



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** 230 George Bush  
**Project Location:** 230 George Bush  
**Request:** Certificate of Appropriateness (COA)  
**Board:** Historic Preservation Board  
**Meeting Date:** December 5, 2018

**Board Action:**

Approved the Certificate of Appropriateness (2019-022) for an elevation change and change in proposed use from a medical office to a mixed-use building (medical office and residence) located at **230 George Bush, Del-Ida Park Historic District**, on a 5 to 0 vote (Paula Newman-Rocker and Reeve Bright absent).

**Project Description:**

The subject 0.46 acre property is located on the south side of George Bush Boulevard, between NE 2nd Avenue and NE 5th Avenue (Federal Highway), consists of Lots 23 and 24, block 11, Del-Ida Park and contains a 3,837 sq. ft. office building. The property is located within the Del-Ida Park Historic District and the Residential Office (RO) zoning district.

The structure was built in 1959 as a residential duplex. In 1977, architect Charles E. Toth designed a major remodel of the structure which included a substantial addition that was built for conversion of the duplex to a dental office for Dr. A. Merlin Wuebbenhorst. Due to the major alteration of the original structure in 1977, it was deemed to be a non-contributing resource with the last district survey.

At its meeting of November 1, 2017, the Historic Preservation Board (HPB) approved the Class IV Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2017-155), for a new 3,427 square foot second-floor medical office addition to the existing 3,837 square foot, single-story medical office.

The subject request is for a COA to change the proposed use of the second-story addition from previously approved (not constructed) medical office to a single-family dwelling unit, increase the overall building height, increase of window sizes, adjustment of second floor banding and lap siding, new roof deck and addition of a stair tower to access new roof deck on the structure

**Board Comments:**

The Board comments were supportive.

**Public Comments:**

No members of the public spoke for or against the project.

**Associated Actions:**

All required actions were taken.

**Next Action:**

HPB action is final.

# HISTORIC PRESERVATION BOARD

## CITY OF DELRAY BEACH

## STAFF REPORT

**MEETING DATE:** December 5, 2018

**ITEM:** 230 George Bush Boulevard, Del-Ida Park Historic District – Certificate of Appropriateness (2019-022) for an elevation change and change in proposed use from a medical office to a mixed-use building (medical office and residence).

**RECOMMENDATION:** Approve the Certificate of Appropriateness

### GENERAL DATA:

Owner/Applicant..... S&E Holdings, Inc.

Agent:..... Gary Eliopoulos, AIA  
GE Architecture, Inc.

Location:..... South side of George Bush  
Boulevard, at the intersection with  
N. Dixie Boulevard

Property Size:..... 0.46 Acres

Historic District: ..... Del-Ida Park Historic District

Zoning:..... RO (Residential Office)

Adjacent Zoning:.....

North: RO  
East: RO  
South: RO  
West: RO

Existing Future Land  
Use Designation:..... TRN (Transitional)

Water Service:..... Public water service is provided  
on site.

Sewer Service:..... Public sewer service is provided  
on site.



### ITEM BEFORE THE BOARD

The item before the Board is consideration of approval of a Certificate of Appropriateness (COA) (2019-022) for an elevation change and change in proposed use from a medical office to a mixed-use building (medical office and residence) located at **230 George Bush Boulevard, Del-Ida Park Historic District**, pursuant to Land Development Regulation (LDR) Section 2.4.6(H).

### BACKGROUND & PROJECT DESCRIPTION

The subject 0.46 acre property is located on the south side of George Bush Boulevard, between NE 2<sup>nd</sup> Avenue and NE 5<sup>th</sup> Avenue (Federal Highway), consists of Lots 23 and 24, block 11, Del-Ida Park and contains a 3,837 sq. ft. office building. The property is located within the Del-Ida Park Historic District and the Residential Office (RO) zoning district.

