



Development Services: Planning and Zoning Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Commons-Taco Bell

Project Location: 5070 West Atlantic Avenue

Request: Class IV Site Plan Modification, Architectural Elevations, Landscape Plans, Murals

Board: Site Plan Review and Appearance Board

Meeting Date: January 9, 2019

Board Action:

Approved with a 6-0 vote on each of the following requests: Class IV Site Plan Modification, Architectural Elevations, Landscape Plans and Murals.

Project Description:

The project is located at 5070 West Atlantic Avenue within a 1.18 acre outparcel located in Delray Commons. The Applicant is proposing to develop 0.625 acres of the outparcel. It is noted that future development is planned in the remaining area of the outparcel. This proposal is for a 2,053 sf restaurant with drive-thru service, associated parking and landscaping. A mural has been proposed for the East and West Façades of the restaurant. The parcel is located within the Four Corners Overlay District of the Planned Commercial (PC) Zoning District. The site has a Future Land Use Map (FLUM) of General Commercial (GC).

The project is associated with an approved Master Development Plan for Delray Commons. A waiver to reduce the structure size was granted during the Master Development Plan review process. The site improvements include the removal of the existing bank and parking to accommodate the proposed building, parking, and landscaping. Although existing parking will be removed for the construction of the project, the proposed parking, plus the remaining existing parking provides a surplus of parking per the Master Development Plan parking requirements. The removal of impervious area within the subject parcel increases the percentage of open space area within the shopping center and exceeds the required open space requirements for the subject parcel. The applicant has brought forth a design to individualize the chain restaurant to reflect Delray Beach with the architectural design and the introduction of the murals and therefore, bring needed freshness to the center. Some elements of the proposed structure such as earth tones and tower elements, are similar design features with the existing shopping center and create a visually harmonious addition to the center.

Board Comments:

Board comments supportive of the requests.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

N/A

Next Action: The Site Plan Review and Appearance Board action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: January 9, 2019

File No.: 2017-173-
SPI-SPR-CL4

Application Type: Class IV Site Plan, Landscape Plan,
Architectural Elevations and Murals – Taco Bell

General Data:

Agent/Applicant: Eduardo Carcache, CKE Group, Inc.

Owner: Lot5070, LLC

Location: 5070 W. Atlantic Avenue, Delray Commons

PCN: 12424614240020000

Property Size: 1.18 Acres

FLUM: GC (General Commercial)

Zoning: PC (Planned Commercial), Four Corners Overlay
District

Adjacent Zoning:

- North: PC
- South: PC
- East: PC
- West: PC

Existing Land Use: Vacant bank with drive-thru service.

Proposed Land Use: 2,053 SF restaurant with drive-thru
service.

Item before the Board:

The action before the Board is the consideration of a Class
IV Site Plan Modification application for the Taco Bell at
Delray Commons pursuant to LDR Section 2.4.5 (G),
including the following:

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations
- ☐ Murals



Staff Recommendations:

Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

Landscape Plan:

Move approval of the Landscape Plan for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

Project Planner:

Christine Stivers, Senior Planner;
stiversc@mydelraybeach.com,
561-330-6056

Review Dates:

SPRAB Board: January 9, 2019

Attachments:

1. Site Plans
2. Elevations/Murals
3. Landscape Plan
4. Project Narrative
5. Master Development Plan



Architectural Elevations:

Move approval of the Architectural Elevations for **Taco Bell at Delray Commons**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

Murals:

Move approval of the Murals for **Taco Bell at Delray Commons** by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Section 4.6.18(E).

Background:

The subject parcel, also known as a portion of Tract 2 of the Delray Commons Shopping Center, P.B. 85, Page 183, was approved in August of 1999 to create separate, saleable tracts. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, ingress, and parking and drainage easements, as recorded on June 1, 1999 in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 sf of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 sf bank with drive-thru area and associated parking.

The site has a General Commercial (GC) Future Land Use Map designation and a zoning designation of Planned Commercial (PC). In 2007, the Four Corners Overlay District was created for the intersection of South Military Trail and West Atlantic Avenue which included the subject property. All development within the Four Corners Overlay District shall process a Master Development Plan. Additionally, Four Corners Overlay District has a minimum structure size of 4,000 sf. A waiver was requested to reduce the minimum floor area from 4,000 sf to 2,053 sf.

On September 17, 2018, the Planning and Zoning Board approved a Master Development Plan Modification (MDPM) for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

Project Description:

The application request includes a Class IV Site Plan Modification and associated Architectural Elevations and Landscape Plans, to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking. Murals are proposed on the east and west side of the proposed structure. The site improvements include the removal of the existing bank and parking lot to accommodate the proposed building, parking, and landscaping. 0.625 acres of the 1.18 acres contained in Tract 2 are proposed to be developed with this application. It is noted that future development is planned in the remaining area of Tract 2.

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

The subject property is zoned within the PC Zoning District, in the Four Corners Overlay District. The Four Corners Overlay District is subject to the standards of the GC Zoning District. The following chart provides the applicable Development Standards for Delray Commons Shopping Center (the Master Development Plan), as well as the Taco Bell site, as provided in LDR Sections 4.4.9, GC Zoning District applicable to the Four Corners Overlay District, Section 4.4.12, PC Zoning District, and Section 4.3.4(K), Development Standards. Pursuant to LDR Section 4.4.9(G)(3)(e)(1)(a), where standards unique to the Four Corners Overlay District conflict with standards contained elsewhere in the zoning code, that unique standard shall apply.

	Required	Provided as noted	Tract 2 leased area (Taco Bell)
PC Zoning District, Development Standards			
Open Space (Minimum for MDP) Delray Commons	25%	24.33%	
Open Space (Minimum) -Tract 2	25%	58.50%	25.6%
Front Setback (Minimum): West Atlantic Avenue	30'	30'	30'
GC Zoning District, Development Standards for the Four Corners Overlay District			
Site Area (Minimum for MDP) Delray Commons	4 acres	8.37 acres	
Lot Coverage (Maximum for MDP) Delray Commons	75%	75.67%	



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Lot Coverage (Maximum) -Tract 2	75%	41.50%	74.4%
Front Perimeter Landscape Buffer (Minimum): West Atlantic Avenue	21'	10' plus existing access road to remain	
Floor Area (Minimum square feet): Tract 2	4,000 sf	2,053 sf*	2,053 sf

* Waiver granted 9/17/2018 by PZB.

The information provided in the chart above includes Delray Commons Shopping Center as well as site specific information for Tract 2 and the leased area for the Taco Bell development. Any future site construction or substantial footprint changes within Tract 1 and Tract 2 must be processed under the Four Corners Overlay District site development and setback requirements.

Four Corners Overlay District, Supplemental Regulations:

Pursuant to LDR Section 4.4.9(G)(3), a restaurant with drive-thru service is permitted per Sections 4.4.9(B)(4).

Lighting:

The proposed lighting consists of wall fixtures on the building and freestanding poles within the parking area. The proposed values are within the permitted minimum and maximum ranges, which comply with the requirements of LDR Section 4.6.8(B)(3), Illumination Standards.

Minimum Parking Requirements:

LDR Section 4.6.9(C)(3)(e), states that shopping centers shall require 4 spaces per 1,000 sf of gross leasable floor area, irrespective of uses, for up to 400,000 sf. Delray Commons Shopping Center had an existing total building square footage of 72,949 sf (leasable area not studied) per the previous Master Development Plan. Utilizing the total square footage of the existing buildings, a total of 290 parking spaces are required; 365 spaces are provided. With the proposed development changes, the shopping center building square footage will be reduced to 72,141 sf (as shown on the approved Master Development Plan), which will require 288 parking spaces; 306 spaces are provided.

Refuse Enclosure:

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public rights-of-way. The refuse enclosure does not face a public right of way but faces the interior of the center along a drive aisle. The area is enclosed on three sides and provides gates along the drive aisle. **An updated detail of the refuse enclosure gates shall be provided prior to site plan certification. Gates shall be visually compatible with the site architecture.**

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. A tree disposition plan was included with the landscape plans. Many of the existing trees will remain in their current location or be relocated within the proposed landscape design. The required landscape buffer along West Atlantic Avenue has been enhanced with the inclusion of additional landscape material. Native species were utilized in the proposed design.

Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.



Per LDR Section 4.4.9(G)(3)(e)2, the Four Corners Overlay District requires that any free-standing non-residential structure be architecturally consistent with other structures in the Master Development Plan. The proposed facade elevations illustrate that the elements of the surrounding buildings have been considered. Similar design elements from the adjoining restaurant have been proposed that include a tower entry element, similar earth tone colors and entry awning. Although the center is aging and dated in appearance similar base colors used in the center are utilized on the proposed building.

The elevations are generally in good taste and will not materially depreciate the surrounding environment. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

Mural Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The building is within the Delray Commons Shopping Center. A mural is proposed on the east and west facades of the structure. The larger mural, located on the west facade of the building, will be painted on fiber cement panels. The size is approximately 16-feet tall by 28-feet in length. The mural located on the eastern façade, along the drive-thru lane, will be painted on dibond panel and is approximately 11-feet tall by 21-feet in length. Both murals appear to be of similar content and color. The mural contains graphics of beach images as well as text in Spanish.

With respect to the murals, staff believes the scale and proportion are adequate on the western façade but could be larger on the eastern façade. The murals do not appear to have Taco Bell branding within the content so they will not be classified as signage. As stated previously, the center is aging and dated in its architectural style. Staff believes the applicant has brought forth a design to individualize the chain restaurant to reflect Delray Beach with the architectural design and the introduction of the murals and therefore, bring needed freshness to the center. Because the murals are located on the east and west facades, they will not face public rights of way.

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

A positive finding of concurrency was made with the review of the Master Development Plan Modification, including a positive concurrency finding for streets and traffic by the Palm Beach County Traffic Division.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(G)(5)



for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

As described in Appendix A, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

LDR Section 2.4.5(G) (5) - Compatibility (Site Plan Findings): the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the Master Development Plan for the proposed restaurant:

	Adjacent Zoning	Adjacent Land Use
North	Planned Commercial (PC)	Marketplace at Delray Shopping Center
East	General Commercial (GC) and PC	Gasoline Station, Delray West Shopping Plaza, Bank, Vacant Land and Dunkin Donuts
South	Multiple Family Residential (RM-8)	Gramercy Square
West	PC	Jiffy Lube, Firestone, Various Services and Facilities

The proposed improvements at the Delray Commons Shopping Center are consistent with the PC Zoning district, which allows uses permitted within the Four Corners Overlay District per Section 4.4.9, GC zoning district. The adjacent developments consist of both commercial and residential uses, which have previously been considered as consistent with the center, and no adverse effects are anticipated with the continuation of the current use of the site. Therefore, a positive finding can be made with regard to LDR Section 2.4.5(G)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties.

Comprehensive Plan Policies: A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property will remain consistent with the GC zoning designation and the Four Corners Overlay District. While the Four Corners Overlay District encourages more intense development incorporating mixed-use development, it not inconsistent with it by further developing the site and providing additional commercial opportunities for the city's residents and visitors.

Review by Others:

The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA).

Courtesy Notice:



Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- The Hamlet

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

Assessment and Conclusion:

The proposed development is consistent with the policies of the Comprehensive Plan and can be found consistent the Land Development Regulations upon approval of the associated waiver. Also, a positive finding can be made with respect to LDR Section 2.4.5(G)(5), Findings, as the proposed development does not significantly affect surrounding properties. The proposed development within Delray Commons Shopping Center expands on the Center's current uses, improvements are appropriate and will not impact the Center's previously found compatibility with the surrounding area. While the proposed development minimum structure size is less than envisioned in the Four Corners Overlay District, the use is permitted and harmonious with the surrounding shopping center.

Alternative Actions:

- Continue with direction.
- Move approval of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E) and Chapter 3, Performance Standards, of the Land Development regulations.
- Move denial of the Class IV Site Plan Modification (2017-173), Landscape Plan, Architectural Elevations and Murals for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E), and Chapter 3, Performance Standards, of the Land Development regulations.

Recommended Actions:

By Separate Motions:

Site Plan:

Move approval of the Class IV Site Plan Modification (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(G)(5) and Chapter 3 of the Land Development Regulations.

Landscape Plan:

Move approval of the Landscape Plan (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue by adopting the findings of fact and law contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Section 4.6.16.

Architectural Elevations:

Move approval of the Architectural Elevations (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 2.4.5(I)(5), Section 4.6.18(E) of the Land Development Regulations.



Murals:

Move approval of the Murals (2017-173) for **Taco Bell at Delray Commons** located at 5070 West Atlantic Avenue, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in 4.6.18(E) of the Land Development Regulations.

NOTES:

If the site plan and associated plans are approved, the following must be addressed prior to site plan certification or building permit issuance, as noted:

1. Prior to site plan certification, provide a note on the plans that all signage is to be approved by separate permit.
2. Prior to site plan certification provide an updated detail of the refuse enclosure gates as they front a drive aisle. Gates shall be visually compatible with the site architecture.
3. Prior to site plan certification provide fire code reference –Florida Fire Prevention Code 6th Edition – Florida Specific NFPA-1 fire code, 2015 Edition and Florida Specific NFPA 101, Life Safety Code, 2015 Edition on the site plan.
4. Prior to building permit issuance, provide the South Florida Water Management District Permit or permit modification.
5. Prior to building permit issuance, provide the Lake Worth Drainage District or confirmation that no permit is needed.
6. Prior to building permit issuance, provide a Composite Utility Plan signed by a representative of each utility company.
7. Prior to building permit issuance, provide details for fire place, including fuel source (manufacturers specifications, installation manuals, etc. should be provided at time of permit application submittal.

