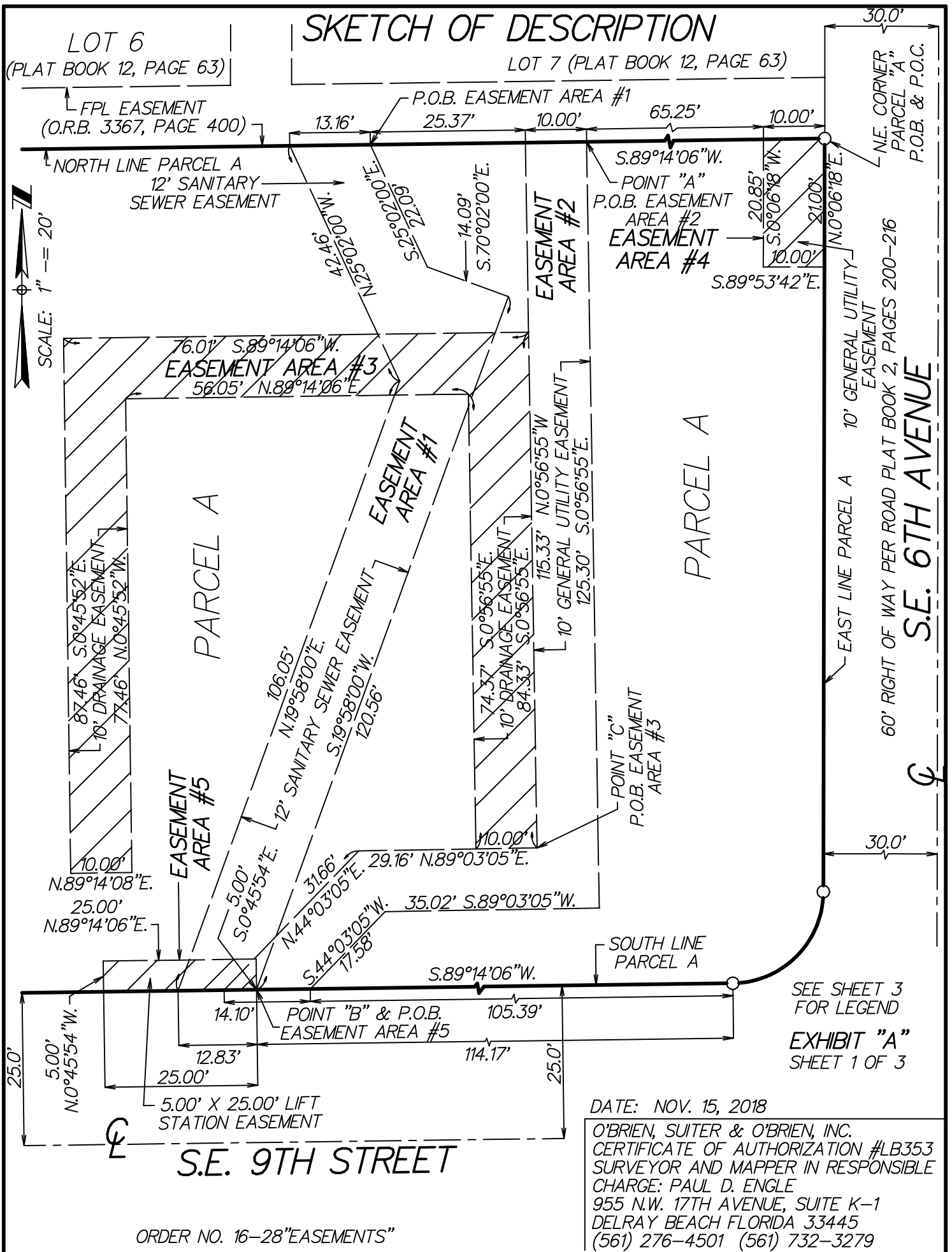


LOT 6
(PLAT BOOK 12, PAGE 63)

LOT 7 (PLAT BOOK 12, PAGE 63)



SKETCH OF DESCRIPTION
EXHIBIT "A"
SHEET 2 OF 3

DESCRIPTION OF EASEMENTS:

ALL EASEMENTS BEING A PORTION OF PARCEL A, REGIONS DELRAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 112, PAGES 31 AND 32, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. SAID EASEMENTS BEING DESCRIBED AS FOLLOWS:

EASEMENT AREA #1 – 12 FOOT SANITARY SEWER EASEMENT:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL A; THENCE S.89°14'06"W., ALONG THE NORTH LINE OF SAID PARCEL A, A DISTANCE OF 75.25 FEET TO A POINT KNOW HEREAFTER AS POINT "A"; THENCE CONTINUE S.89°14'06"W., ALONG SAID NORTH LINE, A DISTANCE OF 35.37 FEET TO THE POINT OF BEGINNING; THENCE S.25°02'00"E., A DISTANCE OF 22.09 FEET; THENCE S.70°02'00"E., A DISTANCE OF 14.09 FEET; THENCE S.19°58'00"W., A DISTANCE OF 120.56 FEET TO A POINT KNOWN HEREAFTER AS POINT "B" AND A POINT ON THE SOUTH LINE OF SAID PARCEL A; THENCE S.89°14'06"W., ALONG SAID SOUTH LINE, A DISTANCE OF 12.83 FEET; THENCE N.19°58'00"E., A DISTANCE OF 106.05 FEET; THENCE N.25°02'00"W., A DISTANCE OF 42.46 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL A; THENCE N.89°14'06"E., ALONG SAID NORTH LINE, A DISTANCE OF 13.16 FEET TO THE POINT OF BEGINNING.

