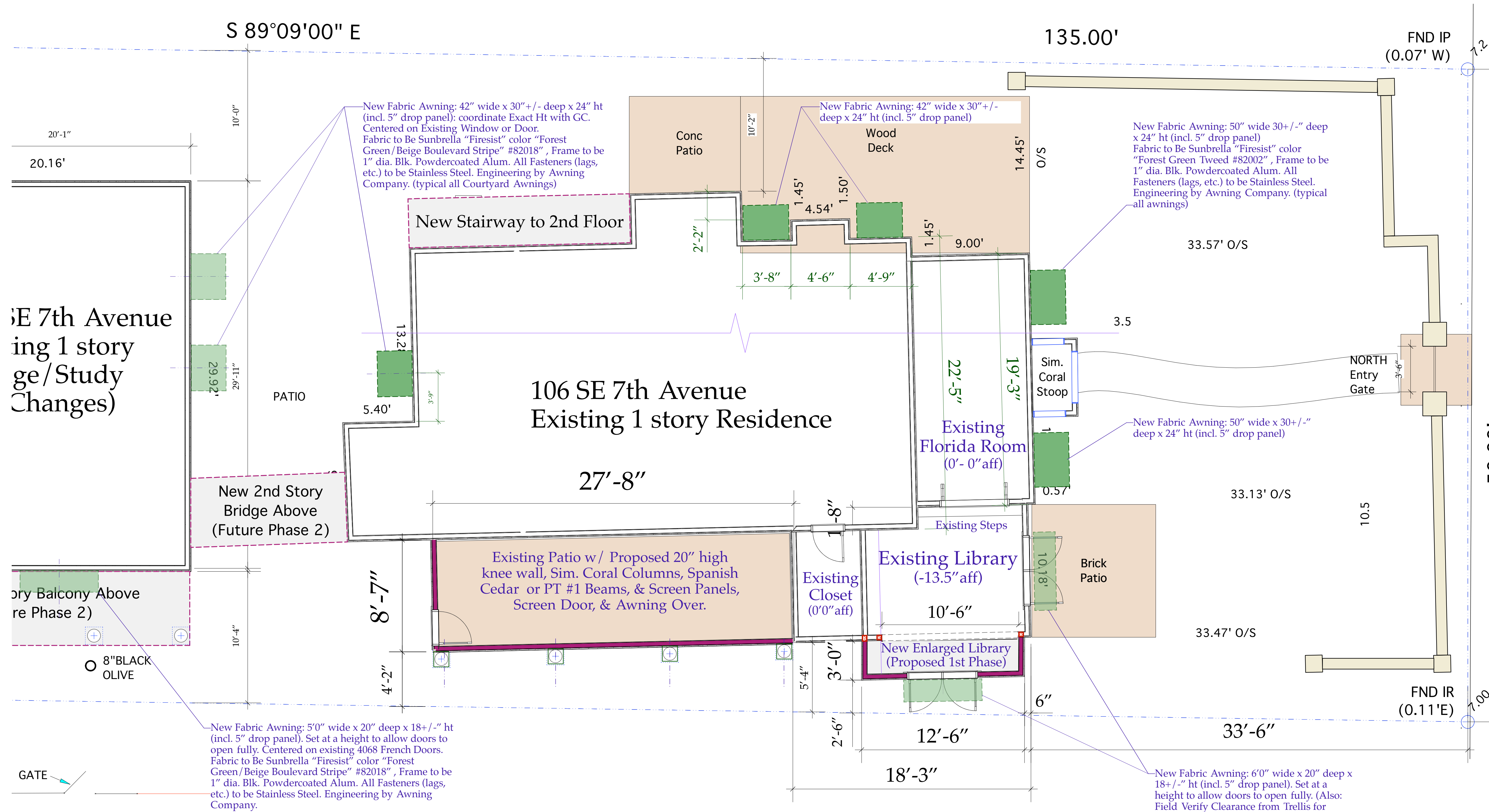
Consultant

Project Title
**Sloan Residence Renovations
Existing Layout
& Proposed New Layout**

Drawing Title
**NEW FLOOR PLAN
Showing Enlarged Library
& Porch w/ Fabric Awning**

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02b
Date 2/1/2017	_____ of _____ 1
CAD File Name Library&Porch_SloanRes_v2015.vwx	

**Enlarged Partial Floor Plan
& Electrical Plan
A2.02b**



PROPOSED NEW FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

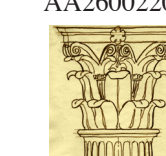


New Awning Plan
A2.02c

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No.	Date	Appr	Revision Notes
1	11/9/15		Updated Awning Sizes/ Locations

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Sloan Residence Renovations Phase 1- Library & Screen Porch

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
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Delray Beach, FL 33483
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Consultant

Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
NEW AWNING FLOOR PLAN
Showing Window, Library,
& Porch w/ Fabric Awnings

Project Manager D. Sloan	Project ID Sloan Residence Renovations
-----------------------------	---

Drawn By D. Sloan	Scale 1/4" = 1'-0"
----------------------	-----------------------

Reviewed By D. Sloan	Drawing No. A2.02c
-------------------------	-----------------------

Date 3/03/2016	_____ of _____
-------------------	----------------

CAD File Name
Library&Porch_SloanRes2015.vwx

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Ammendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC 600.



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No.	Date	Appr	Revision Notes
1	11/9/15		Updated Awning Sizes/Locations

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Sloan Residence Renovations
Phase 1- Library & Screen Porch

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

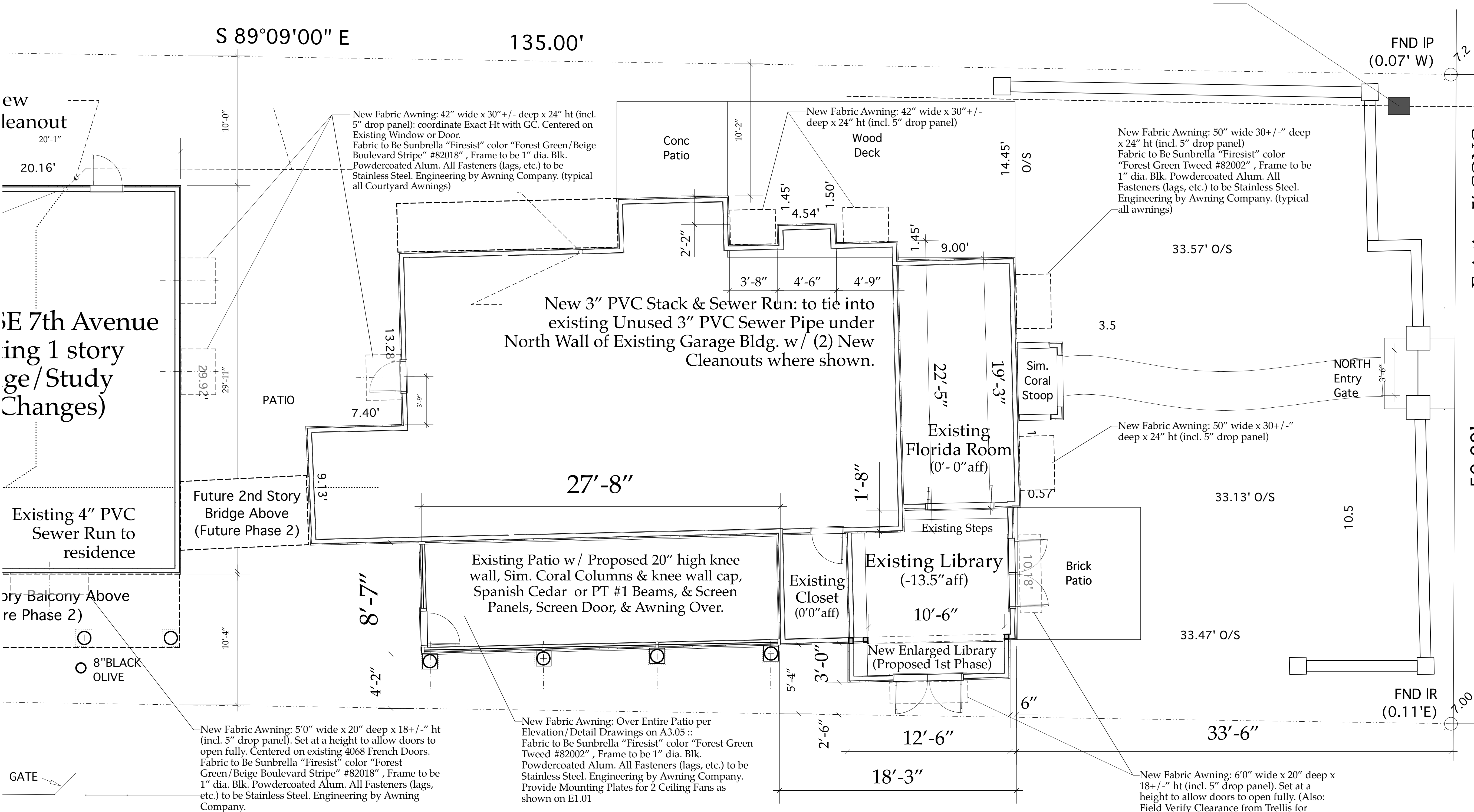
Design Firm
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Consultant

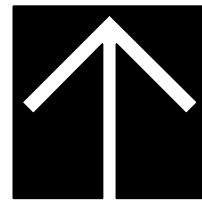
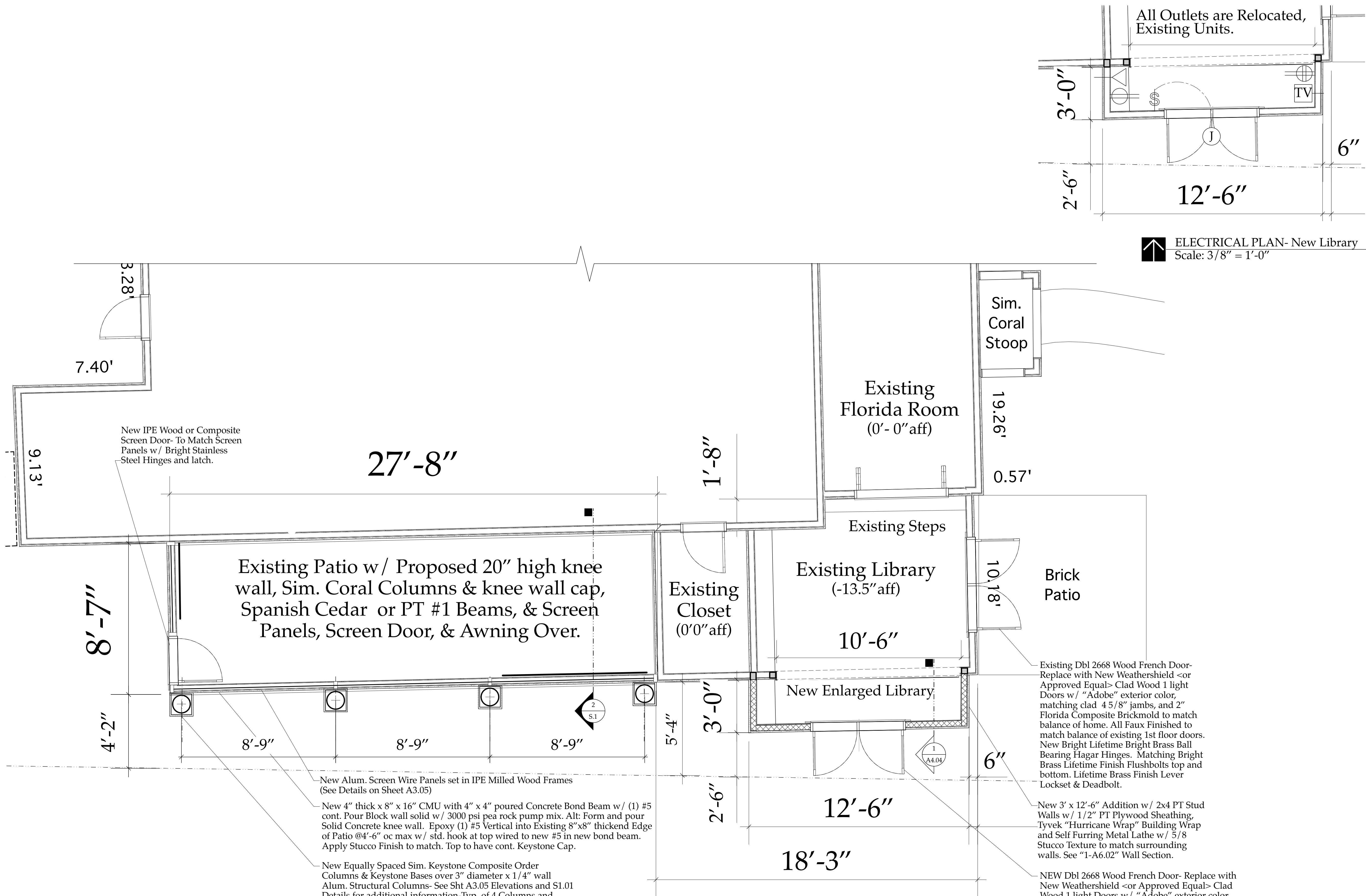
Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
NEW AWNING FLOOR PLAN
Showing Window, Library,
& Porch w/ Fabric Awnings

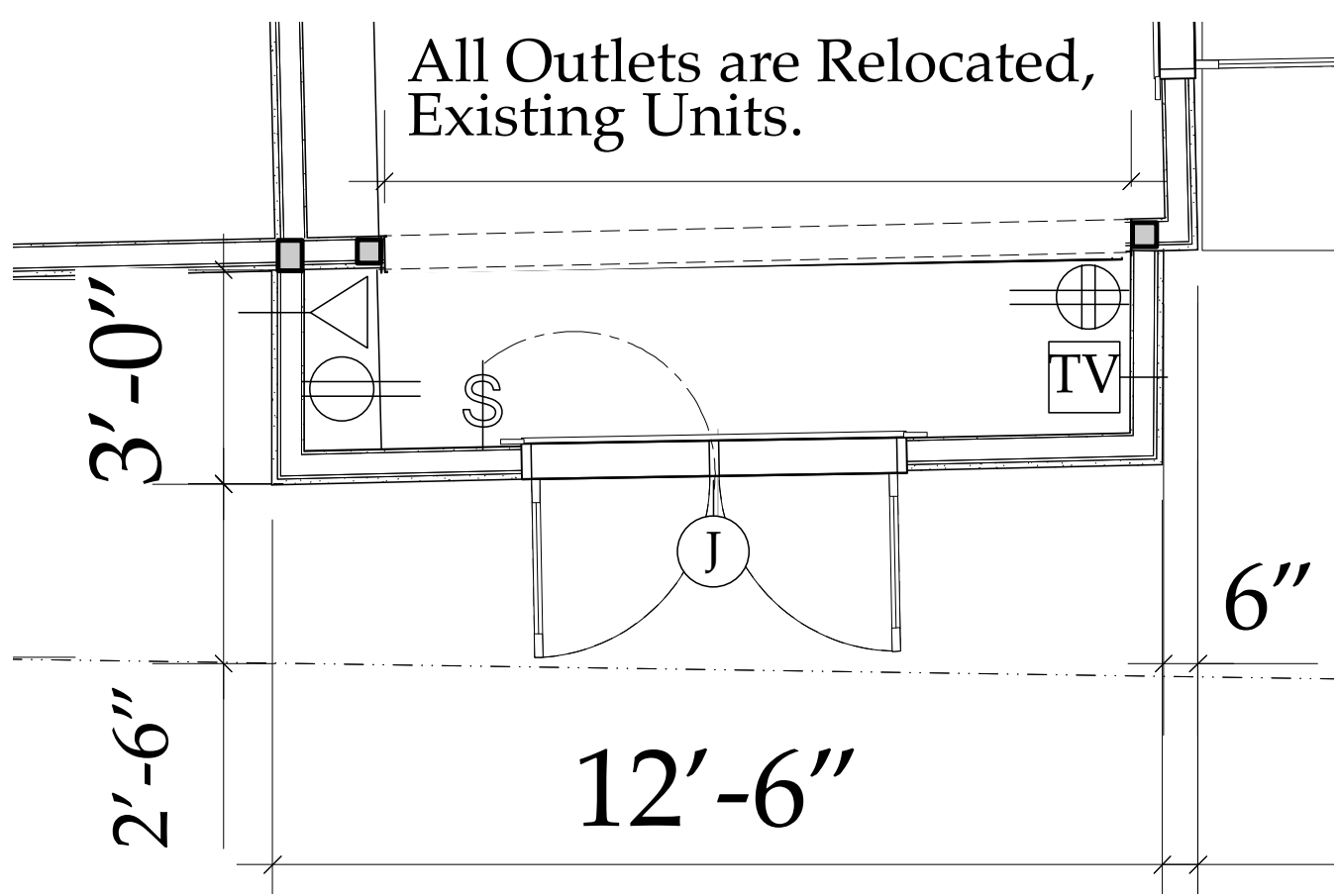
Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A2.02c
Date 2/1/2017	of 1
CAD File Name Library&Porch_SloanRes_v2015_vwx	



New Awning Plan
A2.02c



PROPOSED NEW FIRST FLOOR PLAN- Partial
Scale: 3/8" = 1'-0"



ELECTRICAL PLAN- New Library
Scale: 3/8" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code and the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 latest edition.



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Sloan Residence Renovations Phase 1- Library & Screen Porch	
No.	Date

Issue Notes	
Daniel Sloan, AR95577 Date:	

Design Firm
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Consultant

Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
NEW FLOOR PLAN
Showing Enlarged Library
& Porch w/ Fabric Awning

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02b
Date 2/1/2017	
CAD File Name Library&Porch_SloanRes_v2015.vwx	

**Enlarged Partial Floor Plan
& Electrical Plan
A2.02b**

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code and the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 latest edition.



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No.	Date	Appr	Revision Notes
1	11/9/15		Update Notes.
2	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence Renovations
Phase 1- Library
& Screen Porch

No.	Date	Issue Notes

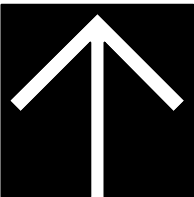
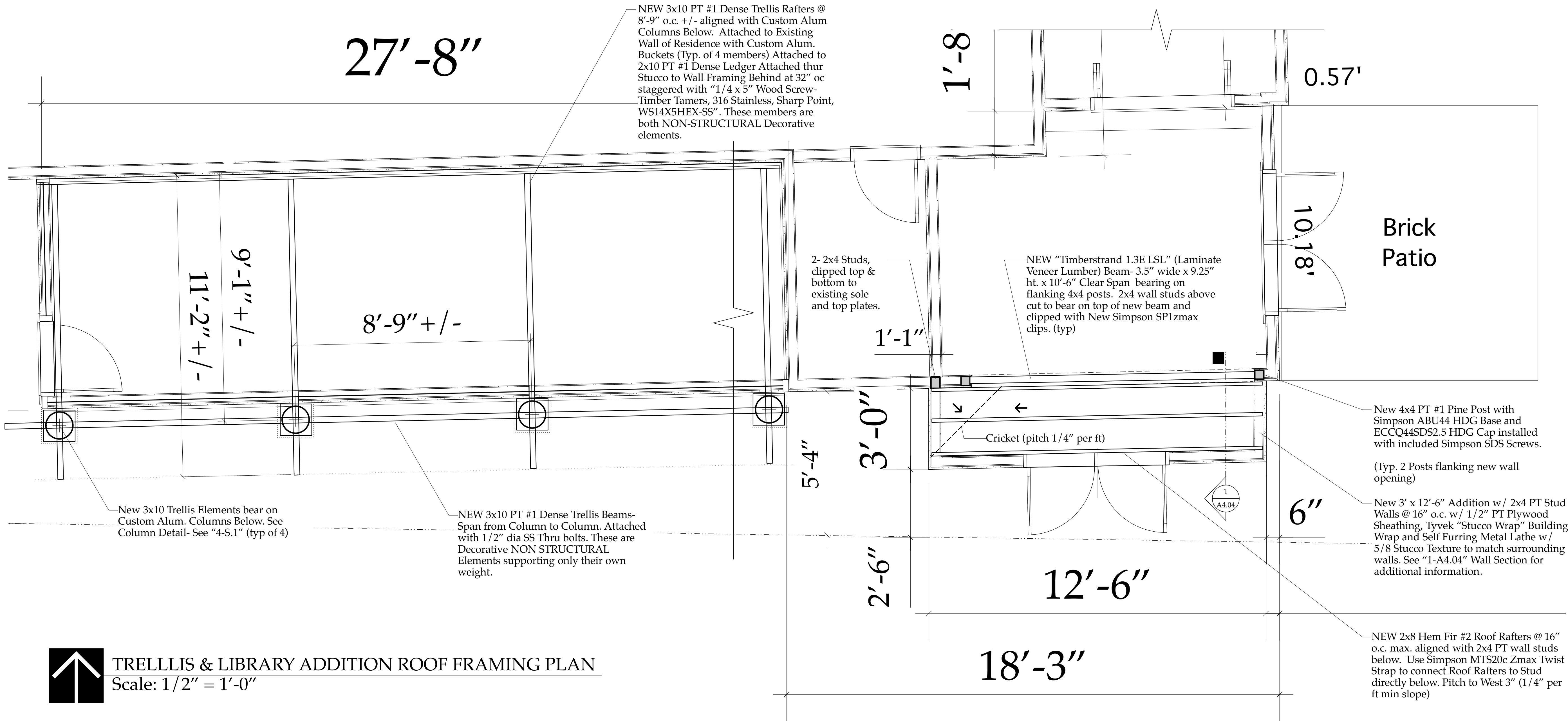
Design Firm
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Delray Beach, FL 33483
(561) 243-8755 Email:dsloan@sloandesign.biz

Consultant

Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

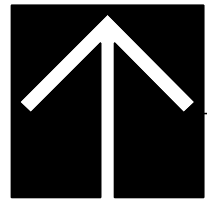
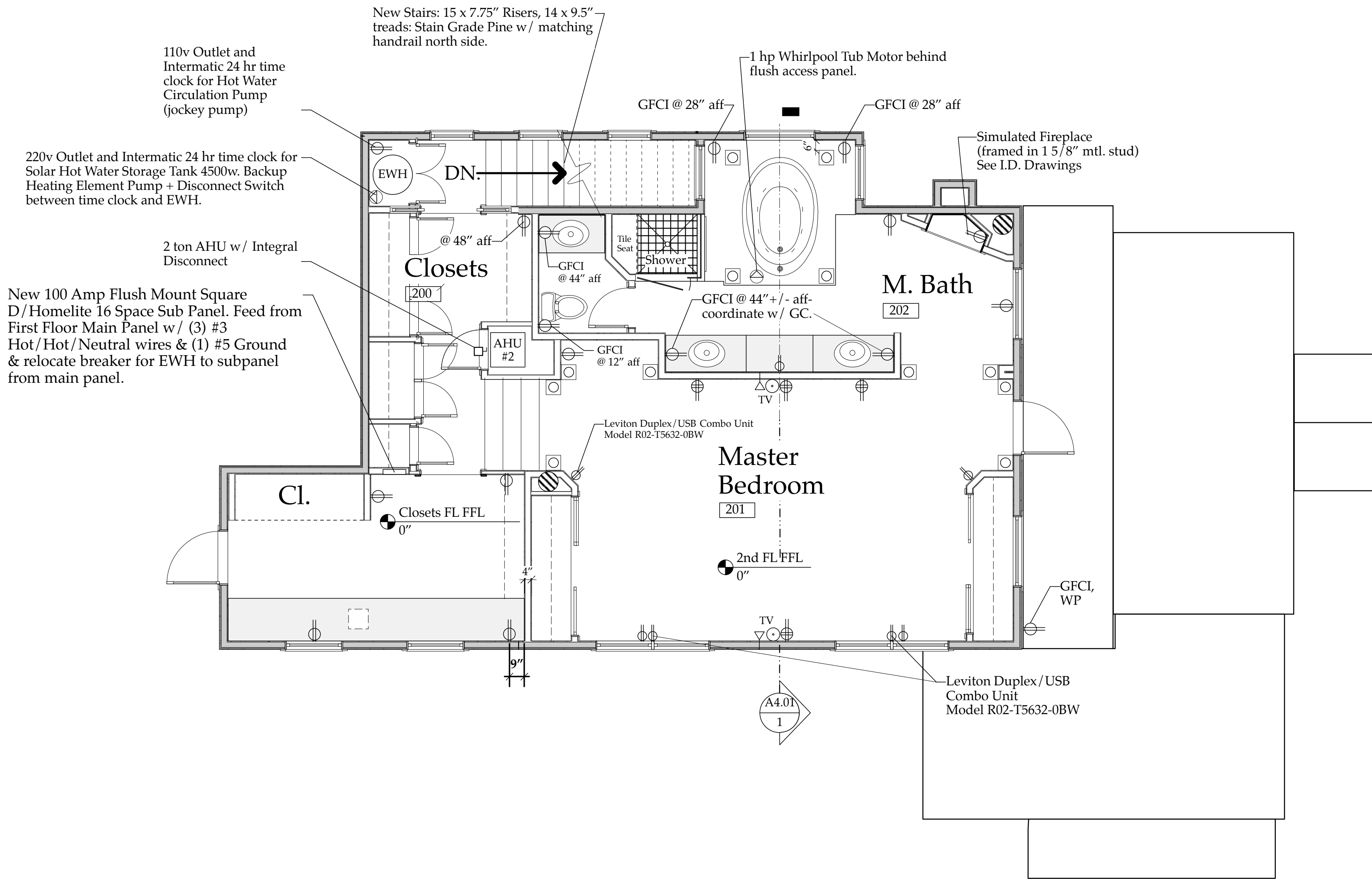
Drawing Title
NEW WALL & ROOF FRAMING PLAN
Showing 1st Floor Enlarged Library
Addition & Trellised Patio Framing

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale 1/2" = 1'-0"
Reviewed By D. Sloan	Drawing No. S2.01
Date 2/1/2017	_____ of _____ 1
CAD File Name Library&Porch_SloanRes_v2015.vwx	



TRELLIS & LIBRARY ADDITION ROOF FRAMING PLAN
Scale: 1/2" = 1'-0"

New Trellis &
Roof Framing Plan
S2.01



SECOND FLOOR ELECTRICAL PLAN- NEW

Scale: 1/4" = 1'-0"

3/19/16

SloanRes_ELEC Panel Schedule_2016.xls

3:03 PM

2nd Floor SubPanel Schedule- Sloan Residence Addition												
(New 2nd Floor 75amp Square D SUB-panel)												
file: SloanRes_ELEC Panel Schedule_2016.xls												
PANEL B: SQUARE D SUB PANEL: 100 AMP/16 SPACES, MOUNTING: FLUSH, MAIN: LUGS ONLY												
Model # SQUARE D QO116M100: VOLTAGE: 120/240v, PHASE: 1 phase, 60 cycles												
CIRCUIT #	ITEM DESCRIPTION	WIRE SIZE	BREAKER	V-A	CIRCUIT #	ITEM DESCRIPTION	WIRE SIZE	BREAKER	V-A			
1	Water Heater (Backup)	#10	30/2	4500	2	AIR HANDLER #2	#10	30/2	5000			
3	Water Heater				4	& 5 KW HEAT STRIP						
5	Bathroom GFCIs	#12	20/1	1500	6	A/C COMPRESSOR #2	#12	25/2	4048			
7	Whirlpool Tub; GFCI Breaker	#12	20/1	1500	8	2 TON, 20 SEER						
9	Convenience Outlets	#12	20/1	1500	10	Convenience Outlets	#12	20/1	1500			
11					12							
13	general lighting	**Included in 3 watts/sf below**			14	general lighting	**Included in 3 watts/sf below**					
15	Spare				16	Spare						
OTHER LOADS;total V-A				19548								
GENERAL LIGHTS @3VA/SF		2700	(SQ. FOOT	900	sf under air (new 2nd Fl)		TOTAL CONNECTED LOAD		WATTS			
OTHER LOADS		19548										
SUBTOTAL		22248										
FIRST 10KW @100%		10000	100.00%	10000								
REMAINDER @ 40%		12248	40.00%	4899								
TOTAL NET LOAD.....				14899 / 240	62 SERVICE RATING AMPS							

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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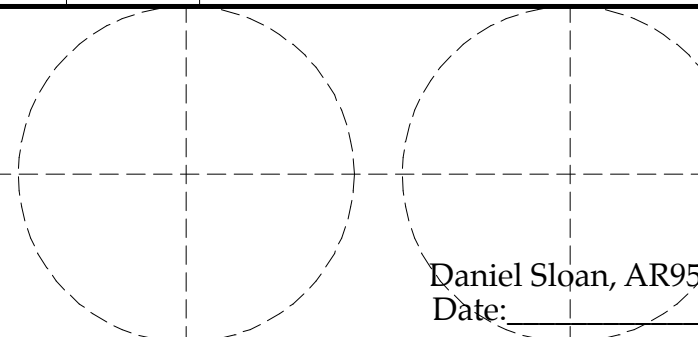
No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
-----	------	-------------



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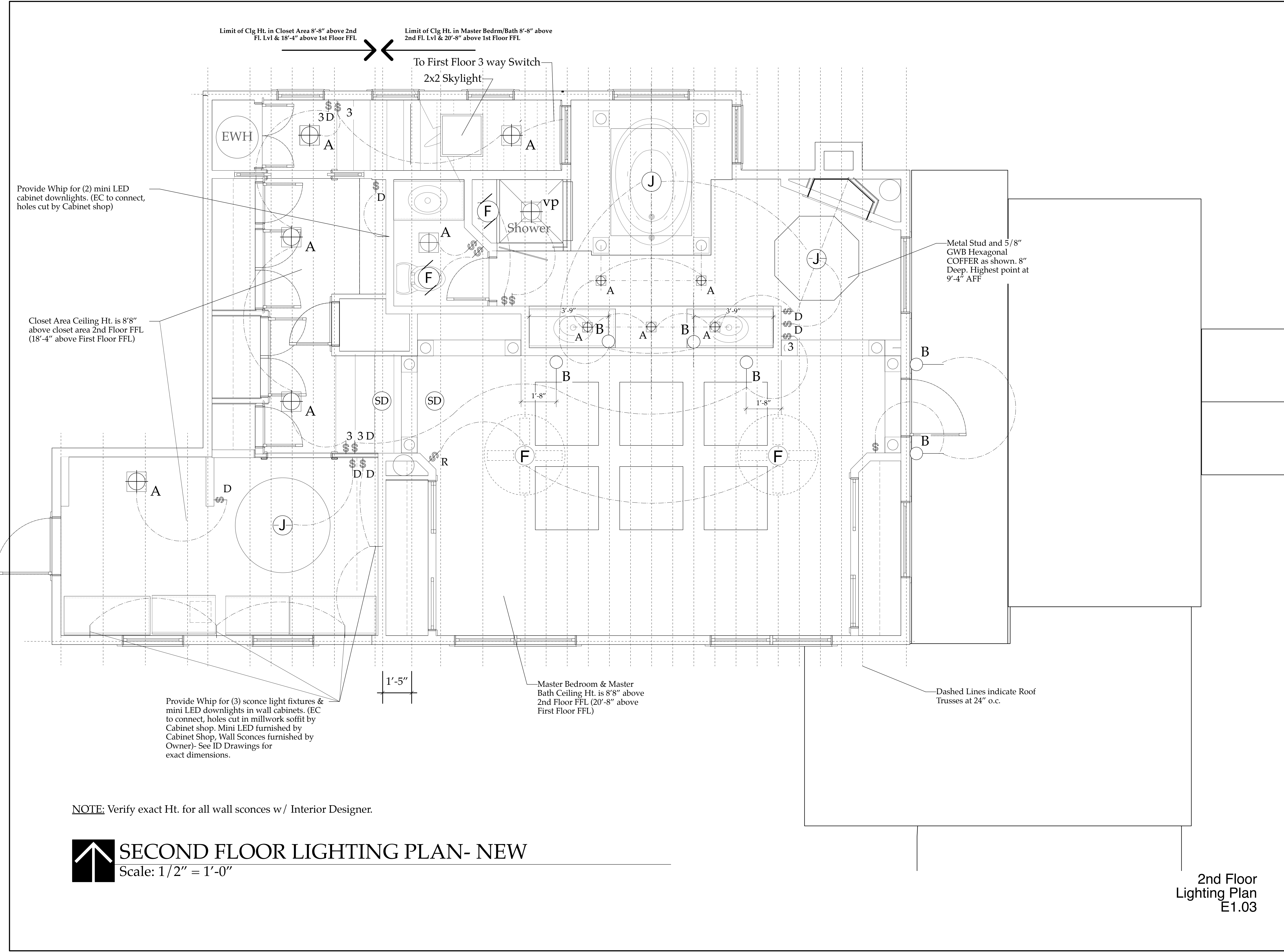
Consultant
Consultant Name
Consultant Address 1
Consultant Address 2

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title 2nd FLOOR ELECTRICAL PLAN

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By DS	Scale 1/4" = 1'-0"
Reviewed By Reviewed By	Drawing No. E1.02
Date 2/1/2017	of Total Sheets
CAD File Name Sloan Res_Mstr Ste_2016v16.kwx	

New Second
Floor Electrical Plan
E1.02



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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence Renovations & 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		<p>Daniel Sloan, AR95577 Date:</p>

Design Firm

Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title

Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title

Second Floor
LIGHTING PLAN

Project Manager	Project ID
D. Sloan	Sloan Res Mstr. Ste.