The structure was built in 1959 as a residential duplex. In 1977, architect Charles E. Toth designed a major remodel of the structure which included a substantial addition that was built for conversion of the duplex to a dental office for Dr. A. Merlin Wuebbenhorst. Due to the major alteration of the original structure in 1977, it was deemed to be a non-contributing resource with the last district survey.

At its meeting of November 1, 2017, the Historic Preservation Board (HPB) approved the Class IV Site Plan Modification, Landscape Plan, Elevations and Certificate of Appropriateness (2017-155), for a new 3,427 square foot second-floor medical office addition to the existing 3,837 square foot, single-story medical office.

The subject request is for a COA to change the proposed use of the second-story addition from previously approved (not constructed) medical office to a single-family dwelling unit, increase the overall building height, increase of window sizes, adjustment of second floor banding and lap siding, new roof deck and addition of a stair tower to access new roof deck on the structure

### SITE PLAN ANALYSIS

Items identified in the Land Development Regulations (LDRs) shall be specifically addressed by the body taking final action on the site and development proposal.

**Pursuant to LDR Section 4.4.17(B) – Principal Uses and Structures:** Within the RO zoning district **Business, Professional and Medical Offices as well as Single-Family Detached Dwelling Units are listed as Permitted Uses.**

**Pursuant to LDR Section 4.4.17(H)(2) – Special Regulations:** A building or structure in the RO District may contain either a residential use, an office use, or a mix of uses.

Based upon the above, buildings may contain a mix of uses; therefore, the proposed mixed use (medical offices and residential unit) are permitted within the RO zoning district.

**Pursuant to LDR Section 4.4.17(F)(1) - Property Development Standards:** The standards as set forth in Section 4.3.4 shall apply and specifically, the maximum height permitted in the RO zoning district is 35'.

|                          | Approved | Proposed |
|--------------------------|----------|----------|
| Top of Parapet           | 28'4"    | 29'      |
| Mean Roof of Large Tower | 30'5"    | 31'3"    |
| Mean Roof Stair Tower    | N/A      | 35'      |

The chart above illustrates compliance with the required development standards; therefore, positive findings with this code requirement are made.

Pursuant to LDR Section 4.4.17(G)(2) - **Parking**: The parking required for business, medical, and professional offices shall be at the standard of 1 space per 300 square feet of net floor area. However, this requirement may be reduced to 1 per 400 square feet, or at least by 1 parking space, when there is a mix of residential and office use in the same structure or for an existing structure on a property located within a designated historic district or an individually designated historic site.

Pursuant to LDR Section 4.6.9(C)(2) **Number of parking spaces required, Requirements for residential uses, (a)Single family detached residence, two spaces per dwelling unit are required.** Based upon the above, the total parking required for the mixed-use building is 12 parking spaces. This is based upon 1 space per 400 square foot of the 3,837 square foot dedicated as medical office space, which requires 9.6 parking spaces, rounded up to 10 parking spaces required for the medical office use. And the single-family dwelling unit requires 2 parking spaces. There is a 9-space surplus of parking as 21 parking spaces are provided on-site (2 handicap space, 6 compact spaces, 3 parallel, and 10 standard spaces). It is noted that 3 of the 21 parking spaces are electrical vehicle charging stations.

Pursuant to LDR Section 4.4.17 (H) - **Special Regulations**:

- (1) All buildings and structures shall appear to be residential in character regardless of the actual use therein, shall be kept in a sound and attractive condition, and in established neighborhoods shall be generally compatible in architectural style and scale with the surrounding area.
- (2) A building or structure in the RO District may contain either a residential use, an office use, or a mix of uses.
- (3) All parking for nonresidential principal uses and conditional uses shall be located in the side or rear yard or adjacent to a rear alley. No parking shall be located in the area between any street and the structure (building). Where there are existing buildings, administrative relief [Section 2.4.7(D)] may be sought from this subsection (3) provided it is determined that compliance with these provisions is not feasible and that the residential character of the area will be maintained and that such parking area shall be substantially screened from off-premises view by, at least, a four-foot high hedge.