Staff Report Prepared by: *Christine Stivers, Senior Planner*



APPENDIX "A"-CONCURRENCY FINDINGS:

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: The site will connect to an existing 8" water main which transverses through the property and connects within the West Atlantic Avenue right-of-way.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic: A traffic study has been submitted that indicates that the proposed development will generate 4,139 daily trips, whereas the original MDP approval provided for 4,005 daily trips, therefore, there is an increase of 134 daily trips. A finding of concurrency has been received from the Palm Beach County Traffic Division.

Parks and Recreation Facilities: Park dedication requirements do not apply to non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste: The existing shopping center use (71,748 sq. ft.), which includes all development on the two parcels, generated 261.88 tons of solid waste per year. The proposed improvements decrease the square footage to 70,801 sf therefore the shopping center will generate 258 tons of solid waste per year. The development proposal will result in a 4 ton decrease. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2048.

Drainage: Drainage will be accommodated on site. There are no problems anticipated to bring the site into compliance with South Florida Water Management District (SFWMD) requirements in efforts to obtain a surface water permit.

Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.

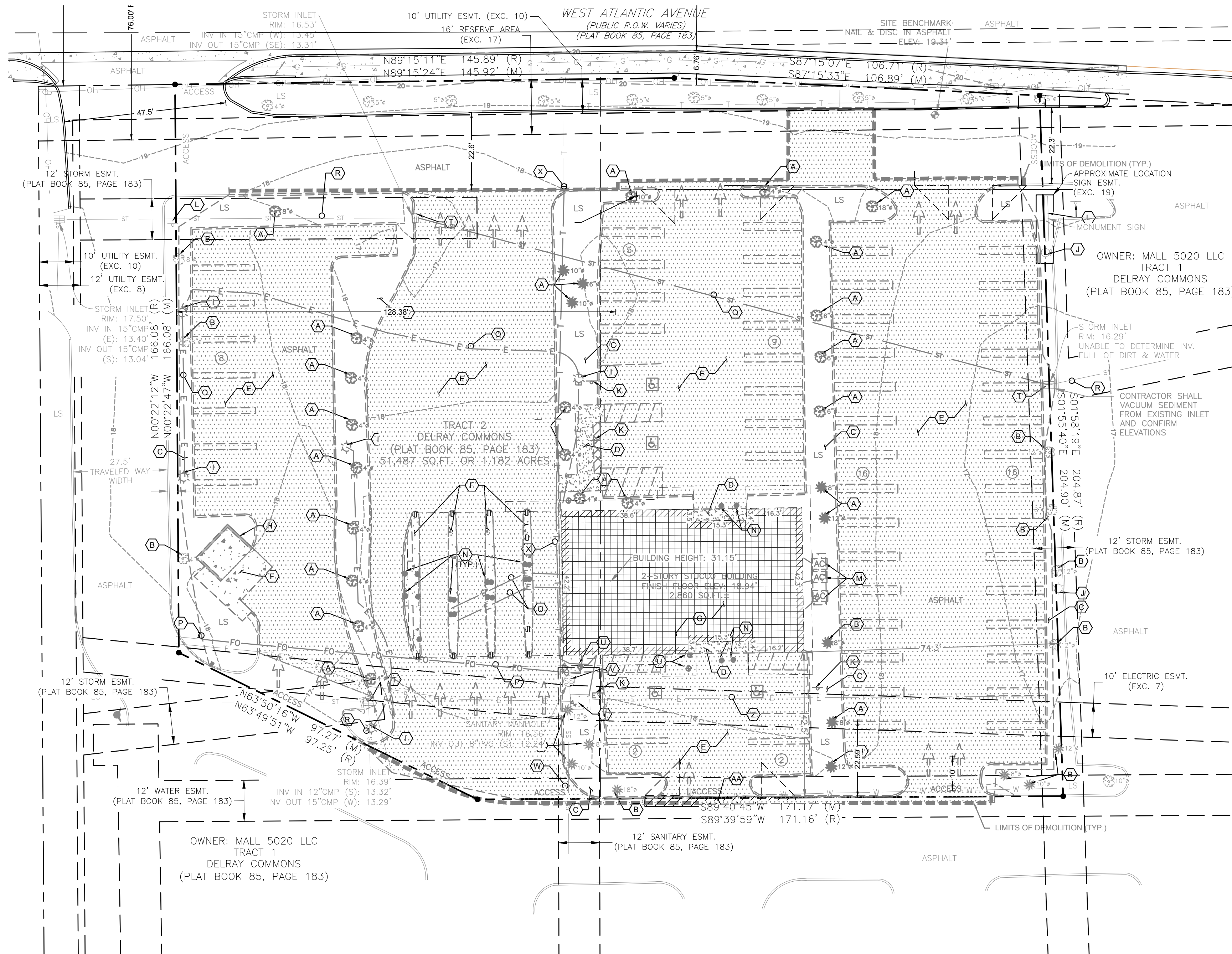


APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent



- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
 - ☒ Meets intent of standard
 - ☐ Does not meet intent
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable
 - ☒ Meets intent of standard
 - ☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable
 - ☐ Meets intent of standard
 - ☐ Does not meet intent

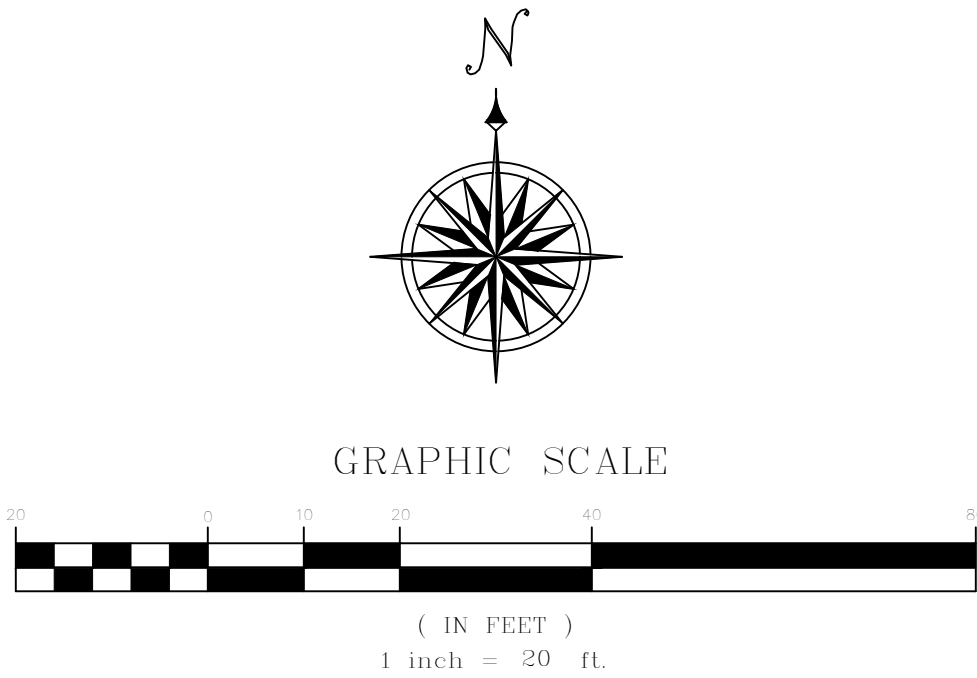


DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
11. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE BUILDING AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
12. DAMAGE TO ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

KEYED NOTES: ○

- A. EXISTING TREE TO BE REMOVED.
- B. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE PER DETAIL SHEET CD-3.
- C. EXISTING 7,500 S.F. LANDSCAPED AREA TO BE CLEARED AND GRUBBED. (TYP.)
- D. EXISTING SIDEWALK TO BE REMOVED.
- E. EXISTING ASPHALT AND CURBING TO BE REMOVED.
- F. EXISTING CONCRETE TO BE REMOVED.
- G. EXISTING BUILDING, INCLUDING CANOPIES, OVERHANGS, SUPPORT COLUMNS ETC. TO BE REMOVED.
- H. EXISTING DUMPSTER AND DUMPSTER ENCLOSURE TO BE REMOVED.
- I. EXISTING AREA LIGHT TO BE REMOVED.
- J. EXISTING AREA LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING SIGN TO BE REMOVED.
- L. EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- M. EXISTING MECHANICAL EQUIPMENT TO BE REMOVED.
- N. EXISTING BOLLARD TO BE REMOVED.
- O. EXISTING ELECTRICAL LINE TO BE REMOVED.
- P. EXISTING FIBER OPTIC CABLE TO BE REMOVED. PROVIDE CAP AT DEMOLITION LIMITS.
- Q. EXISTING STORM SEWER LINE TO BE REMOVED.
- R. EXISTING STORM SEWER LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- S. EXISTING STORM SEWER INLET TO BE REMOVED.
- T. EXISTING STORM SEWER INLET TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- U. EXISTING SANITARY SEWER STRUCTURE TO BE REMOVED.
- V. EXISTING SANITARY SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- W. EXISTING SANITARY SEWER LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- X. EXISTING TELEPHONE LINE TO BE REMOVED. PROVIDE CAP AT DEMOLITION LIMITS.
- Y. EXISTING TRANSFORMER TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Z. EXISTING ELECTRIC LINE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AA. 3' WIDE MILL AND OVERLAY THIS AREA. REFER TO DETAIL ON SHEET CD-3.



- EXISTING CONCRETE SIDEWALK TO BE REMOVED (300± S.F.)
- EXISTING ASPHALT TO BE REMOVED (32,000± S.F.)
- EXISTING CONCRETE TO BE REMOVED (900± S.F.)
- EXISTING BUILDING TO BE REMOVED (2,860± S.F.)
- LIMITS OF SAWCUT AND PAVEMENT REMOVAL

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EB#0004432

SEAL

EDUARDO L. CARCACHÉ

CIVIL ENGINEER-PE 31914

ANA A. GONZALEZ VALDEZ

ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△		
△		
△		
△		
△		
△		
△		
△		
△		
△		

CONTRACT DATE:

BUILDING TYPE:

CUSTOM

PLAN VERSION:

1

SITE NUMBER:

309797

STORE NUMBER:

420630

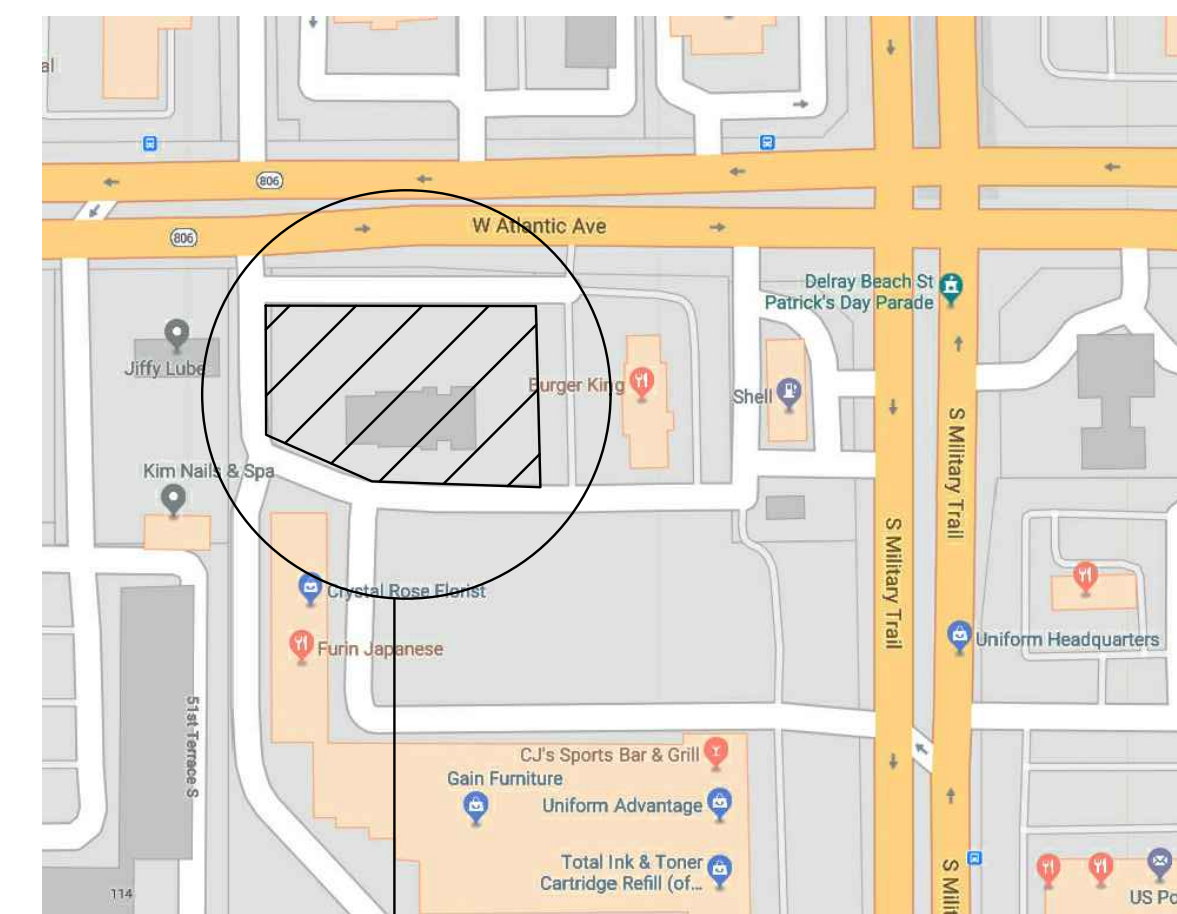
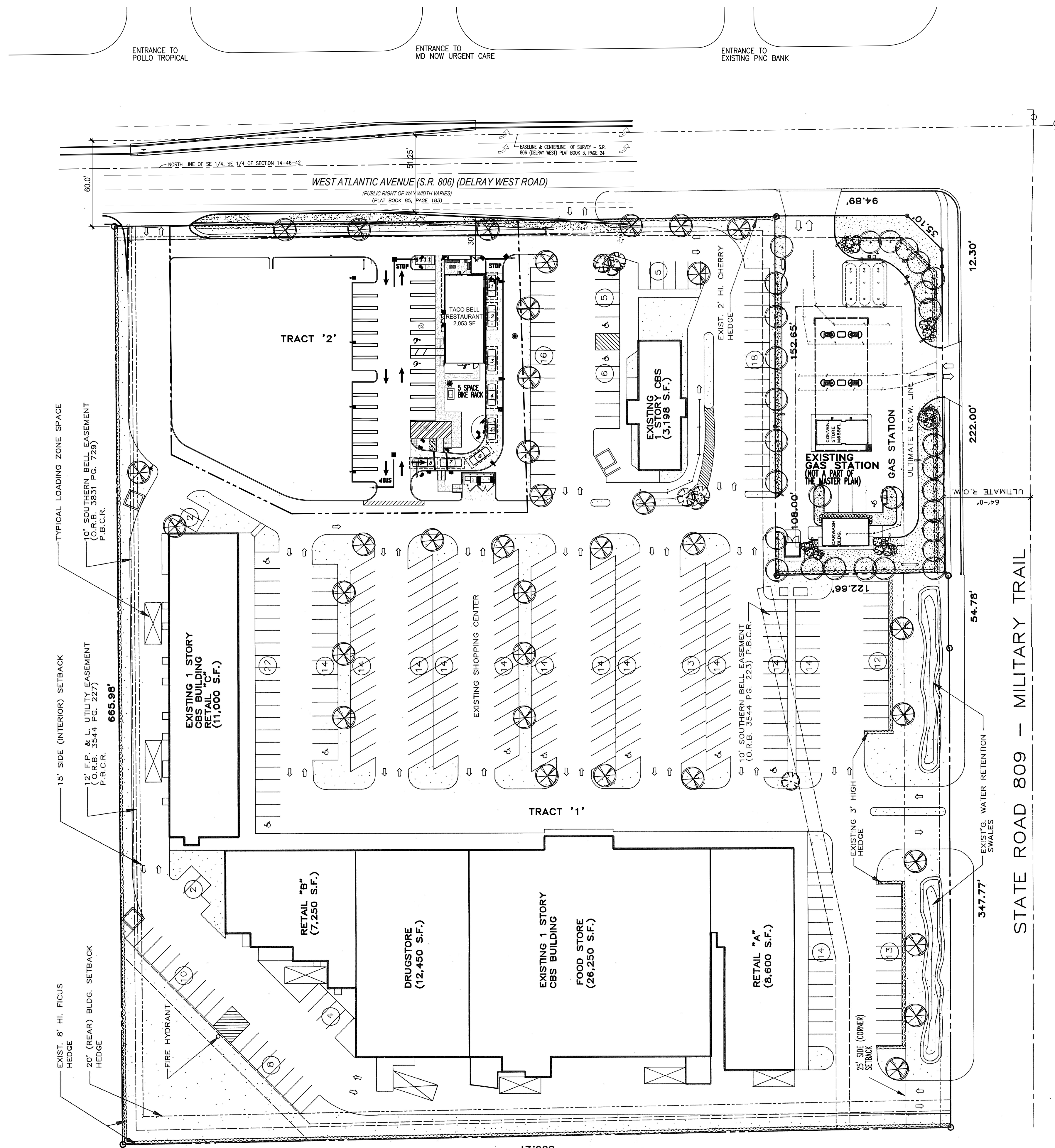
TACO BELL

5070 W. Atlantic Ave.
Delray Bch., FL


T-40
OPEN KITCHEN
DELRAY BEACH SOL
DEMOLITION
PLAN

D-1

PLOT DATE: 12-06-2018



LOCATION SKETCH
NOT TO SCALE

DELAY COMMONS OVERALL SITE DATA CHART

	TOTAL	TRACT 1	TRACT 2
TOTAL PARCEL AREA (MASTER DEVELOPMENT PLAN TOTAL AREA)	367,898.00 SF / 8.446 Ac.	316,410.00SF / 7.263 Ac.	51,488 SF / 1.182 Ac.
TOTAL BUILDING AREA (LOT COVERAGE)	72,141.58 SF / 1.656 Ac. (19.61%)	70,088.58 SF (22.15%)	2,053 SF (3.99%)
TOTAL LANDSCAPE (OPEN SPACE)	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
TOTAL PAVED AREA & WALKS	206,260.83SF / 4.735 Ac. (56.06%)	186,947.91 SF (59.08%)	19,312.92 SF (37.51%)
PREVIOUS AREA	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
IMPERVIOUS AREA	278,402.50 SF / 6.391Ac. (75.67%)	257,036.58 SF (81.24%)	21,365.92 SF (41.50%)

PERIMETER BUFFER

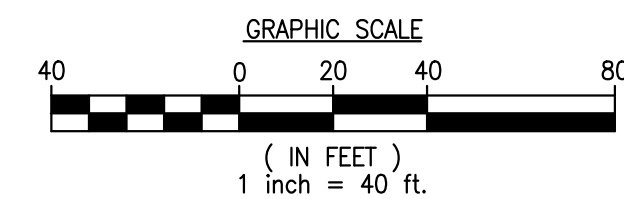
	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	21 FT.	10 FT. (PLUS ACCESS ROAD, NON-COMPLIANT)
EAST SIDE - MILITRAY TRAIL	10 FT.	16.47 FT.
SOUTH SIDE - REAR	10 FT.	22.99 FT.
WEST SIDE - SIDE	10 FT.	128.38 FT.

SETBACKS

	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	30 FT.	30.00 FT.
* EAST SIDE - MILITRAY TRAIL	25 FT.	112.98 FT.
* SOUTH SIDE - REAR	20 FT.	42.83 FT.
* WEST SIDE - SIDE	15 FT.	37.29 FT.

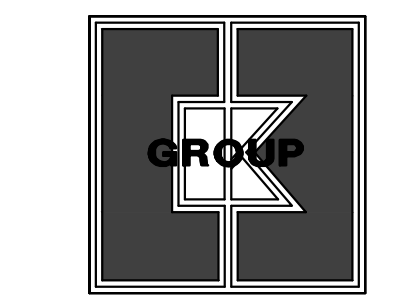
* NEW DEVELOPMENT IN THESE AREAS WILL ADHERE TO FOUR CORNERS SETBACK REQUIREMENTS.

NOTES:
1. MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.
2. WAIVER TO LDR SECTION 4.4.9(G)(3)(R)(2), MINIMUM STRUCTURE SIZE, TO REDUCE THE MINIMUM FLOOR AREA FROM 4,000 S.F. TO 2,053 WAS APPROVED BY THE PLANNING AND ZONING BOARD ON SEPT. 17, 2018.



MASTER DEVELOPMENT
PLAN OF DELRAY
COMMONS

1"=40'-0"



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SEAL

EDUARDO L. CARCACHE

CIVIL ENGINEER-PE 31914

ANA A. GONZALEZ VALDEZ

ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	(NEW SHEET)
△	09-05-18	
△	12-05-18	
△		
△		
△		
△		

CONTRACT DATE:

BUILDING TYPE: CUSTOM

PLAN VERSION: 1

SITE NUMBER: 309797

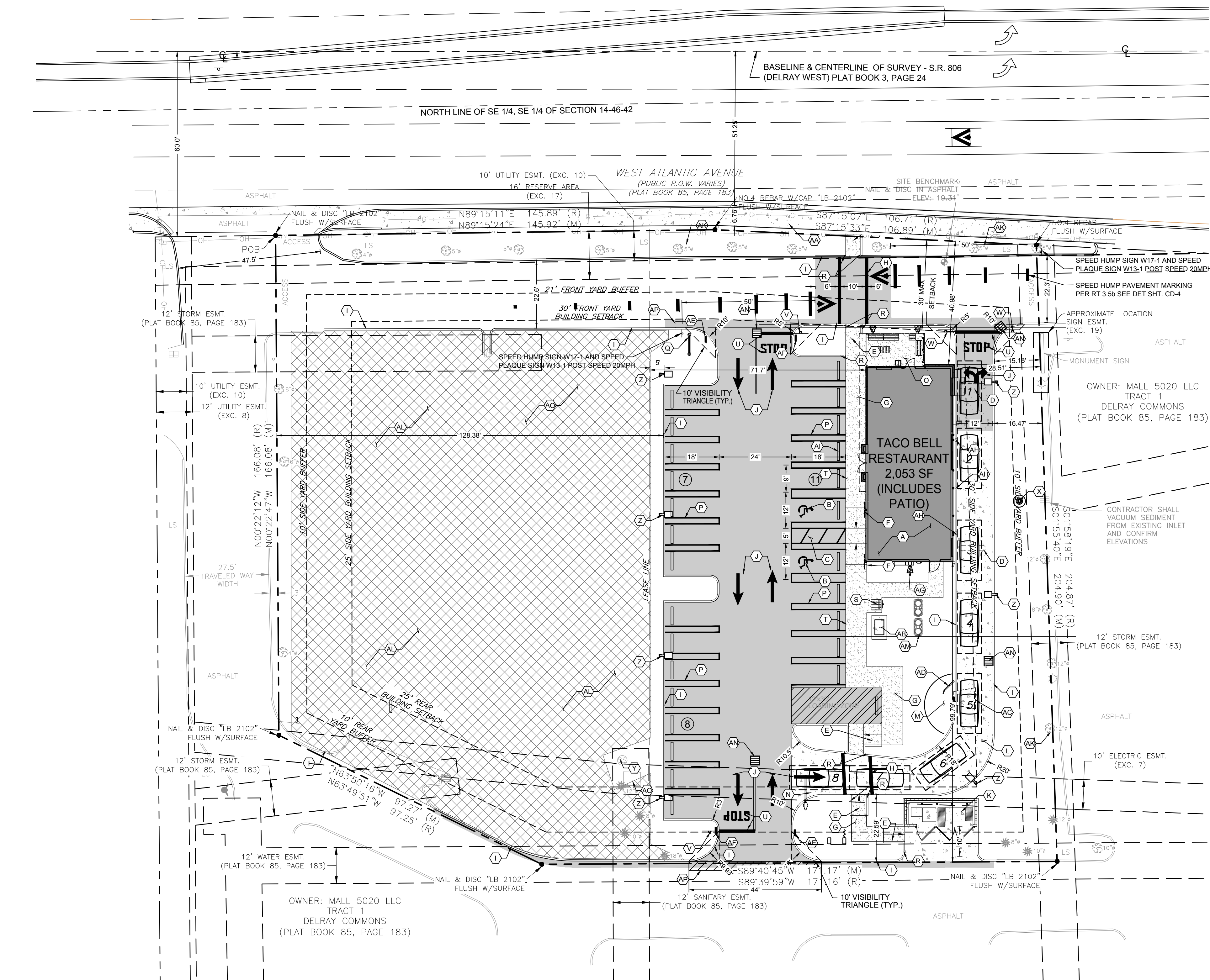
STORE NUMBER: 420630

TACO BELL
5070 W. Atlantic Ave.
Delray Bch., FL



C-0.2
MASTER DEVELOPMENT PLAN
POST CONSTRUCTION

PLOT DATE: 12-06-2018



SITE DATA TABLE

PARCEL ID No.	12-42-46-14-24-002-0000
CURRENT ZONING	PLANNED COMMERCIAL (PC) FOUR CORNERS OVERLAY DISTRICT
EXISTING USE	RETAIL BANK WITH DRIVE-THRU SERVICE
PROPOSED USE	RESTAURANT INCLUDING DRIVE-IN AND DRIVE-THRU (PERMITTED PER ZONING SECTION 4.4.9 (B)(4)(a))
TOTAL PARCEL AREA	27,280 SF / 0.625 AC (LEASE AREA ONLY)
EXISTING IMPERVIOUS AREA	23,139 SF / 0.53 AC (64.8%) (LEASE AREA ONLY)
EXISTING OPEN SPACE	4,140 SF / 0.095 AC (15.2%) (LEASE AREA ONLY)
PROPOSED IMPERVIOUS AREA	20,304 SF / 0.466 AC (74.4%) (LEASE AREA ONLY)
PROPOSED OPEN SPACE	6,976 SF / 0.160 AC (25.6%) (LEASE AREA ONLY)
MAXIMUM IMPERVIOUS AREA	21,780 SF / 0.50 AC (80%)

BUILDING DATA TABLE

	EXISTING	PROPOSED
BUILDING SIZE	2,860 SF	2,053 SF
BUILDING COVERAGE	2,860 SF / 0.0663 AC (5.53%)	2,053 SF / 0.0471 AC (7.53%)
	ALLOWABLE	PROPOSED
BUILDING HEIGHT	48 FEET	28 FEET
SETBACKS	REQUIRED BUILDING	REQUIRED BUILDING
FRONT (W. ATLANTIC)	30 FEET	21 FEET
SIDE (EAST)	25 FEET	10 FEET
SIDE (WEST)	25 FEET	10 FEET
REAR (SOUTH)	25 FEET	10 FEET

PARKING TABLE

	REQUIRED (SEE BELOW)	PROVIDED
STANDARD (9' x 18')	23 SPACES	24 SPACES
ADA (12' x 18')	2 SPACES	2 SPACES
TOTAL	25 SPACES	26 SPACES
LOADING ZONE	12'X30'	12'X30'

NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS: LD 1.1 & LD 1.2. REFER TO LANDSCAPE PLANS.

