



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: February 13, 2019

File No.: 2018-169-
SPF-SPR-CL5

Application Type: Class V Site Plan and Landscape Plan,–
36 SE 2nd Avenue Parking Lot

General Data:

Agent/Applicant: City Parking, Inc.

Owner: Granite Worthing, LLC

Location: 36 SE 2nd Avenue

PCN: 124346160107700171

Property Size: 0.23 Acres

FLUM: CC (Commercial Core)

Zoning: CBD (Central Business District)

Adjacent Zoning:

- North: CBD
- South: CBD
- East: CBD
- West: CBD

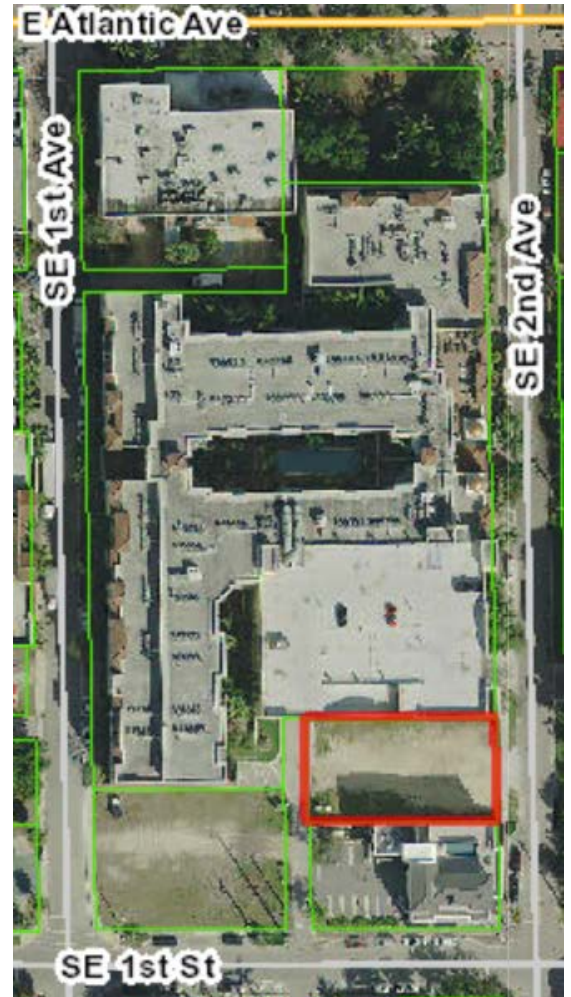
Existing Land Use: Vacant Land.

Proposed Land Use: 23 space privately owned self-service Public Parking Lot

Item before the Board:

The action before the Board is for the consideration of a Class V Site Plan application for the 36 SE 2nd Avenue Parking Lot pursuant to LDR Section 2.4.5 (G), including:

- ☐ Site Plan
- ☐ Landscape Plan



Staff Recommendations:

Site Plan:

Move approval of the Class V Site Plan (2018-169) for 36 SE 2nd Avenue Parking Lot by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations.

**Note: If the site plan is denied, no further action shall be taken on the landscape plan due to potential inconsistencies.*

Landscape Plan:

Move approval of the Landscape Plan (2018-169) for 36 SE 2nd Avenue Parking Lot by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

Project Planner:

Christine Stivers, Senior Planner;
stiversc@mydelraybeach.com,
561-330-6056

Review Dates:

SPRAB Board: February 13, 2019

Attachments:

- 1.Site Plan
- 2.Landscape Plan
- 3.Misc. Plans



Background:

The subject property consists of a portion of Lot 17, Block 77 according to the plat thereof as recorded in Plat Book 1, Page 3, Town of Linton, containing 0.23 acres. The parcel has a Future Land Use Map (FLUM) designation of Central Core (CC) and is zoned Central Business District (CBD). A 6,000 sf retail building formerly occupied the site. The building was demolished in 2008 in conjunction with the development of Worthing Place. Currently, the site is vacant.

Before the Board is consideration of a Class V Site Plan proposal to construct a 23 space privately owned self-service Parking Lot.

Project Description:

The subject request includes a Class V Site Plan and Landscape Plan, to construct a 23 space parking lot consisting of 15 standard size spaces, 7 compact spaces and 1 designated handicap space. One alternative fuel parking space and charging station is provided. The project is along SE 2nd Avenue located in the Central Business District (CBD) between SE 2nd Avenue and a rear alley. SE 2nd Avenue is considered a Secondary Street. Parking areas are a permitted use on a Secondary Street. Frontage along the project will contain the required streetscape elements of the CBD such as curb zone, pedestrian clear zone and a street-wall in the form of a continuous hedge.

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

Right-of-Way Dedications

Pursuant to LDR Section 5.3.1(A)(3), new development adjacent to an existing street is responsible for one-half of the ultimate right-of-way (ROW). No ROW dedication is required along SE 2nd Avenue, however, portions of the rear alley ROW are required to be dedicated in order to further reach the City's goal to have 20-foot wide alleys. The alley dedication ranges from 2-feet to 10-feet in width.

LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub-district

Pursuant to Figure 4.4.13-5 (Central Core Regulating Plan), SE 2nd Avenue is considered a Secondary Street. Pursuant to Table 4.4.13(C), the following dimensional requirements are applicable:

PROPOSED SITE (CLV)	Required	Proposed
Lot Width	20 ft. min.	72.6 ft.
Lot Area	2,000 sf. min.	10,152 sf.

The proposed site complies with the dimensional requirements in Table 4.4.13(C).

Streetscape Standards:

Pursuant to LDR Section 4.4.13(E)(2)(a), the combination of public sidewalk (located within the right-of-way) and hardscape (located in front setback areas) shall provide a minimum streetscape area no less than 15 ft. in width, measured from the back of curb. The streetscape area is comprised of a curb zone, a pedestrian clear zone, and any remaining front setback area. The curb zone is at least four feet wide, measured from the back of curb, and accommodates street trees and public infrastructure needs such as utility poles, street lights, street signs, parking meters, etc. The pedestrian clear zone is at least six feet wide. The code requires that portion of the pedestrian clear zone located within the front setback area must be designed as an extension of the public sidewalk, providing a seamless physical transition. In this case, the entire curb zone and pedestrian clear zone are located within the public RO, therefore additional easements will not be needed.

Pursuant to LDR Section 4.4.13(E)(2)(b), street trees are required to be planted in the public right-of-way directly in front of the property line uniformly spaced no greater than 30 feet on center. For new construction, the street trees may only exceed a separation of 30 feet in order to accommodate curb cuts, fire hydrants, utilities, existing trees, and other infrastructure elements. Consistency in street tree species shall be established on both sides of the street along each block. The first to develop shall establish the species with approval from the Development Services Director in consultation with the Environmental Services Director. In this application, Live Oaks are proposed as there is an existing live oak established as a street tree north of the subject parcel.

**Streetwall Standards:**

Pursuant to LDR Section 4.4.13(F)(7)(d), in the absence of a building façade, a streetwall is required along both Primary and Secondary Streets. Streetwalls shall be three-feet to three-feet, six inches in height, located in line with the building façade or the front setback. Streetwalls shall be composed of either an opaque wall of the same material and color as the building or of a continuous, maintained hedge. In addition, one shade tree per 30 lineal feet, uniformly spaced, shall be installed along the length the streetwall. The Applicant has chosen to utilize a continuous hedge of Podocarpus. **Prior to site plan certification, the specified height of the hedge shall be revised to a maximum of 42-inch in height and shall show an outline of the streetwall hedge on the site plan and note the maximum hedge height shall not exceed 42 inches in height.**

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. Per Section 4.4.13(E)(2)(b), tree species have been planted in the public right-of-way uniformly spaced and planted within the curb zone. Several native species were utilized in the design. **Prior to building permit issuance, the property owner shall be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any tree grates, irrigation, and landscaping installed by the property owner to meet the requirements of this section. The maintenance agreement shall be recorded prior to building permit issuance.**

Parking Lots:

Alleys and Secondary Streets are encouraged to be the primary source of access to parking lots. Alleys may provide access to parking lots and function as standard drive aisles, provided public access is maintained. Parking lots must be screened from view of the street by a streetwall and be landscaped per Section 4.6.16 of the code. These requirements have been met as discussed previously regarding the streetwall and landscape plan.