Drawn By	Scale
D. Sloan	1/4" = 1'-0"

Reviewed By	Drawing No.
D. Sloan	E1.03

Date	of
2/1/2017	

CAD File Name	Total Sheets
Sloan Res_Mstr Ste. 2016v16.kvx	


NOTE: Verify exact Ht. for all wall sconces w/ Interior Designer.

SECOND FLOOR LIGHTING PLAN- NEW

Scale: 1/2" = 1'-0"

2nd Floor
Lighting Plan
E1.03

SLOAN

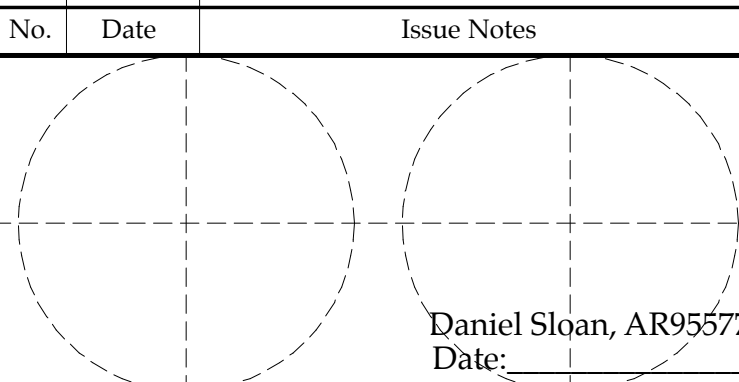


SLOAN
ARCHITECTURE
P.C.
INTERIOR
DESIGN

[illegible]

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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		
<p>Daniel Sloan, AR95577</p> <p>Date: _____</p>		

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title

Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title

2nd FLOOR R. CEILING PLAN

Project Manager	Project ID
D. Sloan	Sloan Res Mstr. Ste.
Drawn By	Scale
D. Sloan	1/4" = 1'-0"
Reviewed By	Drawing No.
D. Sloan	A2.04
Date	_____ of _____
2/1/2017	
CAD File Name	Total Sheets
Sloan Res Mstr Ste 2016v16.vwx	

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to performance of the work, any discrepancies shall be immediately brought to the attention of the GC/Project Manager and Architect. Written dimensions shall take precedence over scale dimensions at all times. The work shall conform to the Florida Building Code latest edition and County/Municipalities Interpretations thereof. *Included in the work is Submitting Samples/Specifications/Colors/Paperwork as may be required to obtain City of Delray Beach Historic Preservation Board or HOA Board Pre-Approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.*

3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (co-ordinate with written specifications, as applicable)

1. Trusses	<u>XX</u>	6. Stairs	<u>XX</u>
2. Wall Panels	<u> </u>	7. Structural Connections	<u>XX</u>
3. A/C	<u> </u>	8. Plumbing Riser	<u>XX</u>
4. Windows/Storefront	<u>XX</u>	9. Electrical Riser	<u>XX</u>
5. Doors	<u>XX</u>	10. Cabinets	<u>XX</u>
11. Other	<u> </u>		

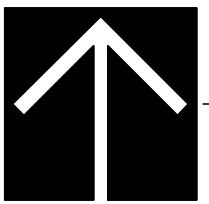
6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, if applicable, shall be billed to Owner at GC net cost.

8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be in accordance with applicable National, State, and local Codes, rules, and ordinances. Each Subcontractor shall have Conch Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.

10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Leadsafe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1979, unless such demolition work was accomplished by the Owner acting as "Owner/Builder".

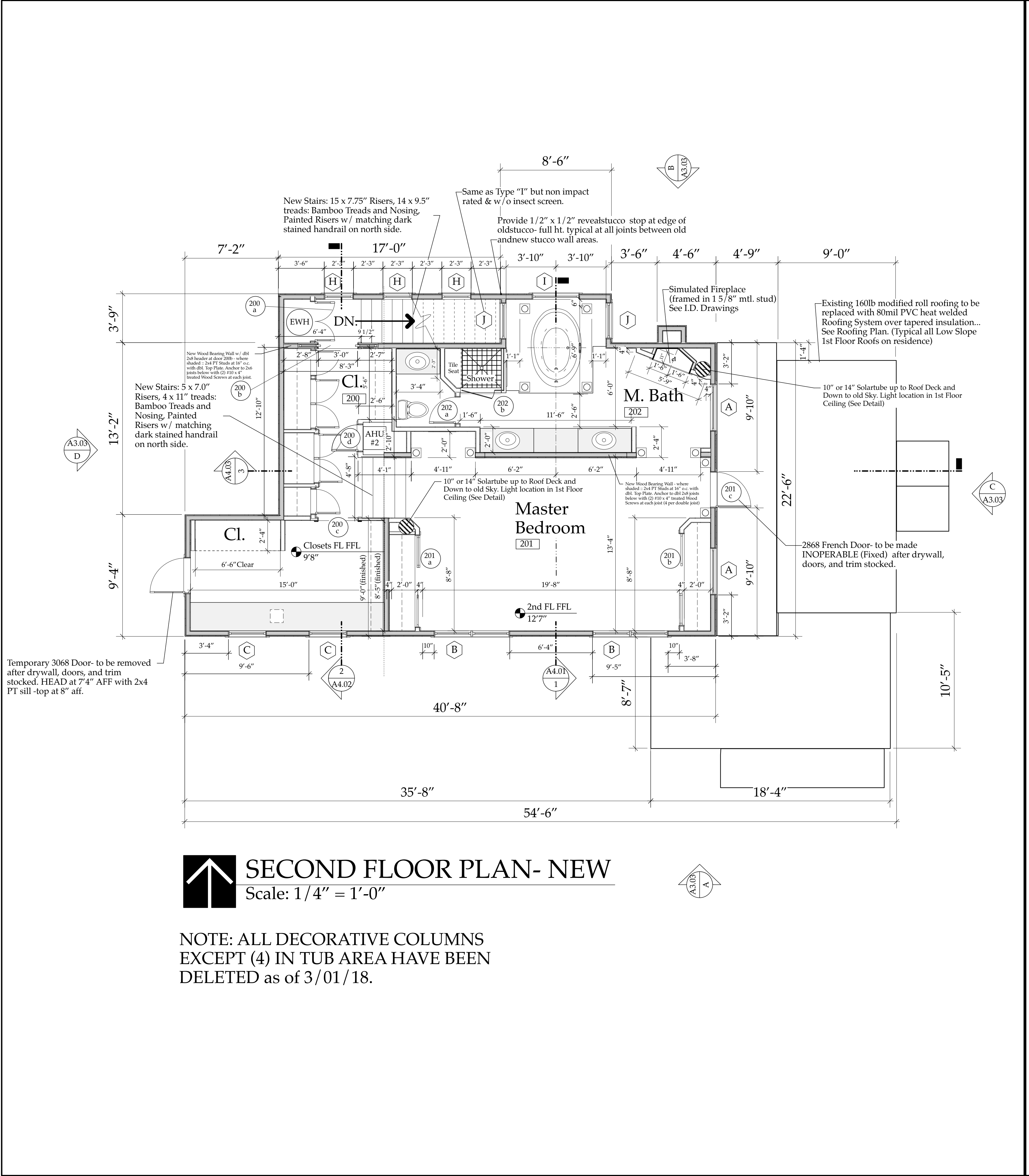
12. Each Subcontractor, Specialty Contractor, and Vendor shall install his/her portion of the work in a neat, workmanlike manner and, in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other Contractors during the installation of their materials or assemblies. If one Contractor damages the work of another Contractor the Contractor causing such damage shall be responsible for the costs of repair of such damage. Any such conflicts shall immediately be brought to the attention of the GC.

14: GREEN PROJECT: This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize paints, sealants, glues, adhesives, primers, finishes, and other such materials containing VOC's or utilize urea formaldehyde glues (particularly in millwork and cabinetry) SEE WRITTEN SPECS for more information. If in Doubt about a particular item, ask the GC and Green Certification Consultant in advance of ordering or utilizing any such item.



Scale: 1 / 4" = 1'-0"

2nd Floor Reflected Ceiling Plan



2/28/18 DOOR Schedule_SloanRes_2018.xls 9:51 AM

PRELIMINARY DOOR SCHEDULE: 1st Floor & Master Suite

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS
Door 101a	2668 French Door	Weathershield	1.75" Wood-Pine	Ext - "Adobe" color cladding	5/4 Composite	Deadbolt	Bright Brass	4x4 Bright Brass	Clear Glass
Door 101b sim.	Full View, Vinyl Clad Wood	Legacy/Lifeguard	Alum. Clad Exterior	Stain inside faces	Jambos x 5.25"	Lever Handle	Pol. Nickel	Ball Bearing	IMPACT RATED
(THIS IS ALL A PRICE OPTION)	OUTSWING, LH	Series	"Western Adobe Color"	to match existing	Fla. Brickmold	(lifetime fin.)	(lifetime fin.)	(lifetime fin.)	Insulated Low E Glass (20-e-shield Glass)
Door 103a	21068 French Door, Out LH	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above	same as above	same as above	same as above
(PRICE OPTION)	SAME SPECS AS 101a	(Alternate PGT)							
109a	2668 French Doors	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above	same as above	same as above	same as above
	SAME SPECS AS 101a but RH active	(Alternate PGT)							
109b	2668 French Doors	Weathershield	1.75" Wood-Pine/Clad	same as above	5/4 Composite	same as above	same as above	same as above	same as above
	SAME SPECS AS 101a but RH active	(Alternate PGT)							
Door 110a	2668 French Door: outswing RH	PGT	1.75" Alum: Model FD101	White	Alum.	Lockset/Deadbolt	Bright Brass	Wht Alum.	w/Matching brickmold (Composite)
200a	2668 Lvr Clad Pine Swing	1.3/8" Pine	Stained	3/4 wood	Passage Set	Omnia 904PA	Pol. Nickel	Close out to match	Close out to match
	"Plantation Style Wide Louvers	(full louvers)	"Red Mahogany"	Cased Out	Flushbolt	US14 Lever Set	US 14	Windows & Doors on 1st Floor (typ)	
200b	2668 Pocket: S/C	Timberland SSS 3100 Stock Series	Three Square Panels	Painted	3/4 wood	Heavy Duty Track & Cars	Pol. Nickel recessed	Johnson 100SD Track	Case out to match
200c	2668 Cased Opening			Painted	3/4 wood				Case out to match
200d	2068 S/C 1 3/8" Prehung	Full Louvered w/ Mid Height Sill		Painted	3/4 wood	Passage	Omnia 904PA	Pol. Nickel	Case out to match
	"Plantation Style Wide Louvers						US14 Lever Set	US 14	
200e	11068 S/C 1 3/8" Prehung	Timberland SSS 3100 Stock Series	Three Square Panels	Painted	3/4 wood	Ball Catch	Pol. Crystal & Pol. Nickel Emtek 86028	Pol. Nickel US 14	Case out to match
									Pulls are 1.75" dia <Provided by GC>
200f	2668 S/C 1 3/8" Prehung	Timberland SSS 3100 Stock Series	Three Square Panels	Painted	3/4 wood	Ball Catch	2 Pulls: Crystal & Pol. Nickel Emtek 86028	Pol. Nickel US 14	Case out to match
									Pulls are 1.75" dia
201a	(3) 2668 L/L Clear Pine w/Pass	1.3/8" Pine	Stained	3/4 wood	DBL. BARN DOOR Track & Cars	Black Track Round Recess	Brand TBS	Case out to match	Case out to match
	"Plantation Style Wide Louvers		"Red Mahogany"						(1x jamb & casing)
201b	(3) 2668 L/L Clear Pine w/Pass	1.3/8" Pine	Stained	3/4 wood	DBL. BARN DOOR Track & Cars	Black Track Round Recess	Brand TBS	Case out to match	Case out to match
	"Plantation Style Wide Louvers		"Red Mahogany"						(1x jamb & casing)
201c	2668 French Door	Weathershield	1.75" Wood-Pine	Brown door out	5/4 Composite	Deadbolt	Pol. Nickel	Pol. Nickel	Clear Glass
	Full View, Vinyl Clad Wood	Legacy/Lifeguard	Alum. Clad Exterior	Brown jamb out	Jambos x 5.25"	& Lockset	(lifetime fin.)	Ball Bearing	IMPACT RATED
	OUTSWING, RH	Series	"Western Adobe Color"	Stain inside faces	w/ matching	Fla. Brickmold	(lifetime fin.)	(lifetime fin.)	Insulated Low E Glass (20-e-shield Glass)
				to match existing					
202a	2068 S/C 1 3/8" Prehung	Timberland SSS 3100 Stock Series	Three Square Panels	Painted	3/4 wood	Privacy	Omnia 904PR	Pol. Nickel	Case out to match
							US14 Lever Set	US 14	
202b	27" Frameless Shower Door		172" Frosted, Glass	Frosted Glass/Chr Hardware	Frameless	N/A	Chrome	Chrome	Ø Handle in Chrome
NOTE #1: Weathershield Doors & Windows to have White Clad exterior frame, Western Adobe Color (with Timberlake as price option) Sashes or Door Slabs, clear pine interior surfaces. Bright Brass PVD door & window hardware. Alternate at Owners Option: PGT Winguard Impact rated Alum. French Door with "Eterna Dk. Walnut" Finish"									
NOTE #2: Entry Sets to have Lifetime Finish. All locks keyed alike, all thresholds are Aluminum with Oak Entry Doors to have Solid Brass Dome Shape Floor mounted door stops (stop									
NOTE #3: All interior and exterior hardware to have lifetime finish factory applied. Double French Doors to have flush bolts top and bottom & Dummy set on inactive Leaf."									
NOTE #4: All interior doors to have Casing Profiles to Match Windows & Area Artisan Series screw on Door Stops in US14. All bi-fold doors to be in call out with jamb & matching casing.									

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

SLOAN ARCHITECTURE DESIGN

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Sloan Residence Renovations & 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Appr	Revision Notes
1	11/30/16		Update Door Schedule
2	4/17/17		ISSUED FOR CONSTRUCTION
3	6/29/17		Added extra 7" step between closet & MBR Areas

Issue Notes

Daniel Sloan, AR95577
Date:

Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
SECOND FLOOR PLAN
of Main Residence

Project Manager
D. Sloan

Project ID
Sloan Res Mstr Ste.

Drawn By
D. Sloan

Scale
As Noted

Reviewed By
D. Sloan

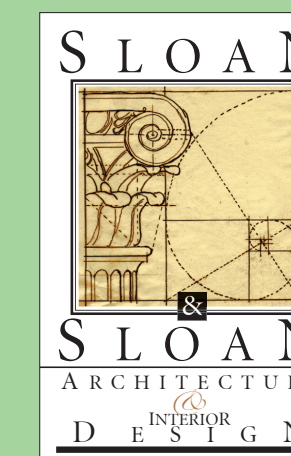
Drawing No.
A2.03

Date
2/1/2017

CAD File Name
Sloan Res_Mstr Ste_2016v16.kvx

of
Total Sheets

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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION
2	6/29/17		Added extra 7" step between cl & MBR Areas
3	2/28/18		All but 4 Decorative Columns DELETED

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
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Daniel Sloan, AR95
 Date:

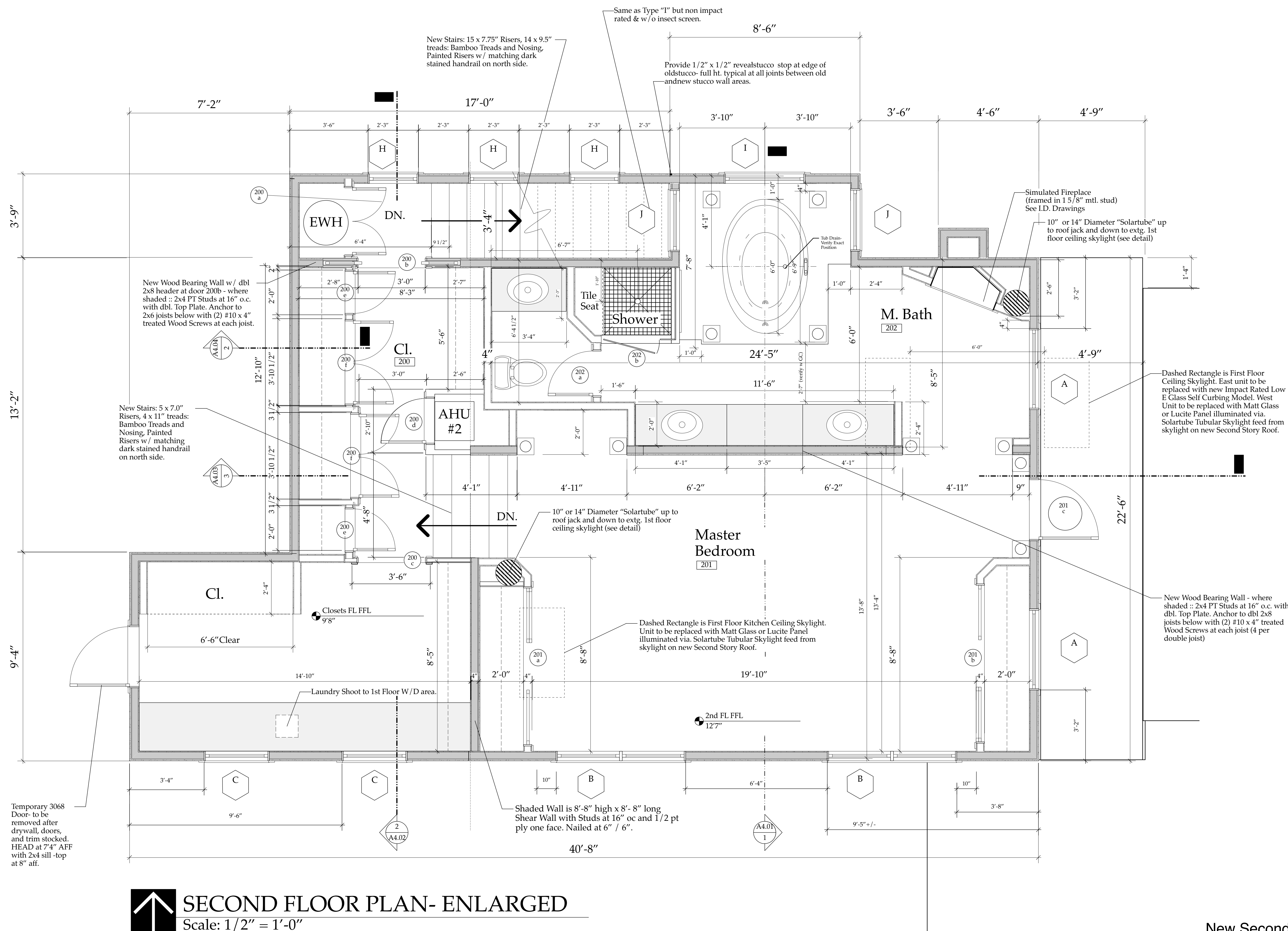
Design Firm
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Consult

Project Title	<p>Sloan Residence</p> <p>MASTER SUITE ADDITION</p> <p>106 SE 7th Avenue</p>
---------------	--

Drawing Title	SECOND FLOOR PLAN of Main Residence
---------------	--

Project Manager	Project ID
D. Sloan	Sloan Res Mstr. Ste.
Drawn By	Scale
D. Sloan	As Noted
Reviewed By	Drawing No.
D. Sloan	A2.03
Date	_____ of _____
2/1/2017	
CAD File Name	Total Sheets
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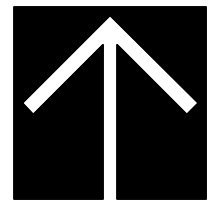
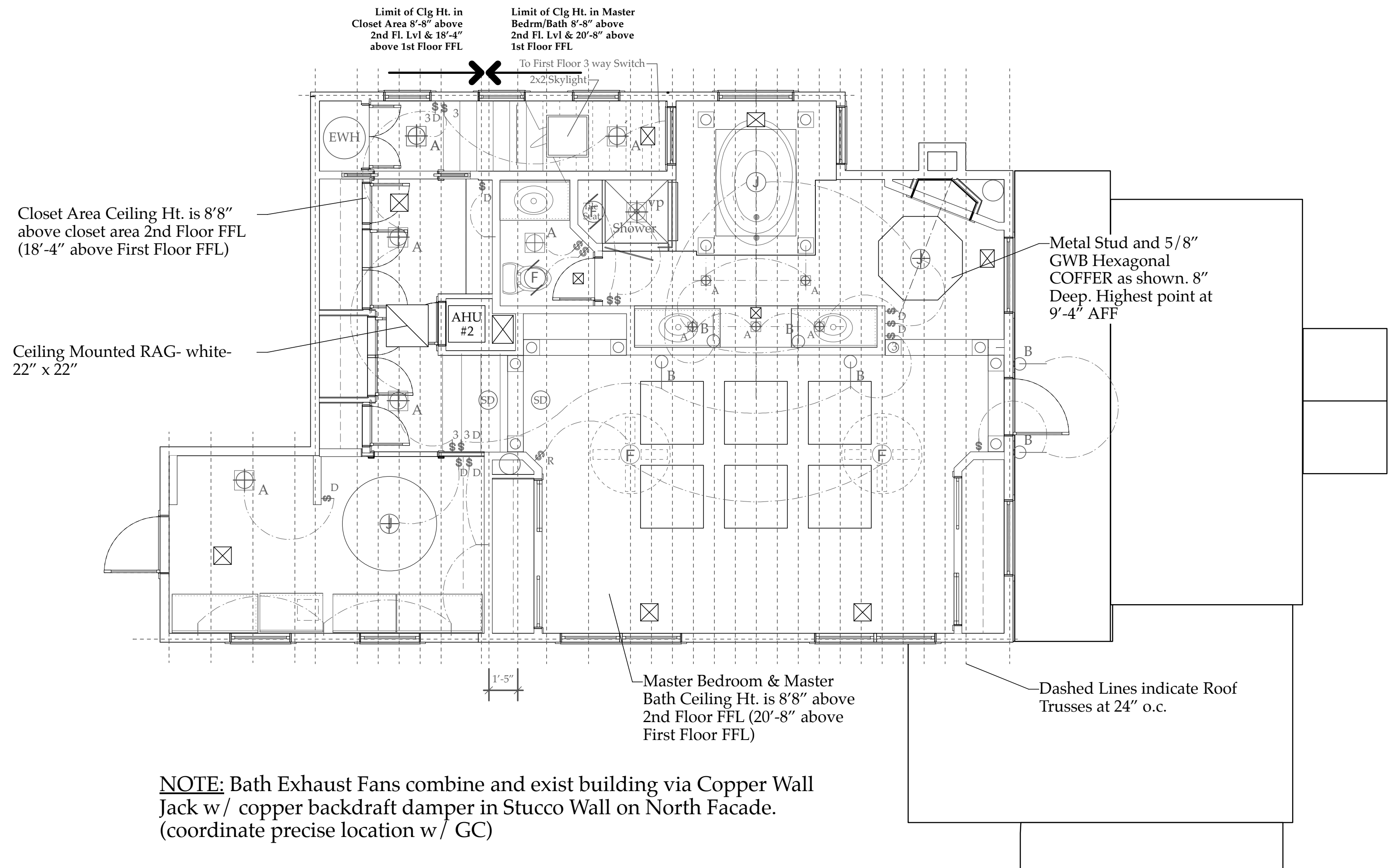


 SECOND FLOOR PLAN- ENLARGED
Scale: 1/2" = 1'-0"

NOTE: ALL DECORATIVE COLUMNS EXCEPT (4) IN TUB AREA HAVE BEEN DELETED as of 3/01/18.

New Second
Floor Plan
A2.03 ENLARGED

CAD File Name
Sloan Res Mstr Ste 2016v16.rvt



SECOND FLOOR HVAC PLAN- NEW

Scale: 1/4" = 1'-0"

HVAC Schedule- Sloan Residence Addition

No.		DESCRIPTION	MANUFACTURE	COLOR/FINISH	PRODUCT #	REMARKS
1	<input checked="" type="checkbox"/>	Return Air Grille:	with cleanable filter	white		
2	<input checked="" type="checkbox"/>	Supply Air Grille: Floor mtd.				
3	<input checked="" type="checkbox"/>	Supply Air Grille		white		
4	<input checked="" type="checkbox"/>	Rigid Duct				
5	<input checked="" type="checkbox"/>	Flex Duct				
6	<input checked="" type="checkbox"/>	Exhaust Fan- 50cfm	Panasonic "whisper green"	white	FV-05VK3	Energy Star
6b	<input checked="" type="checkbox"/>	Exhst. Fan Humidity Module	Panasonic "whisper green"	white --	FV-MSVK1	
7	<input checked="" type="checkbox"/>	Thermostat-Programmable	Honeywell	white		Energy Star
8	<input checked="" type="checkbox"/>	Jump Duct	w/ Ceiling Mtd. Grills	white		

MAIN HOUSE A/C EQUIPMENT (SPECS):::Revised 5/11/2016

1. **BASE BID AC #1** (Compressor & AHU #2) New 2.5 Ton LENNOX Split System (16 SEER) w/ programmable thermostat powered by AHU low voltage (not batteries). Provide 2ndary Drain Pan under Air Handler w/ float Switch. In addition provide in-line float switch (Rectorseal SS1) on condensate line (outside of housing in visible location). Compressor to be Lennox 14ACX-030 Single Speed, AHU to be Lennox CBX27UH-030 Single Speed unit w/ 5kw heat strip. **THIS IS A CHANGEOUT OF EXISTING TRANE EQUIPMENT SERVING FIRST FLOOR.** NOTE:Existing Stm is 2.5 Ton Trane 12 Seer)

2. **BASE BID AC #2** (Compressor & AHU #2) New 2.0 Ton LENNOX Split System (16 SEER) w/ programmable thermostat powered by AHU low voltage (not batteries). Provide 2ndary Drain Pan under Air Handler w/ float Switch. In addition provide in-line float switch on condensate line (Rectorseal SS1) (outside of housing in visible location). Compressor to be Lennox 14ACX-024 Single Speed, AHU to be Lennox CBX27UH-024 Single Speed unit unit w/ 5kw heat strip.

3. **OPTIONAL UPGRADE AC #1** (Compressor & AHU #2) New 3.0 Ton LENNOX Split System (23.5 SEER) w/ programmable thermostat powered by AHU low voltage (not batteries). Provide 2ndary Drain Pan under Air Handler w/ float Switch. In addition provide in-line float switch (Rectorseal SS1) on condensate line (outside of housing in visible location). Compressor to be Lennox XC25-036 Variable Speed, AHU to be Lennox CBX40UH-036 Variable Speed unit w/ 5kw heat strip.

4. **OPTIONAL UPGRADE AC #2** (Compressor & AHU #2) New 2.0 Ton LENNOX Split System (26 SEER) w/ programmable thermostat powered by AHU low voltage (not batteries). Provide 2ndary Drain Pan under Air Handler w/ float Switch. In addition provide in-line float switch on condensate line (Rectorseal SS1) (outside of housing in visible location). Compressor to be Lennox XC25-024 Variable Speed, AHU to be Lennox CBX40UH-024 Variable Speed unit w/ 5kw heat strip.

5. Provide Price Option for: (2) Lennox Electrostatic Filter Module (one for each Split System Above). & Provide Price Option for: (1) Lennox "icomfort S-30" Thermostat for Second Floor AC #2 (only).