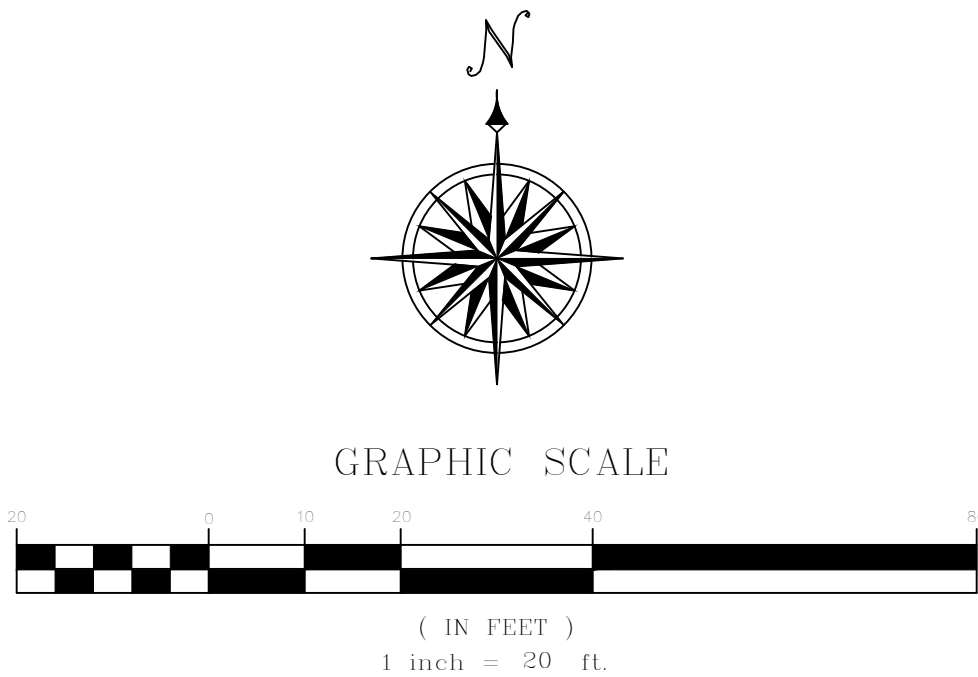
NOTES:
1. MDP HAS EXISTING CROSS ACCESS AND DRAINAGE EASEMENTS WHICH ARE TO REMAIN.
2. WAIVER TO LDR SECTION 4.4.9(G)(3)(R)(2), MINIMUM STRUCTURE SIZE, TO REDUCE THE MINIMUM FLOOR AREA FROM 4,000 S.F. TO 2,053 WAS APPROVED BY THE PLANNING AND ZONING BOARD ON SEPT. 17, 2018.

KEYED NOTES:

- A. PROPOSED TACO BELL RESTAURANT. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- B. PROPOSED ACCESSIBLE PARKING STALL MARKINGS. REFER TO SHEET CD-1 FOR DETAIL.
- C. PROPOSED STRIPED ACCESSIBLE ACCESS AISLE. REFER TO SHEET CD-1 FOR DETAIL.
- D. PROPOSED DRIVE THRU WINDOW SENSOR LOOP.
- E. PROPOSED ACCESSIBLE CURB RAMP. REFER TO SHEET CD-3 FOR DETAIL.
- F. PROPOSED STANDARD ACCESSIBLE PARKING SPACE SIGNAGE. REFER TO SHEET CD-1 FOR DETAILS.
- G. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- H. PROPOSED 6" WIDE CROSSWALK WITH 24" WHITE STRIPING SPACED 3' ON CENTER. REFER TO SHEET CD-1 FOR DETAIL.
- I. PROPOSED 'TYPE D' CONCRETE CURB. REFER TO SHEET CD-2 FOR DETAILS.
- J. PROPOSED PAINTED TRAFFIC ARROWS. REFER TO SHEET CD-1 FOR DETAILS.
- K. PROPOSED DUMPSTER PAD AND ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAIL.
- L. PROPOSED CONCRETE DRIVE-THRU LANE. REFER TO SHEET CD-2 FOR DETAILS.
- M. PROPOSED PROTOTYPICAL LANDSCAPE FOCAL POINT PER TACO BELL STANDARDS. REFER TO LANDSCAPE PLANS FOR DETAILS.
- N. PROPOSED PROTOTYPICAL CLEARANCE BAR. REFER TO SHEET CD-1 FOR DETAILS.
- O. PROPOSED OUTDOOR PATIO AND SEATING. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- P. PROPOSED SIX (6) INCH WIDE WHITE PARKING SPACE STRIPING. REFER TO SHEET CD-1 FOR DETAILS.
- Q. PROPOSED PROTOTYPICAL TACO BELL FREESTANDING SIGN. SIGN TO BE DESIGNED AND PERMITTED BY OTHERS UNDER SEPARATE COVER. CONTRACTOR TO COORDINATE WITH APPROVED SIGNAGE VENDOR FOR INSTALLATION REQUIREMENTS.
- R. PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-2 FOR DETAIL.
- S. PROPOSED BIKE RACK. REFER TO SHEET CD-2 FOR DETAILS. (5 SPACES MIN.)
- T. PROPOSED TURNED DOWN CONCRETE CURB AND SIDEWALK. REFER TO SHEET CD-2 FOR DETAILS.
- U. PROPOSED PAINTED 'STOP' AND 'STOP BAR'. REFER TO SHEET CD-1 FOR DETAILS.
- V. PROPOSED 'STOP' SIGN. REFER TO SHEET CD-1 FOR DETAIL.
- W. PROPOSED 'STOP' AND 'DO NOT ENTER' SIGNS. REFER TO SHEET CD-1 FOR DETAIL.
- X. PROPOSED STORM SEWER MANHOLE. REFER TO SHEET CD-3 FOR DETAILS.
- Y. EXISTING SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Z. PROPOSED SITE LIGHTING. REFER TO SHEET E1.0 AND E1.1 FOR DETAILS.
- AA. EXISTING SIDEWALK TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AB. PROPOSED CONCRETE TRANSFORMER PAD TO BE INSTALLED BY FLORIDA POWER AND LIGHT. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
- AC. PROPOSED OCB/CANOPY. REFER TO SHEET CD-1 FOR DETAILS.
- AD. PROPOSED MENU BOARD. REFER TO SHEET CD-1 FOR DETAILS.
- AE. PROPOSED TACO BELL 'ENTER' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AF. PROPOSED TACO BELL 'EXIT' SIGN. REFER TO SHEET CD-2 FOR DETAILS.
- AG. PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
- AH. PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
- AI. PROPOSED CONCRETE WHEEL STOP. TYP. OF 9. REEFER TO SHEET CD-3 FOR DETAILS.
- AJ. PROPOSED CONCRETE RAMP. REFER TO SHEET CD-3 FOR DETAILS.
- AK. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- AL. PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.
- AM. PROPOSED SANITARY SEWER GREASE TRAP. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- AN. PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
- AO. EXISTING SPLICE BOX TO REMAIN.
- AP. 3' WIDE MILL AND OVERLAY. REFER TO SHEET CD-3 FOR DETAIL.

SITE NOTES:

- 1. REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
- 2. REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
- 3. REFER TO SHEET C-2 FOR GRADING AND DRAINAGE PLAN.
- 4. REFER TO SHEET C-3 FOR UTILITY PLAN.
- 5. REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
- 6. REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
- 7. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR TO SOD ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
- 9. ANY ADJACENT EXISTING LANDSCAPE MATERIAL DISTURBED DURING CONSTRUCTION SHALL BE REPLACED PER AUTHORITIES HAVING JURISDICTION.
- 10. ALL LANDSCAPE AREAS ARE TO BE IRRIGATED WITH AN UNDERGROUND SYSTEM PROVIDING 100% COVERAGE. IRRIGATION SYSTEM SHALL INCLUDE RAIN SENSORS.



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SEAL
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CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
1	03-02-18	
2	07-26-18	
3	12-05-18	
4		
5		
6		
7		
8		
9		
10		
11		
12		

CONTRACT DATE:

BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

STORE NUMBER:

CUSTOM

1

309797

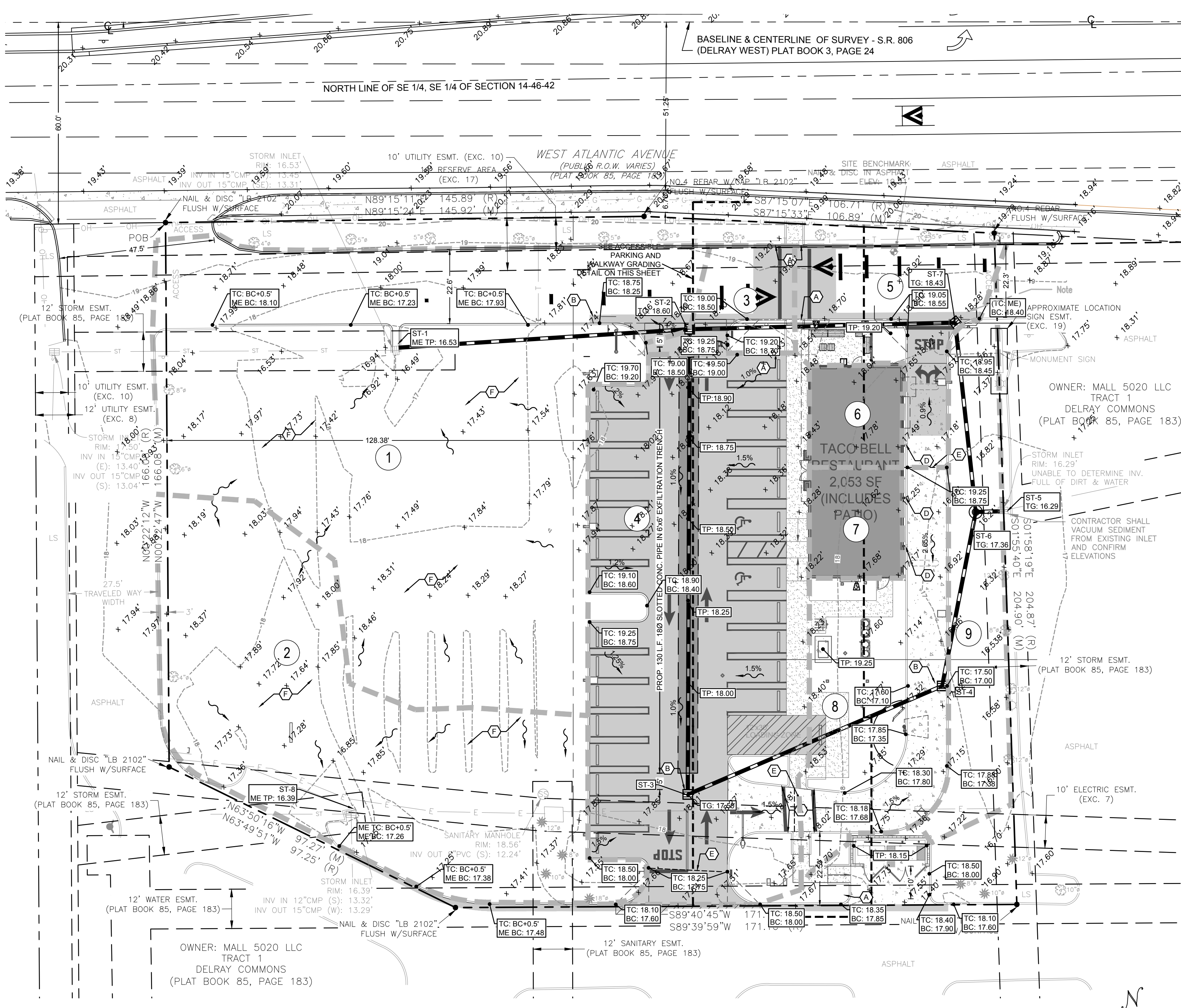
420630

TACO BELL
5070 W. Atlantic Ave.
Delray Bch., FL

TACO BELL
T-40
OPEN KITCHEN
DELRAY BEACH SOL
SITE PLAN

C-1

PLOT DATE: 12-06-2018



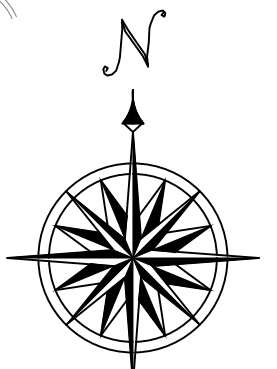
GRADING NOTES:

- REFER TO SHEET CV-2 FOR LEGEND AND GENERAL NOTES.
- REFER TO SHEET CV-2 FOR DEMOLITION NOTES.
- REFER TO SHEET C-3 FOR UTILITY PLAN.
- REFER TO SHEET L-01, L-02 AND L-03 FOR LANDSCAPE PLANS AND DETAILS.
- REFER TO SHEET IR-01 AND IR-02 FOR IRRIGATION PLANS AND DETAILS.
- STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 1% MINIMUM SLOPE IN PAVEMENT AREAS AND 1.5% MINIMUM SLOPE IN UNPAVED AREAS UNLESS OTHERWISE NOTED.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM. SITE BENCHMARK: NAIL AND DISC IN ASPHALT AS SHOWN, WITH AN ELEVATION OF 19.31'.
- THE PROPERTY SHOWN HEREON APPEARS TO BE IN ZONE X500, IN ACCORDANCE WITH THE PALM BEACH COUNTY FLOOD ZONE MAP AND WITH FEMA FIRM MAP No. 120192 0205 B, MAP DATED OCTOBER 15, 1982.
- PER THE WEB SOIL SURVEY OF DELRAY BEACH FLORIDA, THE SITE IS COMPRISED OF MOSTLY MIYAKKA FINE SAND AND A SMALL PERCENTAGE OF IMMOKALEE FINE SAND.