Lighting:

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The photometric plans for the parking lot can have maximum illumination of 12.0 ft. candles and a minimum of 1.0. The parking lot has levels between 7.8 and 1.6 which fall within the minimum and maximum permitted levels. The lighting plan proposes a luminaire height of 18-feet which is below the maximum permitted luminaire height of 25-feet. Section 4.4.13(J) requires alley lighting to be provided per Section 6.1.5. **Prior to building permit issuance, a bond for alley lighting shall be submitted**

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation).

The subject property has a Future Land Use Map designation of CC and a zoning designation of CBD. It is located in the Central Core Sub-district. The CBD zoning is consistent with the Commercial Core FLUM designation. Pursuant to Table 4.4.13(A), Allowable Uses in the CBD Sub-Districts, in the Central Core, principle uses "P" parking areas. Based upon the above, a positive finding is made with respect to consistency with the Future Land Use Map (FLUM) designation.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

As described in Appendix "A", a positive finding of concurrency is made as it relates to applicable standards such as water and drainage.



CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objective and policy was found:

Future Land Use Element - Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed development will replace vacant land by providing parking that can be utilized by the public, improving the downtown CBD.. Therefore, the proposed use and intensity of the development will be complementary to adjacent land uses.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): The approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following zoning designations and uses are abutting the subject property:

	<i>Zoning Designation:</i>	<i>Land Use:</i>
<i>North:</i>	CBD – Central Core Sub-district	Mixed Use (Parking Garage)
<i>South:</i>	CBD – Central Core Sub-district	Mixed Use (Residential/Commercial)
<i>East:</i>	CBD – Central Core Sub-district	Office
<i>West:</i>	CBD – Central Core Sub-district	Mixed Use (Residential/Commercial)

The surrounding uses are a wide mix, including office, retail, and residential, typical of development in the Central Core Sub-district of the CBD. The project is compatible with the surrounding uses and consistent with the mixed-use district. Thus, a finding can be made that the use will not have a detrimental effect upon the stability of the downtown, nor will it hinder the development or redevelopment of nearby properties. Thus, positive findings is made pursuant to LDR Section 2.4.5(F)(5).

Review by Others:

At the meeting of September 10, 2018, the **DDA (Downtown Development Authority)** reviewed the development proposal and voted in support of the project.

Assessment and Conclusion:

The Class V Site Plan and Landscape Plan are associated with the construction of a 23 space self-service public parking lot. The parking lot will be consistent with the current policies and objectives of the Comprehensive Plan and Chapter 3 of the Land Development Regulations, subject to the notes as indicated in the staff report. Therefore, positive findings are made with respect to Section 2.4.5(F)(5) and 4.6.16.



Alternative Actions:

- A. Continue with direction.
- B. Move approval of the Class V Site Plan and Landscape Plan for **36 SE 2nd Avenue Parking Lot**, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 4.6.16, and Chapter 3 of the Land Development Regulations.
- C. Move denial of the Class V Site Plan and Landscape Plan for **36 SE 2nd Avenue Parking Lot**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5), 4.6.16 and Chapter 3 of the Land Development Regulations.

Recommended Actions:

By Separate Motions:

Site Plan:

Move approval of the Class V Site Plan (2018-169) for **36 SE 2nd Avenue Parking Lot** by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations.

Landscape Plan:

Move approval of the Landscape Plan (2018-169) for **36 SE 2nd Avenue Parking Lot** by adopting the findings of fact and law contained in the staff report, and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

NOTES:

If the site plan and associated plans are approved, the following must be addressed prior to site plan certification or building permit issuance, as noted:

1. Prior to site plan certification, site must be platted or a plat exemption requested.
2. Prior to site plan certification, provide signage on the site plan for the alternative fuel parking space and charging station.
3. Prior to site plan certification, include the OR Book and Page number of the access easement on the site plan.
4. Prior to site plan certification, the specified height of the hedge shall be revised to a maximum of 42-inch in height and shall show an outline of the streetwall hedge on the site plan and note the maximum hedge height shall not exceed 42 inches in height.
5. Prior to site plan certification, provide the proper FDOT urban flared turnouts and ramps.
6. Prior to site plan certification, provide water quantity runoff calculations along with the pre vs. post analysis.
7. Prior to building permit issuance, the property owner shall be required to enter into a maintenance agreement, in a form acceptable to the City Attorney, requiring the property owner to be responsible for and maintain any tree grates, irrigation, and landscaping installed by the property owner to meet the requirements of this section. The maintenance agreement shall be recorded prior to building permit issuance.
8. Prior to building permit issuance, a bond for alley lighting shall be submitted.
9. Prior to building permit issuance, portions of the alley as shown on the site plan must be dedicated

Staff Report Prepared by: *Christine Stivers, Senior Planner*

Attachments: *Appendix "A", Appendix "B", Plans*

APPENDIX "A" – Concurrency Findings

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or



development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Water Service is available via an existing 6" water main within the site and an 8" main within SE 2nd Avenue.
- Sewer Service is not applicable to this project.

Streets and Traffic:

N/A

Parks and Recreation Facilities:

N/A

Solid Waste:

N/A

Drainage:

Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.

APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of



soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

G.Redvelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

H.The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

I.Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

- ☐ Not applicable
- ☒ Meets intent of standard
- ☐ Does not meet intent

J.Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

- ☒ Not applicable
- ☐ Meets intent of standard
- ☐ Does not meet intent

PROJECT DATA

GROUND FLOOR AREA - N/A
TOTAL FLOOR AREA - N/A
PARKING PAVED AREA - 7,163 SQ.FT.
OPEN LANDSCAPED SPACE - 2,989 SQ.FT.
WATER BODIES - N/A