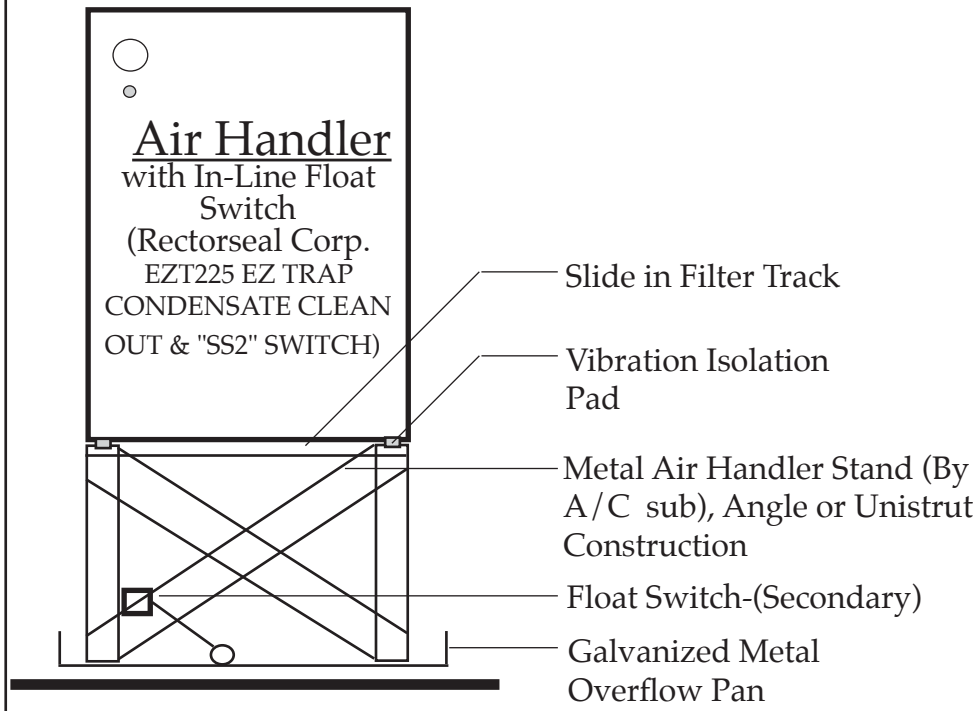
File: Sloan_HVAC_Schedule.indd

HVAC NOTES-

Sloan Residence Renovation Project

- These drawings are diagrammatic. Do not scale drawings for exact location of equipment, piping, Ductwork, etc. Locate grills as per Reflected Ceiling Plan so as to line up with lighting, etc as shown.
- All work shall be performed in a first-class, workman like manner the completed system shall be fully operative and acceptance by the engineer-architect is a condition of the Subcontract. Subcontractor shall pay for all permits, fees and inspections, and tests related to his work. Subcontractor shall visit the Jobsite to fully familiarize himself with all existing conditions. All work shall be coordinated with other trades to avoid interference with the progress of construction.
- All installations shall be in strict accordance with the recommendations set forth in the latest ASHRAE Guides. All materials shall be new and bear manufactures label where applicable. All ductwork shall conform to SMACNA standards. All ductwork sizes are net inside dimensions.
- Submit shop drawings for approval on all equipment prior to installation. Branch takeoffs must be provided with approved, adjustable accessible air-splitter dampers.
- Furnish and install all temperature controls under this contract, including Energy Star thermostat and humidistat (if specified,) at no upcharge. Mount thermostats at 5'6" AFF unless otherwise noted.
- Subcontractor shall adjust, test, and balance all systems; submit copy of worksheet for engineers review.
- Subcontractor shall guarantee all workmanship and materials for (2) years from date GC obtains C.O. on building, unless otherwise noted.
- Correction of Defects shall be completed without additional charge and shall include replacements or repair of any other phase of the installation, which may have been damaged thereby.
- Furnish and Install ductwork for Clothes Dryer and Range hood (co-ordinate exact size and shape with GC).
- Bath Fans; Panasonic "whisper green", Model #FV-05VK3 50 CFM, unless otherwise indicated on equipment schedule.

Air Handler Pan Detail



File: Sloan_HVAC_Schedule.indd

2nd Floor HVAC Plan M1.02

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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(561) 243-8755

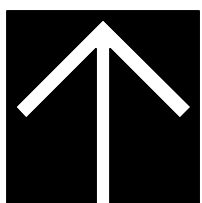
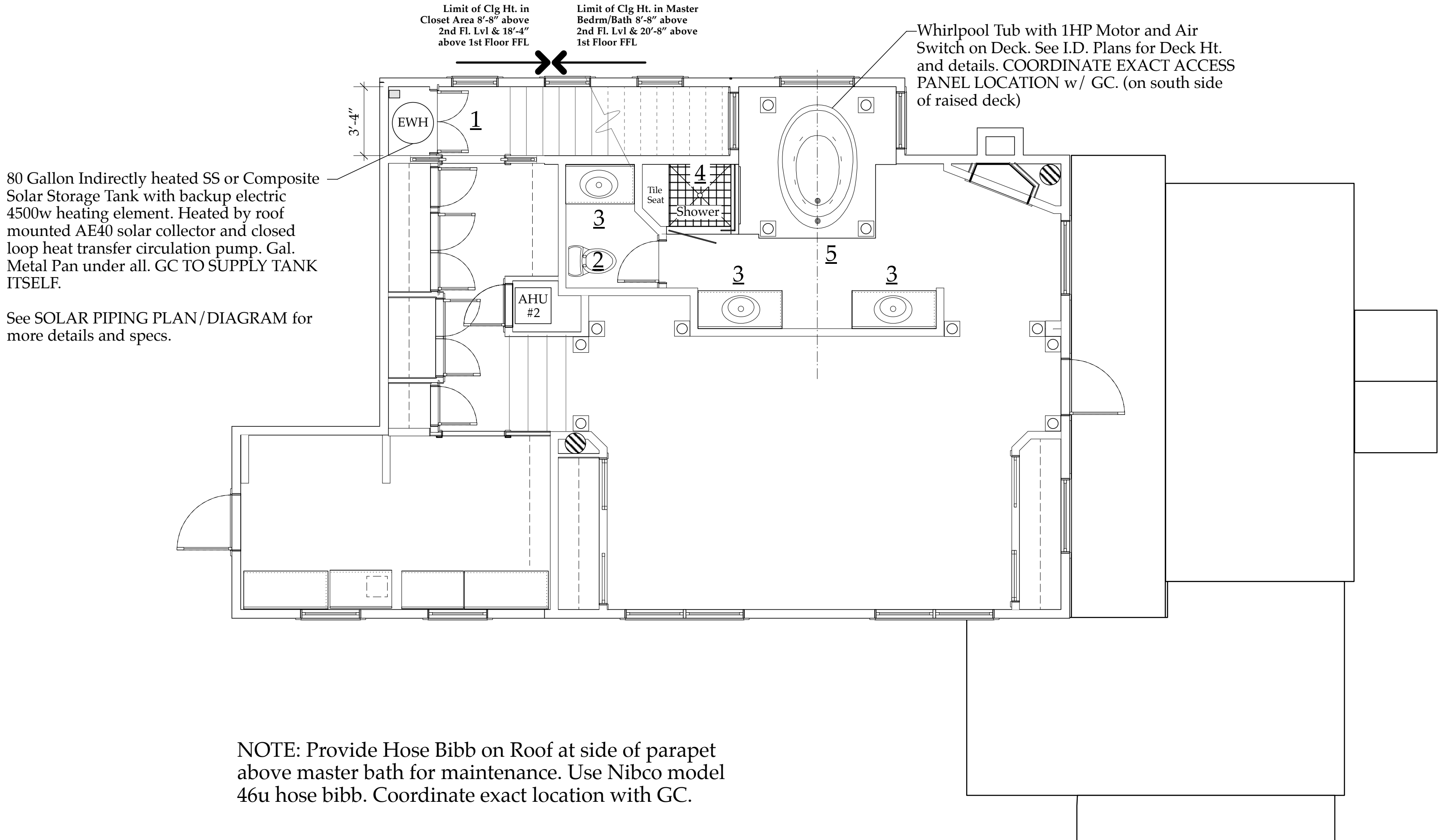
Consultant Name
Consultant Address 1
Consultant Address 2

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
Second Floor
HVAC Plan

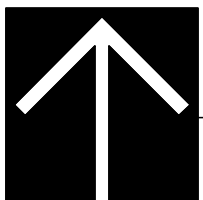
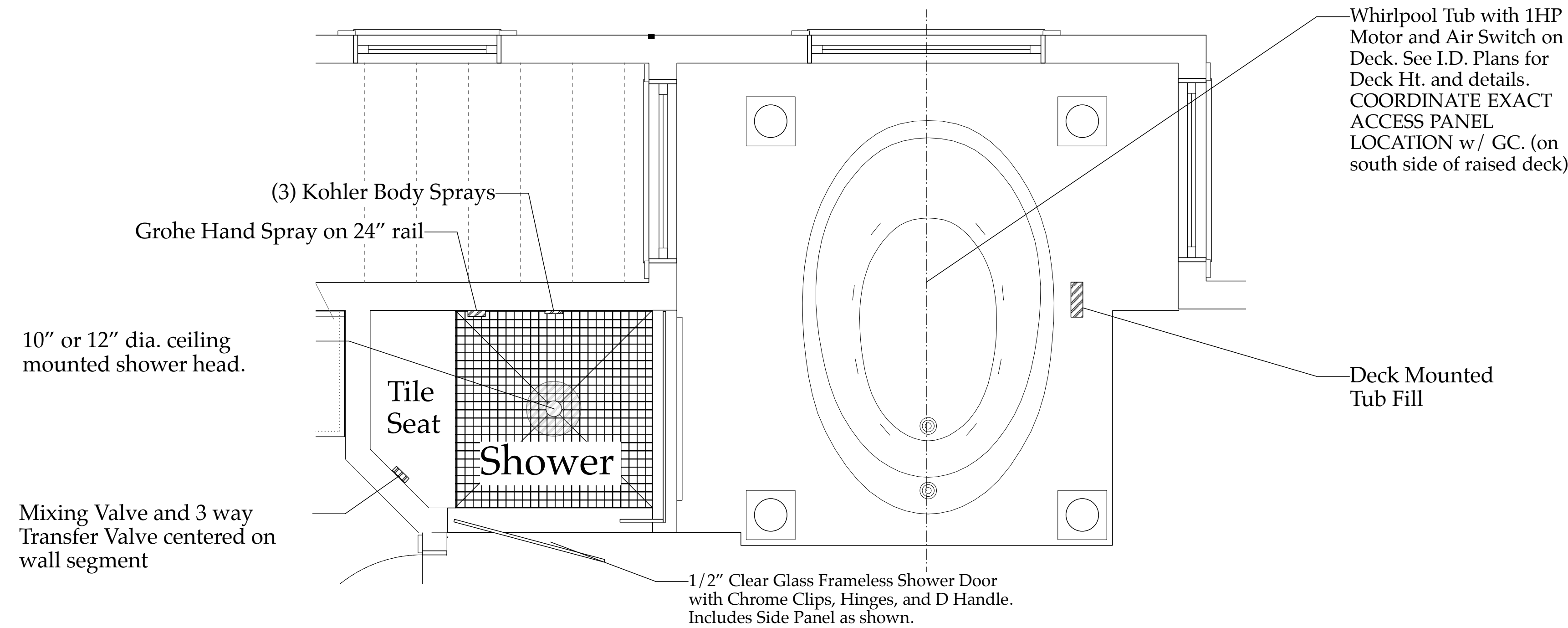
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D.Sloan	Scale 1/4" =1'-0"
Reviewed By D.Sloan	Drawing No. M1.02
Date 2/1/2017	of Total Sheets

Sloan Res_Mstr Ste. 2016v16.kwx



SECOND FLOOR PLUMBING PLAN- NEW

Scale: 1/4" = 1'-0"



SHOWER AREA DETAIL PLAN

Scale: 3/4" = 1'-0"

PLUMBING NOTES-

Sloan Residence Master Suite Addition Project

NOTE: Existing First Floor 40 Gallon EWH is being relocated to 2nd Floor Location. Provide gate valves in back of existing closet to tie HW into new Solar Hot Water System, and gate valve for Cold Water Tie in as well***First Floor system to remain in use until final inspection is signed off**

1. SCOPE:

- Furnish all labor, materials, & equipment required for the completion of the soil, waste, vent, domestic water heater, plumbing fixtures, icemaker line to refrigerator, irrigation pump and all other systems as indicated on the drawings
- A. All work shall materials shall be in strict accordance with local codes, rules, and ordinances.
- B. All work shall be performed by a licensed plumbing contractor in a first class, workmanlike manner, and the completed system shall be fully operational.
- C. All work shall be coordinated with other trades.
- D. Plumbing Contractor shall maintain his own Public Liability and Workers Compensation Insurance for the duration of the project.
- E. Plumbing Contractor shall pay for all permits, fees, inspections, and tests, required by building department.
- F. All excavation and backfill required by the plumbing installation shall be done by the Plumbing Contractor.

2. MATERIALS & METHODS:

- A. All materials shall be new and shall bear the UL and union labels, where applicable.
- B. All underground soil & waste shall be Schedule 40PVC.
- C. All Soil, waste and vent piping above the slab to be Schedule 40 PVC. All water piping to be type "L" hard copper together with wrought copper solder fittings. All water service piping from meter to building shall be of the PVC. All piping shall be supported in an approved manner from the building structure. Hangers for copper pipe to be copper.
- D. Valves shall be solder type rising stem 125 lb. as manufactured by Nibco. All fixture groups shall have accessible valves. Provide air chambers at each fixture group.
- E. Install approved dielectric unions at all locations where dissimilar piping is joined or comes in contact with any dissimilar metal.
- F. All Bronze Nibco Hose Bibbs shall be furnished with Watts #8a vacuum breakers.
- G. Furnish and install condensate drain piping to discharge at grade.
- H. Furnish and install pressure relief lines and terminate at a location to provide ready, visual indication of flow.

3. TESTING:

- A. Test all soil, waste, and vent pipe with a 20' head of water. If water level remains unchanged for a 2 hour period with sources disconnected, system shall be considered tight.
- B. Test all piping under a 150 lb hydrostatic test for a minimum of 2 hours.

4. GUARANTEE:

- A. Contractor shall guarantee all materials and workmanship to be free of defects for a period of one (1) year from the Date C.O. is obtained on the building.
- B. Correction of any defects shall be completed without additional charge.

Plumbing Fixture Schedule: Sloan Residence

REVISED: 5/10/2016

No.	SYMBOL	DESCRIPTION	MANUFACTURE	COLOR/FINISH	PRODUCT #	REMARKS
1		Backup Elec. Water Heater	Rheem Marathon(28.25d x 68h)	85 Gal/4500w	MTS85345	
		Composite Tank Acts as Storage Tank w/ built in Heat Exchanger (to connect to Solar Collector Panel)				
		*** See Solar Piping Plan/Diagram for info on Solar Controller, etc.***				
2		Toilet- Elongated Bowl	Kohler K-3813 Memoirs	White	K-3813	water sense rtd.
3		Master Bath Lav Faucet	Mirabella "St. Augustine"	Pol. Chrome	MIRWSSA800	-CP
		Master Bath Lav Sink-	Kohler "Caxton" 14" x17"	white China	K-2210	undermount
4		Master Bath Shower Set	Mirabella "St. Augustine"	Pol. Chrome	MIRSA8020E	-CP
		Master Bath Shower Set	Mirabella Mixing Valve		MIR 3001	
		Master Bath Shower Set	Mirabella 3 way Transfer Valve		MIR6103	
		Master Bth Shwr: Rainhead	TBS	Pol. Chrome		12" dia. clg mtd
		Master Bath Hand Shower	Grohe Relexa + 80 top 4	Pol. Chrome	28817000	w/ 24" rail stm.
		Master Bath Body Sprays	Kohler "Water Tile"	Pol. Chrome	K-8002-CP	(3) Required
5		Master Bath Whirlpool Tub	TBS w/ 1hp motor	White	TBS	w/ air switch
		Master Bath Whirl. Tub Faucet	Mirabella "St. Augustine"	Pol. Chrome	MIRSA3RTCP	Pol. Chrome

NOTES:

- Plumber to provide \$0 Dollar Value Allowance for All New Fixtures except for Water Heater & Americast Tub.
- Provide a "Jockey Pump" (recirculating pump) to recirculate hot water loop to/from all fixtures. "Grundfos Grundfos #UP15-18B5" Brand or appd equal.
- Provide 1/4" copper water line for Kitchen Refrigerator for ice/water.
- Provide Woven Supply Lines to all Fixtures (faucets and toilets & clothes washer)
- Solar Hot Water System (by Solar System Installer) will tie into Plumber provided Gate Valves at backup WH. (coordinate with GC & Solar System Installer as to exact configuration). SEE Solar System Piping Diagram for Gate Valve Location, etc.
- Hose Bibbs to be Nibco Brass #46U Bronze

2nd Floor
Plumbing Plan
P1.02

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No.	Date	Appr	Revision Notes
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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
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Delray Bch, FL 33483
(561) 243-8755

Consultant
Consultant Name
Consultant Address 1
Consultant Address 2

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
Second Floor
PLUMBING PLAN

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D.Sloan	Scale 1/4" =1'-0"
Reviewed By D.Sloan	Drawing No. P1.02
Date 2/1/2017	of Total Sheets
CAD File Name Sloan Res_Mstr Ste. 2016v16.kvx	

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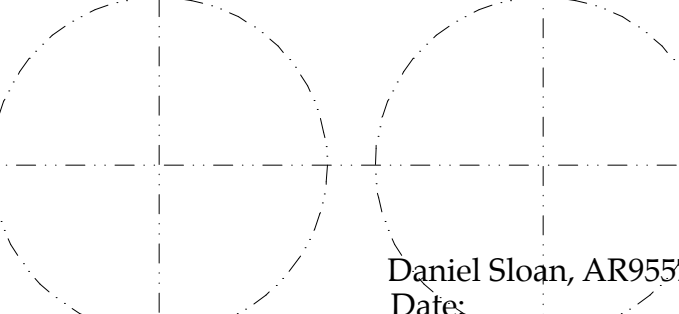


No.	Date	Appr	Revision Notes
1	11/9/15		Updated Awning Sizes/Locations

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**Sloan Residence Renovations
Phase 1- Library
& Screen Porch**

No.	Date	Issue Notes
		 Daniel Sloan, AR95577 Date:

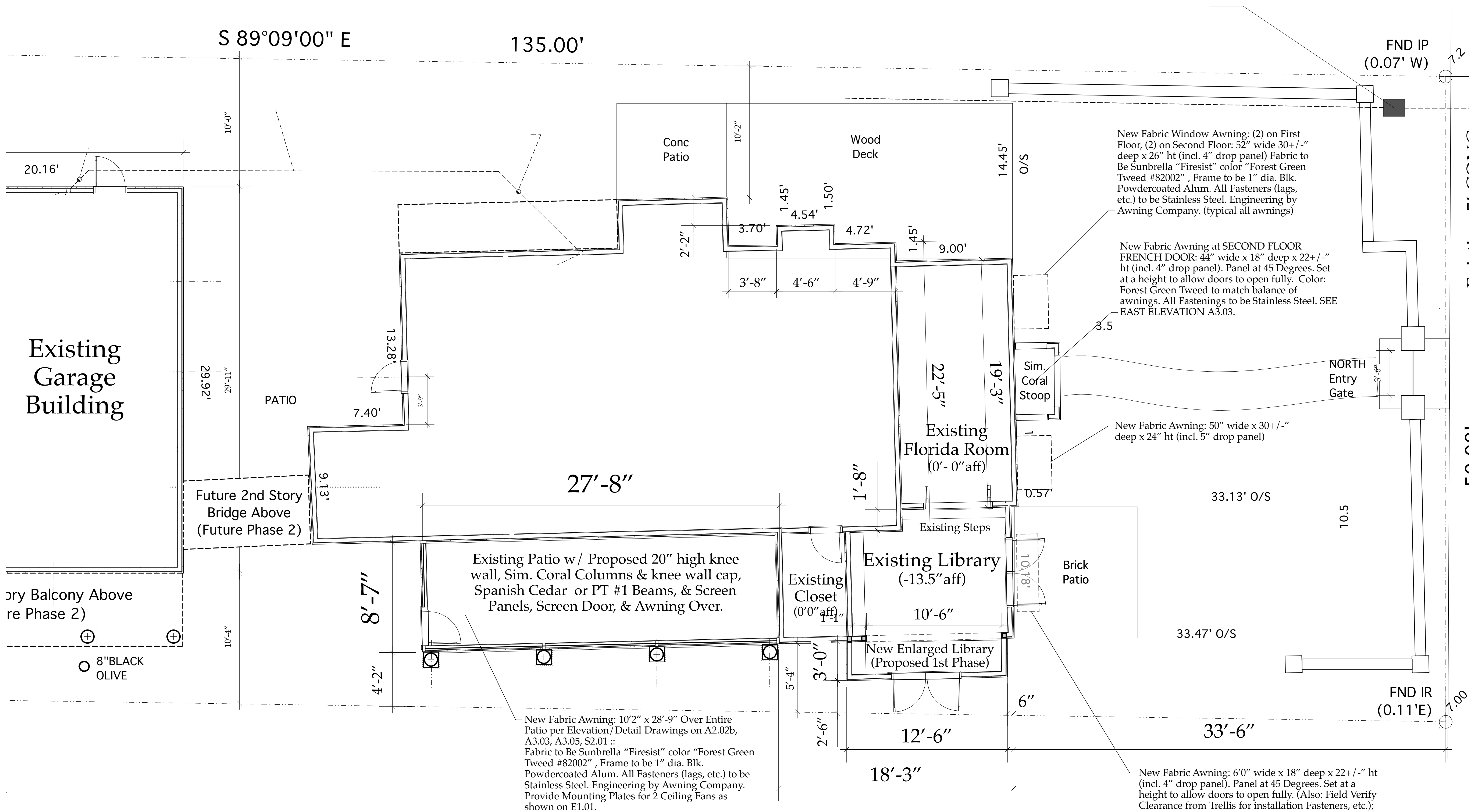
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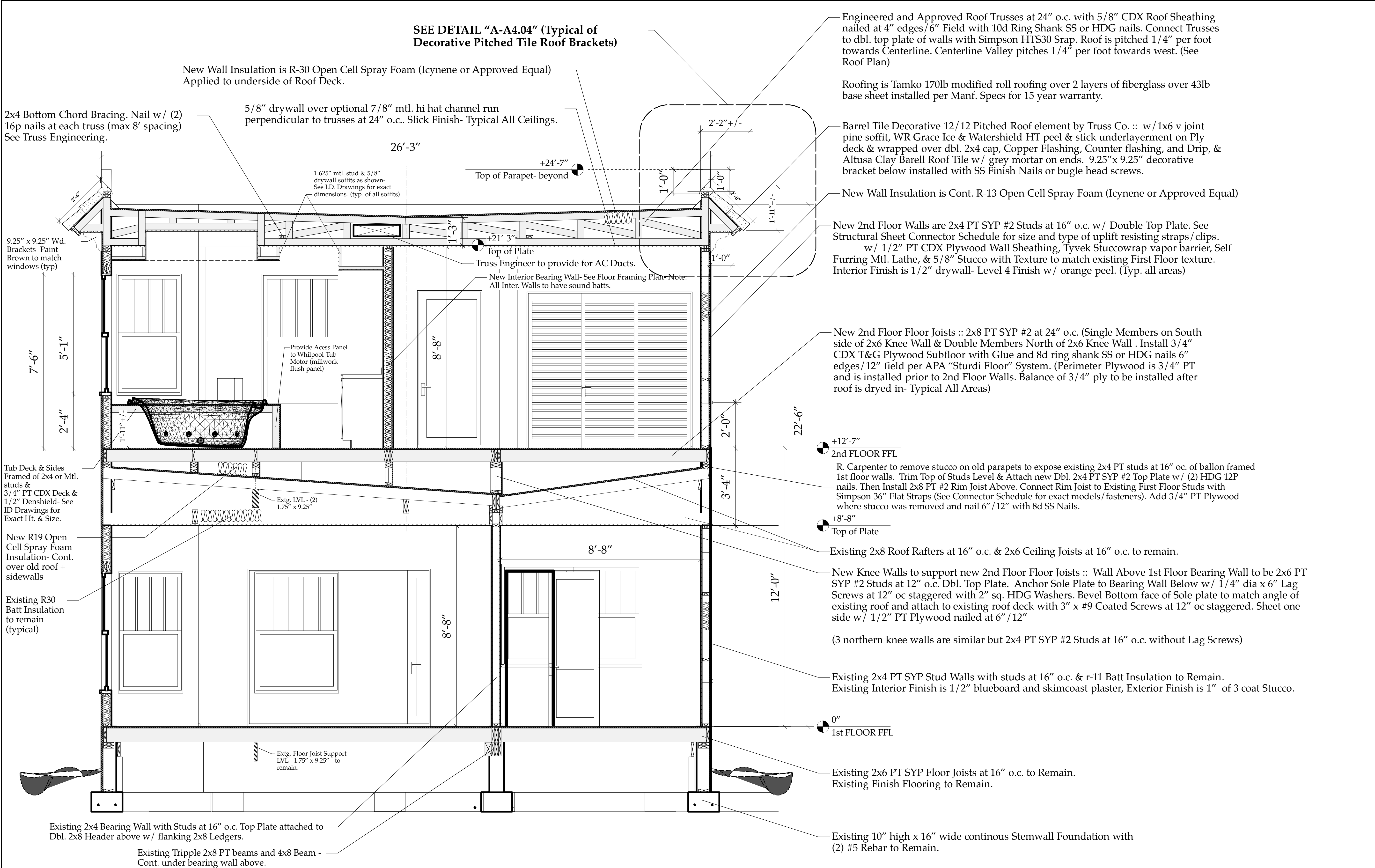
Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
NEW AWNING FLOOR PLAN
Showing Window, Door
& Porch w/ Fabric Awnings

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A2.02c
Date 7/1/2018	of 1
CAD File Name Library&Porch_SloanRes_v2018.vwx	



New Awning Plan
A2.02c



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No.	Date	Appr	Revision Notes
1	11/23/16		Change from Blueboard to Drywall- typ
2	4/17/17		ISSUED FOR CONSTRUCTION
3	6/30/17		Changed 2nd Floor FFL from 12' to 12'-7". Added CL Bearing Wall and adjusted knee walls supporting new floor joists.

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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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Project Title
**Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue**

Drawing Title
BUILDING SECTIONS

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.01
Date 2/1/2017	of Total Sheets
CAD File Name Sloan_Res_Mstr_Ste_2016v16.kwx	

New Building Section "1-A4.01"

1
A4.01

MASTER BED ROOM BUILDING SECTION

Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets where new 2nd Floor Walls to be constructed. Trim top of Existing 2x4 PT Wall Studs at 16" o.c. level. Then Attach Double 2x4 PT Plates with SS or Coated Screws. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame knee walls and install 2nd Floor Floor Joists without removing existing roofing below (to protect ceilings below from water intrusion). Tack down each 4x8x 3/4" CDX sheet with 2 screws until Rough Plumbing, AC, Electric are completed and new Roofing Dried in. Then install with Glue/Nails per Floor Framing Plan.

The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99)



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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
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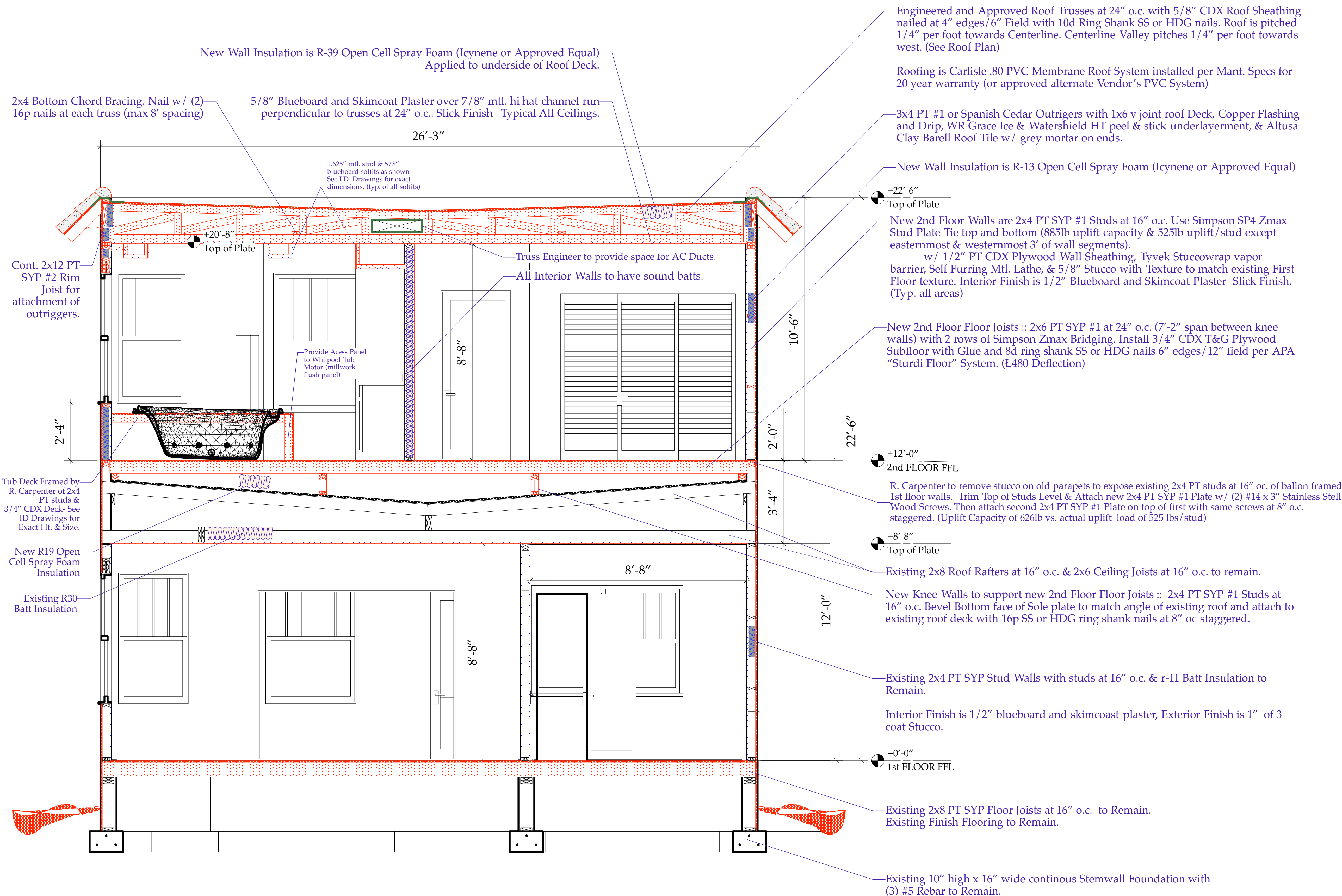
Consultar

Project Title	Sloan Residence MASTER SUITE ADDITION 106 SE 7th Avenue
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Drawing Title	BUILDING SECTIONS
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Project Manager	D. Sloan	Project ID	Sloan Res Mstr. Ste.
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	A4.01
Date	3/03/2016		_____ of _____
CAD File Name	Sloan Res Mstr. Ste. 2016.dwg		Total Sheets

Sloan Res Mstr Ste 2016.vw



MASTER BED ROOM BUILDING SECTION

Scale: $1/2'' = 1'-0''$

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets where new 2nd Floor Walls to be constructed. Trim top of Existing 2x4 PT Wall Studs at 16" o.c. level. Then Attach Double 2x4 PT Plates with SS Screws. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame knee walls and install 2nd Floor Floor Joists without removing existing roofing below (to protect ceilings below from water intrusion). Tack down each 4x8x 3/4" CDX sheet with 2 screws until Rough Plumbing, AC, Electric are completed and new Roofing Dried in. Then install with Glue/Nails per plans.

New Building
Section
"1-A4.01"

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No.	Date	Appr	Revision Notes
1	11/23/16		Change Blueboard to Drywall- typ
2	4/17/17		ISSUED FOR CONSTRUCTION
3	6/30/17		Changed 2nd Floor FFL from 12' to 12'-7". Added CL Bearing Wall and adjusted knee walls supporting new floor joists.

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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
BUILDING SECTION "2"
at MASTER CLOSET AREA

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.02
Date 2/1/2017	of Total Sheets
CAD File Name Sloan Res_Mstr Ste. 2016v16.kvx	

New Building Section "2-A4.02"

Engineered and Approved Roof Trusses at 24" o.c. with 5/8" CDX Roof Sheathing nailed at 4" edges/6" Field with 18d Ring Shank SS or HDG nails. Roof is pitched 1/4" per foot towards North. North Edge pitches 1/4" per foot towards west. (See Roof Plan) Connect Trusses to Dbl. Top Plate with Simpson HTS 30 z max.

Roofing is Tamko 170lb Awaplan Cap Sheet over 2 layers of glass over 43lb base sheet all hot mopped & installed per Manf. Specs for 15 year warranty (or approved alternate Vendor's comparable System). All metal flashings and accessories to be copper.