KEYED NOTES:

- PROPOSED 3' LONG 0.5' VERTICAL CURB TRANSITION. REFER TO SHEET CD-3 FOR DETAIL.
- PROPOSED STORM WATER GRATE INLET. REFER TO SHEET CD-3 FOR DETAILS.
- PROPOSED CONCRETE SPLASH BLOCK. REFER TO SHEET CD-3 FOR DETAILS.
- PROPOSED 0.5 FOOT WIDE CURB OPENING FOR ROOF DRAIN TO ADD DAYLIGHT TO GRADE.
- PROPOSED RIDGE LINE.
- PROPOSED DEVELOPMENT TO BE DESIGNED, PERMITTED AND CONSTRUCTED BY OTHERS.

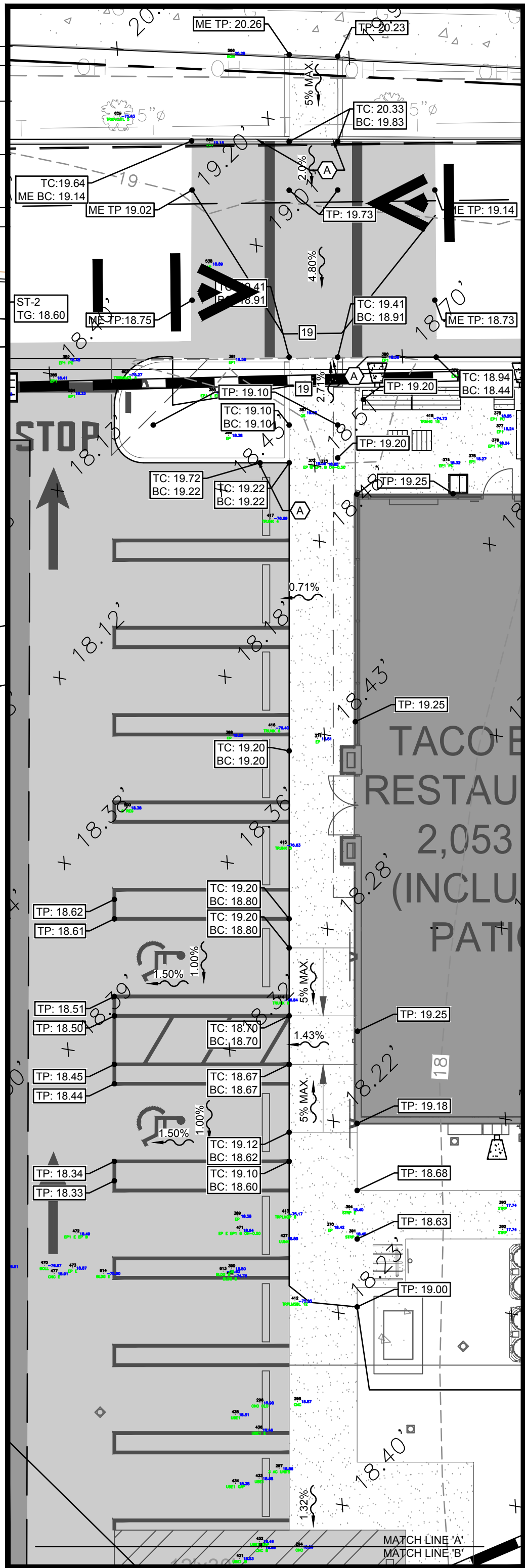
NOTE:
ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER, OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS. LD 1.1 & LD 1.2. REFER TO LANDSCAPE PLANS.



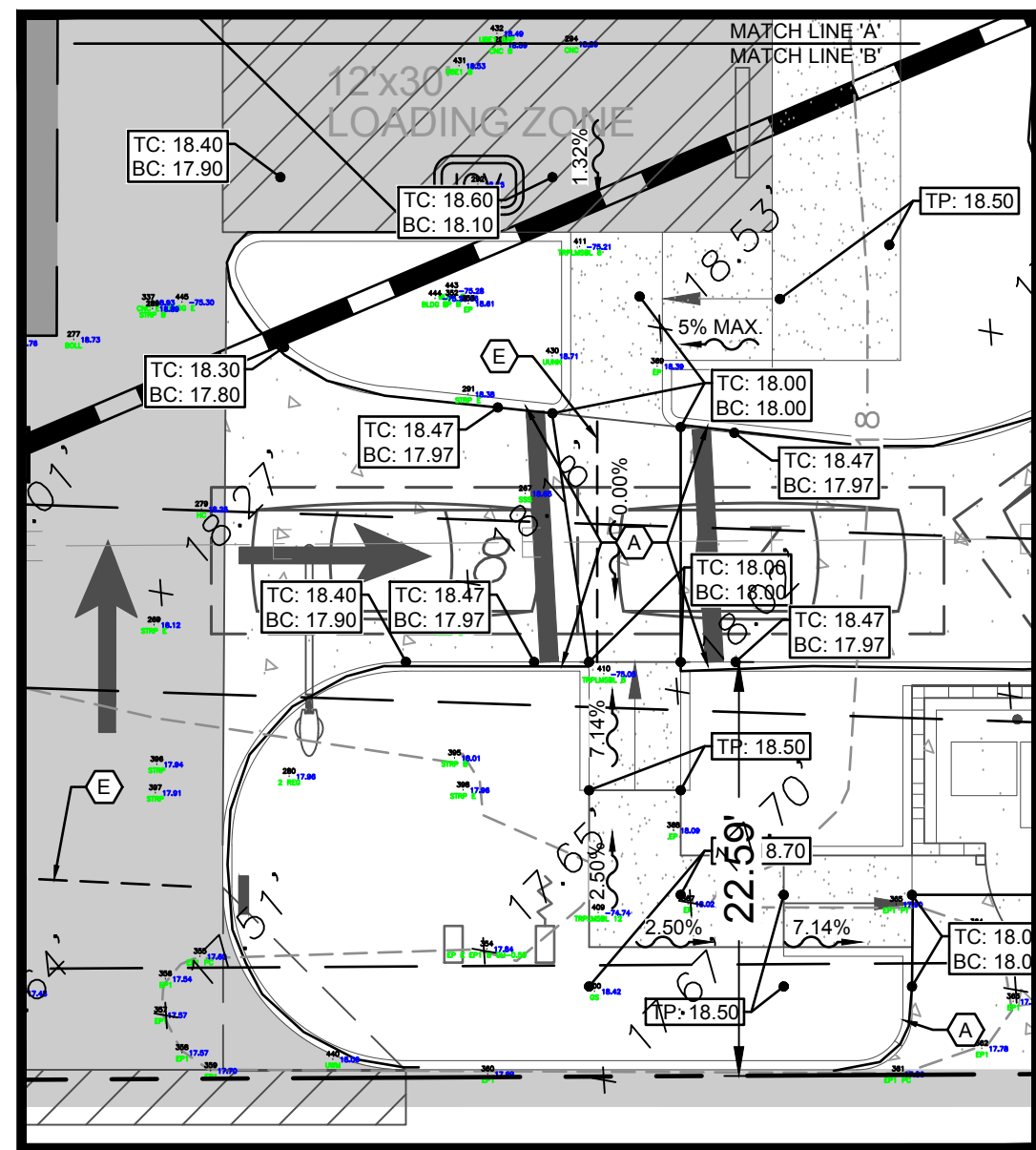
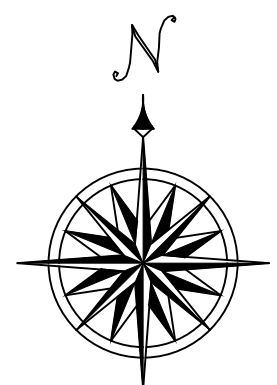
DRAINAGE SCHEDULE

STRUCTURE NUMBER	STRUCTURE TYPE	GRATE/ RIM ELEV.	INVERT ELEV.	DOWNSTEAM PIPE INFORMATION PIPE LENGTH (FEET)	PIPE SIZE/TYPE
ST-1	TYPE C INLET	16.53	13.45 (W) / 13.31 (E)	89	15" HDPE
ST-2	TYPE C INLET	18.60	12.42 (W) / 12.22 (E) 14.5 (S)	81	15" HDPE
ST-3	TYPE C INLET	17.50	12.23 (E) 14.5 (N)	85	15" HDPE
ST-4	TYPE C INLET	17.00	11.38 (W) / 11.18 (N)	55	15" HDPE
ST-5	TYPE C INLET	16.29	10.35 (W) 10.15 (E)	-	15" CMP
ST-6	MANHOLE	17.36	10.63 (N&S) / 10.43 (E)	8	15" HDPE
ST-7	TYPE C INLET	18.43	11.41 (W) / 11.21 (S)	58	15" HDPE
ST-8	TYPE C INLET	16.39	13.32 (S) / 13.29 (W)	-	15" HDPE

*ASSUMED ELEVATION. CONTRACTOR TO CONFIRM.



ACCESSIBLE PARKING AND WALKWAY GRADING DETAIL 1
1"=10'

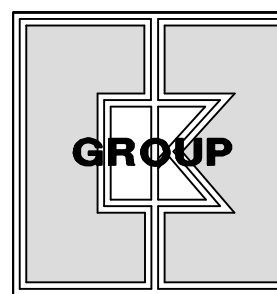


ACCESSIBLE PARKING AND WALKWAY GRADING DETAIL 2
1"=10'

SUBBASIN TABLE					
AREA	SQ FT			ACRES	
	Impervious	Pervious	Total	Impervious	Pervious
1	4,136.3	12,061.7	16,198.0	0.095	0.277
2	369.8	8,895.2	9,265.0	0.008	0.204
3	971.1	72.4	1,043.6	0.022	0.002
4	10,314.7	677.1	10,991.8	0.237	0.016
5	2,275.7	174.2	2,449.9	0.052	0.004
6	894.3	-	894.3	0.021	0.000
7	1,285.4	-	1,285.4	0.030	0.000
8	1,902.6	1,615.9	3,518.5	0.044	0.037
9	-	2,694.3	2,694.3	0.000	0.062

3

LIMITS OF SUB-BASIN
SUB-BASIN



CKE GROUP
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engineering • architecture • planning

15500 NEW BARN ROAD

SUITE 106

MIAMI LAKES, FLORIDA 33014

PHONE: (305) 558-4124

FAX: (305) 826-0619

EB#0004432

SEAL

EDUARDO L. CARCACHÉ

CIVIL ENGINEER-PE 31914

ANA A. GONZALEZ VALDEZ

ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
1	03-02-18	
2	07-26-18	
3	12-05-18	
4		
5		
6		
7		
8		
9		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.

Delray Bch., FL



T-40

OPEN KITCHEN

DELRAY BEACH SOL

GRADING


PLAN

C-2








PLOT DATE: 12-06-2018



15500 NEW BARN ROAD
SUITE 106
MIAMI LAKES, FLORIDA 33014
PHONE: (305) 558-4124
FAX: (305) 826-0619
EB#0004432


 SEAL
 EDUARDO L. CARCACHE
 CIVIL ENGINEER-PE 31914
 ANA A. GONZALEZ VALDEZ
 ARCHITECT-AR 97769



REGION 7 - SOUTHEAST						MATERIALS LEGEND			LANDSCAPE NOTES		
NO.	MATERIAL	QTY	SIZE	HGT.	SP						
①	INDIAN HAWTHORNE RAPHIOLEPIS INDICA 'PINK LADY'	PER PLAN	3 GAL.	12"	12"		①		④		⑦
②	CHINESE HOLLY LLEX CORNUTA	PER PLAN	3 GAL.	15"	15"		②		⑤		
③	SPANISH BAYONET YUCCA ALOIFOLIA	PER PLAN	5 GAL.				③		⑥		
④	DWARF GOLDEN ARBORVITAE THUJA OCCIDENTALIS 'RHEINGOLD'	PER PLAN	5 GAL.	24"	24"						
⑤	LIMESTONE BOULDER SAND -GREY - 6" TO 24"	PER PLAN	6"-24"	N/A							
⑥	GRAVEL MULCH RED GRANITE - 3" AGGREGATE	PER PLAN	3"	N/A							
⑦	STEEL EDGING	PER PLAN	N/A	3" AFG 6" BFG	N/A						

- GRAVEL MULCH SHALL BE CONTINUOUS TO EDGE OF STEEL BORDER & CONCRETE CURB. ALSO UNDER ALL PLANTS
- PROVIDE WEED BARRIER UNDER GRAVEL MULCH
- PROVIDE A INDUSTRY STANDARD DRIP IRRIGATION SYSTEM APPROPRIATE FOR THE SELECTED REGION AND PLANTING TYPES
- PLANTS SHALL BE PLANTED PER REGIONAL BEST PRACTICES INCLUDING BUT NOT LIMITED TO SUPPORT, DEPTH/WIDTH OF PLANTING HOLE AND SOIL AMMENDEMENTS
- SEE SHEET C1.0 AND C1.1 FOR ADDITIONAL TACO BELL SPECIFIC DETAILS INCLUDING THE MENU BOARD, ENTRY PORTALL AND OCB/CANOPY.