NUMBER OF DWELLING UNITS - 0
DWELLING UNITS PER ACRE - N/A

PARKING SPACES REQUIRED
PURSUANT TO LDR SECTION 4.6.9 - N/A

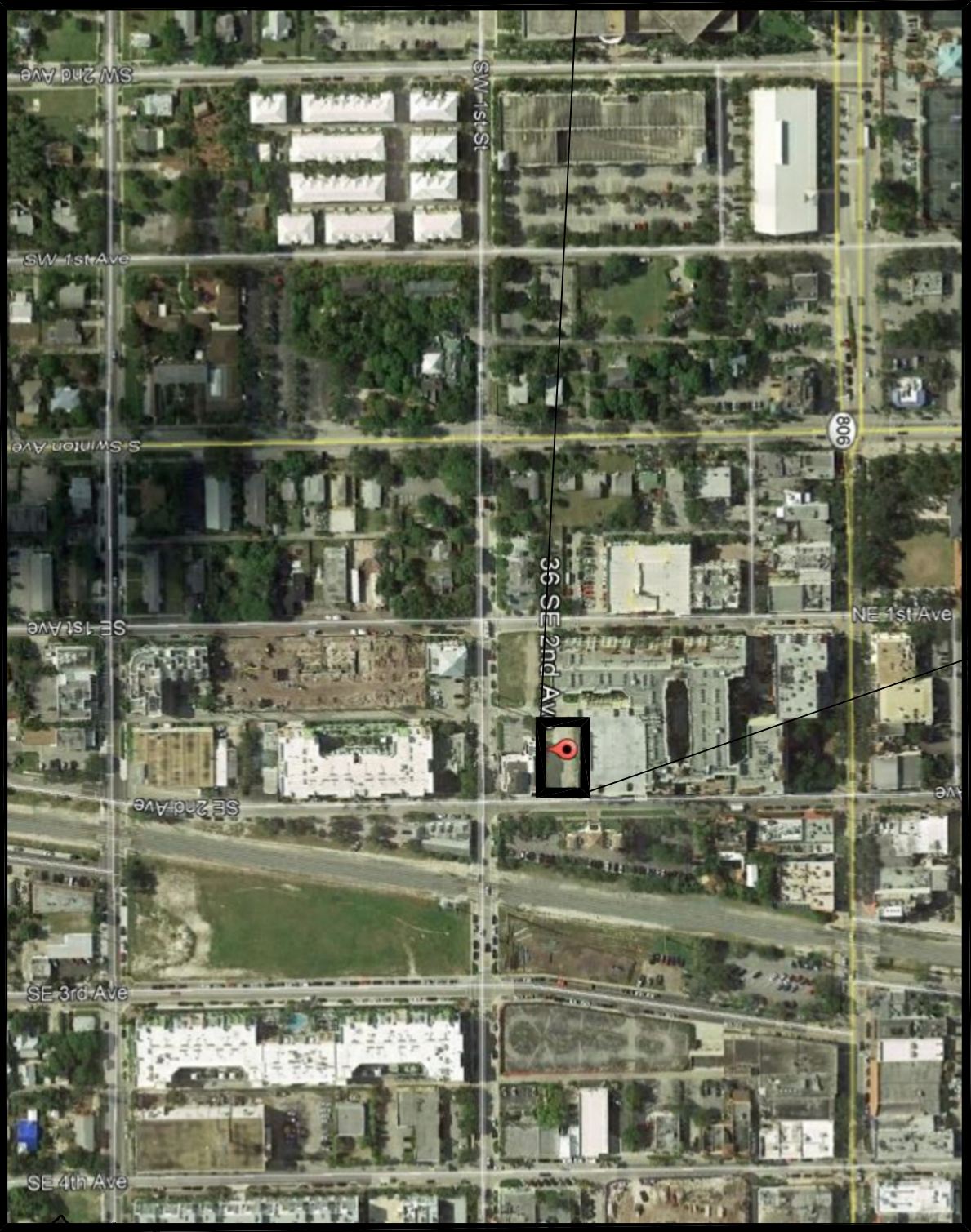
PARKING SPACES PROVIDED

REGULAR - 15
COMPACT - 7 (30% OF TOTAL SPACES)
HANDICAPPED - 1
TOTAL - 23

BUILDING DATA PROVIDED PURSUANT TO LDR SECTION 4.3.4(K),
DEVELOPMENT STANDARDS MATRIX

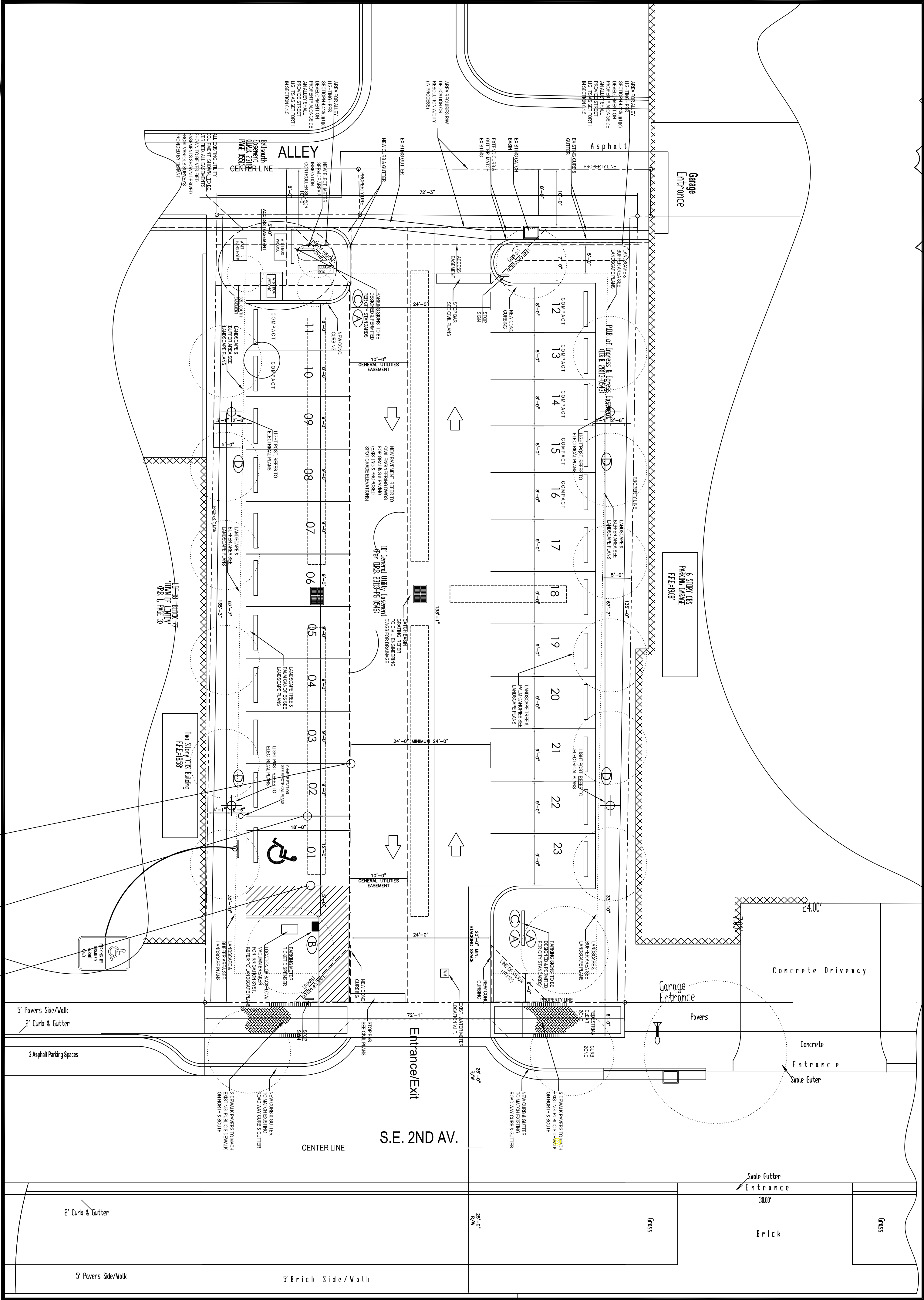
SETBACKS -

FRONT - 5 FT. (20 STACKING)
INTERIOR SIDE - 5 FT. (N. & S. SIDES)
HEIGHT - N/A
REAR - 5 FT.
STREET SIDE - N/A
FLOORS - N/A