New Wall Insulation is R-13 Open Cell Spray Foam (Icynene or Approved Equal)

New 2nd Floor Walls are 2x4 PT SYP #2 Studs at 16" o.c. with Double Top Plate. Add Connectors/straps/clips as per Connector Schedule.
w/ 1/2" PT CDX Plywood Wall Sheathing, Tyvek Stuccowrap vapor barrier, Self Furring Mtl. Lathe, & 5/8" Stucco with Texture to match existing First Floor texture. Interior Finish is 1/2" Drywall- Level 4 with Orange Peel Finish. Wet Areas to be 1/2" Denshield (Typ. all areas)

New 2nd Floor Floor Joists :: 2x6 PT SYP #1 at 16" o.c. with 2x6 briging/blocking as shown on floor framing plan. Install 3/4" CDX T&G Plywood Subfloor with Glue and 8d ring shank SS or HDG nails 6" edges/12" field.

2X12 PT SYP Floor Joists at 16" o.c. with Simpson LUS 210 zmax hangers ea. end. 2x6 Floor Joists from main area cantelevered as shown and nailed to side of adjacent 2x12 at 16" oc w/ (3) 12p nails per row.

+9'-8"
2nd FLOOR FFL.
New Stair Support Flitch Beam 17' long with 1/2" custom alum. plate connectors. with (2) 2x12 PT members and 1/2" plywood spacer. SEE Structural Sheets for enlarged details.

Top of Existing 1st Floor Wall Studs to be trimmed flush and new 2x4 PT #2 Dbl. Top Plate Added. Nail with (2) 12p nails each stud. ADD PT #2 2x6 Rim Joist above except where 2x6 floor joists are cantelevered.

Existing 2x4 PT SYP Stud Walls with studs at 16" o.c. & r-11 Batt Insulation to Remain.
Existing Interior Finish is 1/2" blueboard and skimcoast plaster, Exterior Finish is 1" of 3 coat Stucco.

New 12" x 12" Stucco Clad Column with 4" x 4" x .25" Alum. Structural Column inside & 4" dia. Roof Drain Leader & Cold Water Supply Pipe. 2x4 PT framing, 1/2" PT Plywood, & Stucco Finish to match. (See Column Detail in Structural Sheets)

0"
1st FLOOR FFL
NEW 30" x 30" x 12" Conc. Pad Foundation w/ 12" x 12" Conc. Pedestal- Top at 0'-0" (3) #5 Rebar E.W. & (4) #5 Vertical w/ #3 Hoop at top- 5" below finished top of pier, (See Structural Sheets for more info)

Existing 10" high x 16" wide continous Stemwall Foundation with (2) #5 Rebar to Remain.

Existing 2x6 PT SYP Floor Joists at 16" o.c. to Remain.
Existing Finish Flooring to Remain.

New Roof Insulation is R-30 Open Cell Spray Foam (Icynene or Approved Equal) Applied to underside of Roof Deck.

5/8" Drywall over optional 7/8" mtl. hi hat channel run perpendicular to trusses at 24" o.c.. Level 4 Finish w/ orange peel- Typical All Ceilings.

Strap Trusses at Cantilever Condition with Simpson HTS30-z

Truss Engineer to provide space for AC Ducts.

1.625" mtl. stud & 1/2" blueboard. This Wall Only. (Typ. wall is 3.625" mtl. stud)

Temporary Construction Door: to be removed at end of construction and framed in and stucco'd/drywalled.

New Open Cell R-19 Spray Foam Insulation applied over old roof.

Existing R30 Batt Insulation

Existing 2x8 Roof Rafters at 16" o.c. to remain.

R. Carpenter to remove stucco on old parapets to expose existing 2x4 PT studs at 16" oc. of ballon framed 1st floor walls. Trim Top of Studs Level & Attach new 2x4 PT SYP #2 Plate w/ (2) 12p hdg nails. Then attach second 2x4 PT SYP #2 Plate on top of first with same nails. Then Install 2x8 PT #2 Rim Joist Above. See Connector Schedule for Straps/Clips required.

2

A4.02

Section 2

Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets where new 2nd Floor Walls to be constructed. Trim top of Existing 2x4 PT Wall Studs at 16" o.c. level. Then Attach Double 2x4 PT Plates with 12P HDG Nails. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame knee walls and install 2nd Floor Floor Joists without removing existing roofing below (to protect ceilings below from water intrusion). Tack down each 4x8x 3/4" CDX sheet with 2 screws until Rough Plumbing, AC, Electric are completed and new Roofing Dried in. Then install with Glue/Nails per plans. Permiter 3/4" PT ply subfloor to be installed prior to 2nd floor walls.

The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99)



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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
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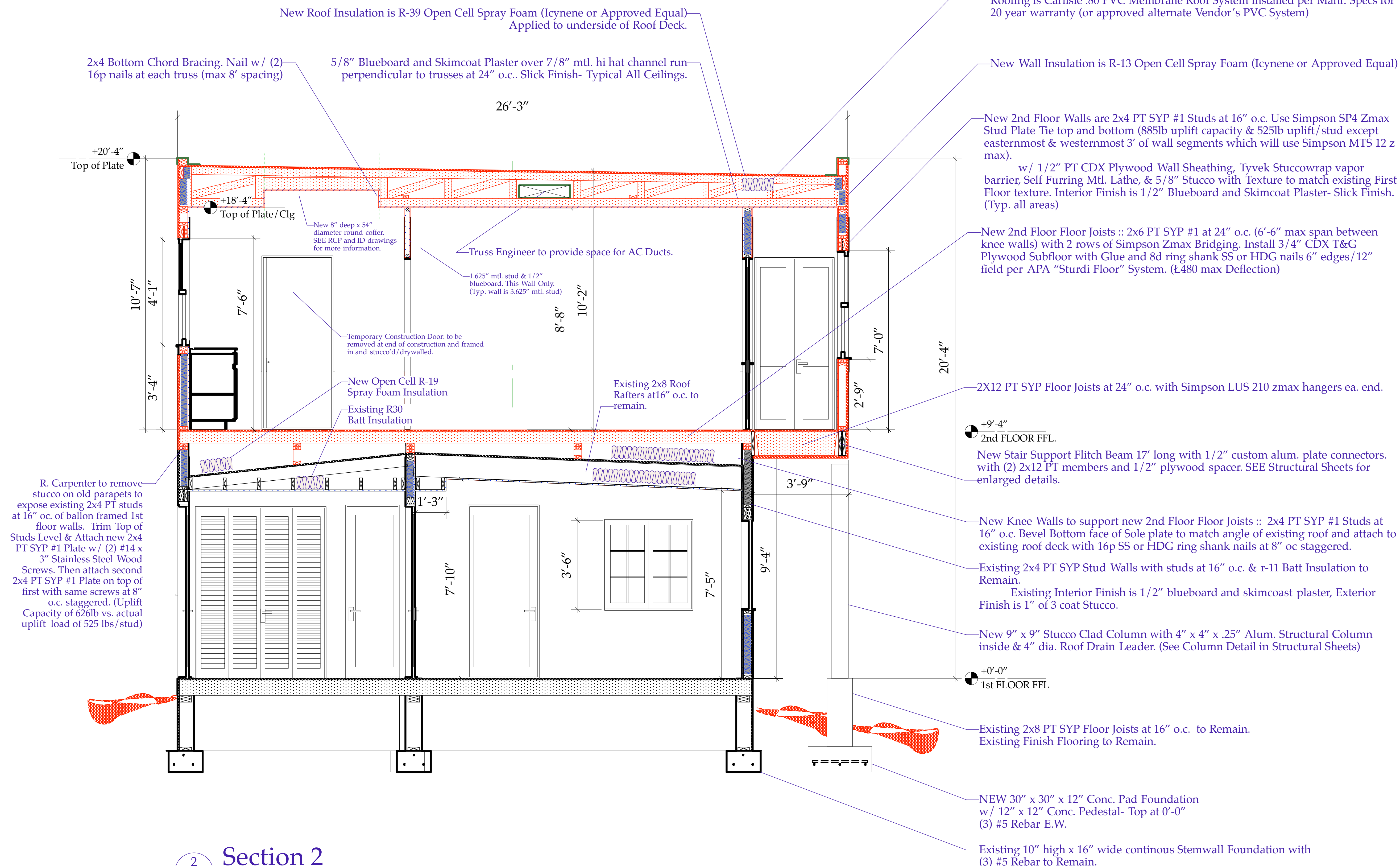
Project Title

Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title BUILDING SECTION "2"
at MASTER CLOSET AREA

Project Manager	D. Sloan	Project ID	Sloan Res Mstr. Ste.
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	A4.02
Date	4/19/2016		_____ of _____
CAD File Name	C:\Users\dsloan\OneDrive\Documents\A4.02.dwg		Total Sheets

New Building
Section
"2-A4.02"



2 Section 2
A4.02 Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets where new 2nd Floor Walls to be constructed. Trim top of Existing 2x4 PT Wall Studs at 16" o.c. level. Then Attach Double 2x4 PT Plates with SS Screws. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

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No.	Date	Appr	Revision Notes
1	11/23/16		Change Blueboard to Drywall- typ
2	4/17/17		ISSUED FOR CONSTRUCTION
3	6/30/17		Changed 2nd Floor FFL from 12' to 12'-7", Added CL Bearing Wall and adjusted knee walls supporting new floor joists.

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
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Consultant	
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Project Title

Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title	BUILDING SECTION "3" Longitudinal Section
---------------	--

Project Manager	Project ID
D. Sloan	Sloan Res Mstr. Ste.

Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No.

D. Sloan	A4.03
Date 2/1/2017	_____ of _____
CAD File Name	Total Sheets

CAD File Name
Sloan Res Mstr Ste 2016v16.rvt

New Longitudinal
Building Section
"3-A4.03"

NOTE: The Entire First Floor Structural System is existing and was completely reframed to code in 1996/97 with #1 Pine Pressure Treated Framing Members and Pressure Treated Plywood wall Sheathing. Multiple LVL Beams and Steel Pipe Columns were added to reinforce the existing Roof and Floor Joists. All New Foundations were created under all bearing walls.

**SEE DETAIL "A-A4.04" (Typical of
Decorative Pitched Tile Roof Brackets)**

New Dbl. Grider Truss with 1/2" Plywood Spacer.
— to support Tile Outrigger & Bearing Below.

- New R-30 Open Cell “Icynene” Spray Foam on underside of roof deck.

+24'-7"
Top of Parapet- beyond

— Engineered and Approved Roof Trusses at 24" o.c. (12" o.c. at coffer locations if req.) with 5/8" CDX Roof Sheathing nailed at 4" edges/6" Field with 8d Ring Shank SS or HDG nails. Connect Roof Trusses to Dbl. Top Plates with Simpson HTS30 zmax Straps. Roof is pitched 1/4" per foot towards Centerline. Centerline Valley pitches 1/4" per foot towards west. (See Roof Plan)

Roofing is 170lb Tamko Awaplan Cap Sheet over 2 layer of glass over 43lb base sheet installed per Manf. Specs for 15 year warranty & NOA (or approved alternate Vendor's Comparable System). Flashing & all metal to be Copper as shown.

Barrel Tile Decorative 12/12 Pitched Roof element by Truss Co. :: w/1x6 v joint pine soffit, WR Grace Ice & Watershield HT peel & stick underlayerment on Ply deck & wrapped over dbl. 2x4 cap, Copper Flashing, Counter flashing, and Drip, & Altusa Clay Barrel Roof Tile w/ grey mortar on ends. 9.25"x 9.25" decorative bracket below.

New Dbl. Grider Truss with 1/2" Plywood Spacer.
— to support Tile Outrigger & Wall Below.

— New 2nd Floor Walls are 2x4 PT SYP #2 Studs at 16" o.c. with Double Top Plate.
See Connector Schedule for Straps/Clips/Connectors required.
w/ 1/2" PT CDX Plywood Wall Sheathing, Tyvek Stuccowrap vapor barrier,
Self Furring Mtl. Lathe, & 5/8" Stucco with Texture to match existing First Floor
texture. Interior Finish is 1/2" Drywall - Level 4 with orange peel Finish. (Typ.)

New 2nd Floor Floor Joists :: 2x8 PT SYP #2 at 24" o.c. (Double Members north of 2x6 knee wall & single members south of 2x6 knee wall - See Framing Plan). Install 3/4" CDX T&G Plywood Subfloor with Approved Subfloor Glue and 8d ring shank SS or HDG nails 6" edges/12" field. NOTE: 2' x 8" x 3/4" PT Plywood will be installed around outside perimeter Rim Joists prior to wall framing. Balance of 3/4" T&G CDX Plywood to be temp. tacked down till all MEP/Insulation/Framing is installed & inspected and Roof is Dried in. Then installed per above.

– Roofer to Replace Existing 2x4 skylight with new Impact Rated- Low E Glass :: MAXIM Self Curbing Model 003 or approved equal, installed per Manf. Specs. for low slope application.

+12'-7"
2nd FLOOR FFL- Master Bd. Rm.

+20'-11"

Top of Plate

+18'-4"

Top of Plate

New W
Insulat
R-13 O
Spray I
(Icyner
Appro
Equal)

	+9'-8"
2nd FL. EEL-Closets	

New R-19 Open Cell "Icynene" Spray Foam-Cont. on top of old low slope roof- typical under all new floor areas.

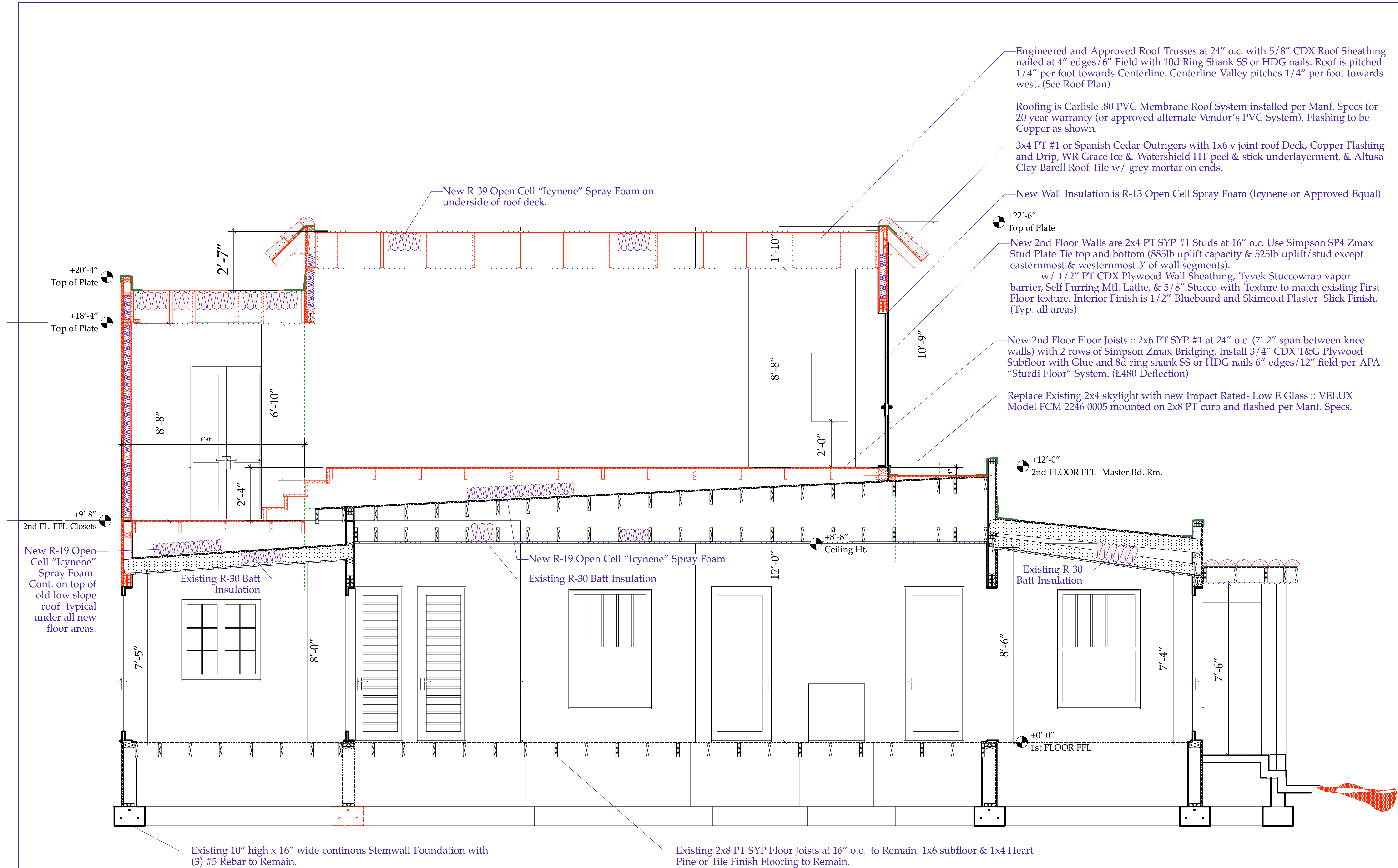
Existing R
Insulation

- New R-19 Open Cell "Icynene" Spray Foam.
(cont. over old Roofing & sidewalls)
- Existing R-30 Batt Insulation- to remain.

Existing R-30
Batt Insulation

—Existing 10" high x 16" wide continous Stemwall Foundation with (2) #5 Rebar to Remain.

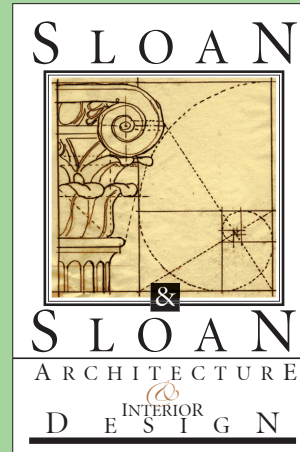
—Existing 2x8 PT SYP Floor Joists at 16" o.c. to Remain. 1x6 subfloor & 1x4 Heart Pine or Tile Finish Flooring to Remain.



NOTE: Entire First Floor Structural System is existing and was completely reframed to code in 1996/97 with Pressure Treated framing members and Pressure Treated Plywood Sheathing, and all new foundations.

New Longitudinal
Building Section
"3-A4.03"

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No.	Date	Appr	Revision Notes

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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes

Daniel Sloan, AR95577
Date: _____

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Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
BUILDING SECTION "3"
Longitudinal Section

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.03
Date 4/18/2016	of _____
CAD File Name Sloan_Res_Mstr Ste_2016.vrx	Total Sheets

170lb Tamko AWAPLAN modified bitumen Rool Roofing (See Roof Plan &/ or Elevations for Brand, Style, & Color alternates- over 2 layers of fiberglass & approved 43lb Base Sheet over 5/8" CDX Plywood Roof Decking. Nail 4" oc edges and 6" field w/ 8d ring shank SS or HDG nails. (Install per Manf. Instructions for 15 year factory warranty & NOA)

New Dbl. 2x4 PT #2 Top Plates- w/ Simpson SP4 Zmax Stud-Plate Tie @ ea, Stud (885lb Uplift capacity)

Top of Plate
+7'-9"

New 2x12 PT #2 inset rim joist to attach pitched roof elements to-II Required by Truss Engineering-> Pitched Roof Elements by Truss Co.-tile install detailing same as at 2nd floor locations.

R 30 Open Cell Foam or Batt Insulation.
New 2x8 PT #2 Roof Rafter Bears on 2x4 PT stud aligned below- w/ Simpson MTS16 Zmax Twist Strap- typ of 3 rafters (1000lb Uplift capacity) Note: Each Rafter pitched 3" towards west (1/4" per foot min).

New 2x4 Ceiling Joists at 24" o.c. and 5/8" GWB (smooth finish). Apply 1x4 Pine Beadboard at new ceiling area w/ perimeter cove mldg or 1/4 rnd.

5/8" Stucco Finish on New Paper Backed Wire Lathe over Tyvek Drain Wrap over 1/2" PT CDX Plywood. Plywood Sheathing Nailed at 6" o.c. at edges and 12" o.c. in Field with 8p SS or HDG ring shank Nails Per "Standard for Hurricane Resistant Residential Construction" ICC-600.

R-11 Open Cell Spray Foam or Batt Insulation at new 2x4 PT frame walls.

Top of Slab
-15" FFL

1'-10"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

1'-4"

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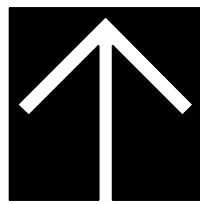
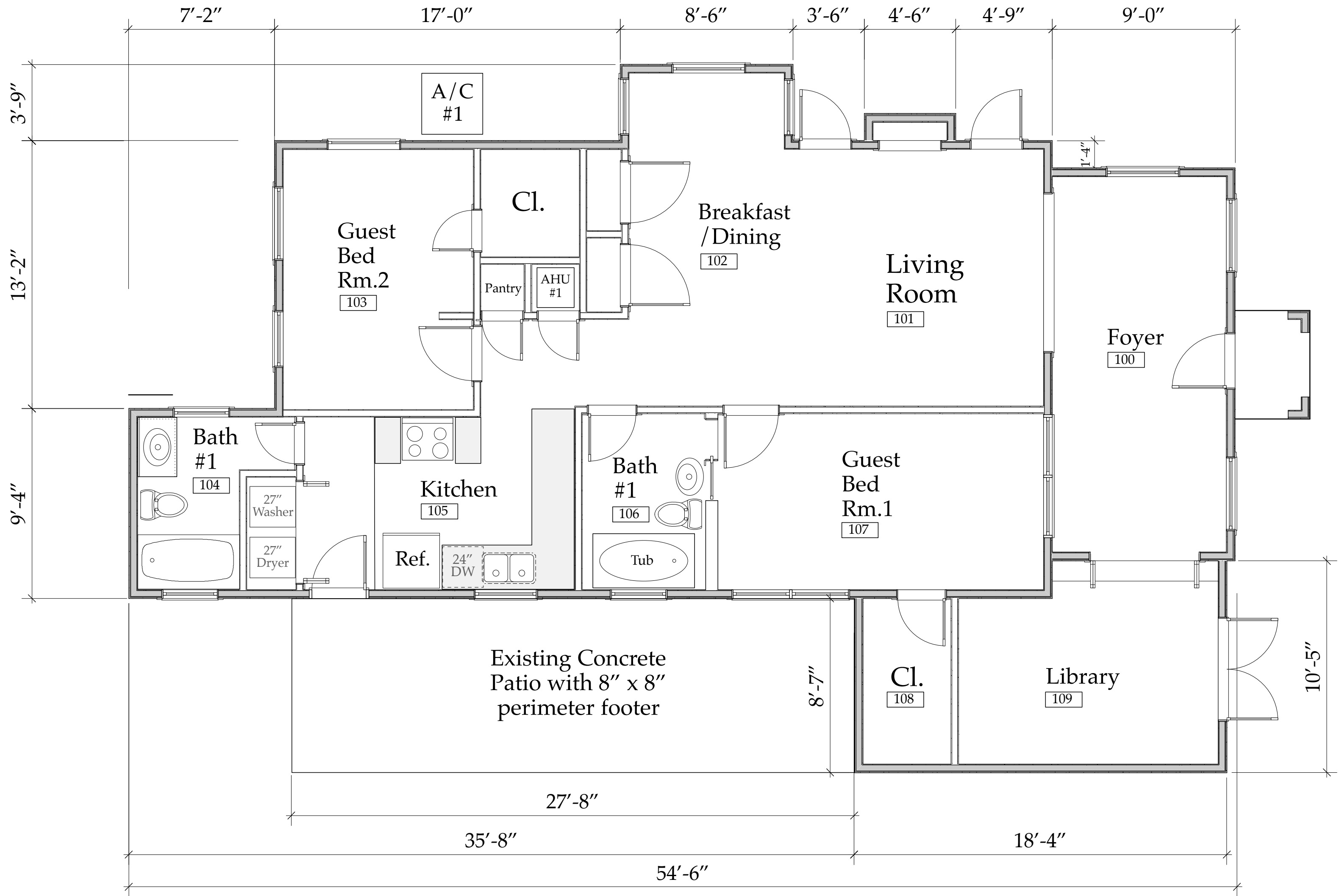
1'-4"

Wall Type Key

- New 1 Hour Insulated Wall w/ 5.625" Mtl. Stud at 24" oc., 2x6 PT sole plate,R21 Open Cell Spray Foam, and 1/2" Type C GWB each Side.
(run up to underside of Roof Deck)
- New Non Bearing Int. Wall w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate,Sound Batts, and 1/2" GWB each Side.

- New Non Bearing Int. Wall w/ 1.625" Mtl. Stud at 12" oc., 2x2 PT sole plate, and 1/2" GWB one Side. (around perimeter of 8" block wall inboard of 2" iso insulation board

- New Interior Bearing Wall w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate,Sound Batts, and 1/2" GWB each Side.



FIRST FLOOR PLAN- EXISTING CONDITIONS

Scale: 1/4" = 1'-0"

Existing Conditions;
First Floor Plan
A2.01

The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes

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Sloan Residence
Renovations-
Existing
Conditions Plan

No.	Date	Issue Notes

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
FIRST FLOOR PLAN
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 2/1/2017	of Total Sheets
CAD File Name Res_Extg Condtns_v2016.vwx	

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION

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**Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite**

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

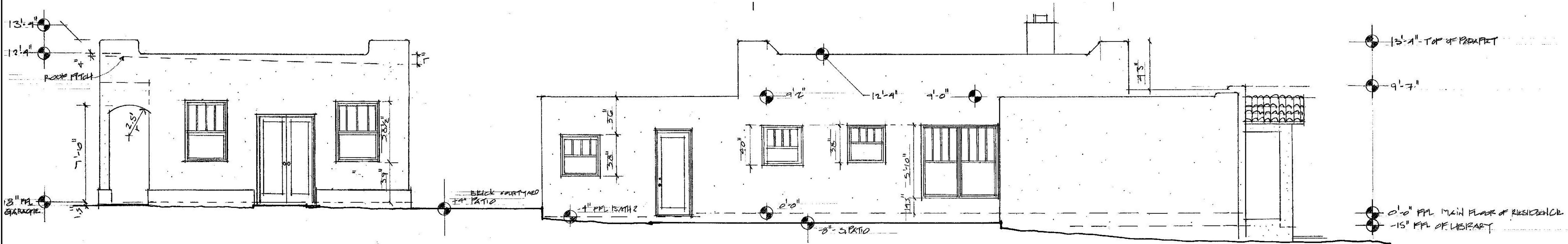
Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

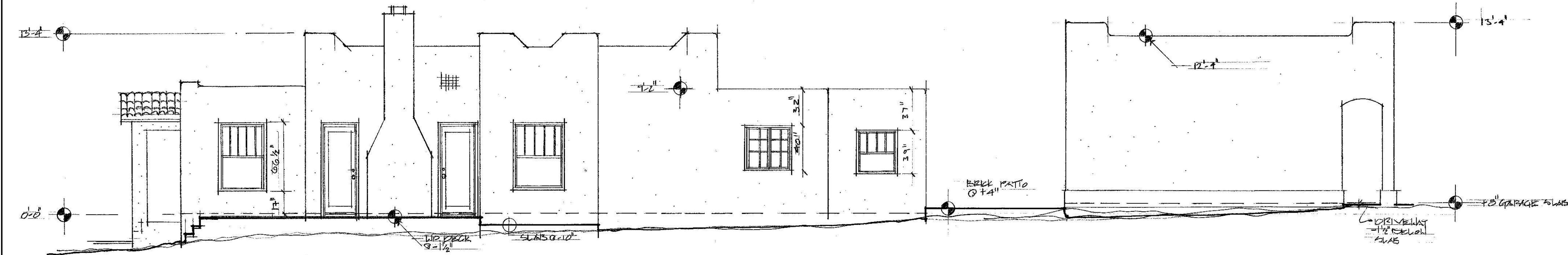
Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.01
Date 2/1/2017	of Total Sheets
CAD File Name Sloan Res_Mstr Ste. 2016v16.kwx	



Existing South Elevation: Main Residence
Scale: 1/4" = 1'-0"



Existing North Elevation: Main Residence
Scale: 1/4" = 1'-0"

Existing Elevations
A3.01

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



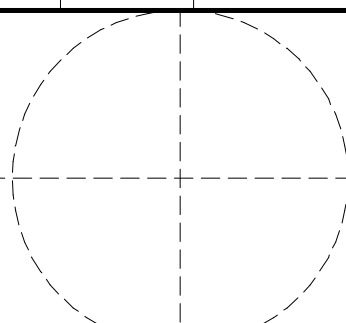
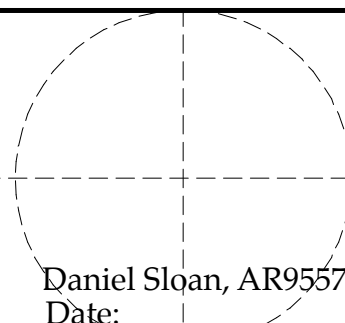
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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
		  Daniel Sloan, AR95577 Date:

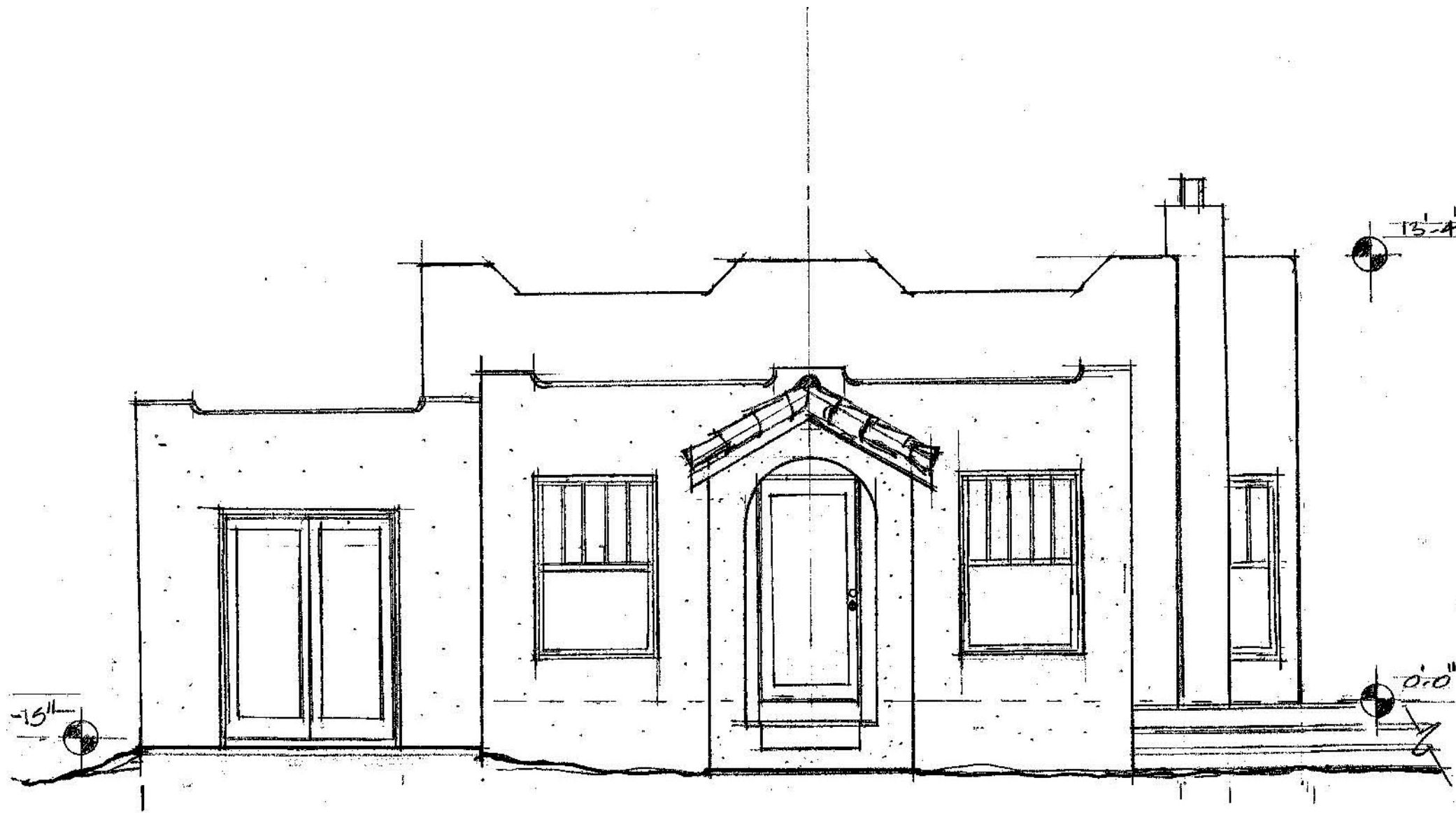
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Consultant