CONTRACTOR TO REFER TO LANDSCAPING PLANS FOR
PROJECT SPECIFIC PLANTINGS AND DETAILS

PROTOTYPICAL MENU BOARD LANDSCAPING DETAIL

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	
SITE NUMBER:	30979
STORE NUMBER:	42063

TACO BELL

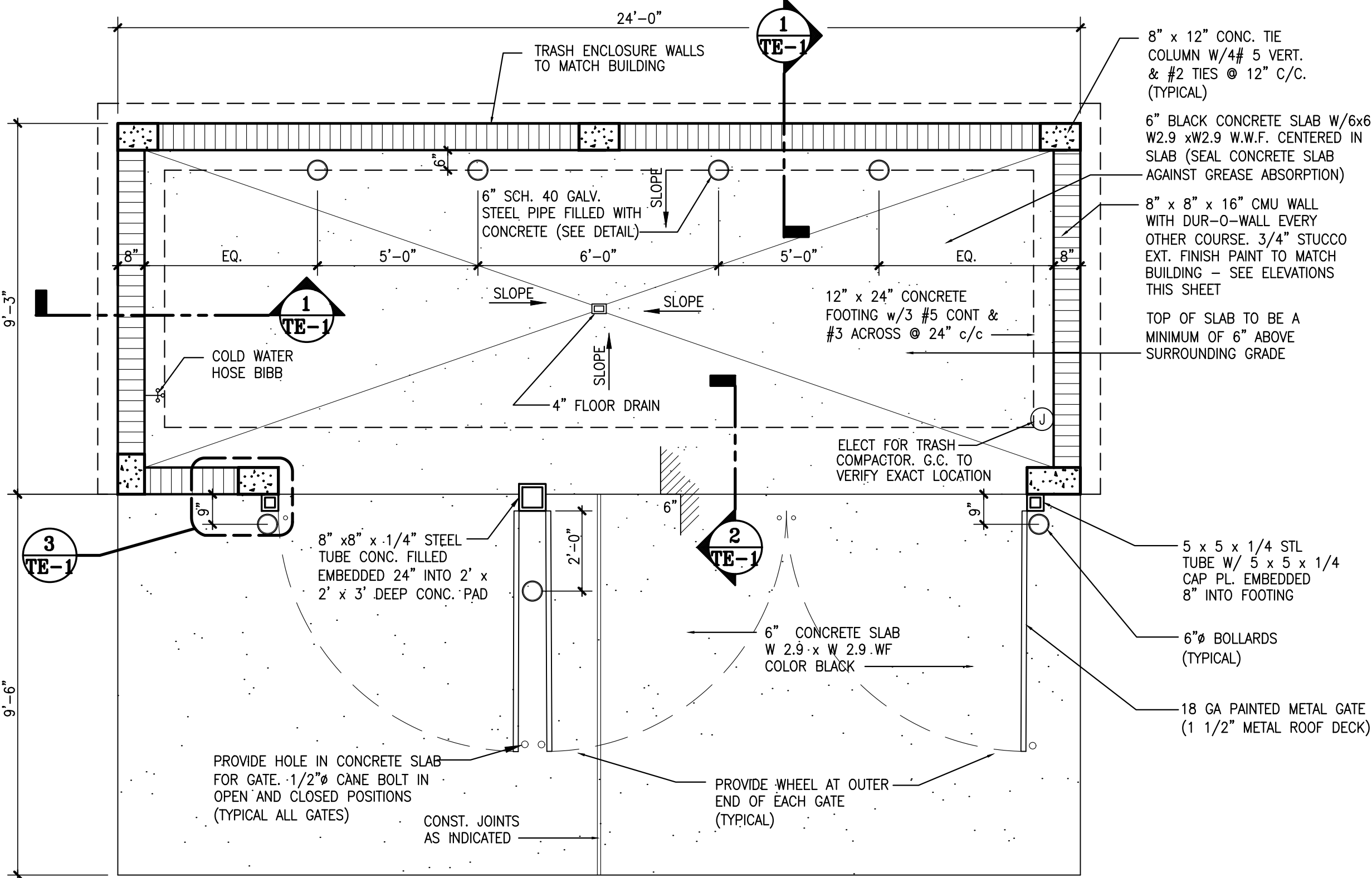
5070 W. Atlantic Ave
Delray Bch., FL



T-40
 OPEN KITCHEN
 DELRAY BEACH SOL
 CONSTRUCTION
 DETAILS

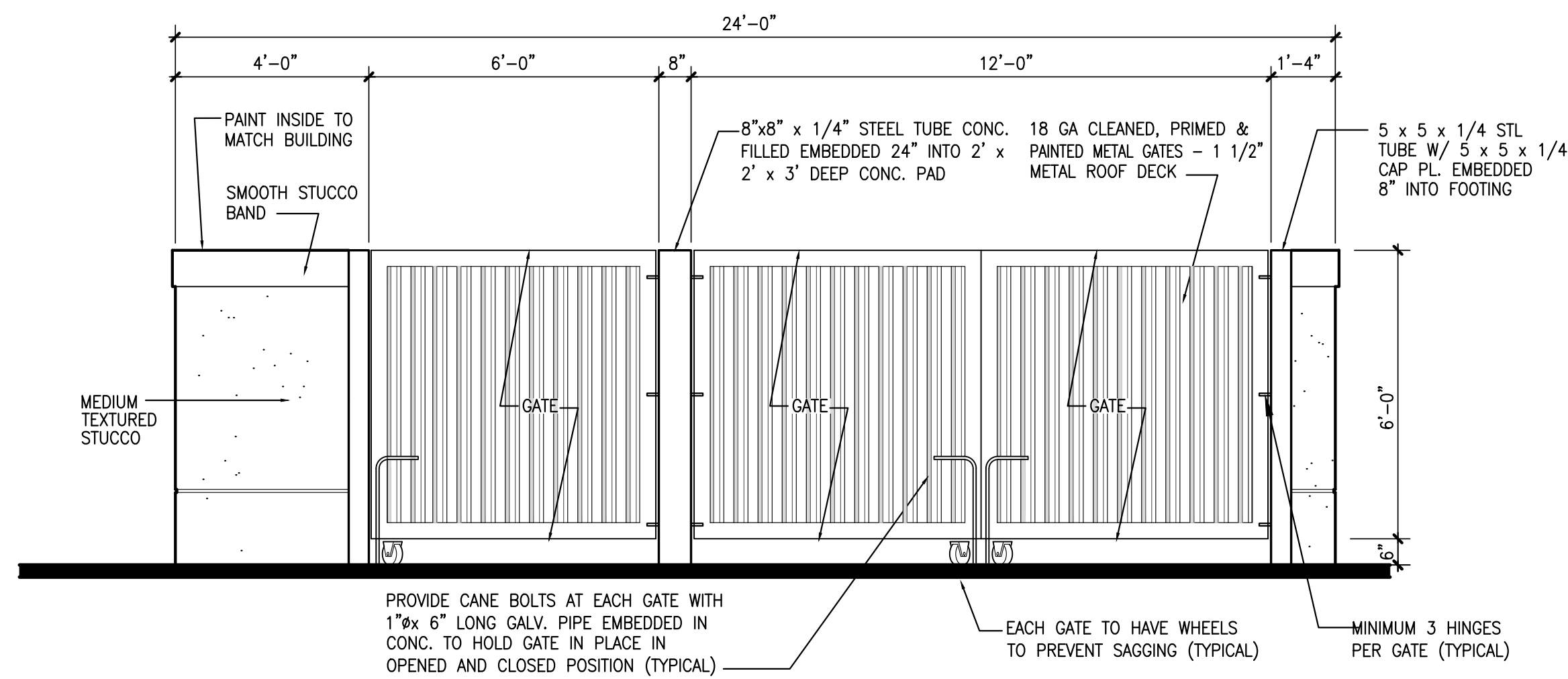
CD-6

PLOT DATE: 12-06-2018



TRASH & RECYCLING ENCLOSURE PLAN

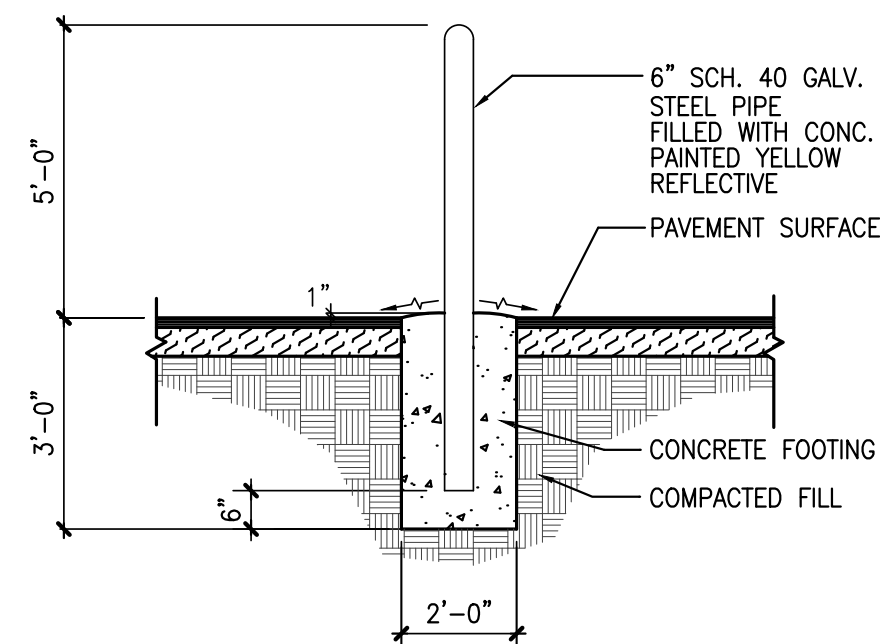
3/8" = 1'-0"



FRONT ELEVATION

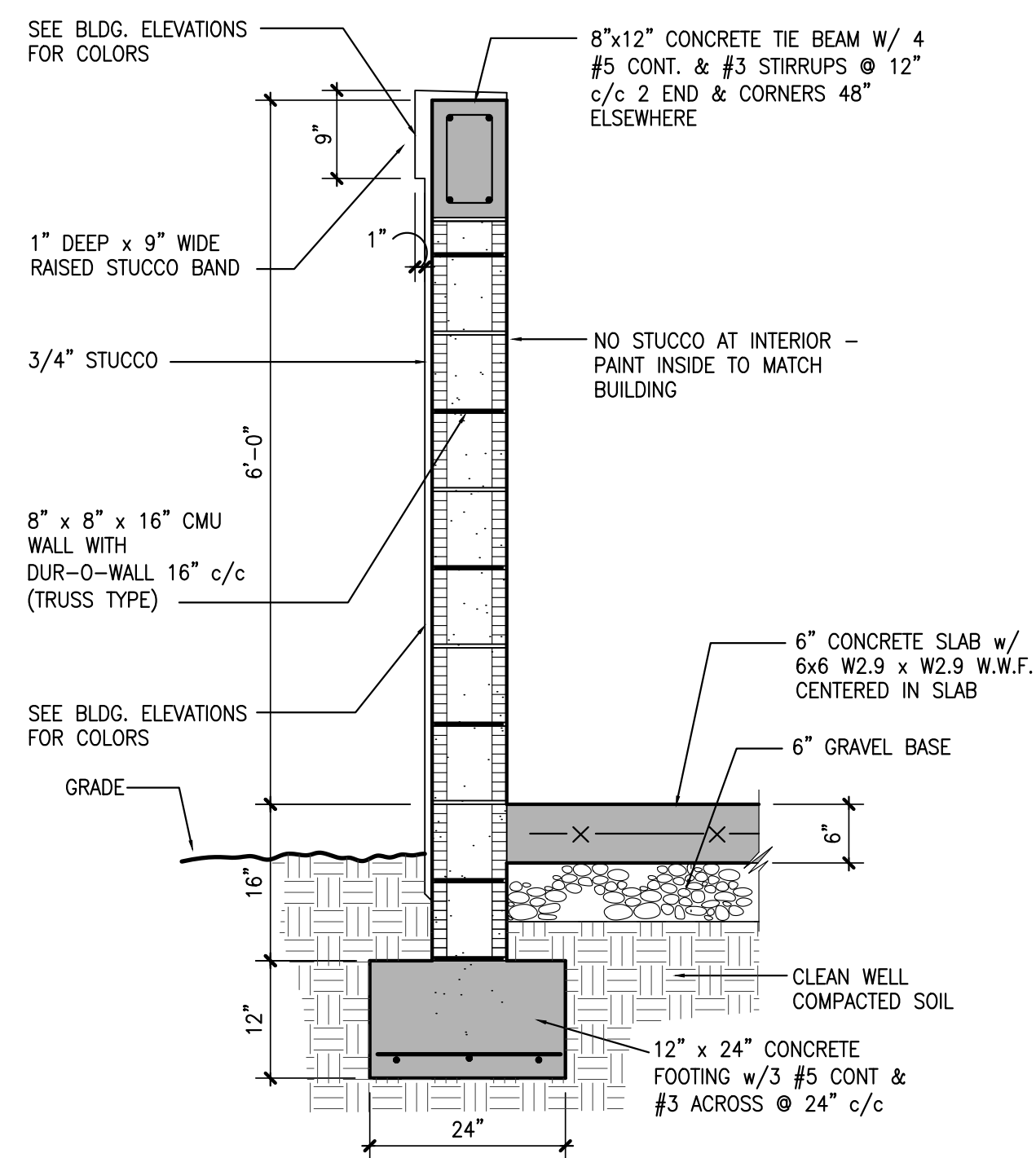
3/8" = 1'-0"

NOTE:
STEEL BOLLARDS NOT SHOWN REFER TO PLAN FOR LOCATIONS.