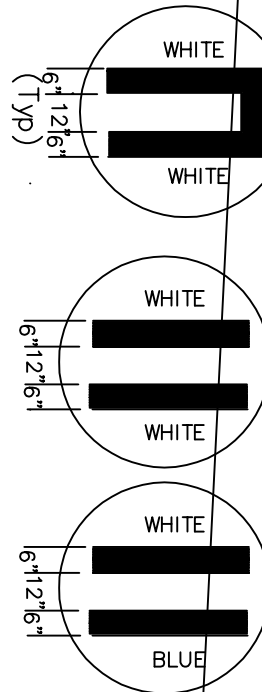
SITE LOCATION AERIAL

SCALE: NTS

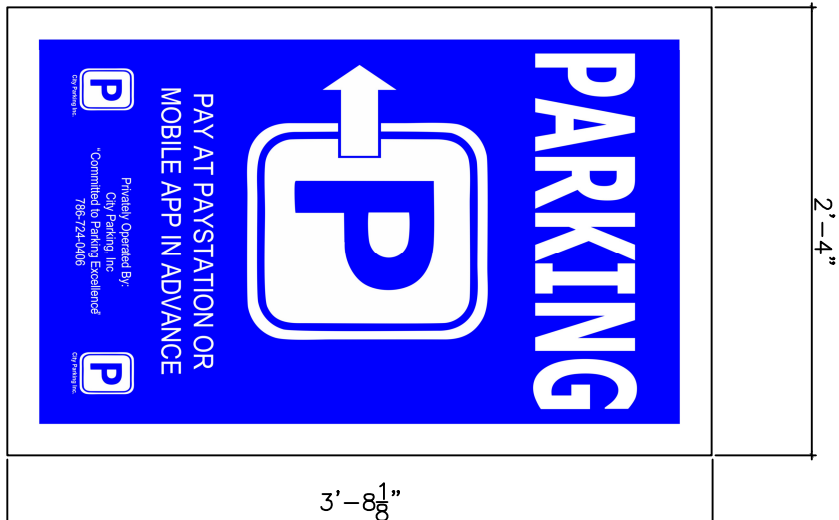


36 SE 2ND AV. DELRAY BEACH FL. -- PROPOSED SITE LAY-OUT
SCALE: 1" : 10'

(& OVERLAY PLAN)



Legal Description: Lot 17, less the North 2.10 feet thereof, Block 77, Map of the Town of Linton, Florida (now Delray Beach), according to the Map or Plat thereof recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida; Together with that part of the East 8 feet of that certain 16 foot wide alley lying West of and adjacent thereto, bounded as follows: on the North by the Westerly extension of Lot 17; on the West by the centerline of the said 16 foot alley; on the South by the easterly extension of the South line of the North 50.50 feet of Lot 11, Block 77, Map of the Town of Linton, Florida (now Delray Beach), according to the Map or Plat thereof recorded in Plat Book 1, page 3; and on the East by the West line of Lot 17.EY.



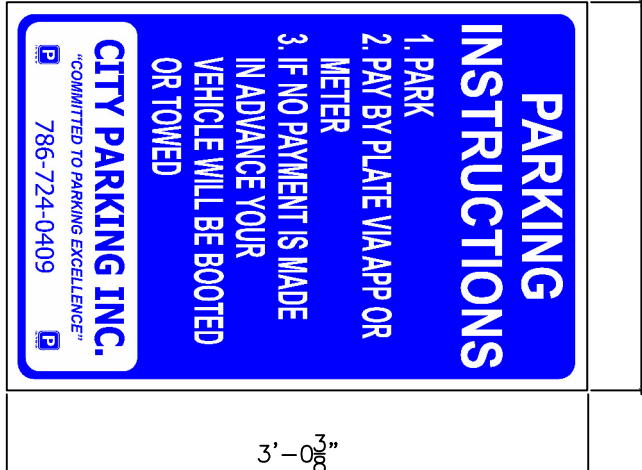
SIGN "A" -
ENTRANCE SIGN - PERPENDICULAR TO
ROADWAY @ ENTRANCE FACING EACH
ON-COMING TRAFFIC DIRECTION.
DIRECTIONAL ENTRANCE ARROW
TOWARDS LOT.

SIGN "A"



SIGN "B" -
LOT RULES - POSTED BESIDES
TICKET/METER W/"PAY HERE" SIGN
ABOVE.

SIGN "B"



SIGN "C" -
PARKING INSTRUCTIONS - POSTED AT
THE ENTRANCE

Sign "C"

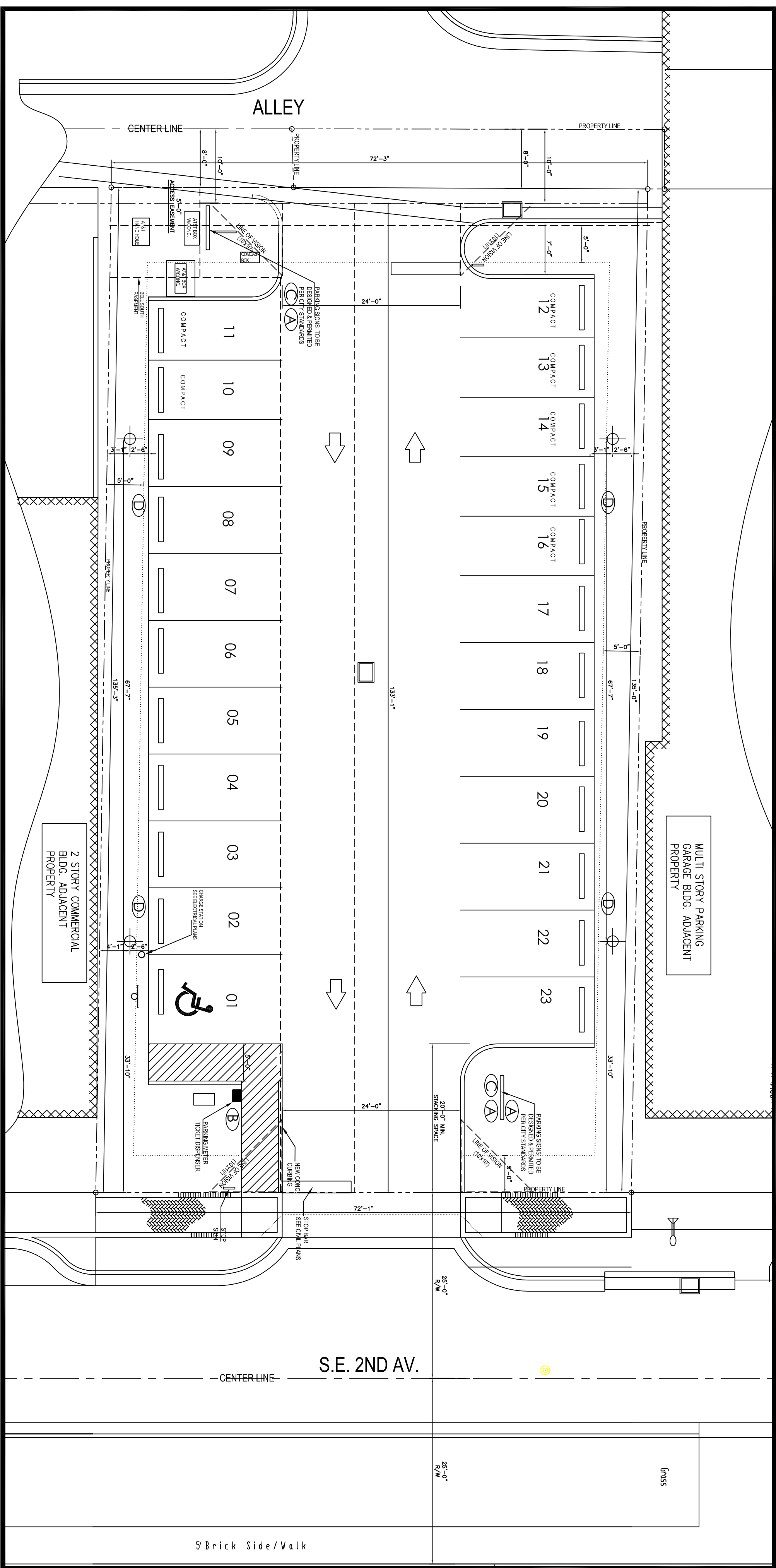


SIGN "D" -
PAYMENT OPTIONS - POSTED
THROUGHOUT THE LOT (APPX 1 FOR
EVERY 5-7 SPACES).