EASEMENT AREA #2 – 10 FOOT GENERAL UTILITY EASEMENT:

BEGINNING AT THE AFOREDESCRIBED POINT "A"; THENCE S.0°56'55"E., A DISTANCE OF 125.30 FEET; THENCE S.89°03'05"W., A DISTANCE OF 35.02 FEET; THENCE S.44°03'05"W., A DISTANCE OF 17.58 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL A; THENCE S.89°14'06"W., ALONG SAID SOUTH LINE, A DISTANCE OF 14.10 FEET; THENCE N.44°03'05"E., A DISTANCE OF 31.66 FEET; THENCE N.89°03'05"E., A DISTANCE OF 29.16 FEET TO A POINT KNOWN HEREAFTER AS POINT "C"; THENCE N.0°56'55"W., A DISTANCE OF 115.33 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL A; THENCE N.89°14'06"E., ALONG SAID NORTH LINE, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

EASEMENT AREA #3 – 10 FOOT DRAINAGE EASEMENT:

BEGINNING AT THE AFOREDESCRIBED POINT "C"; THENCE N.0°56'55"W., A DISTANCE OF 84.33 FEET; THENCE S.89°14'06"W., A DISTANCE OF 76.01 FEET; THENCE S.0°45'52"E., A DISTANCE OF 87.46 FEET; THENCE N.89°14'08"E., A DISTANCE OF 10.00 FEET; THENCE N.0°45'52"W., A DISTANCE OF 77.46 FEET; THENCE N.89°14'06"E., A DISTANCE OF 56.05 FEET; THENCE S.0°56'55"E., A DISTANCE OF 74.37 FEET; THENCE N.89°03'05"E., A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

DATE: NOV. 15, 2018

O'BRIEN, SUITER & O'BRIEN, INC.
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE
CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1
DELRAY BEACH FLORIDA 33445
(561) 276-4501 (561) 732-3279

ORDER NO. 16-28"EASEMENTS"

SKETCH OF DESCRIPTION
EXHIBIT "A"
SHEET 2 OF 3

DESCRIPTION OF EASEMENTS (CONTINUED):

EASEMENT AREA #4 – 10 FOOT GENERAL UTILITY EASEMENT:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL A; THENCE S.89° 14'06"W., ALONG THE NORTH LINE OF SAID PARCEL A, A DISTANCE OF 10.00 FEET; THENCE S.0°06'18"W., A DISTANCE OF 20.85 FEET; THENCE S.89° 53'42"E., A DISTANCE OF 10.00 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL A; THENCE N.0°06'18"E., ALONG SAID EAST LINE, A DISTANCE OF 21.00 FEET TO THE POINT OF BEGINNING.

EASEMENT AREA #5 – 5.00 FOOT BY 25.00 FOOT LIFT STATION EASEMENT:

BEGINNING AT THE AFOREDESCRIBED POINT "B"; THENCE S.89°14'06"W., ALONG THE SOUTH LINE OF SAID PARCEL A, A DISTANCE OF 25.00 FEET; THENCE N.0°45'54"W., A DISTANCE OF 5.00 FEET; THENCE N.89°14'06"E., A DISTANCE OF 25.00 FEET; THENCE S.0°45'54"E., A DISTANCE OF 5.00 FEET TO THE POINT OF BEGINNING.

LEGEND AND NOTES:

THIS IS NOT A SURVEY

P.O.B. = POINT OF BEGINNING

P.O.C. = POINT OF COMMENCEMENT

O.R.B. = OFFICIAL RECORDS BOOK

THE SOUTH LINE OF PARCEL A IS ASSUMED TO BEAR S.89°14'06"W.