The existing structure is a non-contributing building within the northern most portion of the Del-Ida Park Historic District fronting on George Bush Boulevard. The second-floor addition and renovation strives to maintain a residential character since it is intended to be used a single family residential dwelling unit. Parking currently exists forward of the structure facing the adjacent streets, thereby not compliant with this regulation and is an existing non-conformity. Further, the building is situated to the back of the property, making a full reconfiguration of the site layout impractical.

#### **SECTION 4.5.1 HISTORIC PRESERVATION DISTRICTS AND SITES**

Pursuant to LDR Section 2.4.6(H)(5), **Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings**, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

Pursuant to LDR Section 4.5.1(E), **Development Standards**, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

In accordance with the above, the previously noted criteria have been analyzed throughout this report.

**Pursuant to LDR Section 4.5.1(E)(2)(b)2 – Major and Minor development:** The subject proposal is classified as Minor Development as it is “The construction, reconstruction, or alteration of any part of the front façade of an existing noncontributing residential or non-residential structures and all appurtenance.”

In accordance with the above, the subject proposal has been reviewed as a Minor Development.

**Pursuant to LDR Section 4.5.1(E)(5) – Standards and Guidelines:** A historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

**Standard 9**

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

**Standard 10**

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

While the structure is not designated contributing, the proposed improvements contribute to the environment, protecting the historic integrity of the Del-Ida Park Historic District. The proposed addition and renovation of the existing structure have been designed to ensure that the essential form and integrity of the historic property and its environment will be unimpaired while also maintaining a well-known medical business in town. This is an important contribution to the fabric of the surrounding community may spur restoration and improvement of other properties in the district.

**Pursuant to LDR Section 4.5.1(E)(8)(a-l) – Visual Compatibility Standards:** new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria in (a)-(l).

The subject request is to change the proposed use of the second-story addition from previously approved (not constructed) medical office to a single-family dwelling unit, increase the overall building height, increase the sizes of the windows, adjust the second-floor banding and lap siding, install a new roof deck, and add a new stair tower to access the new roof deck on the structure

The modifications to the original approval have been designed to address the Visual Compatibility Standards while allowing for the continued use of the structure as an office. The increase in the overall building height is a result of adding a course or a layer of concrete blocks to the structure in order to slightly increase the height of the ceilings inside of the structure. The increase allows for the modernization of the structure. The increase in the size of the windows is dictated by the increase in the building height and is to ensure the windows are architecturally balanced on the building. The changes to the second-floor banding and siding is predominated by the changes in the windows, allowing the windows to “sit” on the base of the second-floor which will ensure appropriate architectural proportions of the first and second floors. The approved panels in the large tower are being changed to

windows. A new roof deck is proposed as well as a new stair tower to provide access to the roof deck which is situated to the rear of the structure.

As modern day demands for commercial office space change, the applicant's proposal for adaptive reuse of the structure allows for adaptive reuse of the existing structure and site while maintaining a neighborhood based use. The unusual shape of the lot paired with the "saw-tooth" layout of the building offers additional visual interest to the streetscape as well meeting the requirements for rhythm of the building on the street.

While the building is non-contributing, the proposal will help bolster the district as a whole given the use of authentic architectural and building materials such as cedar columns and aluminum railings, aluminum shutters, aluminum Bahama shutters, aluminum windows and doors, wood brackets and gray shingle roof. The proposal incorporates horizontal, simulated stucco siding on the first floor; and, vertical, simulated stucco siding on the second-floor. The approved color scheme will not change and is proposed to be off-white and crème colored walls in Grand Teton White and Acadia White, respectively, with Brilliant White trim, fascia and columns. The window frames, shutters and railings will be Black Beauty while the aluminum doors are proposed to simulate a stained mahogany wood. Based upon the above, the proposal is compliant with the requirements for Visual Compatibility.