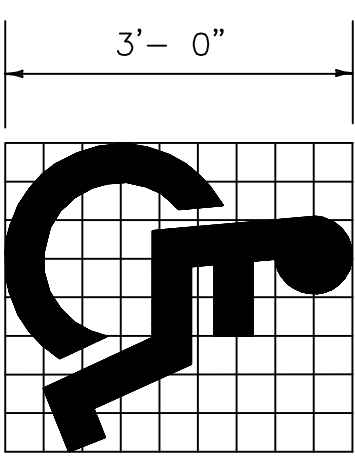
SIGN "D"

(FORMATS BASED ON APPROX. MIN. DIMENSIONS AS SHOWN MAY BE RE-DESIGNED TO 30"x30". SAME GENERAL LAYOUT AND INFORMATION)

ALL SIGNAGE TO BE PERMITTED UNDER
SEPARATE PERMIT & TO CONFORM
W/APPLICABLE ZONING REQUIREMENTS
& GUIDELINES.



36 SE 2ND AV. DELRAY BEACH FL. -- PROPOSED SITE LAY-OUT SIGNAGE & METER LOCATION PLAN
SCALE: 1" = 10'

3
S.t.
4"

USE OF PAVEMENT SYMBOL IN HANDICAPPED PARKING SPACES IS REQUIRED, WHEN USED THE SYMBOL SHALL BE 3 FT. HIGH AND WHITE IN COLOR.

HANDICAPPED PAVEMENT SYMBOL

N.T.S.

TYPICAL CHARACTER AND SYMBOLS
CONTRASTING BACKGROUND COLORS
TO BE UNIVERSAL STANDARDS.

MOUNT: GALV. POST
 LOCATION: AT EACH ACCESSIBLE
 PARKING SPACE

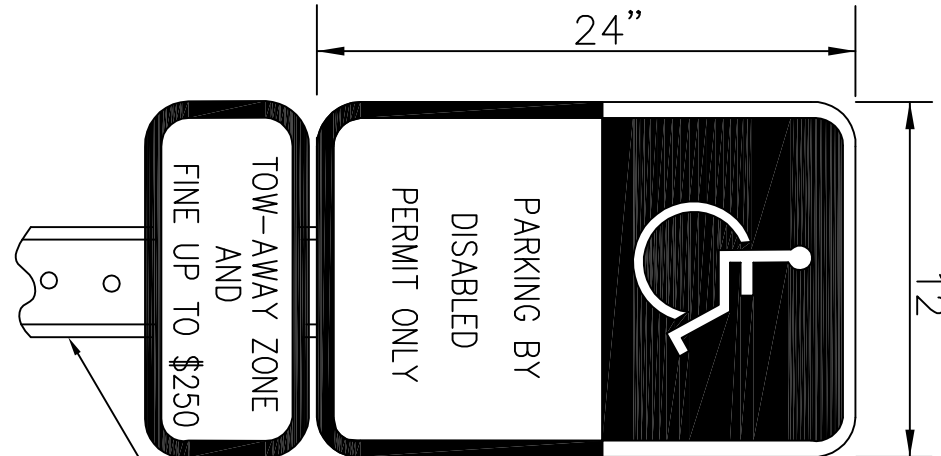
TO PORTION SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOLS AND BORDER

BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER

g'-0" LONG GALVANIZED
STEEL (UNPAINTED) "U"
IRON POST 3LB/FT
WEIGHT BY "FRANKLIN
STEEL" OR APPROVED
EQUAL

HANDICAPPED SIGN DETAIL

N.T.S.



N.T.S.

TYPICAL CHARACTER AND SYMBOLS
CONTRASTING BACKGROUND COLORS
TO BE UNIVERSAL STANDARDS.

MOUNT: GALV. POST
 LOCATION: AT EACH ACCESSIBLE
 PARKING SPACE

TO PORTION SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOLS AND BORDER

BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER

g'-0" LONG GALVANIZED
STEEL (UNPAINTED) "U"
IRON POST 3LB/FT
WEIGHT BY "FRANKLIN
STEEL" OR APPROVED
EQUAL

Multi-Space Pay Station

For On- and Off-Street Parking Environments

Public and private parking operators are realizing the benefits of multi-space pay stations: increased revenue, reduced operational costs, and superior customer service. Using a single, unified line, Customers also enjoy the added convenience, faster payment options, and ease of use provided by pay stations. The Luke® multi-space pay station is highly secure, flexible, and suitable for both on- and off-street parking environments. Luke fulfills customer service expectations and delivers superior performance and significant contributions to operators' top and bottom line.

Luke 1 Features for Consumers

- Range of convenient payment options, such as coins, bills, credit cards, smart cards, prepaid cards, etc.
- Customizable, compact, and pay for many services
- Extensive range of payment methods and services
- Extensive range of service modes, including: coinless and the ability to add more to mobile phone
- Large color screen that is easy to read
- Prompts in multiple languages
- Ability to pay for parking or time using any pay station in the system
- Coin receive refunds consumers' money upon a canceled transaction
- 38-60 full alphanumeric keypad for easy license plate entry
- Easily recognizable design identifies machine as a parking pay station

Luke 1 Features for Parking Operators

- Separate maintenance and collections compartments for enhanced security
- Theft resistant design to protect coins, bills, and credit cards
- Extensive logging capabilities and electronic data support for audit security
- PCI compliant and PA-DSS validated system ensures credit card data security
- Pay-as-you-go, Pay-by-Space, and Pay-by-License Plate on the same pay station
- Remote configuration of rates and policies saves time and money
- Integration with existing parking technology partners for a complete solution
- Flexible rate structure and diverse payment options can increase revenue
- Reduced maintenance and collections costs
- Real-time credit card processing to reduce processing fees and minimize lost debt
- Real-time reporting and alarming
- Comprehensive data and PCI compliance

Like it? Specifications

Camera:	Color, 3.1M, 30FPS, 1/4" lens, fixed, protected with anti-scratch coating
Payment Options:	Color, bill, credit cards, coinless, cashless, cashless payments, smart cards, value cards, campus access, optional
Credit Reader:	Credit as not supported – no money parts. Reads 1, 2 and 3 of all major credit stripe brands and writes to chip-based smart cards conforming to ISO 7810 and 7816
Bill Saver:	1,000 bill capacity (US only)
Printer:	2" receipt width
Display:	Color backlit LCD with 640 x 480 resolution
Keypad:	38 key alphanumeric with tactile bump
Locks:	CF-4 mechanical lock with optional padlock or lock cylinder. Electronic lock optional
Access:	Separate compartments for maintenance and collections
Communications:	GSM, CDMA, Ethernet
Environmental Requirements:	40°F to +140°F (-40°C to +60°C) Relative humidity up to 95%
Power:	120 V AC. Simultaneous color panel optional
Operational Modes:	Pay-and-Die/Die/Pay-by-Die/3-Party-by-License Plate
Multilingual Support:	Up to four languages using menu or alphanumeric characters
Alertable Alarm:	Series shock and vibration
Cable:	Custom grom. Additional costs optional
Standards:	UL-554 approved, ABA coin cert, PCI Compliance, PCI DSS validated

*No money accepted. No currency. No money parts. Lock code of 9999. CF-4 lock cylinder without padlock. Not for use in Canada.