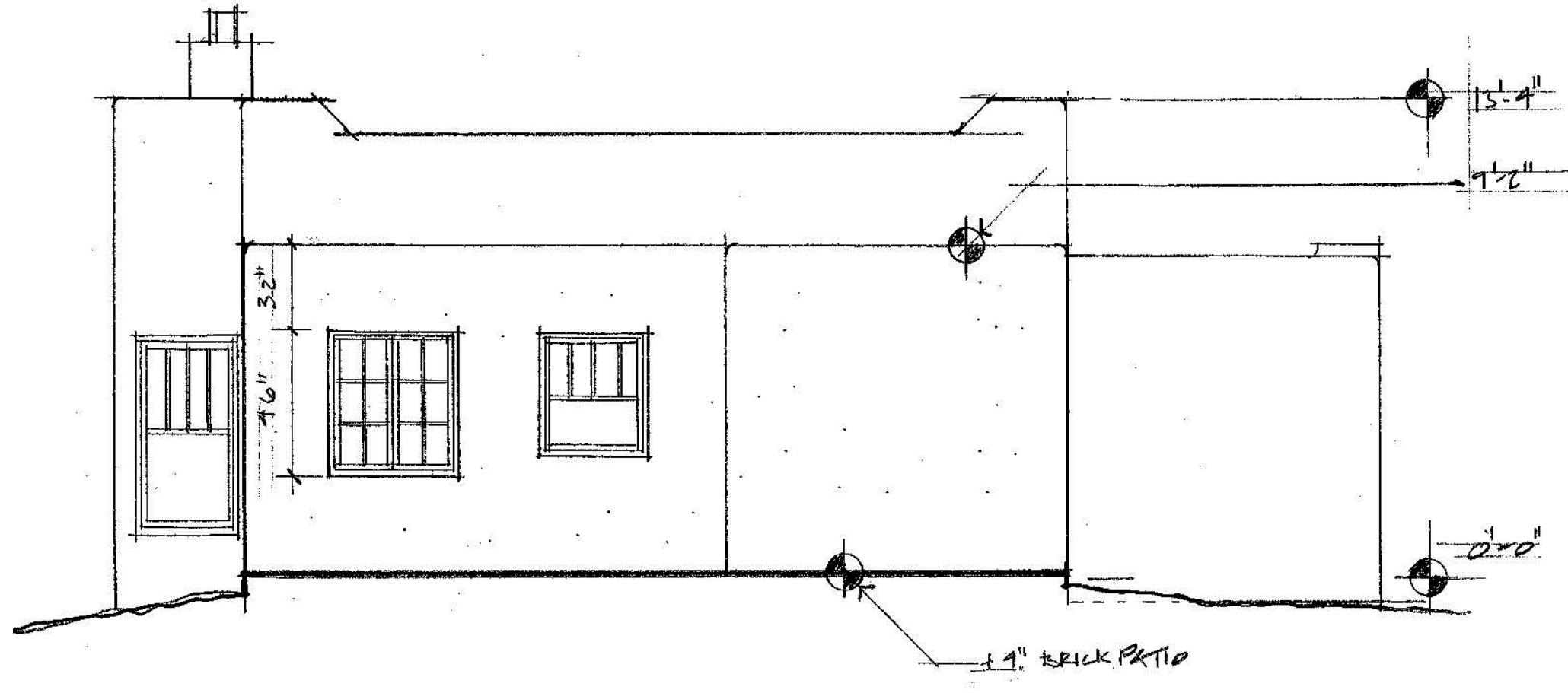
Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence

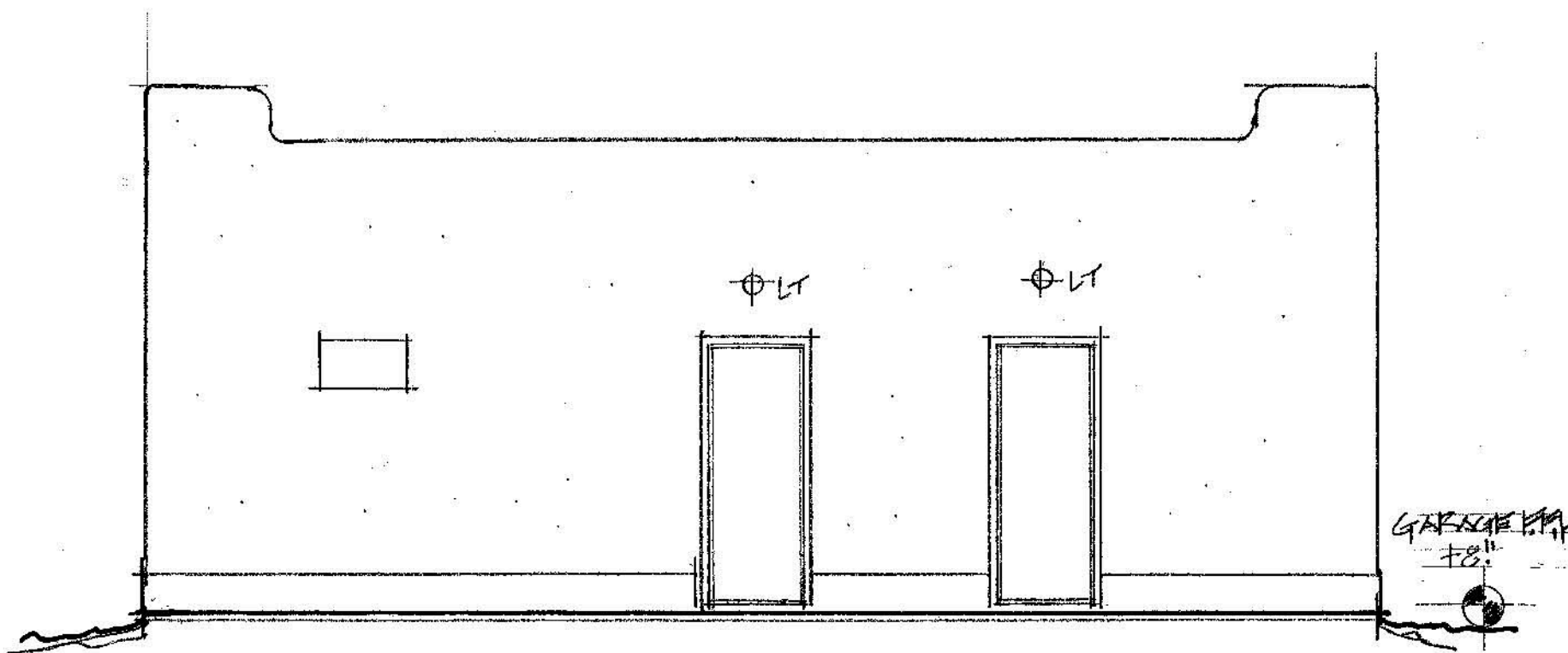
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.02
Date 2/1/2017	of Total Sheets
CAD File Name Sloan_Res_Mstr_Ste_2016v16.kwx	



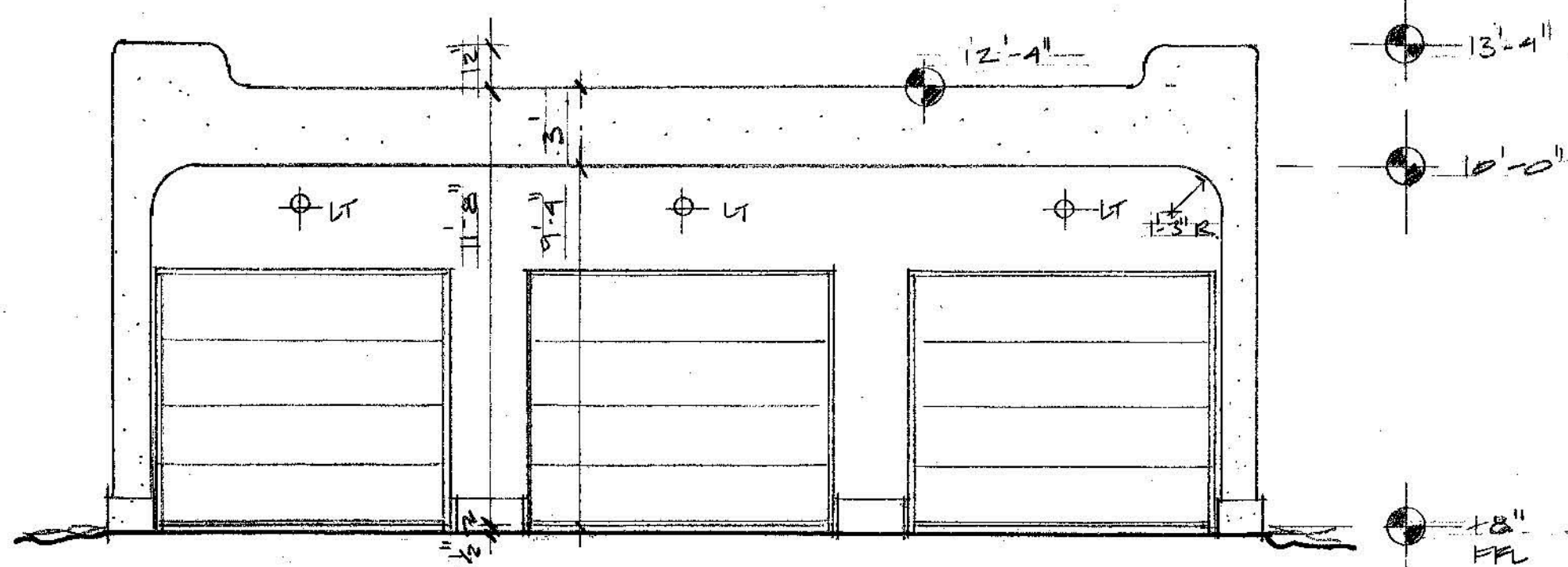
Exisiting East Elevation: Main Residence
Scale: 1/4" = 1'-0"



Existing West Elevation: Main Residence
Scale: 1/4" = 1'-0"

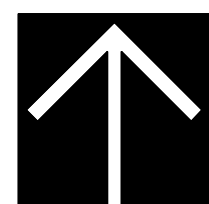
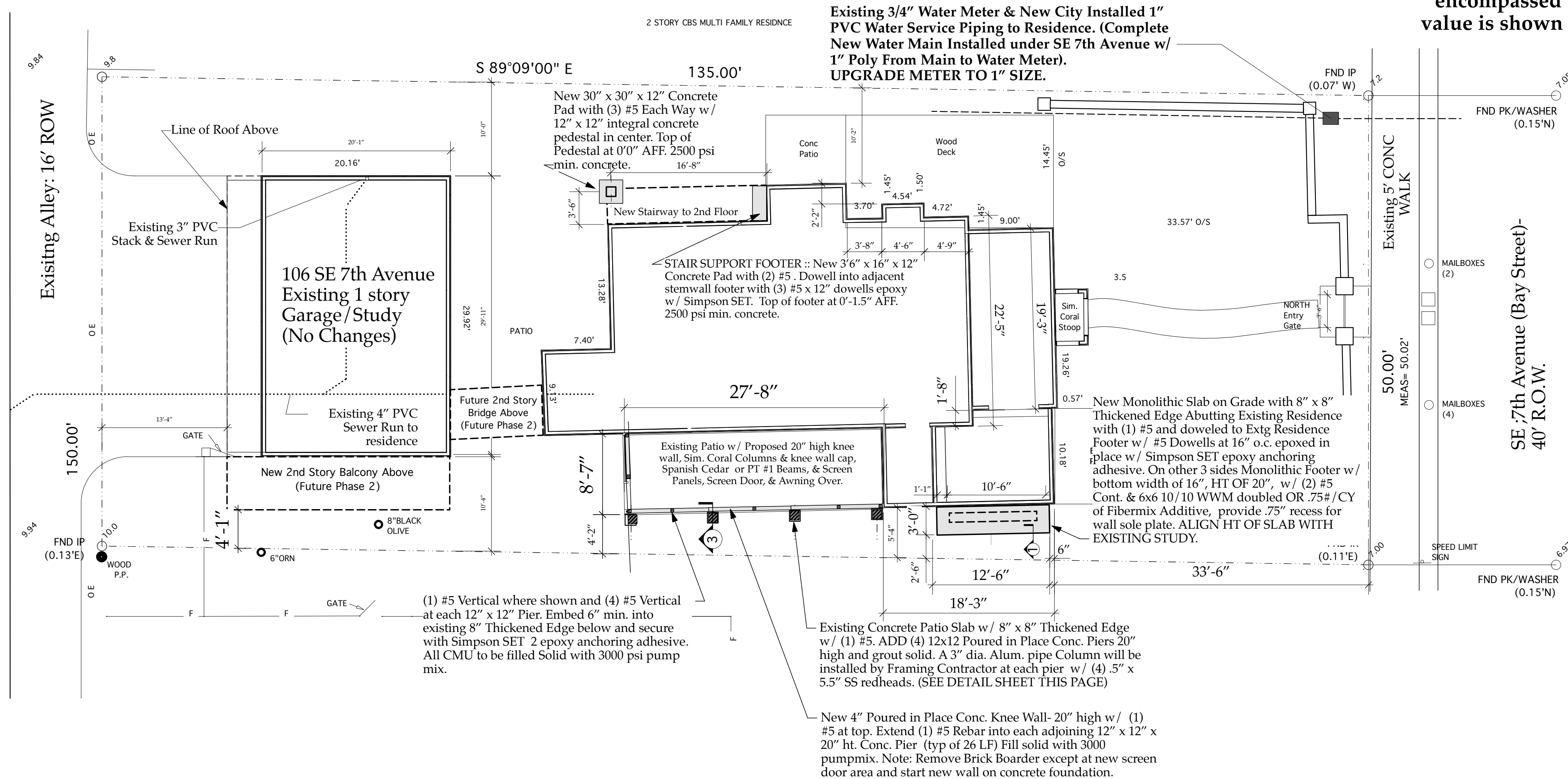


Existing East Elevation: 1 Story Garage "E-A3.02"
Scale: 1/4" = 1'-0"



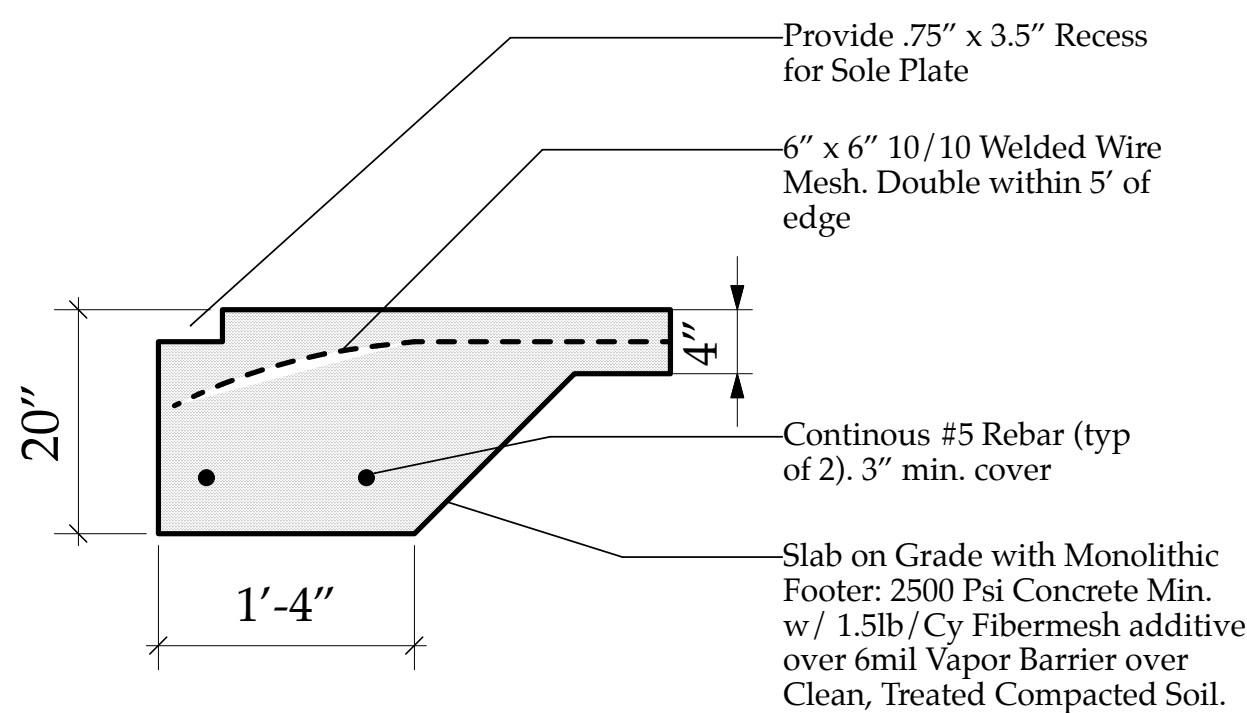
Existing West Elevation: 1 Story Garage
Scale: 1/4" = 1'-0"

Existing Elevations
A3.02



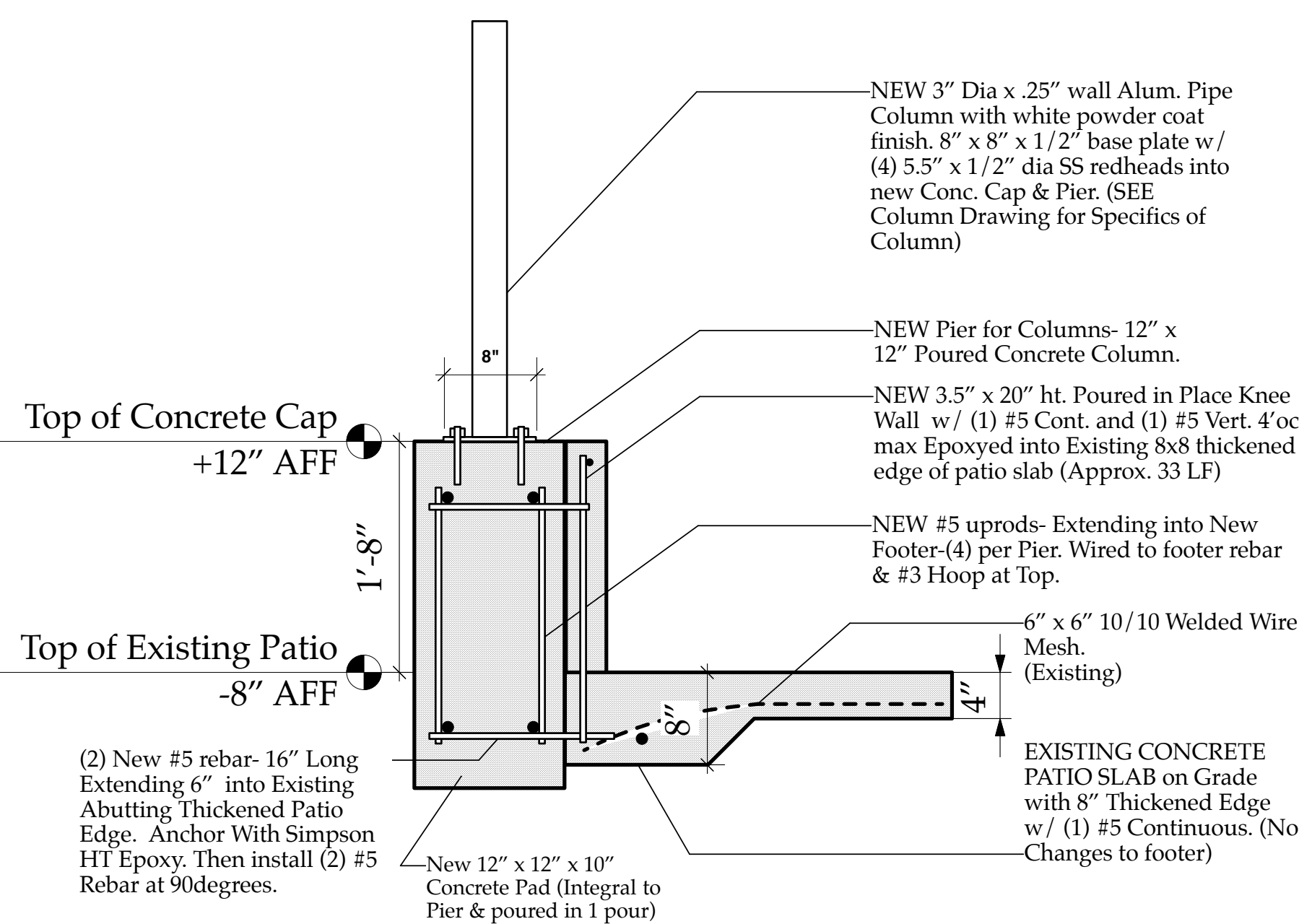
NEW FOUNDATION PLAN: Library Addition & Patio Piers

Scale: 1/8" = 1'-0"



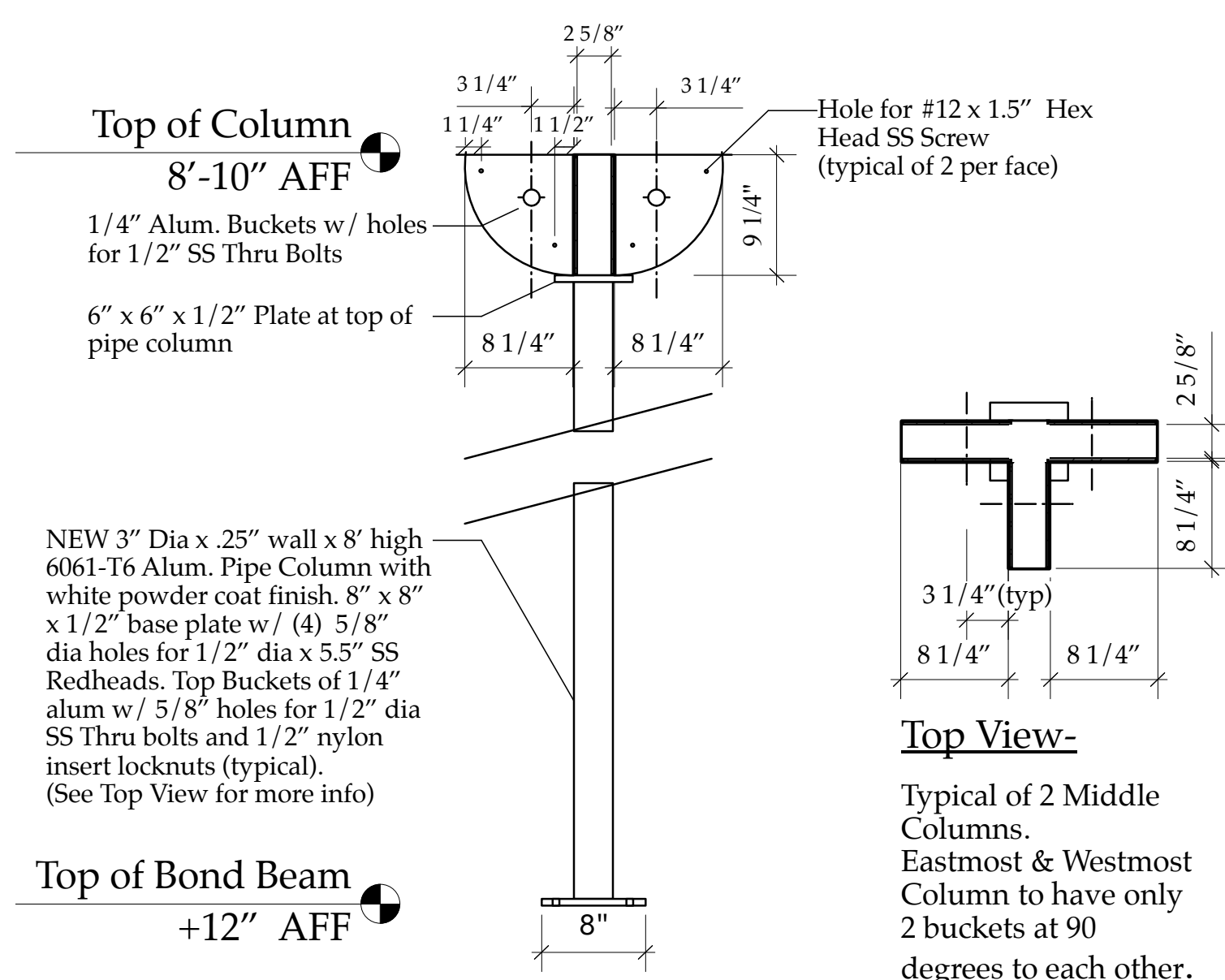
1 Monolithic Footer @ Library
S.1 Scale: 1" = 1'-0"

File: FoundationDetails_STD v2016.vwx



3 Pier & Column at Patio Detail
S.1 Scale: 1" = 1'-0"

File: FoundationDetails_STD v2016.vwx



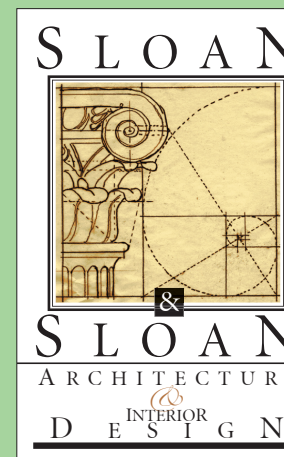
4 Alum. Column at Patio Detail
S.1 Scale: 1" = 1'-0"

File: FoundationDetails_STD v2016.vwx

Foundation Plans S1.01

Library&Porch_SloanRes_v2016.vwx

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC 600.



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No.	Date	Appr	Revision Notes
1	11/9/15		Update Foundation Notes.
2	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence Renovations Phase 1- Library & Screen Porch

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

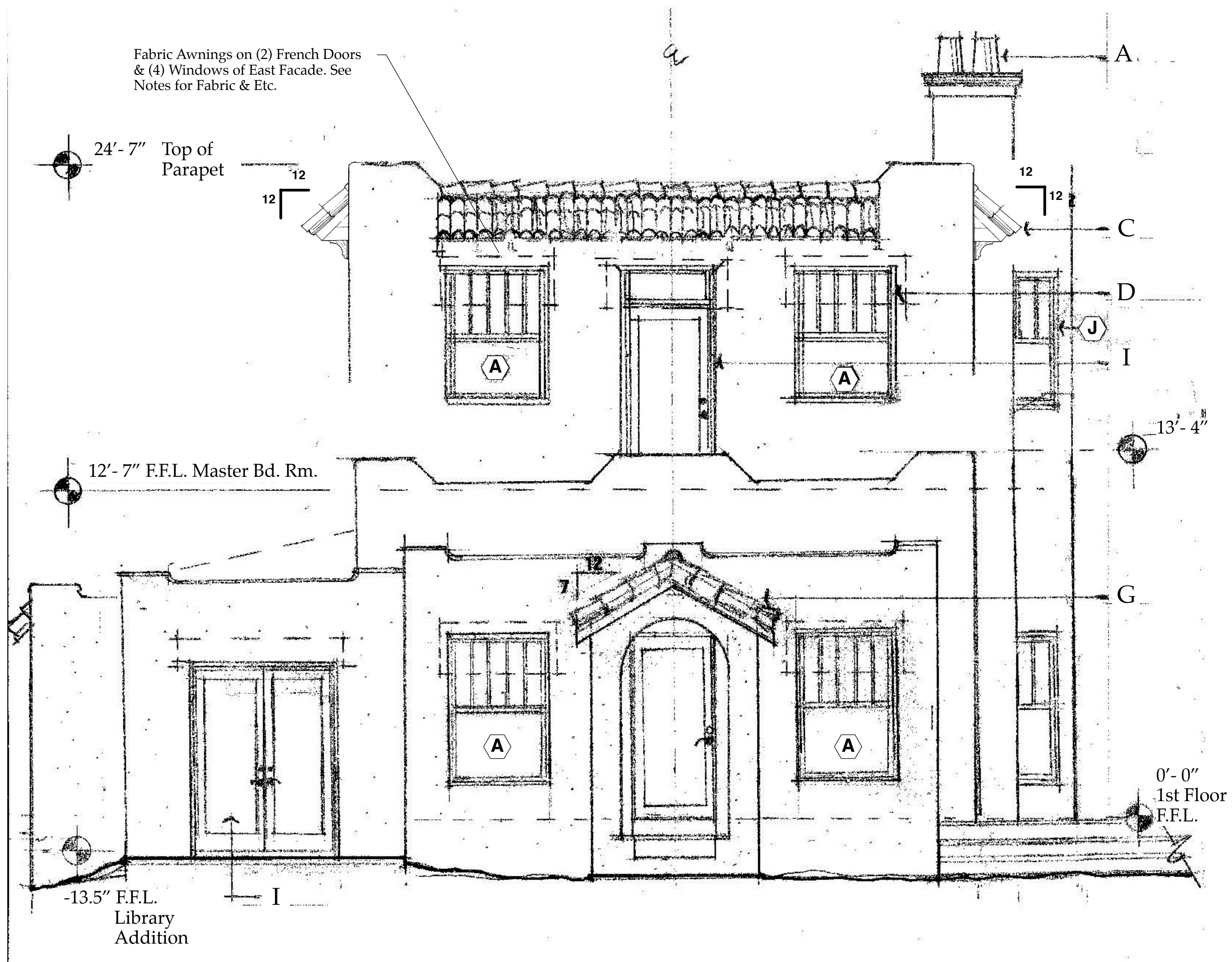
Design Firm
Sloan & Sloan, Inc.-Architecture + Int. Design
106 SE 7th Ave.
Delray Beach, FL 33483
(561) 243-8755 Email:dsloan@sloandesign.biz

Consultant

Project Title
Sloan Residence Renovations
Existing Layout
& Proposed New Layout

Drawing Title
New Foundation Plan
Showing Enlarged Library
& Porch Work

Project Manager D. Sloan	Project ID Sloan Residence Renovations
Drawn By D. Sloan	Scale 1/8" = 1'-0"
Reviewed By D. Sloan	Drawing No. S1.01
Date 2/1/2017	_____ of _____ 1
CAD File Name Library&Porch_SloanRes_v2016.vwx	



New Notated East Elevation: Main Residence
"C-A3.03"

ELEVATION MATERIALS LEGEND

- A. Terra Cotta Chimney Thimbles
- B. Reserved
- C. Decorative Pitched Roof Element: , Hand Made "Altusia"
Terra Cotta Barrell Tile in Natural Terra Cotta Color. 2x6 RS Cedar Fascia, Board, Copper Drip, w/ 1x6 v joint pine Soffit under & 9.25" x 9.25" Wd. Brackets at 24" o.c., soffit & brackets painted brown to match windows.
- D. Clad Wood Windows: Bz. vinyl or alum cladding
(Weathershield in "Adobe" Color , Pella, or Anderson Impact rated) or Owners Option Alternate PGT Alum. with "Walnut" color "Eterna" Finish.
- E. 5/8" Stucco: over 4" Wood exterior walls. (typical)
- F. Sunbrella Awning: w/ Black Powercoat Alum. Frame above 3x8 or 4x8#1 PT or Spanish Cedar Trellis.
(Awnings by Separate Permit)
- G. Replace existing machine made barrel tile with Hand Made Terra Cotta "Altusia" Barrell Tile in Natural Terra Cotta
- H. Decorative Cast Medallion: 8" x 8" square and 12" dia. round, where shown.
- I. Clad Wood French Door(s): Bz. vinyl or alum cladding
(Weathershield in "Adobe" Color , Pella, or Anderson Impact rated) or Owners Option Alternate PGT Alum. with "Walnut" color "Eterna" Finish.
- J. Sim. Coral Rock Columns: 12" dia. Tuscan style tapered column on Sim. Coral Rock Rectangular Base
- K. Screen Panels: Charcoal or Blk SS Screen panels in Ipe Wood Frame. To be located inside of line of columns. w/ all SS fastners.
- L. Tapered Posts: 6"x6" PT #1 or Spanish Cedar supporting decorative trellis above.
- M. Reserved.
- N. Existing Colored Concrete Patio: with 8x8 thickened mono. footer around perimeter. Optional: add 2'x2' coral rock pavers on top of concrete deck set in mortar bed.