#### ASSESSMENT & CONCLUSION

The proposed changes to the approved addition is appropriate and compatible, and will have a positive impact on the surrounding area as well as the Del-Ida Park Historic District. The property is surrounded by a variety of established professional and medical office based uses. Based on the above, positive findings are made with respect to the Land Development Regulations.

#### ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Certificate of Appropriateness (2019-022) for **230 George Bush Boulevard, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations Section 2.4.6(H).
- C. Move denial of the Certificate of Appropriateness (2019-022) for **230 George Bush Boulevard, Del-Ida Park Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations Section 2.4.6(H).

#### RECOMMENDATION

Approve Certificate of Appropriateness (2019-022) for **230 George Bush Boulevard, Del-Ida Park Historic District**, by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Section 2.4.6(H).

#### NOTE:

If the COA is approved, the following must be addressed prior to certification:

1. That the site plan be updated to note the correct setbacks in the site data table.

Attachments:

- Site Plan and Proposed Elevations

**Report prepared by:** Michelle Hoyland, Principal Planner



HACKER OFFICE BUILDING

NORTHEAST ELEVATION



*Northeast Elevation*

HACKER OFFICE BUILDING  
*DeBary Beach, Florida*

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HACKER OFFICE BUILDING

NORTHWEST ELEVATION



*Northwest Elevation*

HACKER OFFICE BUILDING  
*DeBary Beach, Florida*

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HACKER OFFICE BUILDING

SOUTHEAST ELEVATION



*Southeast Elevation*

HACKER OFFICE BUILDING  
*DeBary Beach, Florida*

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HACKER OFFICE BUILDING

SOUTHWEST ELEVATION



*Southwest Elevation*

HACKER OFFICE BUILDING  
*DeBary Beach, Florida*

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**LEGEND:**

INDICATES ROOF OVERHANG (TYP.)

INDICATES PRECAST HEADER OVER OPENING. SEE EXTRACT. DIMS FOR SIZE AND CONNECTION

TYPICAL 6:12 SLOPE FOR MAIN ROOF + 3:12 SLOPE FOR PITCH BREAK + LOWER ROOF CONDITIONS.

NOTE: CONTRACTOR TO PROVIDE MECHANICAL AND TRUSS FABRICATOR WITH ALL THE APPROPRIATE DRAWINGS FOR COORDINATION OF DUCT WORK PENETRATIONS THROUGHOUT THE STRUCTURE. (TYPICAL)

NOTE: ROOF ATTIC SHALL COMPLY W/ FBC - 2011 ED - ATTIC SPACE

NOTE: ROOF TO BE "CLOSED SYSTEM" USING BULGIN OR R-20 "GYNENE" INSULATION (OPEN CELL W/ PROTECTIVE COATING "DC-397") BY "GALE INSULATION" OR EQUAL TO THE UNDERSIDE OF THE ROOF SHEATHING (TYP.)

| ROOF DRAINAGE CALCULATIONS   |                         |                           |                          |                           |                           |
|--|-------------------------|---------------------------|--------------------------|---------------------------|---------------------------|
| MAIN FALL RATE (IN N / HRL) AS PER SECTION 1604 TYPE 3011                      | ROOF AREA 'A'           | ROOF AREA 'B'             | ROOF AREA 'C'            | ROOF AREA 'D'             | ROOF AREA 'E'             |
| ROOF AREA (MINIMALLY PRECAST) PLUS   | 88 S.F.                 | 632 S.F.                  | 201 S.F.                 | 500 S.F.                  | 278 S.F.                  |
| AREA OF PARAPET WALL - AREA OF CONTINUING UPPER ROOF                           | N/A                     | 244 S.F. @ 50% = 122 S.F. | 128 S.F. @ 50% = 64 S.F. | 204 S.F. @ 50% = 102 S.F. | 224 S.F. @ 50% = 112 S.F. |
| TOTAL ROOF AREA  | 88 S.F.                 | 754 S.F.                  | 265 S.F.                 | 602 S.F.                  | 390 S.F.                  |
| VERTICAL CONDUCTIONS AND LEADERS FROM TABLE 1609.2                             |                         |                           |                          |                           |                           |
| REQUIRED LEADER DIMENSIONS   | (1) 3" DIA. (0.70 S.F.) | (1) 3" DIA. (0.70 S.F.)   | (1) 3" DIA. (0.70 S.F.)  | (1) 3" DIA. (0.70 S.F.)   | (1) 3" DIA. (0.70 S.F.)   |
| PROVIDED LEADER DIMENSIONS   | (1) 4" DIA. (2.80 S.F.) | (1) 4" DIA. (2.80 S.F.)   | (1) 4" DIA. (2.80 S.F.)  | (1) 4" DIA. (2.80 S.F.)   | (1) 4" DIA. (2.80 S.F.)   |
| PROVIDED 3" DIA. OVERFLOW DRAINS IN ADDITION FOR EMERGENCY OVERFLOW CONDITIONS |                         |                           |                          |                           |                           |