PLANT LIST				
QTY	KEY	Botanical Name / Common Name	Description	Native Yes / No
2	QV	Quercus virginiana / Live Oak	16"oa ht, 6" single straight trunk, 8" ct, 7', spr, 4-5" cal. <i>Highrise or Cathedral</i>	Yes
3	QV	Quercus virginiana / Live Oak	16"oa ht, 6" single straight trunk, 8" ct, 7', spr, 4-5" cal. <i>Highrise or Cathedral</i>	Yes
15	SP	Sabal palmetto / Sabal Palm	16', 20', 24' CT, slick	Yes
20	POM	Podocarpus macrophyllus / Podocarpus	48" ht, 18" spr, full, 15 gal.	No
126	COE	Conocarpus erectus / Green Buttonwood	36" ht, 18" spr, full, 7 gal.	Yes
116	JAV	Jasminum volubile / Wax Jasmine	12" ht x 12" spr, 3 gal.	No
350	ARG	Arachis glabrata / Perennial Peanut	1 gal.	No

Site Area= 9654.70 sf, .22 Acres
 -7147.36 = 2507.34 sf pervious

VUA (asphalt) 7147.36 sf

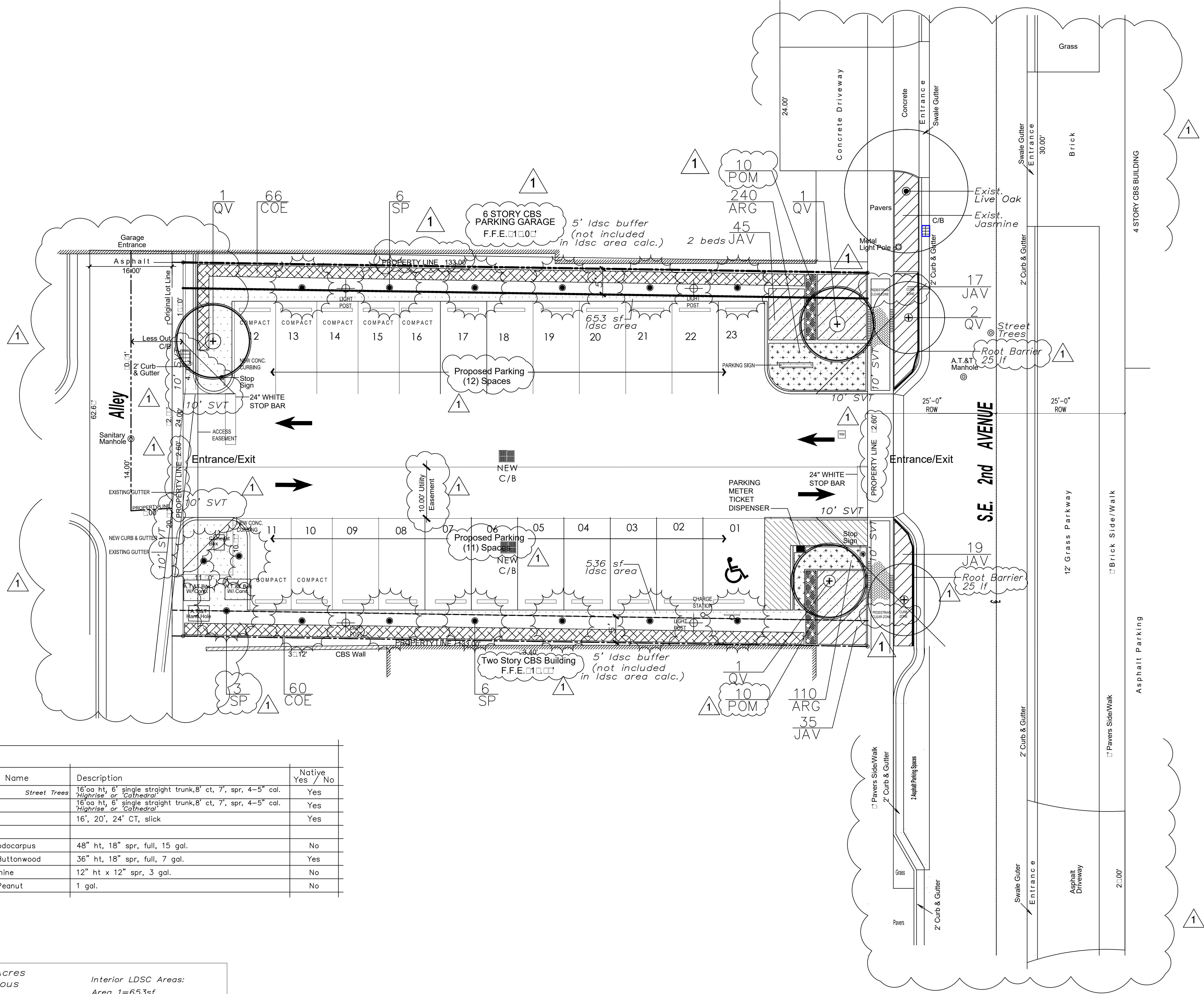
Interior landscape area req'd=
 7147.36 sf x 10%= 714.73 sf

715 sf / 125 sf= (5.72) 6 Trees req'd.
 (3 palms= 1 tree)

3 Trees Provided & 12 palms/3=4
 7 Trees Provided

Interior LDSC Areas:
 Area 1=653sf
 Area 2=536sf
 Total =1189 sf

1189 sf > 715 sf
 Interior LDSC Areas
 5'w ldsc buffer areas
 Not included



36 SE 2ND AV. DELRAY BEACH FL - - PROPOSED PARKING LOT LANDSCAPE PLAN

SCALE: 1"= 10'-0"

LA 1.0 Landscape Plan
 LA 1.1 Landscape Notes,
 Details & Legend
 LA 1.2 Irrigation Plan

Response to Planning
 Comments 12.04.18

AA0003569
 ANTHONY LEON
 001672

DESIGN
 ARCHITECTURE
 3260 NW 7 St. Miami, FL 33125
 P: 305.438.9377 | F: 305.438.9379

H.L. Morth, Landscape Architect, P.A.
 Lic# 2600004 / La #000722
 5965 SW 38th Street, Miami, Florida 33155
 305 790-4372, himorth@bellsouth.net
 Herbert L. Morth, Landscape Architect

PARKING LOT:
 City Parking, Inc.
 36 SE 2nd Ave.
 DELRAY BEACH, FL.

THESE PLANS ARE FOR BUILDING
 DEPARTMENT REVIEW ONLY. THEY ARE
 NOT TO BE CONSTRUED AS CONSTRUCTION
 DOCUMENTS UNTIL ALL BUILDING
 DEPARTMENT APPROVALS ARE OBTAINED.

LA 1.0

LEGEND:

TRAFFIC FLOW

PARKING BY DISABLED PERMIT ONLY

WATER FLOW DIRECTION

EXISTING ELEVATIONS

NEW ELEVATIONS

R1-1 STOP SIGN

ELECTRICAL CHARGING STATION

10X10' VISIBILITY TRIANGLE

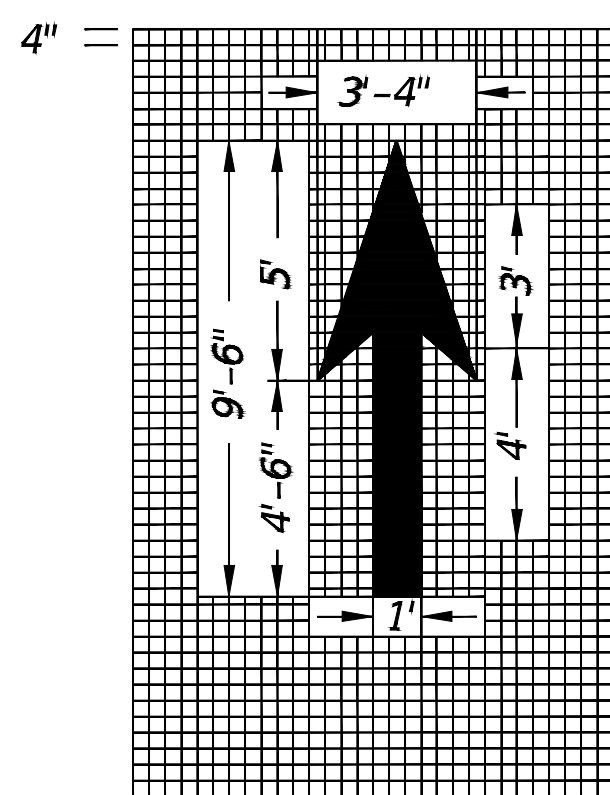
NOTE:

1."any trees or shrubs placed within water, sewer or drainage easements shall conform to the City of Delray Beach Standard Details; LD 1.1 & LO 1.2." These Details are to be shown on the Landscape Plans.