New Notated
Elevation
A3.04

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION
2	6/30/17		Change 2nd Fl. FFL from 12' to 12'-7"

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
NOTATED EAST ELEVATION
of Main Residence

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale 3/8" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.04
Date 2/1/2017	of Total Sheets

Sloan Res_Mstr Ste_2016v16.kwx



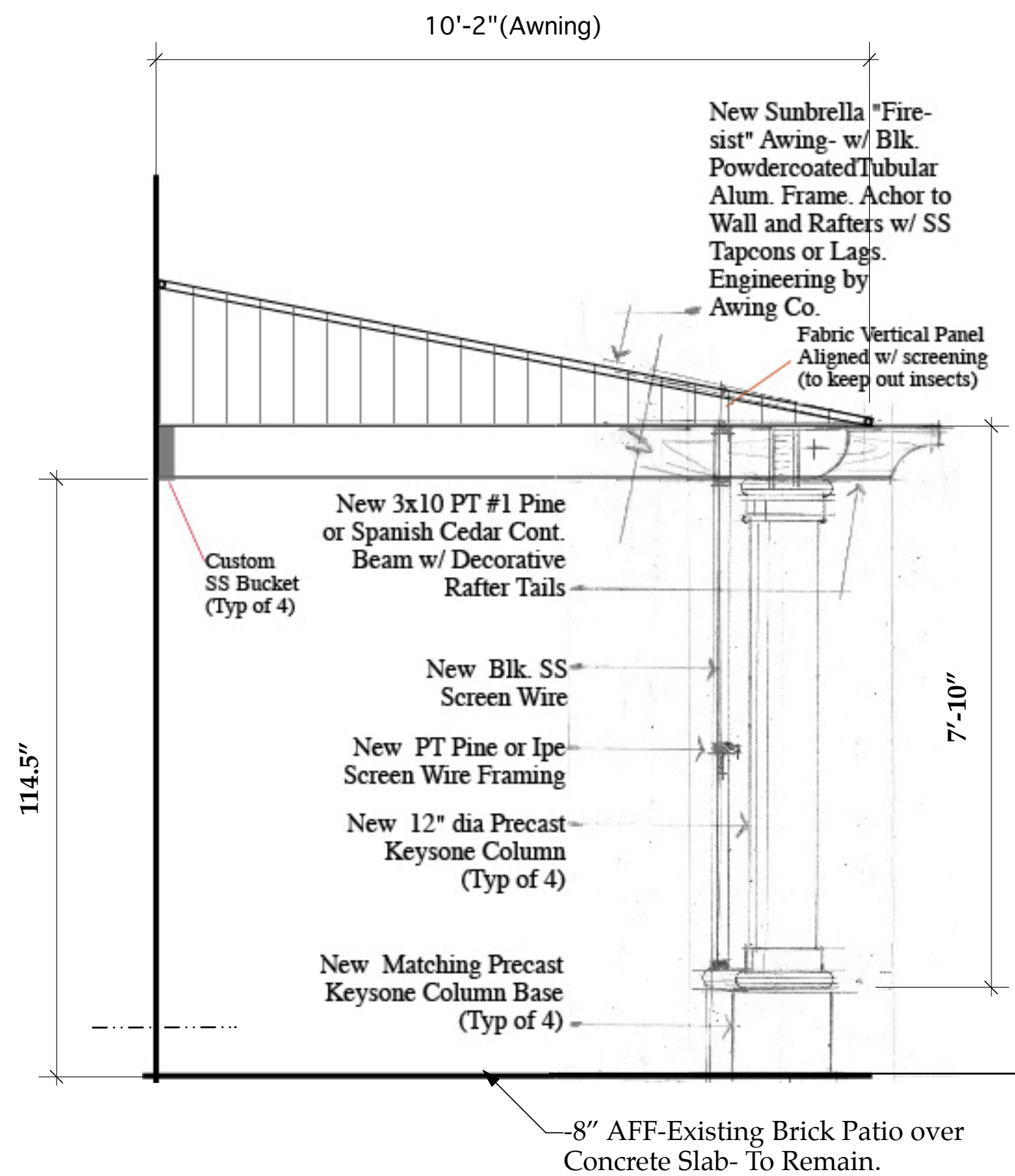
2/1/2017
CAD File Name
Sloan Res Mstr Ste 2016v16.rvt

New Elevations

A3.03



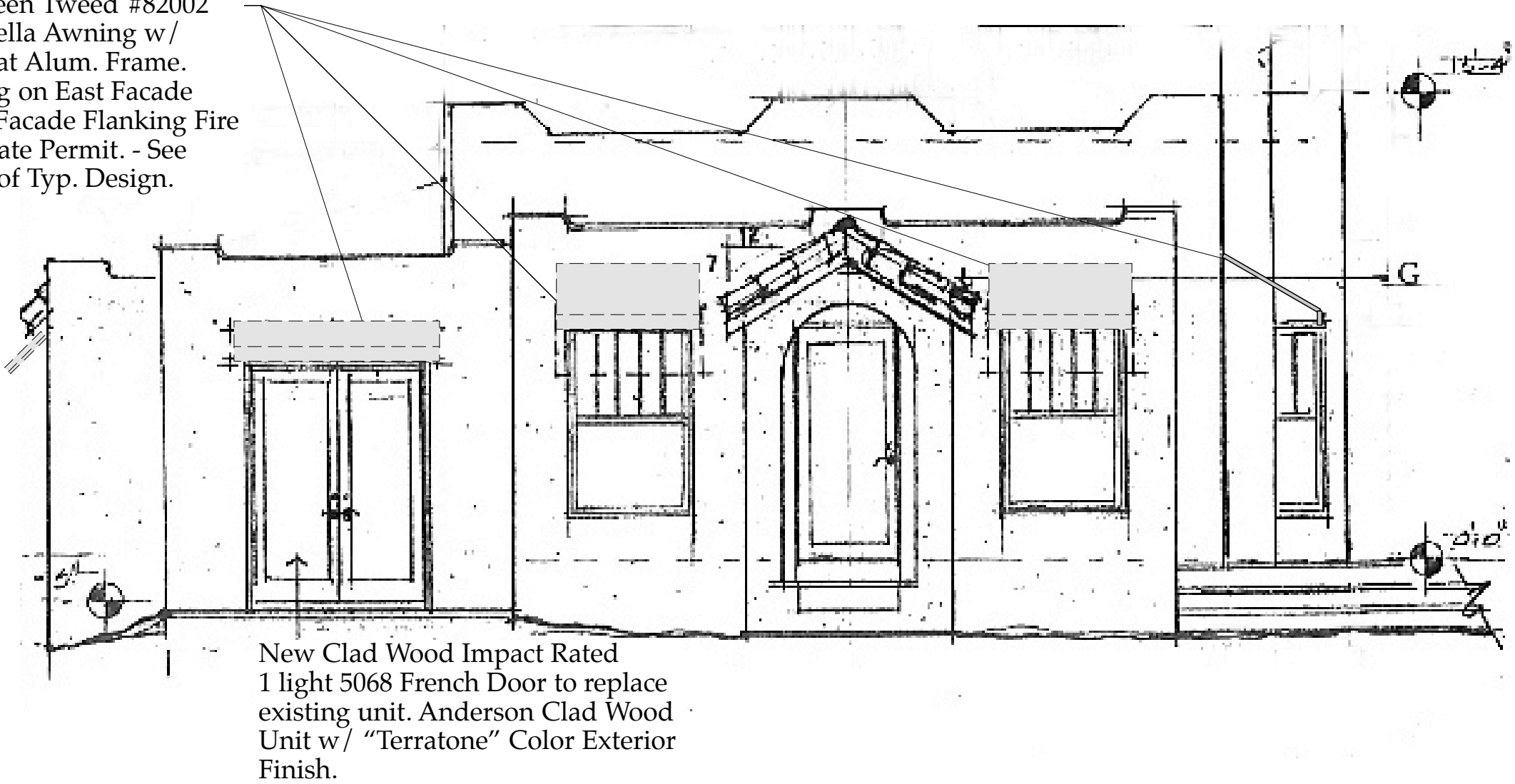
Typical Window and Door Awning Style w/ Blk. Powdercoated 1" dia. Alum. Frame and "Firesist" Sunbrella Fabric "Forest Green Tweed #82002". This Design is typical of (5) Smaller Awnings being added to East and North Facade of Home. NOTE: Secondary Awnings pitched at 30 deg. down from horizontal. (see detail)



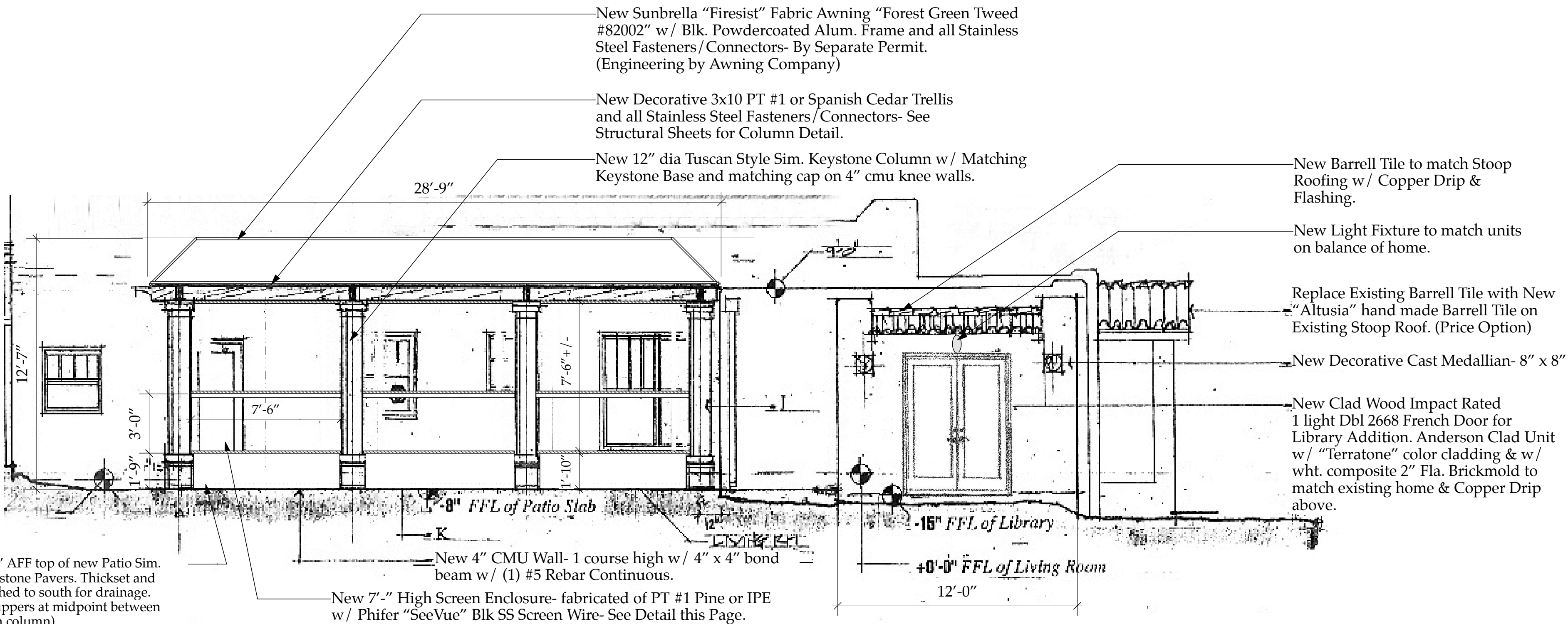
A NEW PARTIAL WEST ELEVATION (Screen Porch)
Scale: 1/2" = 1'-0"

NOTE: ALL AWNINGS BY SEPARATE PERMIT

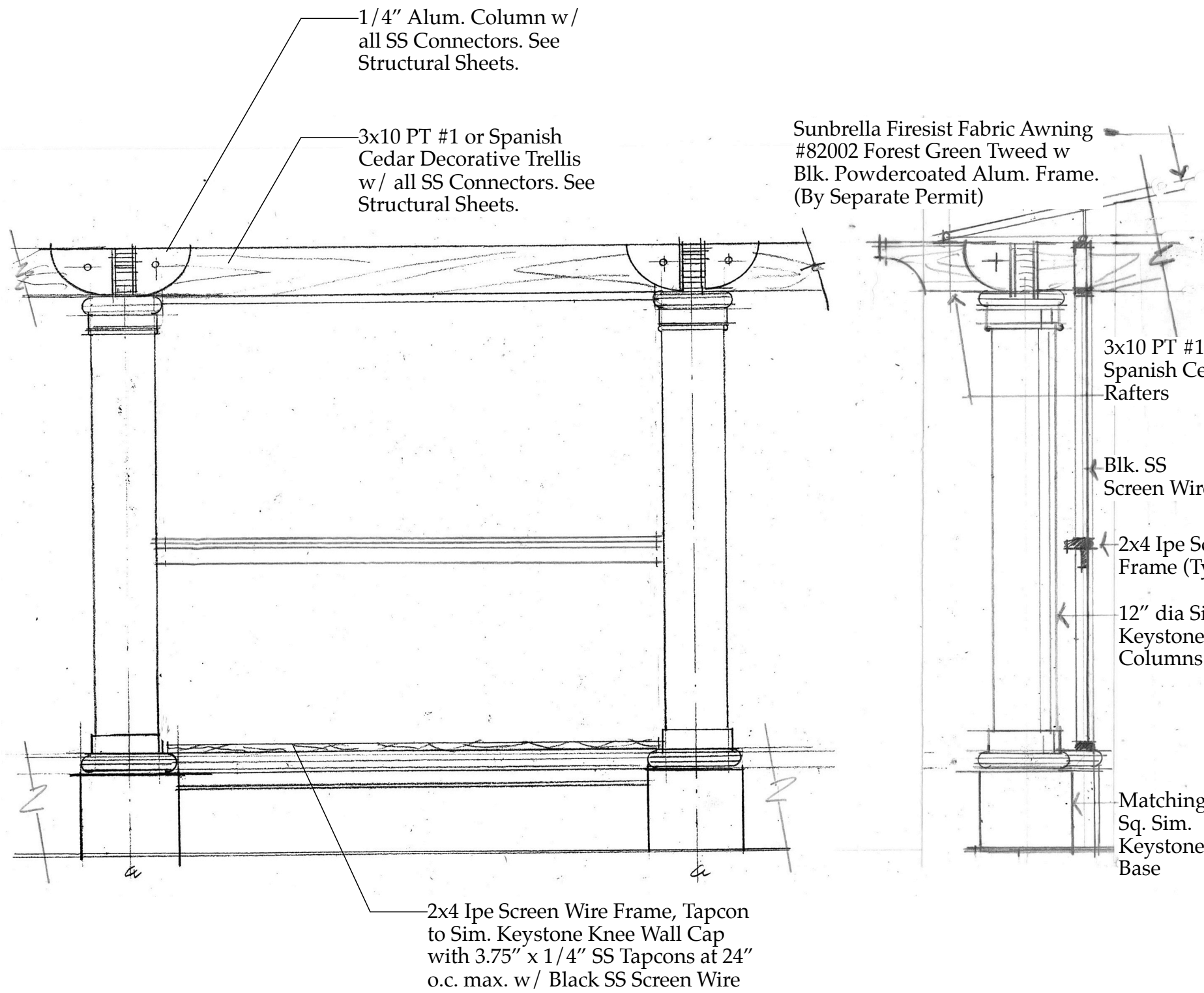
New Hunter Green Tweed #82002 "Firesist" Sunbrella Awning w/ Black Powdercoat Alum. Frame. (Typ of 3 Awning on East Facade and 2 on North Facade Flanking Fire Place)- By Separate Permit. - See Photo this page of Typ. Design.



C NEW EAST ELEVATION- 1st Fl. Awnings
Scale: 1/4" = 1'-0"

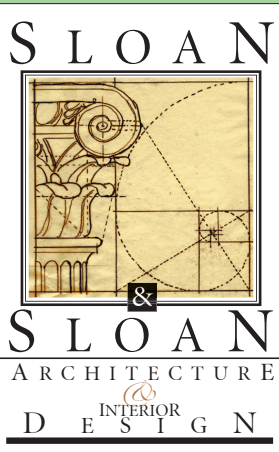


B NEW SOUTH ELEVATION
Scale: 1/4" = 1'-0"



PORCH COLUMN DETAIL
Scale: 1/2" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Ammendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC 600.



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No.	Date	Appr	Revision Notes
1	11/9/15		Update Awning information
2	4/17/17		ISSUED FOR CONSTRUCTION

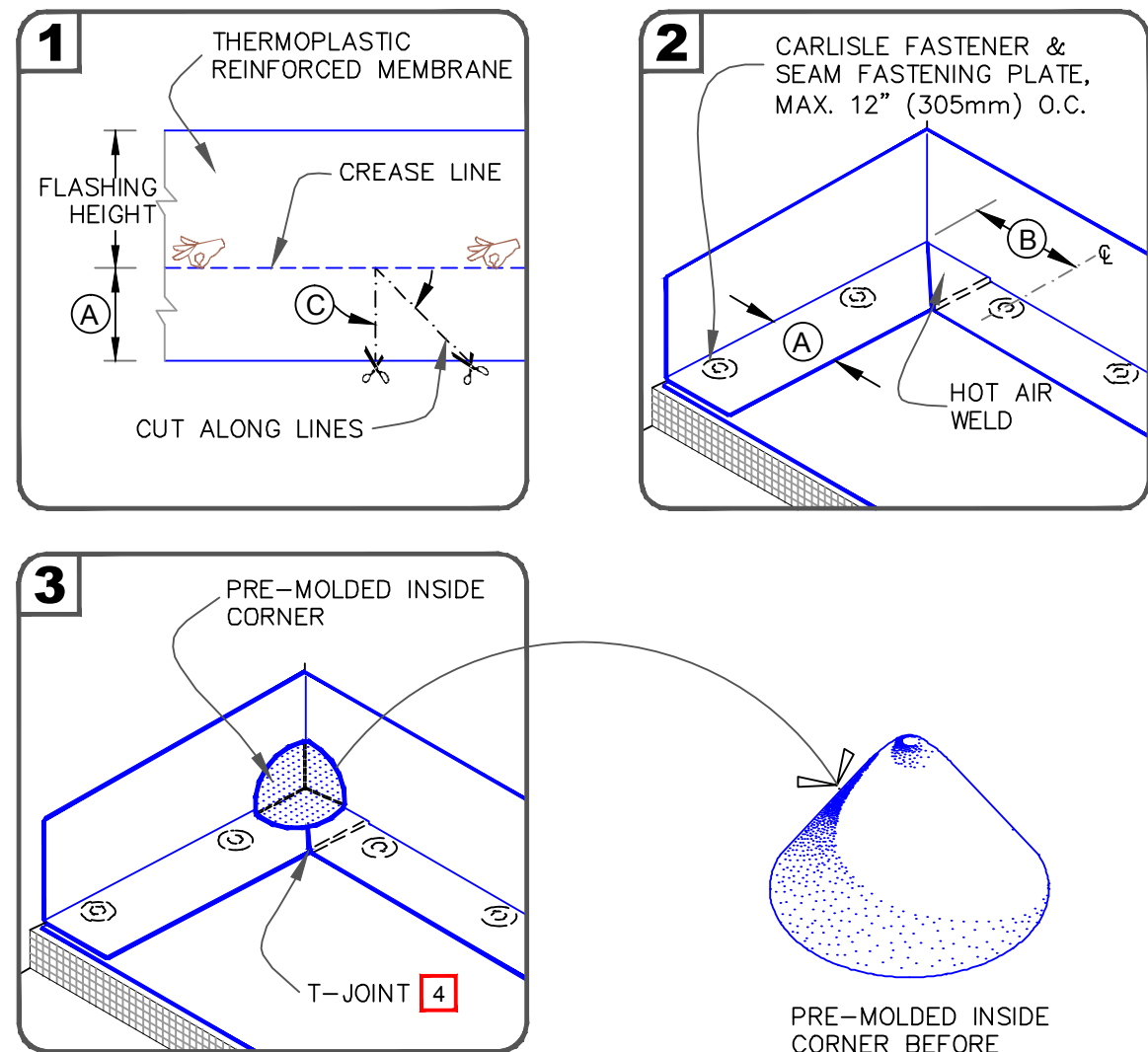
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Sloan Residence Renovations
Phase 1- Library
& Screen Porch

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:
Design Firm Sloan & Sloan, Inc.-Architecture + Int. Design 106 SE 7th Ave. Delray Beach, FL 33483 (561) 243-8755 Email:dsloan@sloandesign.biz		
Consultant		
Project Title Sloan Residence Renovations Existing Layout & Proposed New Layout		
Drawing Title NEW ELEVATIONS Showing Enlarged Library & Porch w/ Fabric Awning		
Project Manager D. Sloan	Project ID Sloan Residence Renovations	
Drawn By D. Sloan	Scale 1/4" = 1'-0"	
Reviewed By D. Sloan	Drawing No. A3.05	
Date 2/1/2017		
CAD File Name Library&Porch_SloanRes_v2015.vwx		

New Elevations
A3.05

THERMOPLASTIC MEMBRANE PVC/TPO



- NOTES:
- POSITION FASTENING PLATES 6" TO 9" (152 TO 229mm) FROM THE CORNER AND 1/2" TO 1" (13 TO 25mm) FROM EDGE OF MEMBRANE.
 - APPROXIMATELY 1/8" (3mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF REINFORCED TPO MEMBRANE AND RECOMMENDED ON CUT EDGES OF SURE-FLEX PVC MEMBRANE.
 - REFER TO CARLISLE SPECIFICATIONS FOR ACCEPTABLE CARLISLE FASTENERS AND PLATES.
 - WHEN USING 60 OR 80-MIL MEMBRANE, APPLY A 4-1/2" (114mm) DIAMETER "T-JOINT" COVER AT ALL FIELD SPlice INTERSECTIONS.

DIMENSIONS	mm	
(A) 6"	152	APPROX.
(B) 6"-9"	152-229	
(C) 45-DEGREES APPROX.		

Legend: THERMOPLASTIC REINFORCED MEMBRANE, APPROVED INSULATION, SEE NOTE(S).

PRE-MOLDED INSIDE CORNER FLASHING

For additional information, refer to Specifications

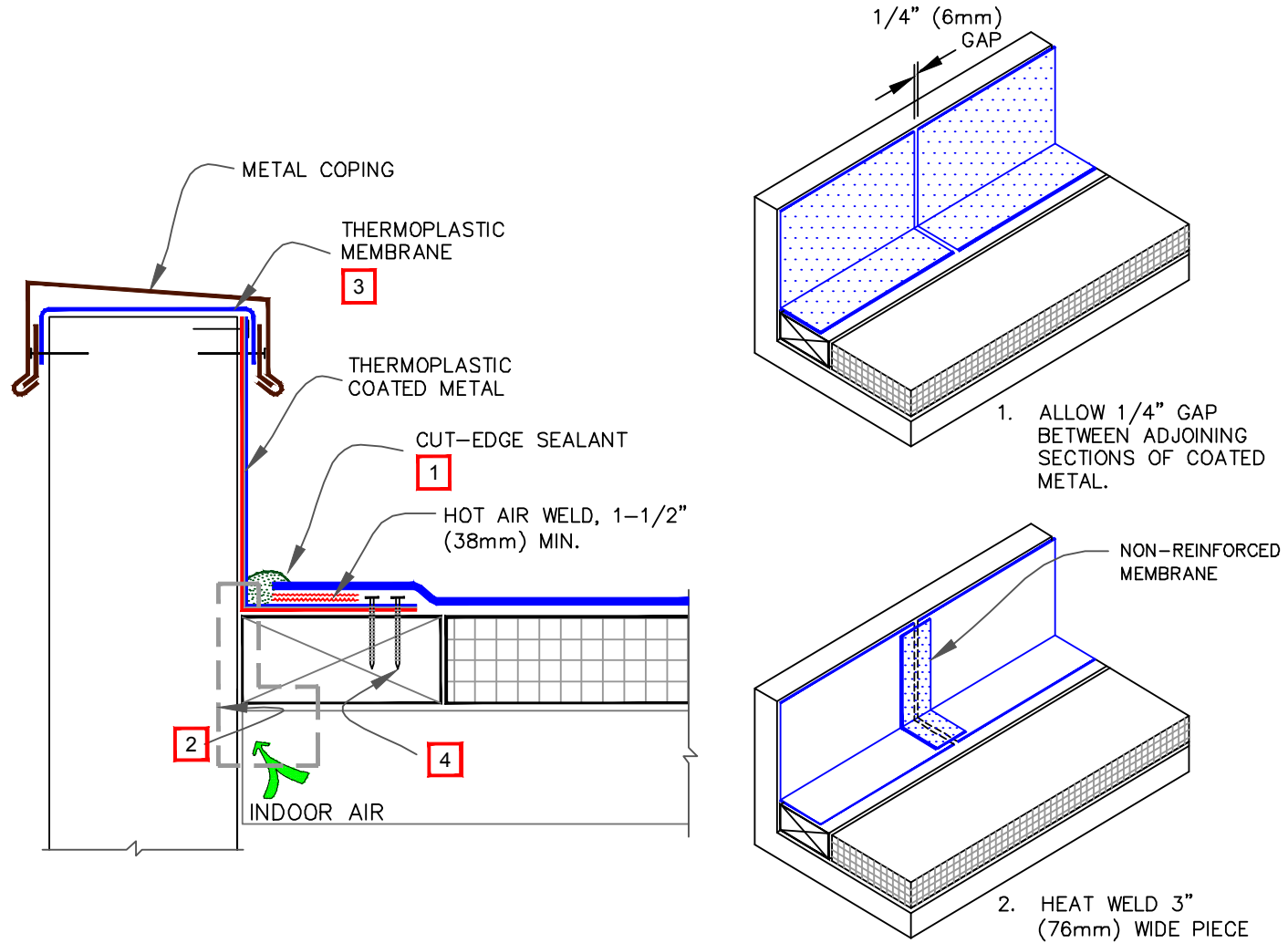
DETAIL NO. **U-15A**

THERMOPLASTIC UNIVERSAL

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SHEET 42

THERMOPLASTIC MEMBRANE PVC/TPO



- NOTES:
- APPROXIMATELY 1/8" (3mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF REINFORCED TPO MEMBRANE AND RECOMMENDED ON CUT EDGES OF SURE-FLEX PVC MEMBRANE.
 - REFER TO SPECIAL CONDITION SPEC. SUPPLEMENTS G-01-11 OR G-08-11:
2.1. TO BLOCK INDOOR AIR INFILTRATION AND HUMIDITY AT THE JUNCTION (G-01-11).
2.2. WHERE ROOF SYSTEM IS DESIGNED WITH A VAPOR RETARDER (G-08-11).
 - PLACE A LAYER OF THERMOPLASTIC MEMBRANE UNDER THE METAL CAP TO PROTECT AGAINST MOISTURE INFILTRATION AT JOINTS.
 - FASTEN COATED METAL FLASHING TO WOOD NAILERS USING 1-1/2" (38mm) MIN. RING SHANK NAILS SPACED 6" (152mm) ON CENTER AND STAGGERED APPROX. 1/2" (13mm).

Legend: THERMOPLASTIC REINFORCED MEMBRANE, APPROVED INSULATION, SEE NOTE(S).