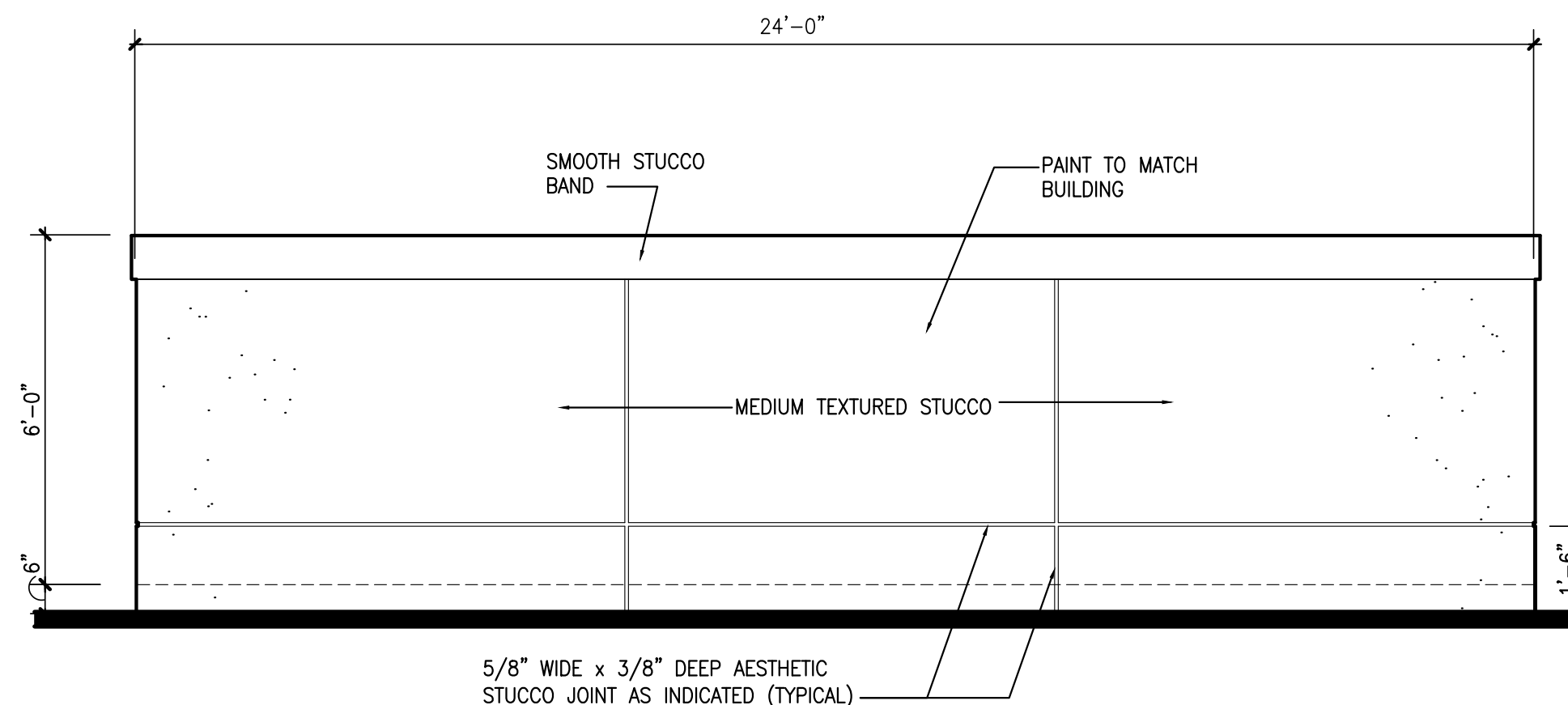
STEEL BOLLARD DETAIL

NOT TO SCALE



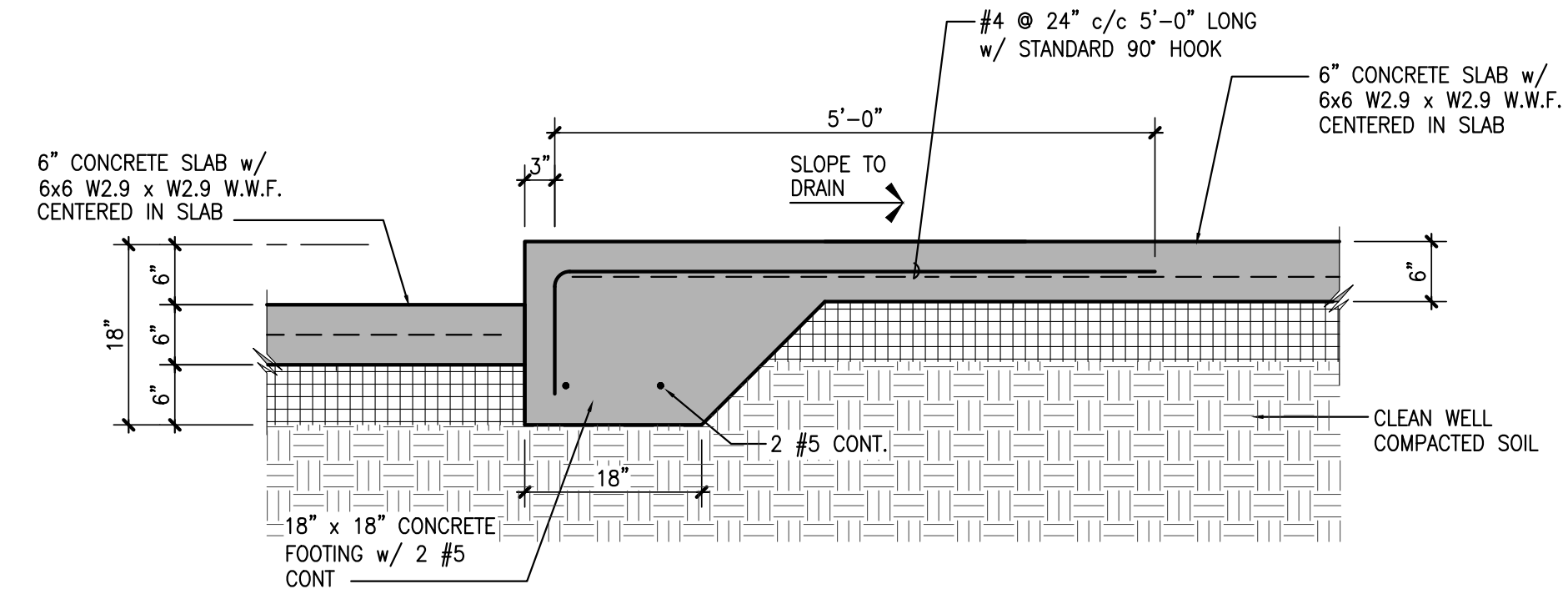
SECTION THRU TYPICAL WALL

3/4" = 1'-0"



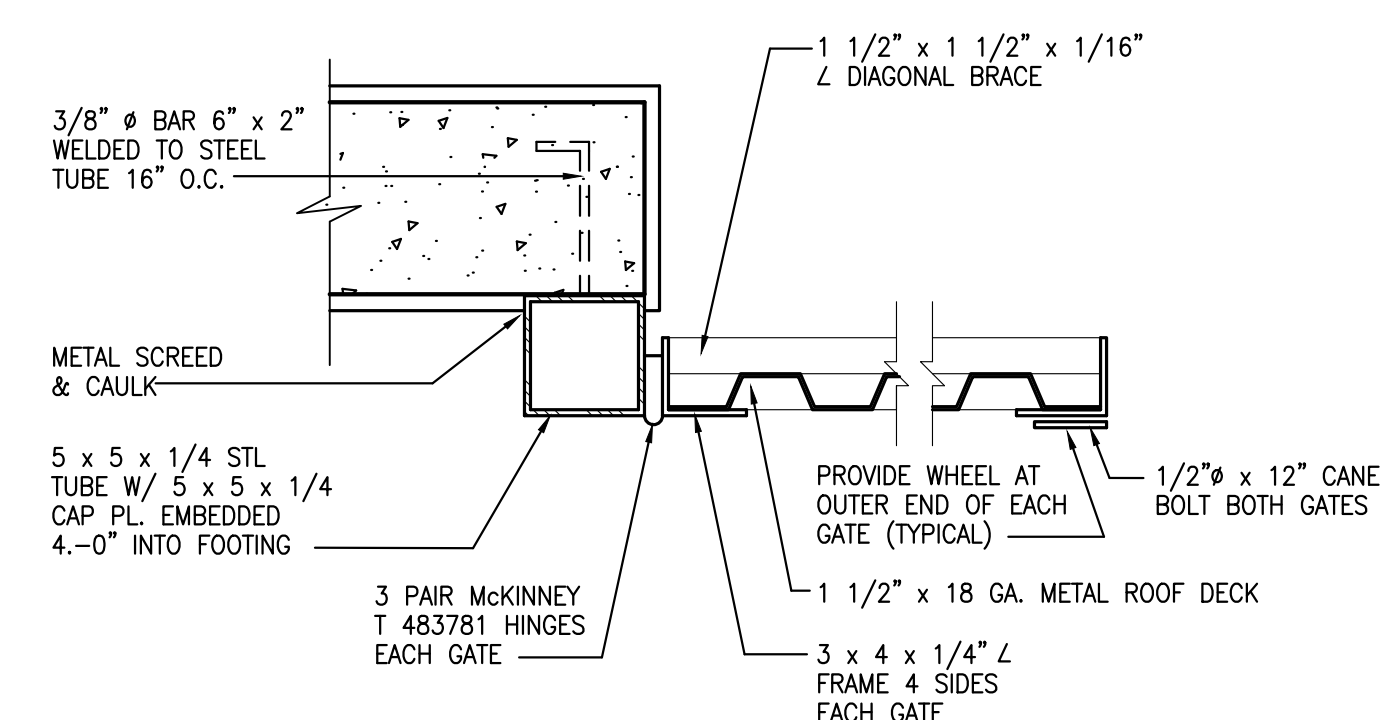
REAR ELEVATION

3/8" = 1'-0"



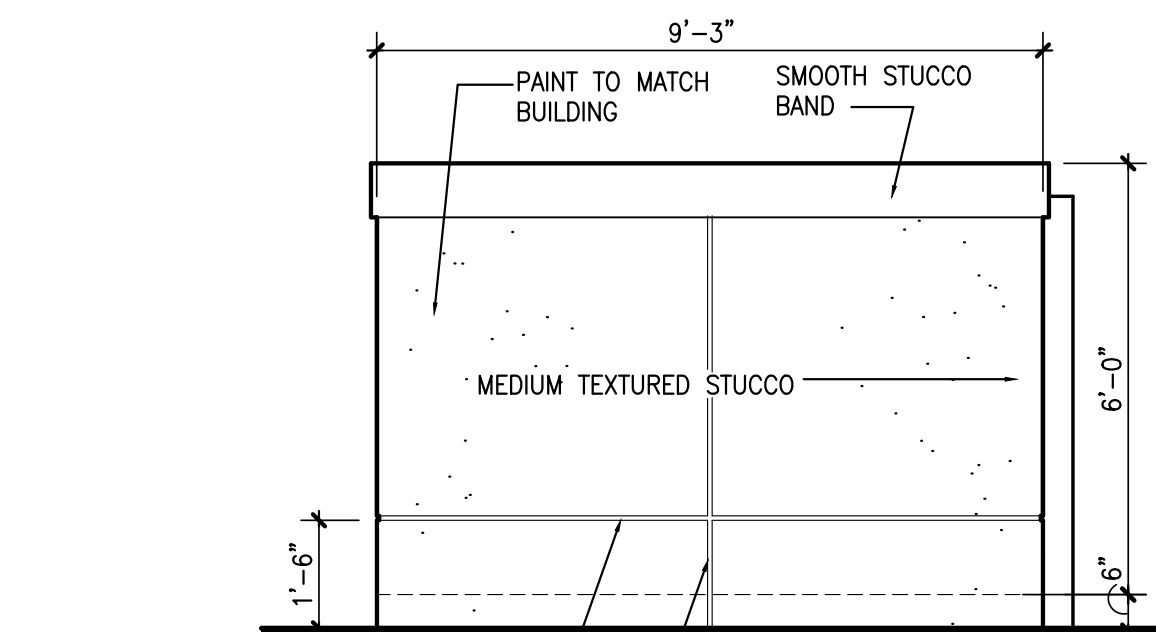
SECTION AT SLAB FOOTING

3/4" = 1'-0"



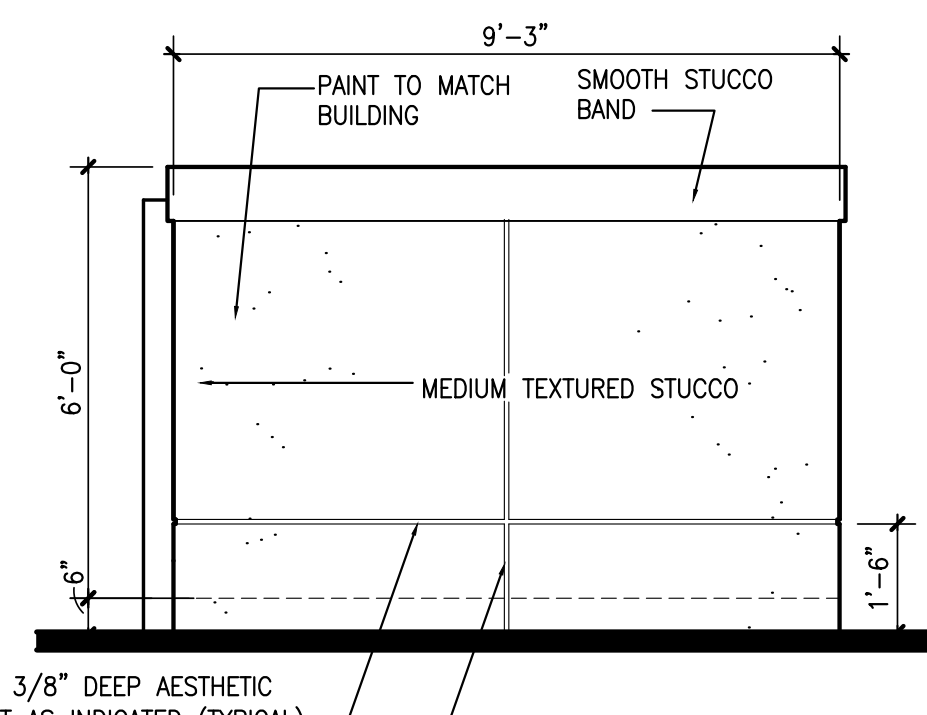
JAMB DETAIL

1 1/2" = 1'-0"