**PARAPET HEIGHT EXCEPTION:**

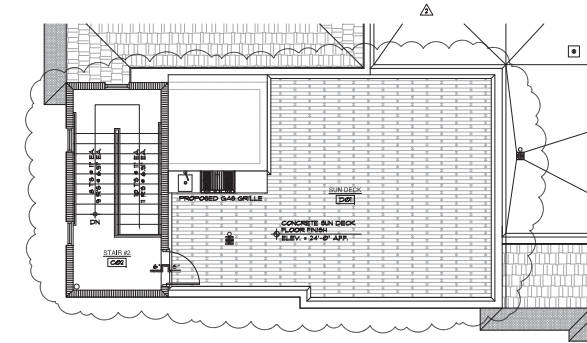
AS PER F.B.C. 2011 - SECTION 1609.3.4

1. WHERE ROOF AND CEILING FINISH ELEMENTS ARE PARALLEL TO THE WALLS, SUCH FINISHING AND ELEMENTS SUPPORTING SUCH FINISHING SHALL NOT BE OF LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION FOR A WIDTH OF 10 FEET MEASURED FROM THE INTERIOR SIDE OF THE WALL.

2. WHERE ROOF AND CEILING FINISH ELEMENTS ARE NOT PARALLEL TO THE WALL, THE ENTIRE SPAN OF SUCH FINISHING AND ELEMENTS SUPPORTING SUCH FINISHING SHALL NOT BE OF LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.