COATED METAL WALL FLASHING

For additional information, refer to Specifications

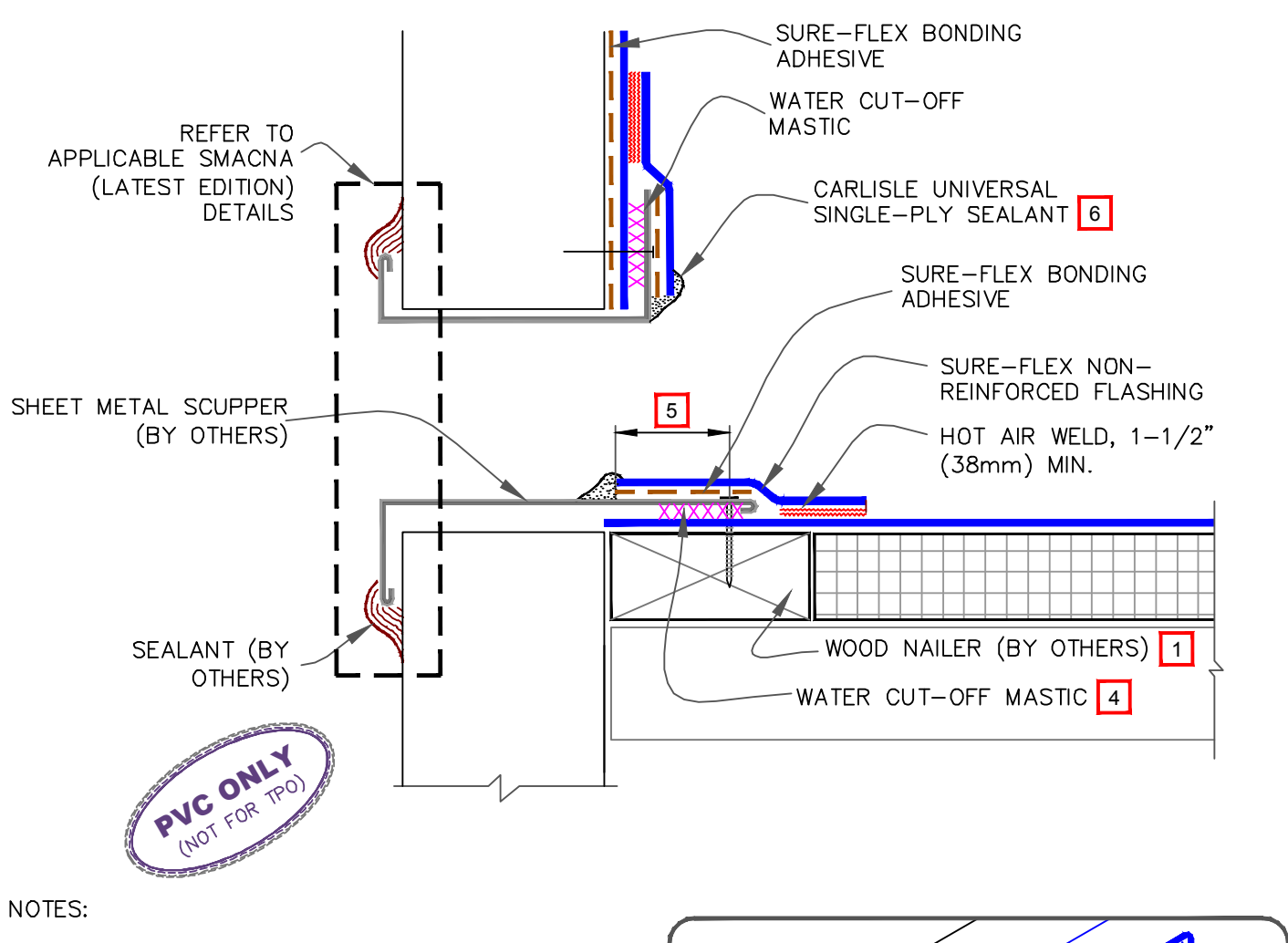
DETAIL NO. **U-12C**

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SHEET 32

THERMOPLASTIC MEMBRANE PVC



- NOTES:
- WOOD NAILERS ARE INSTALLED ONLY AT SCUPPERS TO SECURE METAL SLEEVE AND MUST EXTEND PAST THE WIDTH OF METAL SLEEVE FLANGE.
 - INSTALL WALL FLASHING PRIOR TO SCUPPER INSTALLATION.
 - METAL SCUPPER BOX MUST HAVE CONTINUOUS FLANGES WITH ROUNDED CORNERS, SOLDER ALL SCUPPER SEAMS WATER-TIGHT.
 - WATER CUT-OFF MASTIC UNDER SCUPPER FLANGE MUST BE UNDER CONSTANT COMPRESSION.
 - SCUPPER FLANGES MUST BE TOTALLY COVERED BY NON-REINFORCED PVC FLASHING WITH MINIMUM 2" (51mm) COVERAGE PAST NAIL HEAD.
 - UNIVERSAL SINGLE-PLY SEALANT IS REQUIRED AT FLASHING EDGES ON SCUPPER EDGE.

Legend: PVC MEMBRANE, APPROVED SUBSTRATE, SEE NOTE(S).

SCUPPER AT DECK- PVC

For additional information, refer to Specifications

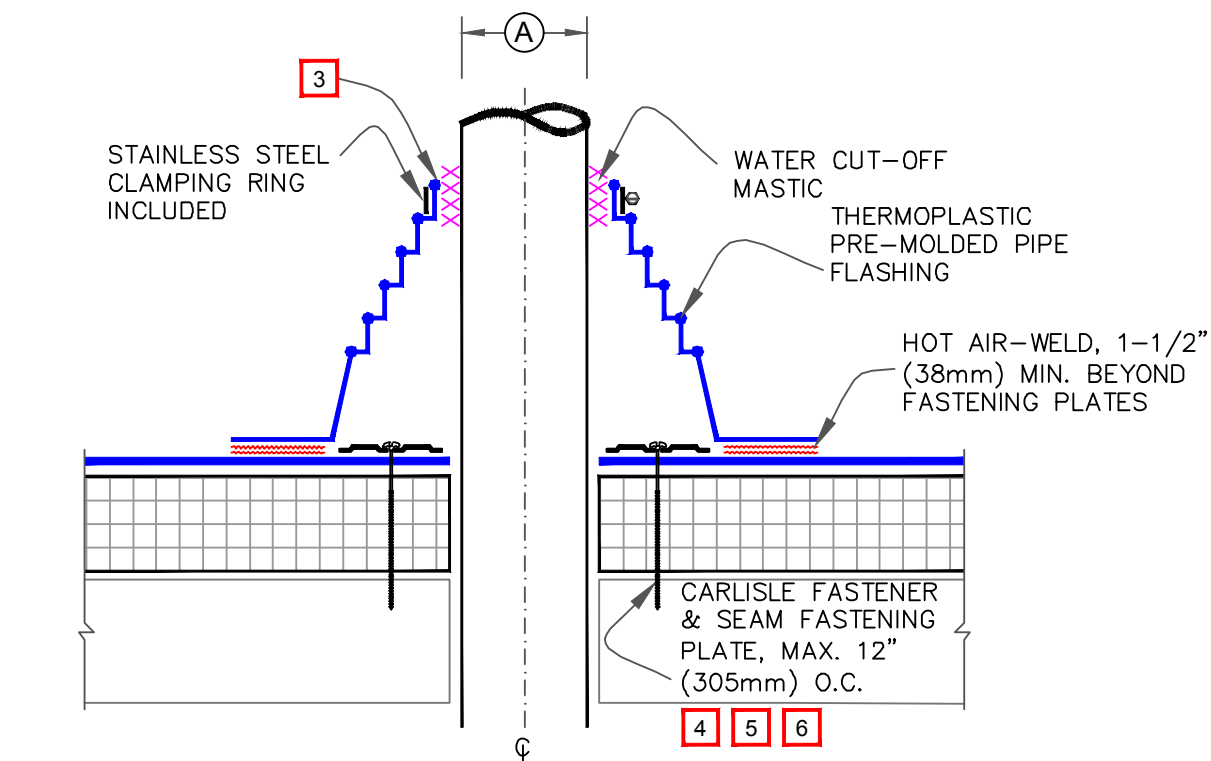
DETAIL NO. **U-18C**

THERMOPLASTIC PVC

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SHEET 32

THERMOPLASTIC MEMBRANE PVC/TPO



- NOTES:
- REMOVE ALL EXISTING LEAD AND FLASHING MATERIAL BEFORE INSTALLING PRE-MOLDED PIPE FLASHING.
 - TEMPERATURE OF THE PIPE PENETRATION MUST NOT EXCEED 140°F (60°C) WHEN USING PVC AND 160°F (71°C) WHEN USING TPO FLASHING.
 - PIPE SEAL MUST HAVE INTACT RIB AT TOP EDGE, REGARDLESS OF PIPE DIAMETER.
 - INSTALL A MINIMUM OF 4 FASTENERS AND PLATES AROUND THE PIPE, EQUALLY SPACED. IF FASTENERS AND PLATES CANNOT BE INSTALLED AS SHOWN, THEY MAY ALSO BE POSITIONED OUTSIDE THE PIPE MAXIMUM 12" (305mm) O.C. AND FLASHED WITH THERMOPLASTIC REINFORCED MEMBRANE/CUT-EDGE SEALANT. REFER TO DETAIL U-8B.
 - FASTENERS AND PLATES ARE NOT REQUIRED ON ADHERED SYSTEMS UNLESS PIPE DIAMETER EXCEEDS 18" (457mm).
 - ON MECHANICALLY FASTENED SYSTEMS, HP-X FASTENERS AND PIRANHA PLATES OR HP-XTRA FASTENERS AND PIRANHA XTRA PLATES ARE REQUIRED OVER STEEL AND WOOD DECKS. ON CONCRETE DECKS, CD-10 OR HD 14-10 FASTENERS ARE USED WITH PIRANHA PLATES.

DIMENSIONS	mm	
(A) 3/4"	19	TO
8"	203	

Legend: THERMOPLASTIC REINFORCED MEMBRANE, APPROVED INSULATION, SEE NOTE(S).

PRE-MOLDED PIPE FLASHING

For additional information, refer to Specifications

DETAIL NO. **U-8A**

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SHEET 22

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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AA2600208



No.	Date	Appr	Revision Notes

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Sloan Residence
Renovations
1st Fl. Library &
2nd Floor
Master Suite

No.	Date	Issue Notes

Daniel Sloan, AR95577
Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
NEW ROOF DETAILS
for Main Residence
(All areas to be new or reroofed)

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.06
Date 6/16/2016	of Total Sheets
CAD File Name Sloan Res Mstr Ste 2016v16.kvx	

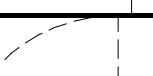

New Roofing
Details
A2.06

SLOAN
SLOAN
ARCHITECTURE
DESIGN
INTERIOR

No.	Date	Appr	Revision Notes
1	9/29/16		Add Tile Outriggers & Description
2	11/22/16		Change to Tamko Roll Roofing- all flat deck areas
3	3/27/17		Added Scupper Sizing
4	4/17/17		ISSUED FOR CONSTRUCTION

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Sloan Residence Renovations 1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		<div style="display: flex; justify-content: space-around; align-items: center;">   </div> <div style="text-align: right; margin-top: 10px;"> Daniel Sloan, AR95577 Date: _____ </div>

Design Firm
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Consultant

Project Title

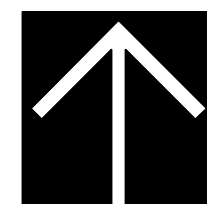
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title

NEW ROOF PLAN

of Main Residence & Garage

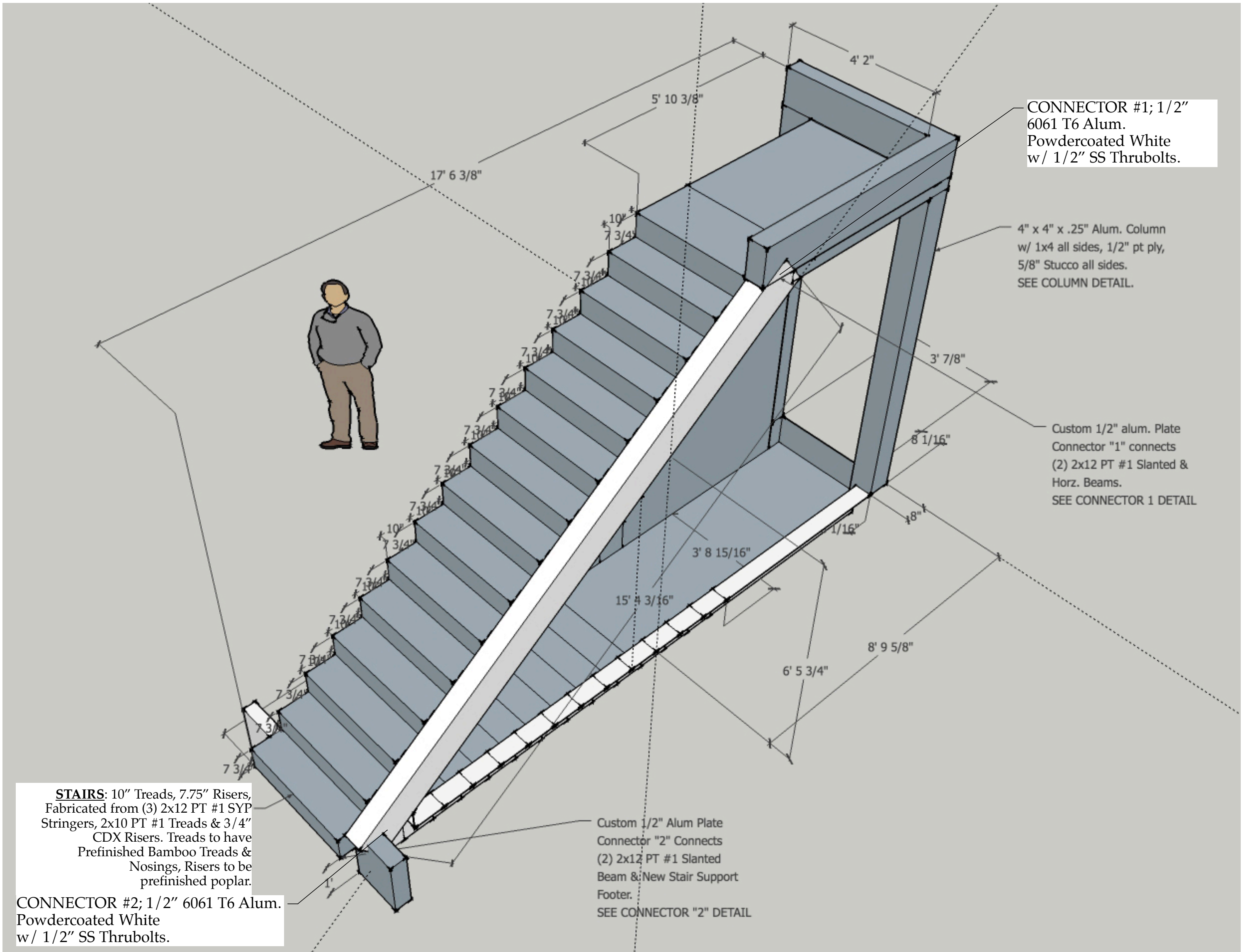
Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.05
Date 2/1/2017	_____ of _____
CAD File Name Sloan Res Mstr Ste 2016.rvt	Total Sheets



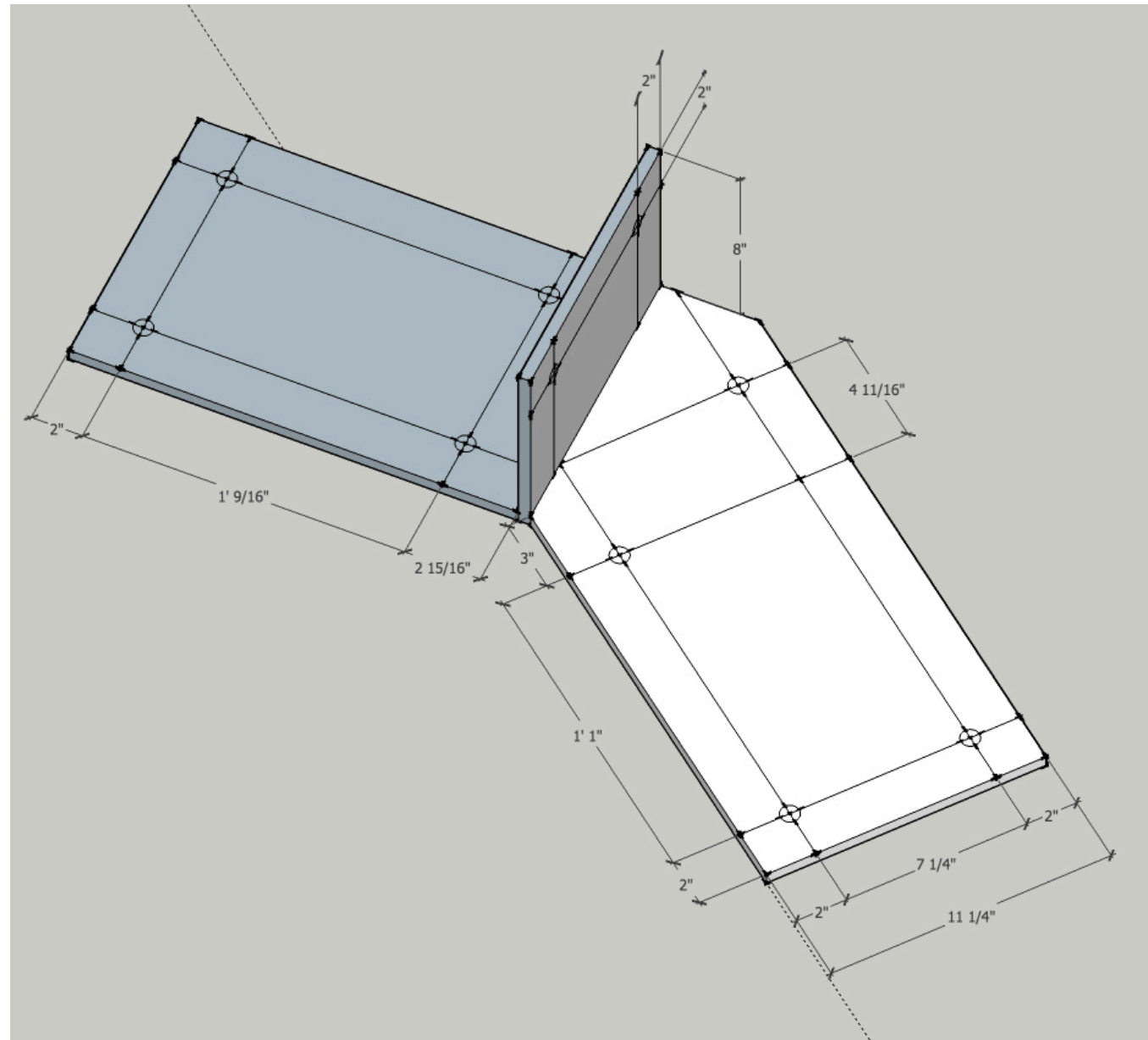
Scale: 1 / 4" = 1'-0"

New Roof Plan

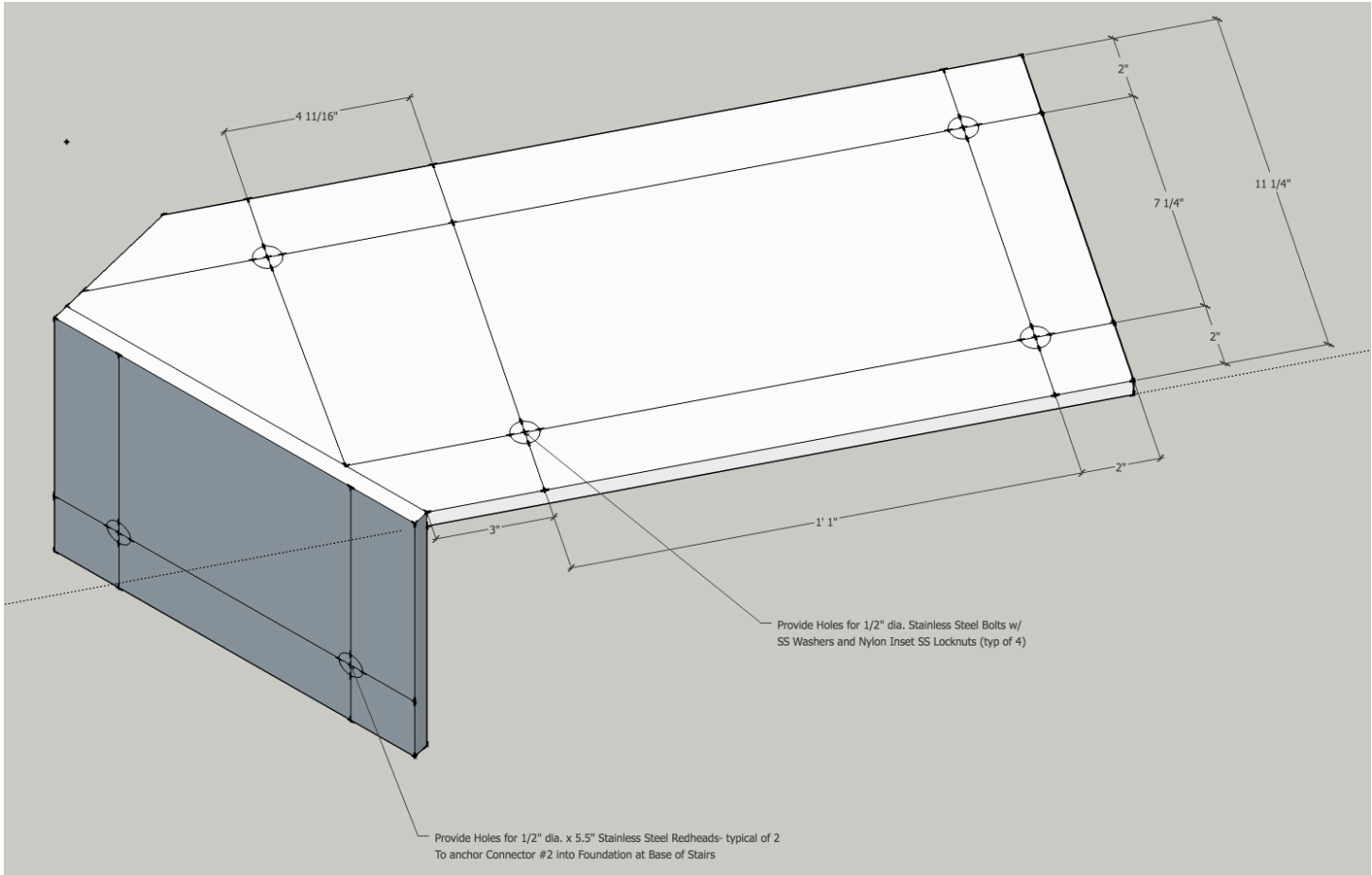
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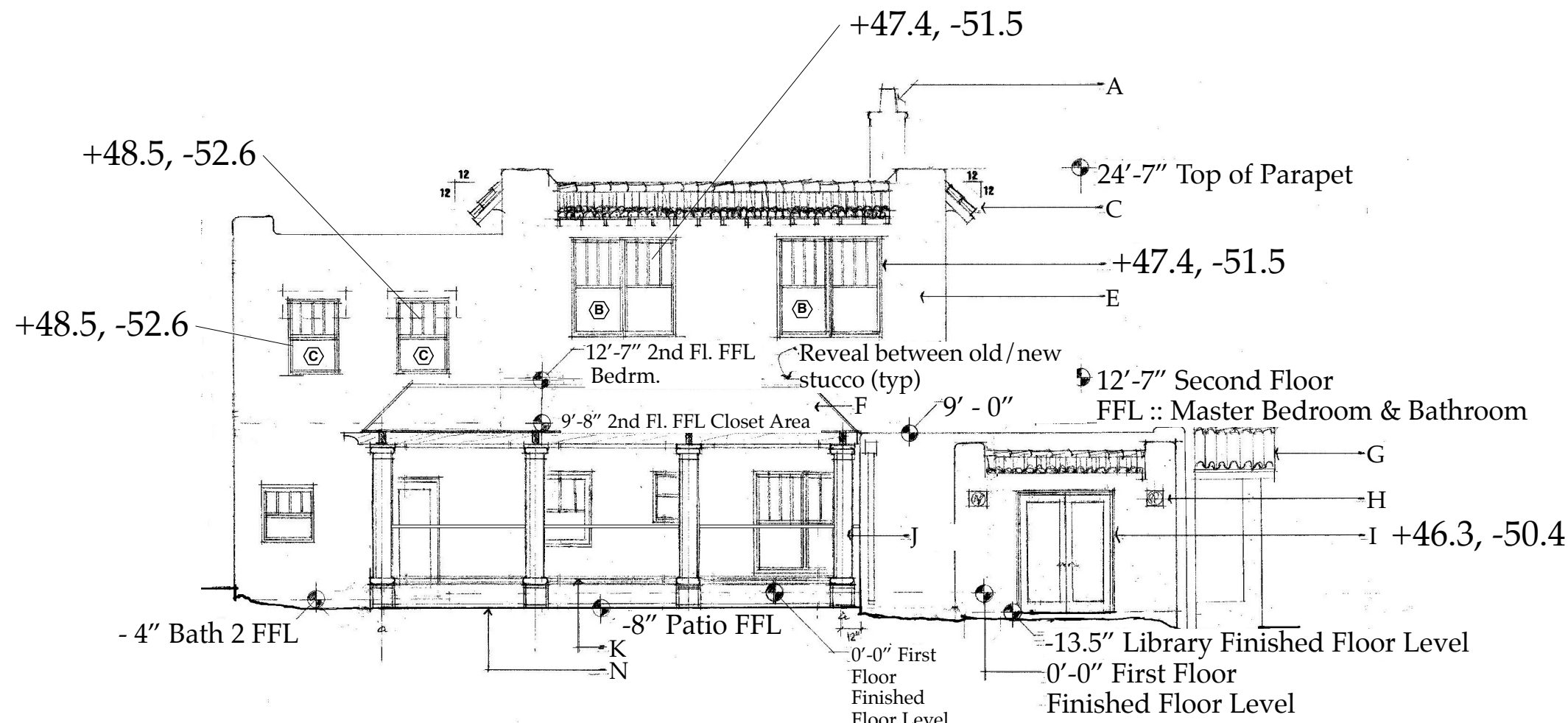
New Stair Axonometric- Cutaway View From Scale: N.T.S.



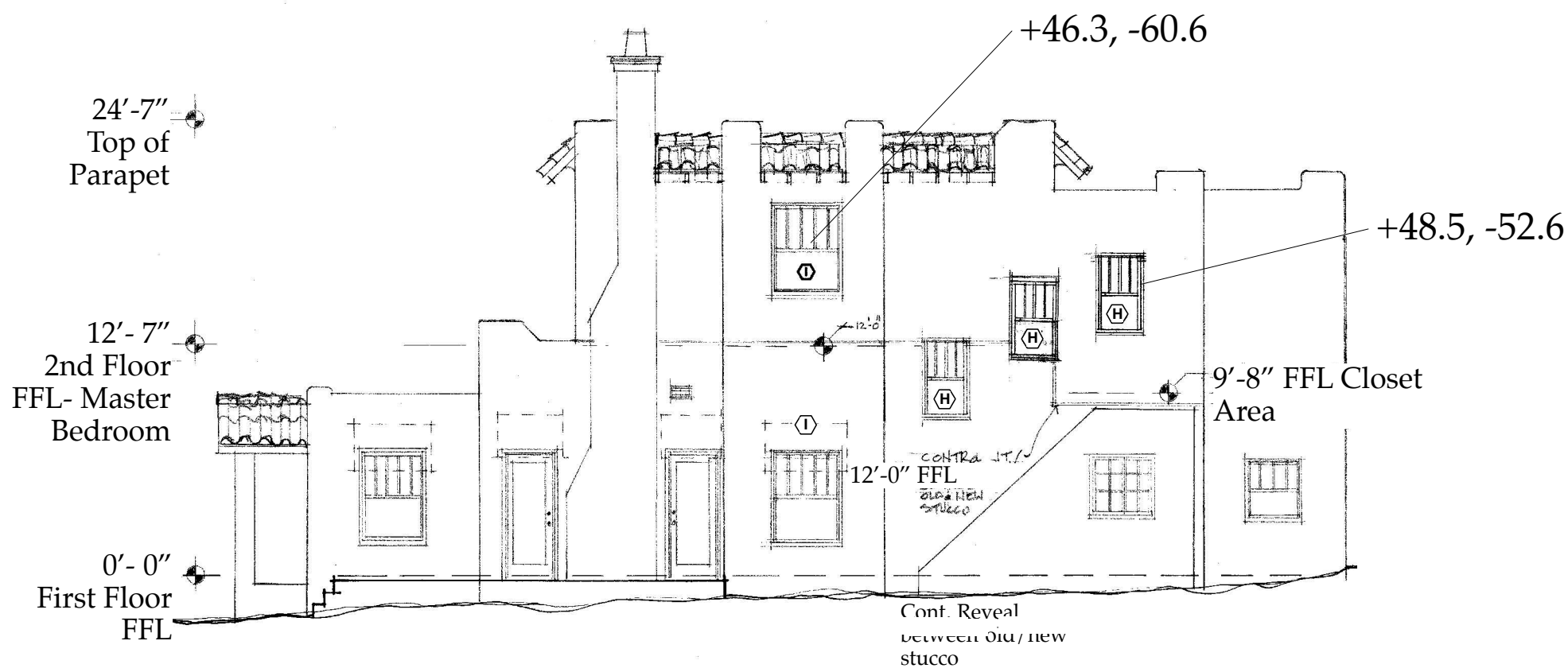
New Stair Support Beam Connector "1" ; Scale: N.T.S.



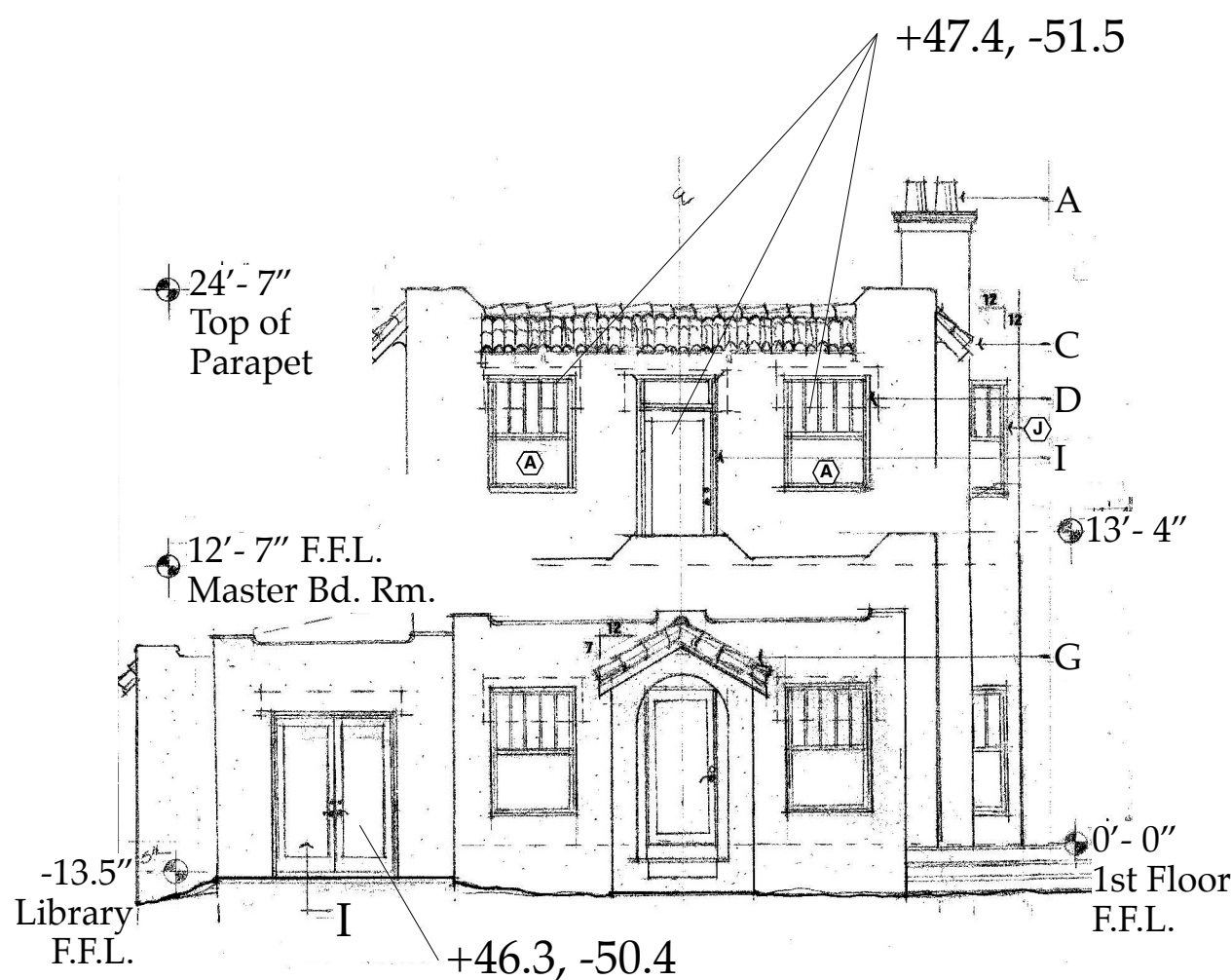
New Stair Support Beam Connector "2" ; Scale: N.T.S.