2. A Financial Guarantee in accordance with LOR Section 2.4.1 O may be required to ensure the timely and proper installation of public improvements which are required to support the proposed development. Refer to LOR Section 2.4.1 O (A) for items which require a Financial Guarantee.

3. Submit South Florida Water Management District (SFWMD) permit or permit modification in accordance with LOR Section 2.4.6(J). This project should -qualify for a Statewide 10-2 Self Certification perm it.

4. Lighting & post details are for any work in ROW if applicable shown on C-2. Parking Lighting is included in Electrical Engineer's Electrical/Lighting Plans



Through Lane-Use Arrow

12 s.f.

NOTE: When arrow and pavement message are used together, the arrow shall be located down stream of the pavement message and shall be separated from the pavement message by a distance of 25' (Base of the arrow to the base of the message). Stop message shall be placed 25' from back of stop line.

FDOT INDEX NO. 17346

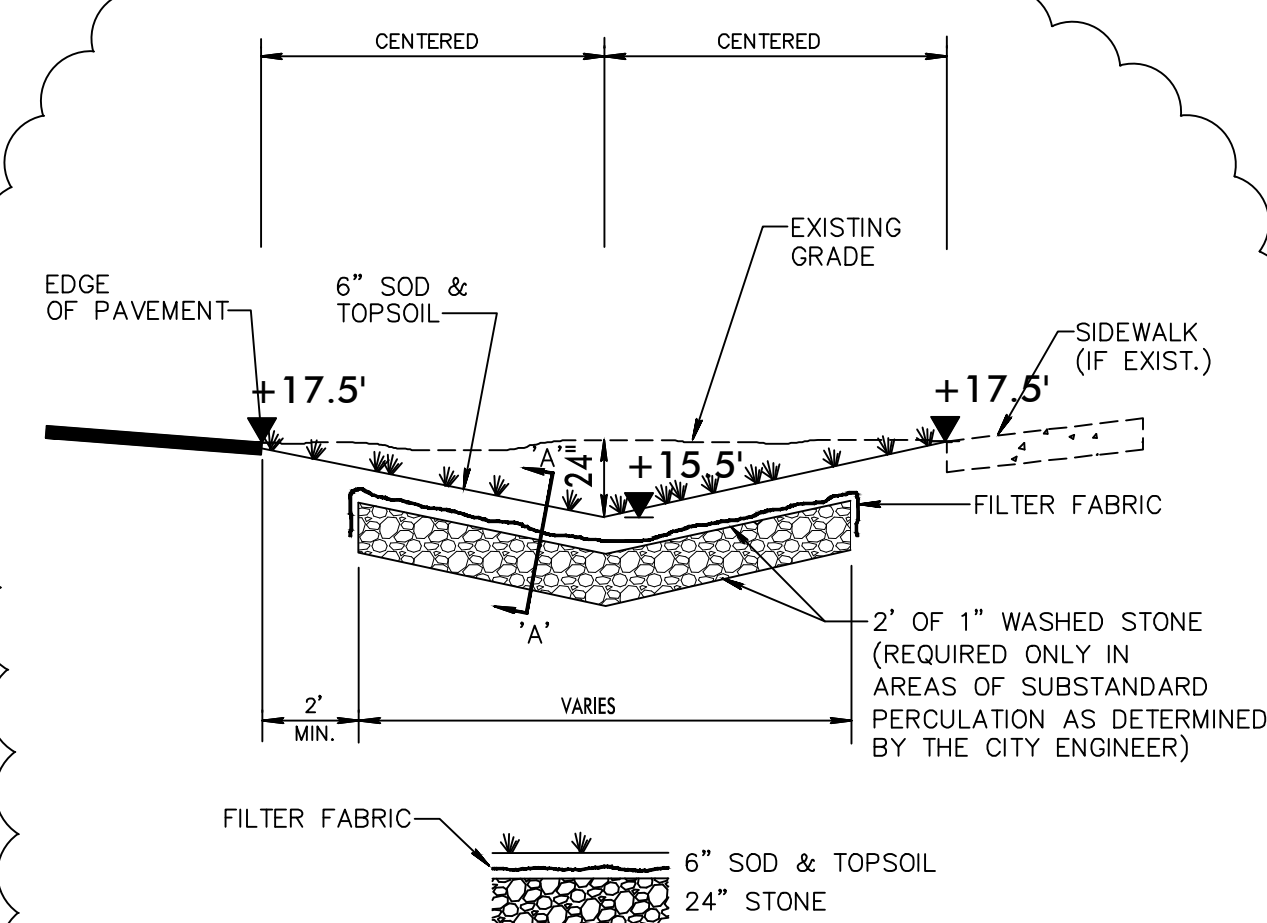
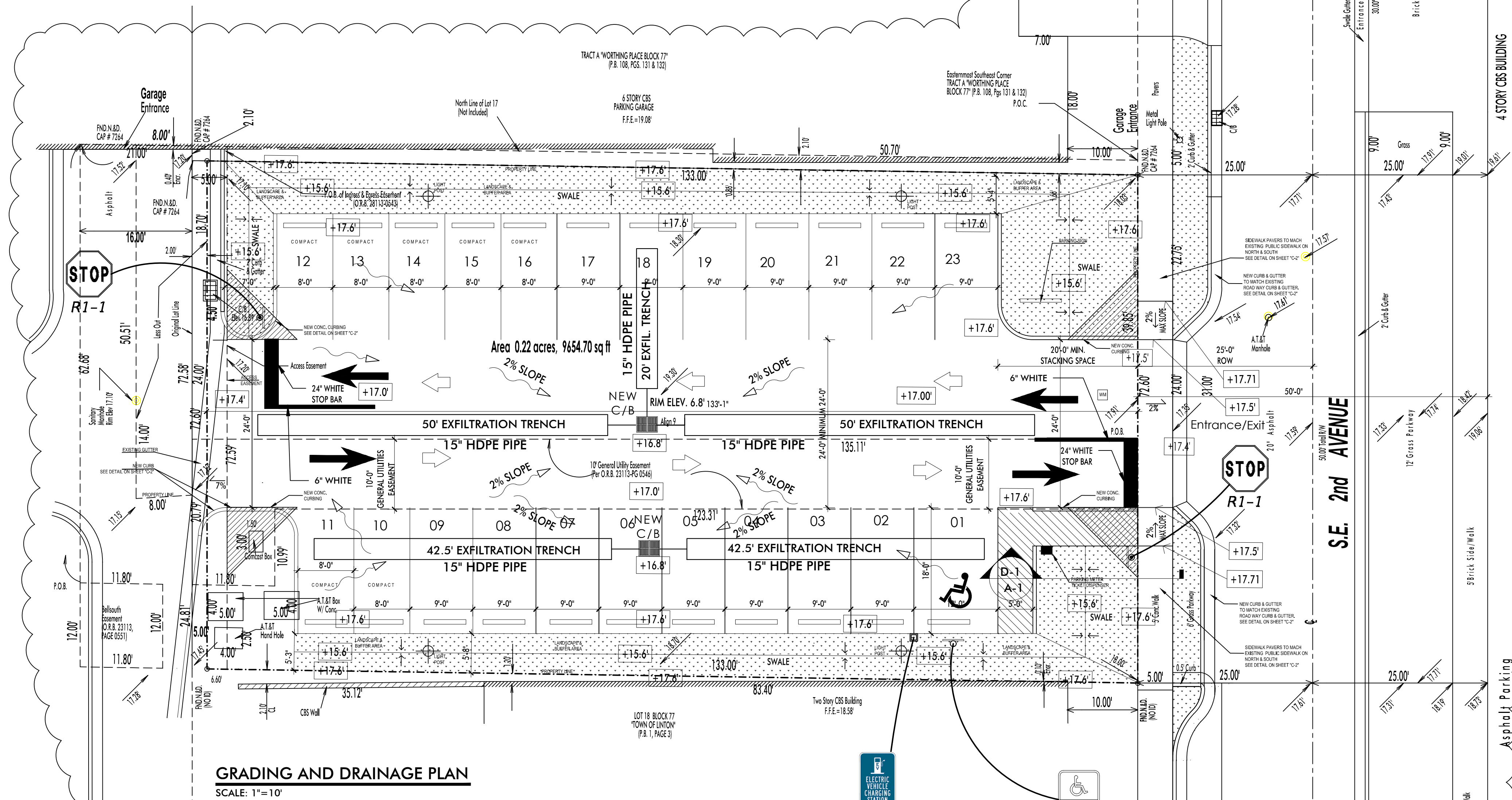
SOIL TREATMENT:

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS APREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

EXISTING SOIL STATEMENT

THE FOUNDATION HAS BEEN DESIGNED FOR SOIL BEARING CAPACITY OF 2000 PSF BASED VISUAL AND SOIL EXPLORATION. THE ATTACHED SOIL LETTER PROVIDES RECOMMENDATIONS FOR SITE PREPARATION. CONTRACTOR TO OBTAIN LETTER FROM ENGINEER OF RECORD UPON PAD PREAPARTION THAT THE PAD HAS DONE AS DESIGN REQUIREMENTS.

SOIL UNDER FOOTING AND SLABS SHALL BE COMPACTED TO A MIN. OF 98% OF MAX. DRY DENSITY. COMPACTION SHALL BE CHECKED USING A MODIFIED PROCTOR TEST TO DETERMINE IN PLACE DENSITY. TEST SHALL BE MADE BY A CERTIFIED TESTING LABORATORY WITH REPORTS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.



NOTE:

1. CONTRACTOR TO REPLACE ALL IRRIGATION, TREES & SHRUBBERY IN SWALES DAMAGED DURING CONSTRUCTION.

D-1 SWALE SECTION
NTS

FBC 2017 6TH EDITION

LOT AREA 10,151.7 sq. ft.
GREEN AREA 2,438.8 sq. ft.

SCOPE OF WORK:

1. INSTALL NEW ASPHALT PARKING
2. INSTALL NEW CATCH BASIN
3. INSTALL NEW EXFILTRATION TRENCHES
4. INSTALL NEW SIGNAGE AS PR PLAN

RAHIMUDDIN RAHIMI PE
LICENCE NUMBER
5 1 4 8 4
PROFESSIONAL ENGINEER
SEAL, SIGN AND DATE:

CONNECTION WITH THE SPECIFIED PROJECT: NONE OF SUCH IDEAS OR CONCEPTS ARE TO BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF MREC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. ANY CONDITIONS SHOWN BY THESE DRAWINGS FROM THE DIMENSIONS AND SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED.

REVISIONS:		
NO.	DATE:	DESCRIPTION
1	8/9/18	TAC COMMENTS
2		
3		

MR ENGINEERING CONSULTANTS INC
STRUCTURAL, CIVIL, GEOTECHNICAL, ENVIRONMENTAL ENGINEERS
CA 9824
10031 PINES BLVD SUITE 237 - PEMBROKE PINES, FLORIDA 33024
P (954) 364-8355 F (954) 432-9266

PARKING LOT:
City Parking, Inc
36 SE 2nd AVE.
DELRAY BEACH, FL

PROJECT NO: 18C19
DATE: 12/6/18
DRAWN BY: B.J.I.
CHECKED: R.R.

DRAWING NO.

C-1

SYMBOLS & LEGEND OF ABBREVIATIONS

RW	=	RIGHT OF WAY	+10'	=	ELEVATIONS BASED ON N.A.D.
N	=	NORTH	SQ FT	=	SQUARE FEET
B	=	BAY	AC	=	ACRES
E	=	EAST	MAD CO. RECORDS	=	POINT-OF-BEGINNING
D	=	WEST	P.O.C.	=	POINT-OF-COMMENCEMENT
WD	=	WEED	P.O.B.	=	POINT OF BEGINNING
ENCH	=	ENCLOSURE	F.P.T.I.	=	FLORIDA POWER & LIGHT
F.F.	=	FINISHED FLOOR	B.C.R.	=	BROWARD COUNTY RECORDS
GAR	=	GARAGE	C.R.B.	=	CITY RECORDS BOOK
MANH	=	MANHOLE	D.E.P.	=	DEPARTMENT OF ENVIRONMENTAL PROTECTION
(M)	=	MEASURED	D.N.R.	=	DEPARTMENT OF NATURAL RESOURCES
P.B.	=	PLAY BOOK	M.V.D.	=	MENTAL ADVISORY PERIODIC INSPECTION
P	=	PLAT			
M	=	VALVE	□	=	METER
MANHOLE	=	MONITORING WELL	⊗	=	DUTY POLE
BASIN	=	UTILITY BOX	✱	=	WALT
WELL	=	HYDRANT			LIGHT

STREET ADDRESS:

36 S.E. 2nd Avenue, Delray Beach, Florida

LEGAL DESCRIPTION:

Lat 17, less than 1/2, 1.0 feet thereof, Block 77, Map of the Town of Union, Florida now Pelley Beach, according to the Map or Plat thereof recorded in Plat Book 1, Page 3, of the Public Records of Palm Beach County, Florida, together with that part of the East 8 feet of that certain 15 foot wide alley lying West of and adjacent thereto, bounded as follows: on the North by the Western extension of Lot 17; on the South by the centerline of the said 15 foot alley, on the South by the easterly extension of the south line of the North 50.50 feet of Lot 11, Block 77, Map of the Town of Union, Florida now Delray Beach, according to the Map or Plat thereof recorded in Plat Book 1, Page 3; and on the East by the West line of Lot 17.

NOTES:

1. Unless otherwise noted field measurements are in agreement with record measurements.
2. Bearing shown hereon are based on a bearing of North 89°08'07" West along the South line of Tract A, Plat Book 113, Page 65, 1st11th Beach County Records.
3. The lands shown hereon were not abstracted for ownership, rights of way, easements, or other matters of record by Accurate Land Surveys, Inc.
4. Ownership of fences and walls if any are not determined.
5. This survey is the property of Accurate Land Surveys, Inc. and shall not be used or reproduced in whole or in part without written authorization.
6. This survey is made for the exclusive use of the certified hereon, to be valid one year from the date of survey as shown hereon.
7. The flood zone information shown hereon is for the dwellable structure only unless otherwise indicated.
8. The location of overhead utility lines are approximate in nature due to their proximity above ground, size, type and quantity must be verified prior to design or construction.

FLOOD INFORMATION:

Community name and number: Delray Beach 125102
Map and panel number: 12011C0979F
Panel date: 10-05-17
Index date: 10-05-17
Flood zone: "X"
Base flood elevation: N/A

BENCHMARK INFORMATION:

Palm Beach County Benchmark 14.264(SRD)
Elevation = 12.726'NAVD1988

DATE OF FIELD SURVEY 12-04-18		DRAWN BY: MLW	
FIELD BOOK: A5-SU-16-3897		CHECKED BY: MLW	
REVISIONS		DATE	BY
ADD WALK WIDTHS		12-18-18	MLW
REVISE SKETCH TO INCORPORATE 50' FROM NORTH PROPERTY LINE 12-18-18			MLW

CERTIFY TO:

Granite Worthing LLC

CERTIFICATION:

This is to certify that this above ground sketch of boundary survey was made under my responsible charge and is accurate and correct to the best of my knowledge and belief. I further certify that this sketch meets the current Standards of Practice, established by the Board of Professional Surveyors and Mappers, Chapter 55-17, Florida Administrative Codes, pursuant to current Section 472.021, Florida Statutes.