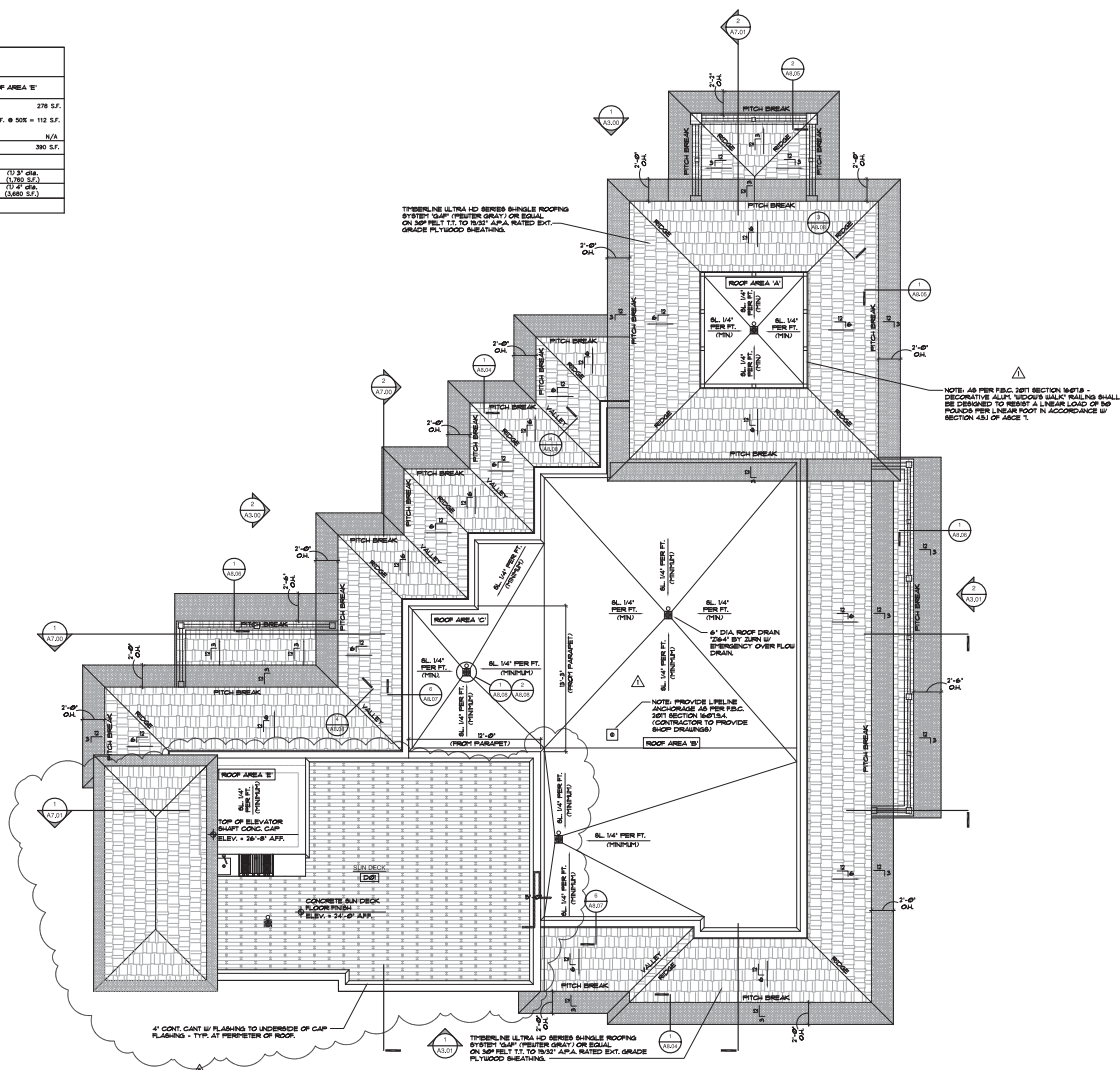
3. OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 10 FEET OF THE 1-HOUR FIRE-RESISTANCE-RATED EXTERIOR WALL MEASURED FROM THE INTERIOR SIDE OF THE WALL.

4. THE ENTIRE BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.



**2 PROPOSED SUNDECK PLAN**

A2.02 SCALE: 3/16"=1'-0"



**1 PROPOSED ROOF PLAN**

A2.02 SCALE: 3/16"=1'-0"

**NOTES:**

1. DO NOT SCALE DRAWING

2. FIELD VERIFY ALL DIMENSIONS

3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWING (SEE GENERAL NOTES)

**ge**  
ARCHITECTURE INC.

Architect, Planner and Designer  
AA-26002044  
1045 East Atlantic Ave., Suite 303  
Delray Beach, Florida 33483  
TEL: 561-276-6011  
FAX: 561-276-6129

ISSUED FOR: BUILDING PERMIT  
BIDS  
PERMIT  
CONSTRUCTION

PROJECT TITLE  
**MIXED USE BUILDING**

230 GEORGE BUSH BLVD.  
DELRAY BEACH, FL

CLIENT APPROVAL

REVISIONS

1. REVISED BASED AS PER PLAN REVISIONS  
2. PROVIDED NOTE OUTLINE DECORATIVE RAILING LOAD REQUIREMENTS  
3. REVISED ROOF ACCESS MATCH TO AS BE THE 1/4\"/>

PLOTTED 10/8/2020 1:00 PM