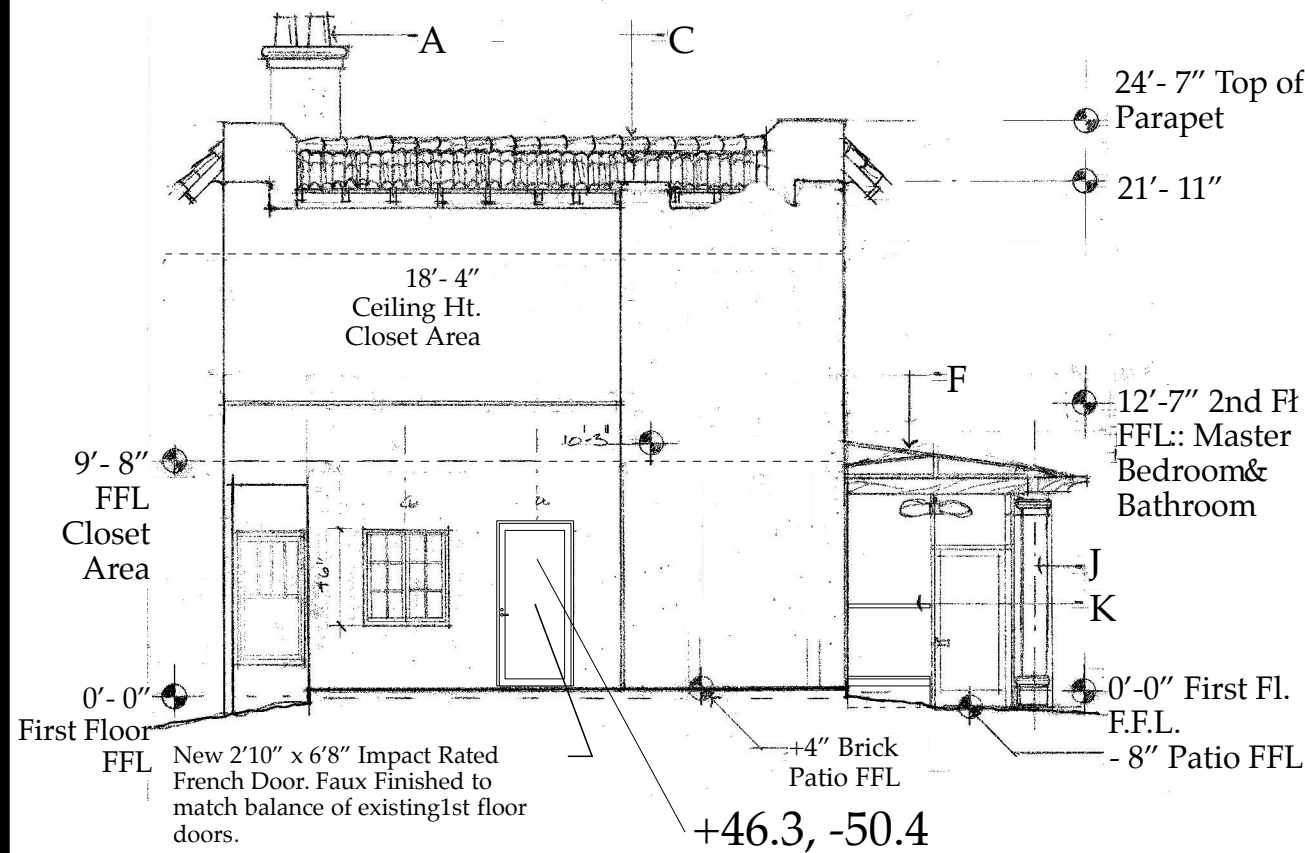
New South Elevation: Main Residence "A-A3.03" Scale: 1/8" = 1'-0"



New North Elevation: Main Residence "B-A3.03" Scale: 1/8" = 1'-0"



New East Elevation: Main Residence "C-A3.03" Scale: 1/8" = 1'-0"



New West Elevation: Main Residence "D-A3.03" Scale: 1/8" = 1'-0"

Wind Pressures, Details, Schedules S2.03

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
1	4/17/17		ISSUED FOR CONSTRUCTION
2	6/30/17		Changed 2nd Floor FFL from 12' to 12'-7"

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Sloan Residence Renovations
1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
WIND PRESSURES
& STAIR DETAILS

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. S2.03
Date 2/1/2017	of
CAD File Name Sloan Res_Mstr Ste. 2016v16.kvx	Total Sheets

STRUCTURAL NOTES- Sloan Residence Project

Updated June 16, 2016

1. WORK DESCRIPTION: ADDITIONS & RENOVATION TO EXISTING SINGLE FAMILY RESIDENTIAL STRUCTURE. THIS IS A CONTRIBUTING HISTORICAL STRUCTURE.

2. WORK CLASSIFICATION: FBC 2014, R3

3. CONTRACTOR NOTE: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS.

4. CODES AND STANDARDS

4.1. WIND LOADS AS PER: FLORIDA BUILDING CODE, 2010 EDITION.

- 4.1.1. Valt=170mph, Vasd=132mph
4.1.2. EXPOSURE B
4.1.3. RISK CATEGORY 2, I=1.0
4.1.4. ENCLOSED STRUCTURE: GCPI = +/- 0.18

4.2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:

- 4.2.1. FLORIDA BUILDING CODE, 2014 EDITION;
4.2.2. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318, LATEST EDITION);
4.2.3. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315, LATEST EDITION);
4.2.4. SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301, LATEST EDITION);
4.2.5. MANUAL OF STANDARD PRACTICE FOR WELDING REINFORCING STEEL, INSERTS & CONNECTIONS IN REINFORCED CONCRETE CONSTRUCTION (AWS, D1.4, LATEST EDITION);
4.2.6. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS, LATEST EDITION);
4.2.7. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530, 530.1/ASCE 5, 6/ASTM 402, 402/ 2005 EDITIONS);
4.2.8. ASCE 7-10.

5. SECTIONS AND DETAILS:

5.1. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

6. FOUNDATION

- 6.1. ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH A SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO FOUNDATION WORK.
6.2. THE BUILDING SITE SHOULD BE EXCAVATED TO THE DEPTH AND EXTENT INDICATED IN THE SOILS REPORT. ALL SUBGRADES SHALL BE APPROVED IN WRITING BY THE SOILS ENGINEER PRIOR TO BACKFILLING.
6.3. BOTTOM OF FOOTINGS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2,500 PSF. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
6.4. TOP OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 48" BELOW EXTERIOR FINISH GRADE (U.O.N.).
6.5. EXCAVATION & BACKFILL: ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES, PIPING, ETC. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.

6.6. DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

7. CONCRETE

7.1. ALL CONCRETE TO BE 3000 PSI UNLESS NOTED OTHERWISE.

7.1.1. TIE BEAMS AND COLUMN: 3000 PSI PUMP MIX

7.1.2. SLAB ON GRADE 3000 PSI

7.1.3. MASONRY GROUT 3000 PSI

7.2. SLUMPS SHALL BE 4" MINIMUM AND 5" MAXIMUM.

7.3. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.45.

7.4. JOBSITE WATER SHALL NOT BE ADDED.

7.5. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318, LATEST EDITION), THE ACI DETAILING MANUAL (ACI 315, LATEST EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301, LATEST EDITION).

7.6. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS.

7.7. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.

7.8. LAP ALL BARS MINIMUM 48 DIAMETERS UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 6 INCHES (UNLESS OTHERWISE NOTED).

7.9. REINFORCING BARS:

- 7.9.1. WHERE COLUMNS ARE AN INTEGRAL PART OF CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.
7.9.2. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.
7.9.3. FOR GRADE BEAMS LAP ALL TOP STEEL AT MID-SPAN AND LAP BOTTOM STEEL OVER SUPPORT.
7.9.4. CONSTRUCTION JOINTS IN STRUCTURAL SLABS AND BEAMS SHALL BE AT MID-SPAN AND KEY JOINTED WITH REINFORCING CONTINUOUS ACROSS JOINT, AND ADDITIONAL SHEAR FRICTION REINFORCING.

7.10. CONCRETE COLUMNS:

7.10.1. ALL CONCRETE COLUMNS SHOWN ON PLAN SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.)

7.10.2. ALL CONCRETE COLUMNS AT WINDOW AND DOOR JAMBS SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.)

8. MASONRY

8.1. MASONRY UNITS SHALL BE ASTM C90 GRADE N ABOVE GRADE WITH MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND (U.O.N.).

8.2. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS.

8.3. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

8.4. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE CONSTRUCTED INSPECTED BY A QUALIFIED ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TSM 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TSM 602)/ 2005 EDITIONS.

8.5. PROVIDE 8" X 8" MASONRY BEAM WITH 2 #5, SIDE-BY-SIDE, CONTINUOUS AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING.

8.6. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON CENTER VERTICAL IN ALL MASONRY WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS.

STRUCTURAL NOTES (continued)

8.7. MASONRY COLUMNS:

8.7.1. ALL MASONRY COLUMNS SHOWN ON PLAN SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.)

8.7.2. ALL MASONRY COLUMNS AT WINDOW AND DOOR JAMBS SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.).

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8. MASONRY

8.1. MASONRY UNITS SHALL BE ASTM C90 GRADE N ABOVE GRADE WITH MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND (U.O.N.).

8.2. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,800 PSI AT 28 DAYS.

8.3. GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

8.4. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE CONSTRUCTED INSPECTED BY A QUALIFIED ENGINEER AND CONSTRUCTED IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TSM 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TSM 602)/ 2005 EDITIONS.

8.5. PROVIDE 8" X 8" MASONRY BEAM WITH 2 #5, SIDE-BY-SIDE, CONTINUOUS AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING.

8.6. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON CENTER VERTICAL IN ALL MASONRY WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS.

8.7. MASONRY COLUMNS:

8.7.1. ALL MASONRY COLUMNS SHOWN ON PLAN SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.)

8.7.2. ALL MASONRY COLUMNS AT WINDOW AND DOOR JAMBS SHALL EXTEND FROM DIAHRAGM TO DIAHRAGM; (I.E. FLOOR TO ROOF, FLOOR TO FLOOR) (U.O.N.).

9. EPOXY GROUT

9.1. EPOXY GROUT FOR ALL EMBEDDED REBAR DOWELS AND ANCHORS SHALL BE SIMPSON SET EPOXY OR HILTI HY150 EPOXY.

10. WOOD

10.1. ALL STRUCTURAL WOOD MEMBERS ARE DESIGNED AS "DRY-USE". MOISTURE CONTENT MUST BE 19% OR LESS. STORE WOOD FRAMING ABOVE GROUND AND UNDER TARPS WITH PROPER AIR CIRCULATION.

10.2. ALL LUMBER SHALL BE SOUTHERN PINE SPECIES #2 GRADE OR APPROVED EQUAL. ALLOWABLE DESIGN STRESSES SHALL FOLLOW NATIONAL DESIGN SPECIFICATION (NDS, LATEST EDITION). Fb SHALL BE 1200 PSI MIN. ALL BEARING WALLS TO BE PRESSURE TREATED PINE #2 OR BETTER.

10.3. PROVIDE SP CCA PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE/MASONRY OR OUTSIDE OF BUILDING. ALL METAL IN CONTACT WITH WOOD MEMBERS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

10.4. PLYWOOD SHEATHING:

10.4.1. ROOF: 19/32" CDX, EXPOSURE 1, RATED, PLYWOOD SHEATHING. CONNECT TO TRUSSES WITH 10d'S @ 4" EDGES/6" FIELD (U.O.N.)

10.4.2. SEE FRAMING PLANS FOR NAILING AND/OR BLOCKING REQUIREMENTS. USE 8'-0" LONG X 4'-0" WIDE SHEETS WITH LENGTH ACROSS FRAMING. STAGGER PANEL END JOINTS 4'-0" TYP. ALLOW 1/8" SPACE ALONG PANEL EDGES AND END JOINTS.

10.4.3. SEE FRAMING PLANS FOR DIAHRAGM NAILING TYPE, SIZE, SPACING AND LOCATIONS.

10.5. WOOD CONNECTIONS - ALL NAILS USED FOR STRUCTURAL FRAMING MEMBERS SHALL BE COMMON WIRE, U.O.N. ALL NAILS, TRUSS HANGERS, TRUSS ANCHORS AND STRAPS SHALL BE GALVANIZED FOR CORROSIVE RESISTANCE. ALL METAL STRAPS MUST BE INSTALLED WITH EQUAL LENGTHS ABOUT THE JOINT LINE. USE SIMPSON STRONG-TIE CONNECTOR PRODUCTS OR APPROVED EQUAL. TOE NAILING WILL NOT BE PERMITTED.

11. WOOD TRUSSES

11.1. WOOD ROOF TRUSSES HAVE BEEN DESIGNED BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA.

11.2. WOOD TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" HANDLING, INSTALLING AND BRACING OF WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS, HIB (1991 EDITION), BRACING IN THE PLANE OF THE WEB MEMBERS.

11.3. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.

11.4. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.

11.5. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" ON CENTER WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES, BRACING SHALL BE MINIMUM 2X4 @ 36" ON CENTER NAILED TO THE TOP OF THE BOTTOM CHORD. DIAGONALS PLACED AT 45 DEGREES TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

11. WOOD TRUSSES (CONTINUED)

11.6. TOP CHORD BRACING: IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAHRAGM ACTION, BRACING IS NOT REQUIRED. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20-FOOT INTERVALS.

11.7. DO NOT CUT, DRILL, OR NOTCH ROOF OR FLOOR TRUSSES WITHOUT WRITTEN APPROVAL FROM TRUSS ENGINEER. COORDINATE MECHANICAL, ELECTRICAL, PLUMBING, ETC: SIZES AND LOCATIONS WITH TRUSS LAYOUT PRIOR TO ERECTION.

11.8. TRUSSES SHALL BE MANUFACTURED & DESIGNED IN ACCORDANCE WITH NATIONAL DESIGN SPECIFICATION(s) FOR WOOD CONSTRUCTION, AF & PA, AND NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1-1995, AND THE LOCAL CODE JURISDICTIONS.

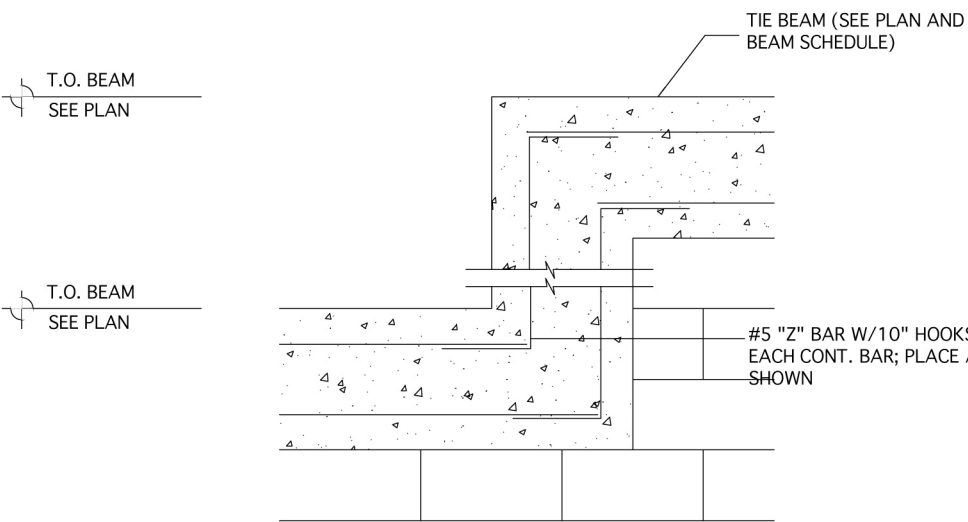
11.9. DO NOT OVERLOAD ROOF TRUSSES WITH BLDG MAT'L'S.

11.10. CONNECTOR PLATES SHALL BE MANUFACTURED BY A WTCA MEMBER PLATE SUPPLIER AND SHALL FEET

MISC. STRUCTURAL NOTES- Updated June 216, 2016

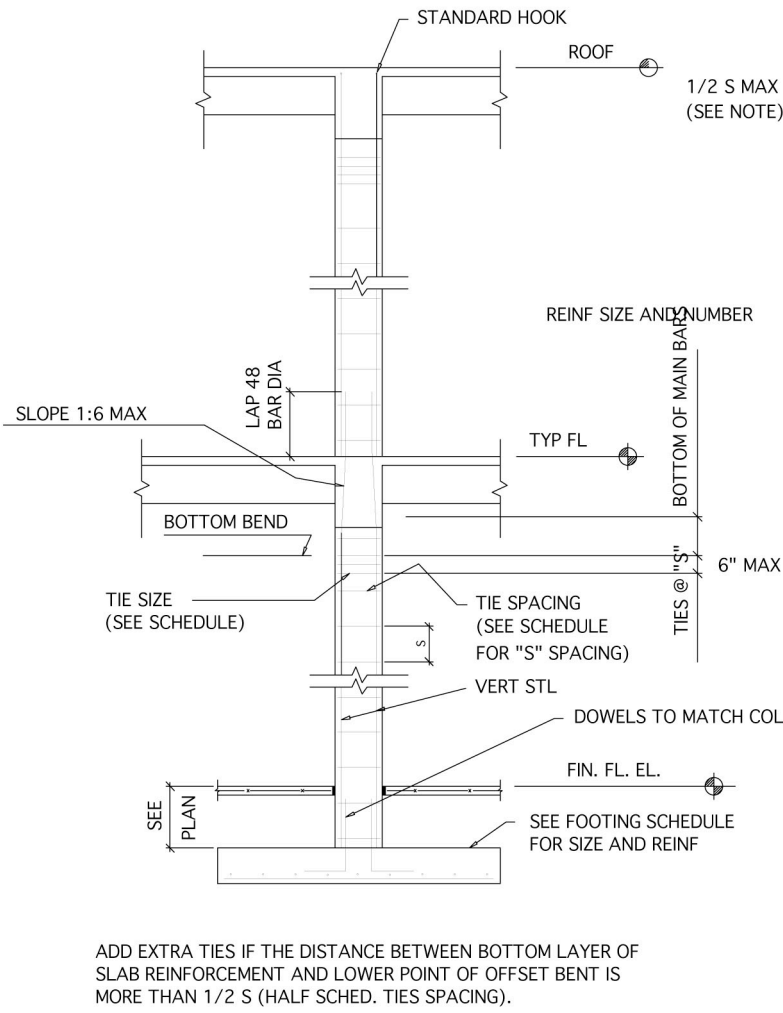
1. All operating French Glass Doors and Windows to be provided with vinyl insect screens . All glazing to be Laminated/Insulated Low E Impact Rated Glass, thickness as per manufacturers spec. (See Door & Window Schedules) All sliding glass doors and French Glass Panels if required by Code to be tempered, shall be so tempered at no upcharge to GC. Provide Approved Hurricane Protective Panels as required on all glazed windows and doors if impact resistant glass is not utilized. (See Window Schedule)

2. ALL TRUSS TO TRUSS CONNECTORS TO BE SELECTED BY THE TRUSS ENGINEER AND FURNISHED BY THE TRUSS FABRICATOR.



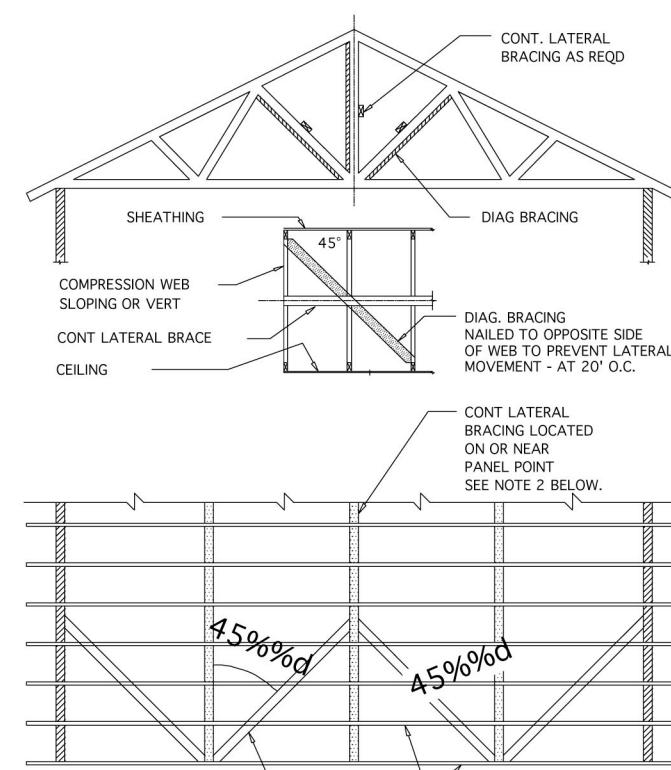
TYP. BOND BEAM STEP DETAIL

N.T.S.



TYPICAL CONCRETE COLUMN DETAIL

N.T.S.



1. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS, HIB-91, BRACING IN THE PLAN OF THE WEB MEMBERS:

a. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.

b. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.

c. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.

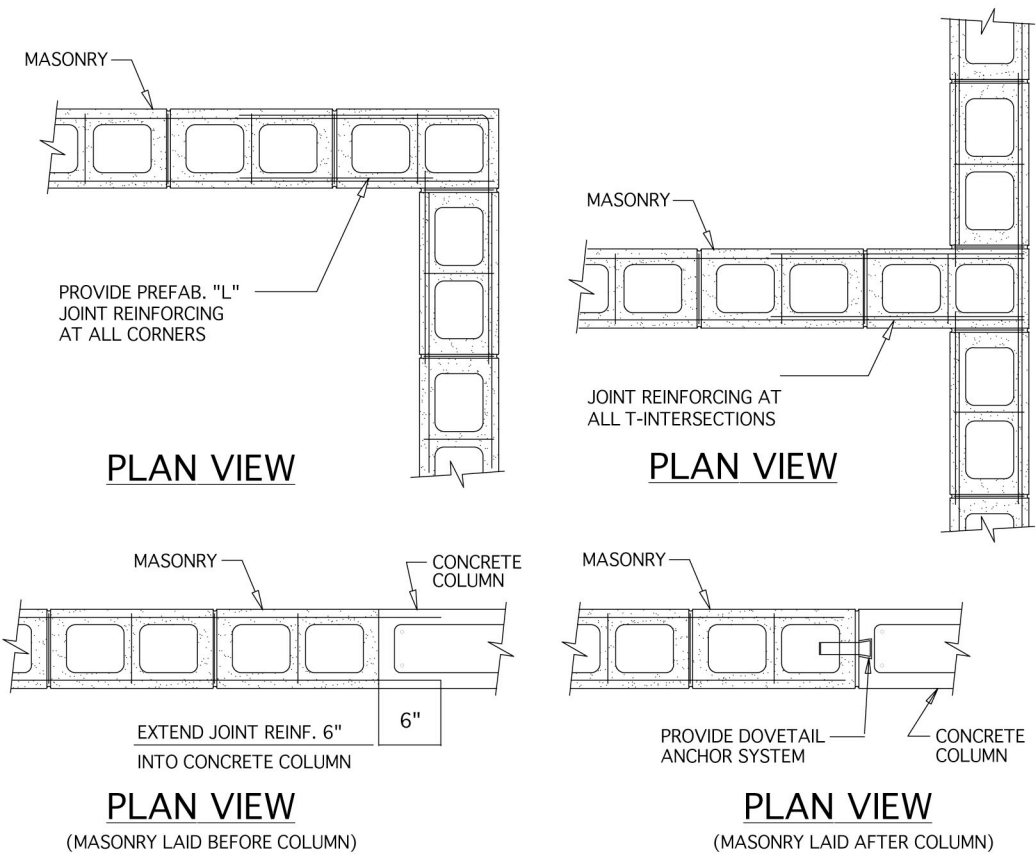
2. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O.C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 X 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. DIAGONALS PLACED AT 45° TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

3. TOP CHORD BRACING:

a. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAHRAGM ACTION, BRACING IS NOT REQUIRED.

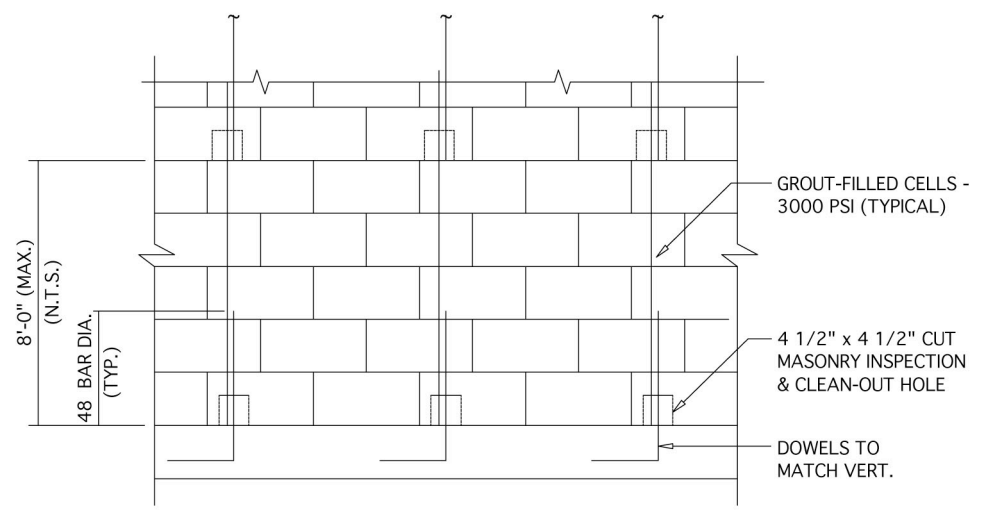
b. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

WOOD TRUSS BRACING DETAIL



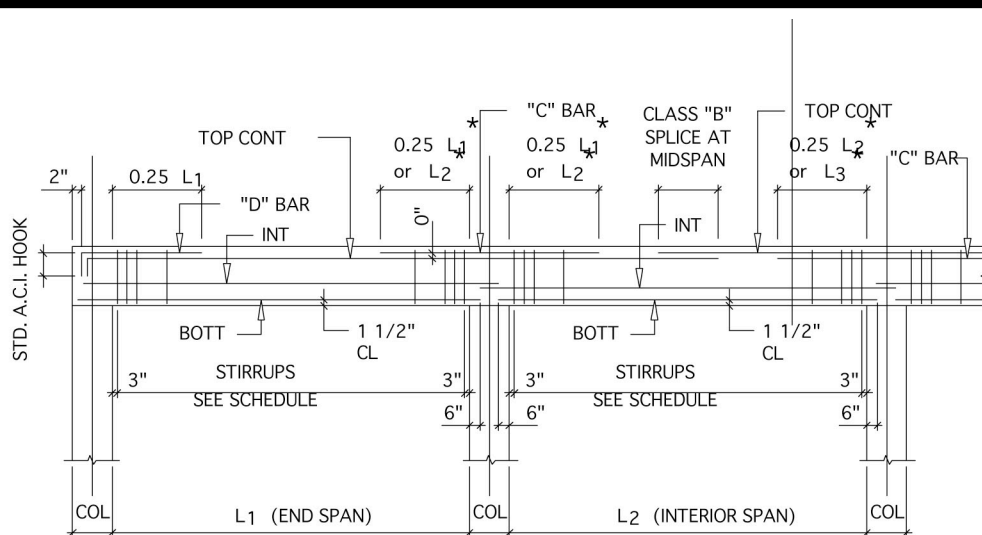
TYPICAL MASONRY DETAILS

N.T.S.



TYPICAL MASONRY FILLED CELL DETAIL

N.T.S.



"C" BAR:

TOP BAR AT INTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS) PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.). LOCATE AT RIGHT SUPPORT OF SPAN INDICATED IN SCHEDULE.

"D" BAR:

TOP BAR AT EXTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS) PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.).

"INT" BARS:

INTERMEDIATE BARS LOCATED AT A SPACING EQUAL TO THE WIDTH OF THE BEAM BUT NOT GREATER THAN 12" ABOVE BOTTL BARS. IF MORE THAN ONE PAIR, PLACE IN LAYERS OF TWO.

CLASS "B" TENSION SPlice

#4 22"

#5 29"

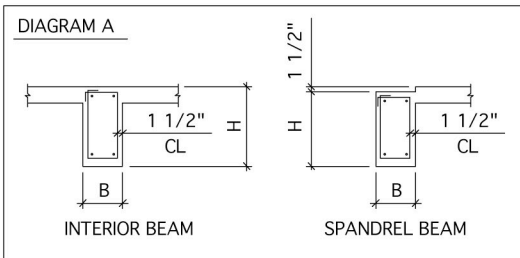
#6 35"

#7 48"

#8 63"

#9 80"

WHICHEVER IS GREATER.



NOTES:

WHEN ADJACENT BEAMS OR TIE BEAMS HAVE TOP CONT BARS OF DIFFERENT SIZE, THE TRANSITION SHOULD BE MADE AT MIDSPAN OF THE BEAM WITH SMALLER SCHEDULED BARS. USE LAP SPICE LENGTH OF SMALLER SIZE BAR.

(2L) - INDICATES BARS PLACE IN TWO LAYERS. WHERE BARS ARE PLACED IN TWO LAYERS, THE SECOND LAYER BARS MUST BE PLACED DIRECTLY UNDER BARS IN THE FIRST LAYER (IF TOP BAR) OR DIRECTLY OVER BAR IN THE FIRST LAYER (IF BOTTL BAR). PROVIDE 1" CLEAR DISTANCE BETWEEN LAYERS OR ONE BAR DIAMETER, WHICHEVER IS THE GREATER DISTANCE.

SCHEDULED BEAM SIZES:

[SEE DIAGRAM A]

"B" INDICATES BEAM WIDTH DIMENSION. WHEN BEAM IS OVER A BLOCK WALL, USE ACTUAL BLOCK WIDTH (7 5/8" or 11 5/8"). "Y" INDICATES BEAM DEPTH DIMENSION. LESS 1 1/2" FOR RECESS FOR BLOCK WALL. DEDUCTED WHERE APPLICABLE, OR MINIMUM DEPTH IN A VARIABLE DEPTH BEAM. COORDINATE BEAM CONFIGURATION WITH ARCHITECTURAL DRAWINGS.

TYPICAL BEAM BAR PLACEMENT DIAGRAM

N.T.S.

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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No.	Date	Appr	Revision Notes
6/16/16			General Completion: issued for Client Approval & Pricing
4/17/17			Issued for Construction.

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Sloan Residence Renovations
1st Fl. Library & 2nd Floor Master Suite

No.	Date	Issue Notes

Daniel Sloan, AR95577
Date:

Sloan & Sloan- Architecture + I.D.
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(561) 243-8755

Project Title
Sloan Residence
MASTER SUITE ADDITION
106 SE 7th Avenue

Drawing Title
STRUCTUAL NOTES & DETAILS

Project Manager D. Sloan	Project ID Sloan Res Mstr. Ste.
Drawn By D. Sloan	Scale As Noted
Reviewed By Reviewed By	Drawing No. S8.01
Date 2/1/2017	of Total Sheets
CAD File Name Sloan_Res_Mstr_Ste_2016v16.kvx	