℄ = CENTERLINE

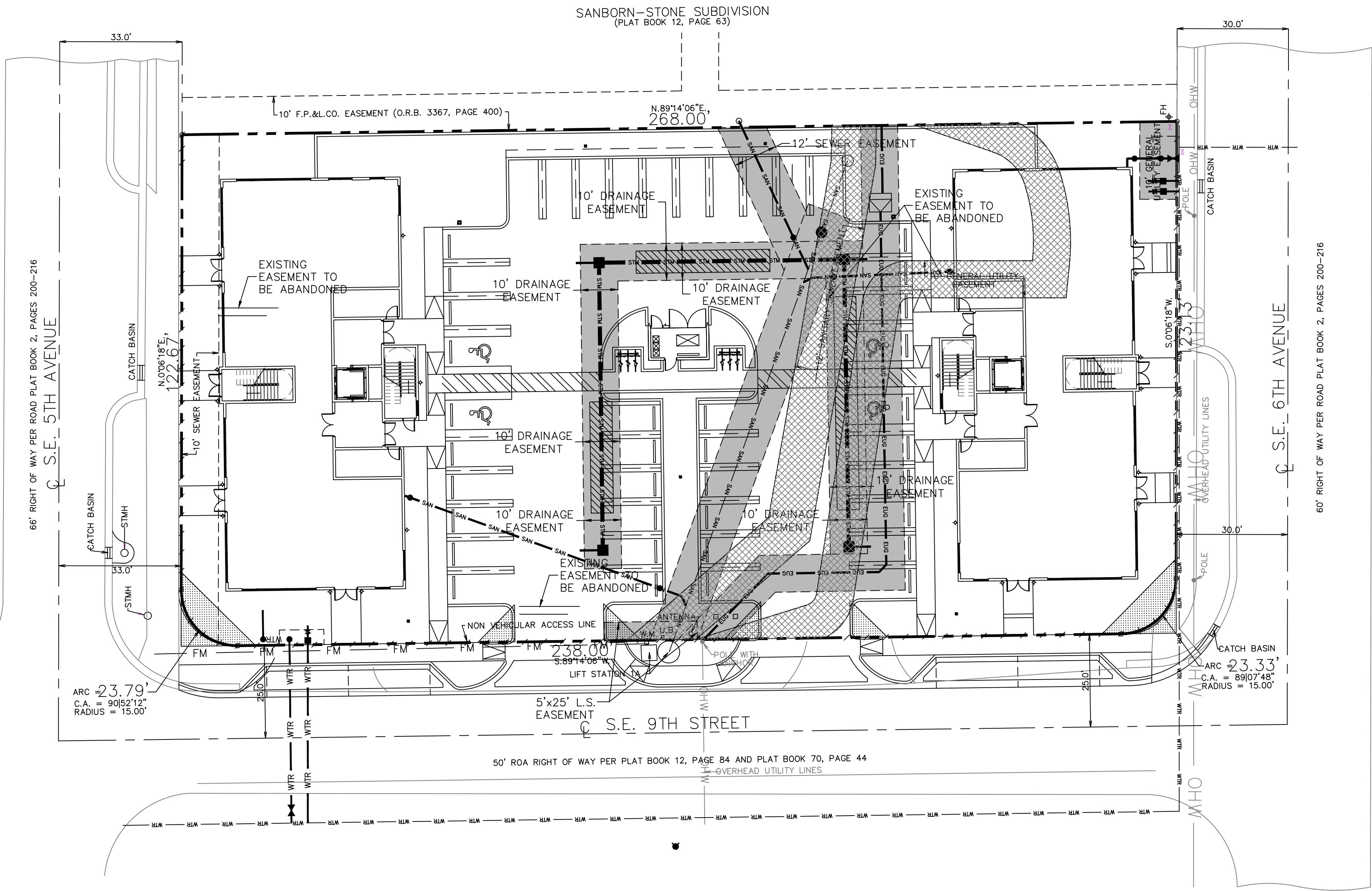
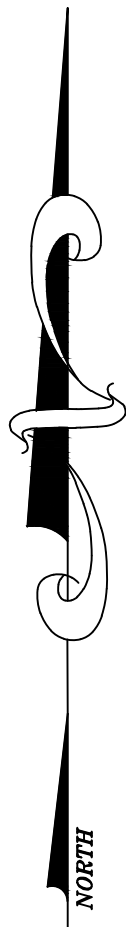


*PAUL D. ENGLE
SURVEYOR AND MAPPER #5708*

DATE: NOV. 15, 2018

*O'BRIEN, SUITER & O'BRIEN, INC.
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE
CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1
DELRAY BEACH FLORIDA 33445
(561) 276-4501 (561) 732-3279*

ORDER NO. 16-28"EASEMENTS"



- LEGEND:**
- PROPERTY LINE
 - [Hatched Box] DENOTES AREA OF PROPOSED EASEMENTS - SEE PLAT
 - [Cross-hatched Box] DENOTES AREA OF EXISTING EASEMENTS TO BE ABANDONED



CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 20'

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ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

"NOT FOR CONSTRUCTION"

EASEMENT COORDINATION PLAN FOR: FIVE-55 DELRAY 555 SE 9TH STREET DELRAY BEACH, FLORIDA				NOT VALID WITHOUT ENGINEER'S SEAL		REVISIONS:		BY:	
ENGINEERS • ENVIRONMENTAL CONSULTANTS				NO.		DATE		ADD 5'x25' LIFT STATION EASEMENT	
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-6500				11/5/18		11/5/18		BAB	
EnviroDesign Associates Inc. www.envirodesign.com				JOSEPH A. PIKE, P.E. FL REG # 42696					
DRAWN: B.A.B.									
CHECKED: J.A.P.									
DATE: 11/05/18									
JOB NO. 16017-ENG									
SHEET NO. 3 OF 9									