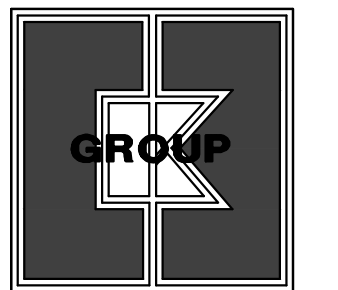
LEFT SIDE ELEVATION

3/8" = 1'-0"



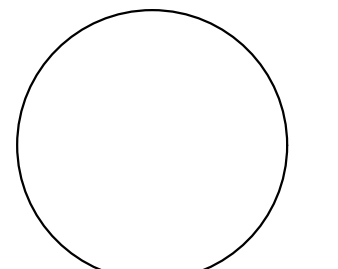
RIGHT SIDE ELEVATION

3/8" = 1'-0"



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SUITE 106
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FAX: (305) 826-0619
EB#0004432



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△		
△		
△		
△		
△		
△		
△		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic Ave.
Delray Bch., FL



T-40
OPEN KITCHEN
DELRAY BEACH SOL

TE-1

TRASH ENCLOSURE DETAILS

PLOT DATE: 12-06-2018

[illegible]

CONTRACT DATE:	01.08.18
BUILDING TYPE:	T40CAL-SOL
PLAN VERSION:	FEB 2018
BRAND DESIGNER:	GPD GROUP
SITE NUMBER:	312032
STORE NUMBER:	2018088.03

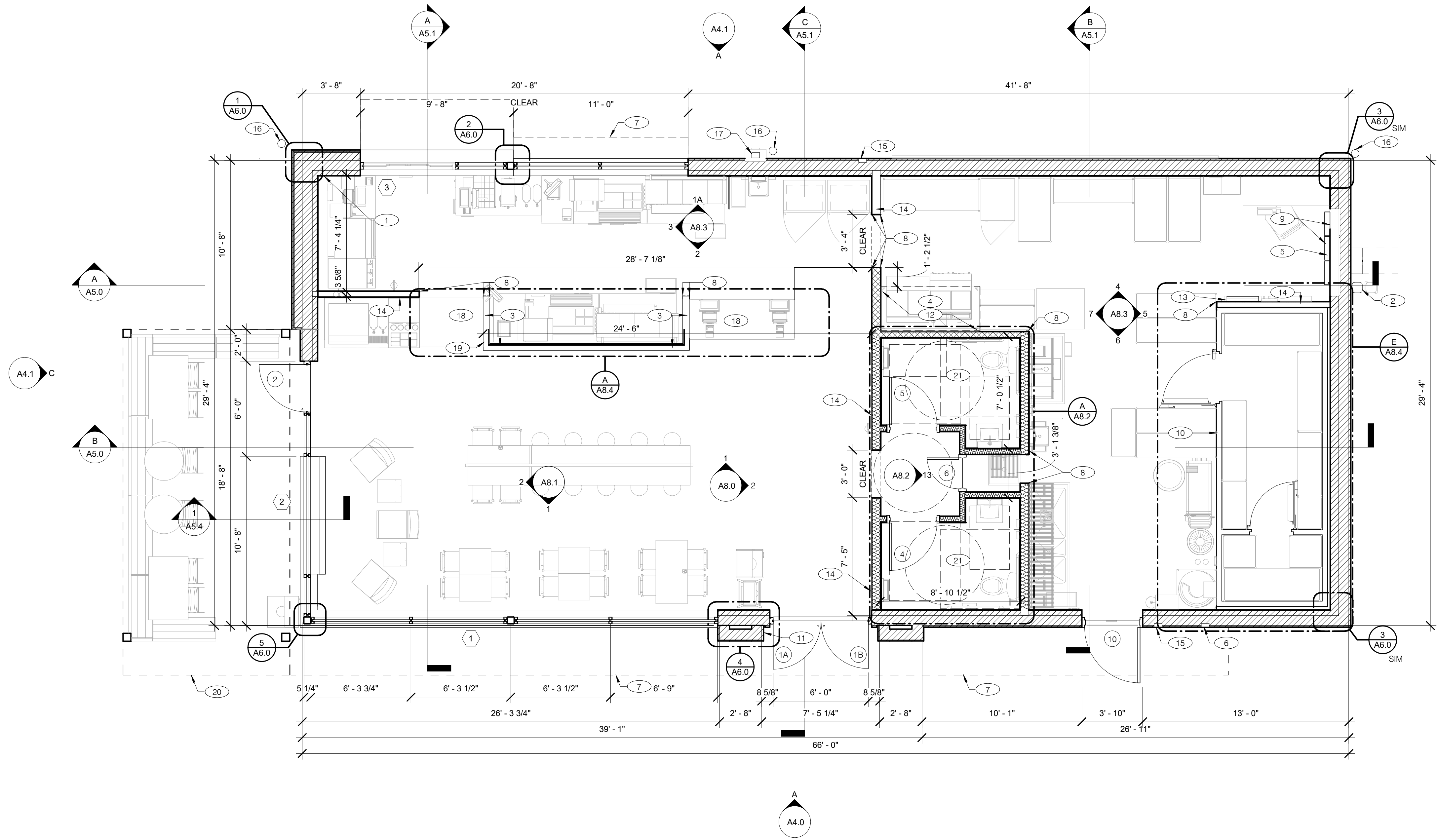
070 W. ATLANTIC BLVD.
DELRAY BCH, FL 33484



T40
N KITCHEN
ORNIA SOL

A1.0

LOT DATE: 12/6/2018 1:50:44 PM



FLOOR PLAN 1/4" = 1'-0"

WALL LEGEND

FLOOR PLAN NOTES

PLAN KEYNOTES N.T.S.

TYPICAL EXTERIOR WALL:
8" CMU WITH 3-5/8" (20 GA) METAL STUDS AT 16" O.C. ON INTERIOR SIDE (SEE STRUCT. DWGS.) WITH R-19 KRAFT FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE BLUE SKIN VP SELF ADHERED AIR BARRIER ON OUTSIDE FACE OF CMU

TYPICAL INTERIOR WALL:
3-5/8" (20 GA) METAL STUDS AT 16" O.C. (6" WHERE NOTED.) INTERIOR WALLS AND C/P. BD. SEPARATING DRIVING SPACE WITH OTHER AREAS TO EXTEND TO UNDERSIDE OF TRUSSES U.O.N.

WALL SUBSTRATES:
- DINING ROOM:
1/2" GYPSUM WALLBOARD TO 6" ABOVE CEILING OR TO UNDERSIDE OF DECK WHERE EXPOSED SEE 8 & 15 / A6.5. (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY.)
- KITCHEN WALLS AND DINING ROOM CLOSEST:
1/2" CEMENT WALLBOARD FROM T.O. SLAB WITH 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6" ABOVE CEILING HEIGHT U.O.N. IF DOUBLE SIDED SHEAR WALL PLYWD IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4 & 11 / A6.5.
- RESTROOM WALLS:
5/8" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, MOISTURE RESISTANT GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 12 / A6.5.
- ALL OTHER FRAME WALL CONDITIONS:
1/2" CEMENT WALLBOARD FROM T.O. SLAB TO 48" A.F.F., WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6" ABOVE CEILING HEIGHT U.O.N. FINISH AS SCHEDULED.

DIMENSIONS:

A. ALL DIMENSIONS ARE TO FACE OF CMU U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.

B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:

A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.

B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING

FINISH SUBSTRATES:

A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 48" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N.

B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

GENERAL:

A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT.

B. DRAWINGS ARE BASED UPON CMU AND METAL FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS TO BE MAINTAINED.

FIRE CODE:
A. FLORIDA FIRE PREVENTION CODE 6TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2015 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2015 EDITION.

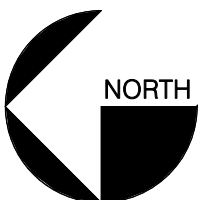
1	STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS).
2	GAS SERVICE.
3	LOW WALL BY G.C., SEE DETAILS ON A8.3. COORDINATE WITH STRUCTURAL DRAWINGS.
4	HOOD WALL. SEE EQUIPMENT PLAN A2.0 AND SCHEDULE A2.1
5	ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
6	CO2 FILL BOX LOCATION. SEE DETAIL 5/A6.1
7	LINE OF AWNING ABOVE (BY SIGNAGE VENDOR)
8	S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 1.3&1.4/A6.5

9	RECESSED SWITCHGEAR / ELECTRIC PANELS. SEE ELECTRICAL DRAWINGS
10	PRI-ENGINEERED MODULAR PANEL WALK-IN BOX (COOLER AND FREEZER). SITE ASSEMBLED. SEE EQUIPMENT PLAN A2.0
11	KNOX BOX ON SIDE WALL @ 5'-0" A.F.F.
12	NON-COMBUSTIBLE METAL STUD CONSTRUCTION WITH TYPE 'X' GYP BOARD BEHIND HOOD. EXTEND MIN. 18" PAST HOOD ON EACH SIDE
13	ROOF LADDER. SEE DETAIL E/8.3

14	FULL HEIGHT WALL TO EXTEND TO BOTTOM OF THE ROOF DECK
15	HOSE BIB BOX AT 18" A.F.F. SEE DETAIL 77/A6.1
16	PIPE BOLLARD, SEE CIVIL DRAWINGS
17	4"x6" ALUMINUM DOWN SPOUTS
18	POS COUNTER / V-LINE HALF-WALL AND HAND-OFF PLANE BY GC
19	ROUTE 1 1/2" CONDUIT IN LOW WALL FROM CHEESE MELTER LOCATION TO CUSTOMER DRINK STATION FOR FILTERED WATER CONNECTION.
20	PATIO CANOPY STRUCTURE BY SIGNAGE VENDOR.
21	ADA-COMPLIANT RESTROOM, SEE A8.2

NORTH

3638 West Galloway Drive
Richfield, OH 44286
330.572.2100 Fax: 330.572.2102



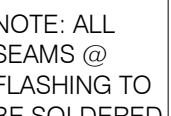
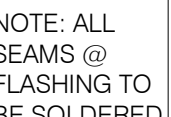
CONTRACT DATE:	01.08.18
BUILDING TYPE:	T40M-O
PLAN VERSION:	FEB 2018
BRAND DESIGNER:	GPD GROUP
SITE NUMBER:	312032
STORE NUMBER:	2018088.03

070 W. ATLANTIC BLVD.
DELRAY BCH, FL 33484



A3.0

PLOT DATE: 10/25/2018 2:33:58 PM



MISCELLANEOUS:

- A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED.
- B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.
- C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

ROOF PLAN KEY NOTES N.T.S.

ROOF PLAN $1/4" = 1'-0"$ **A**

A



A

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

22 MURAL PAINTED ON DIBOND PANEL.

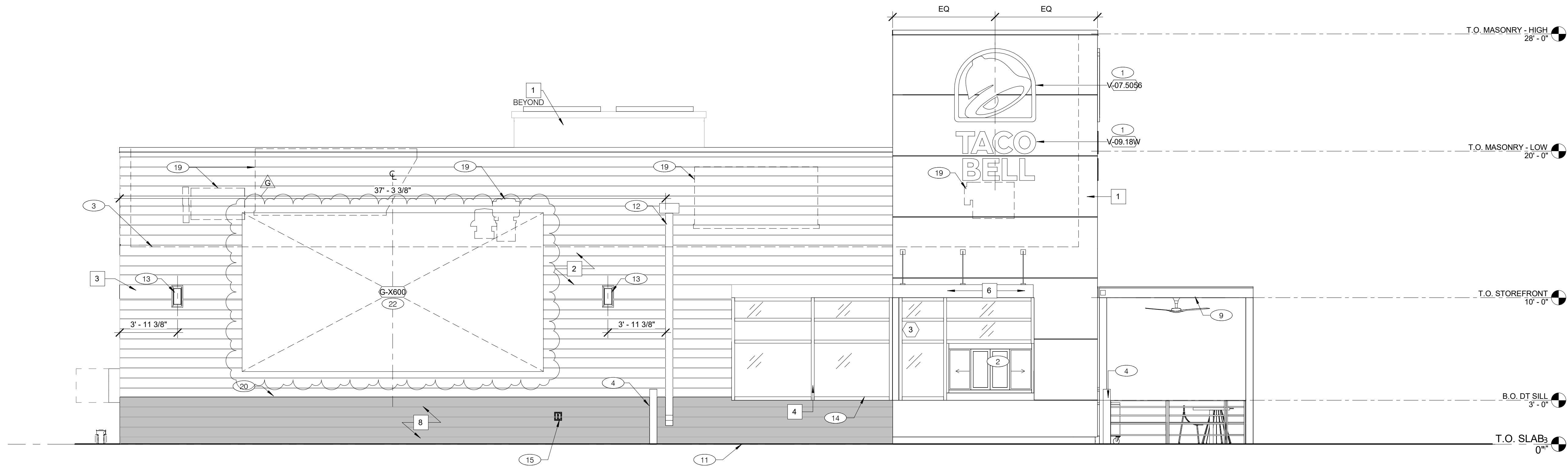
D

N.T.S.

PLOT DATE: 12/6/2018 10:12:21 AM

Mark S. Salopek,
LLC

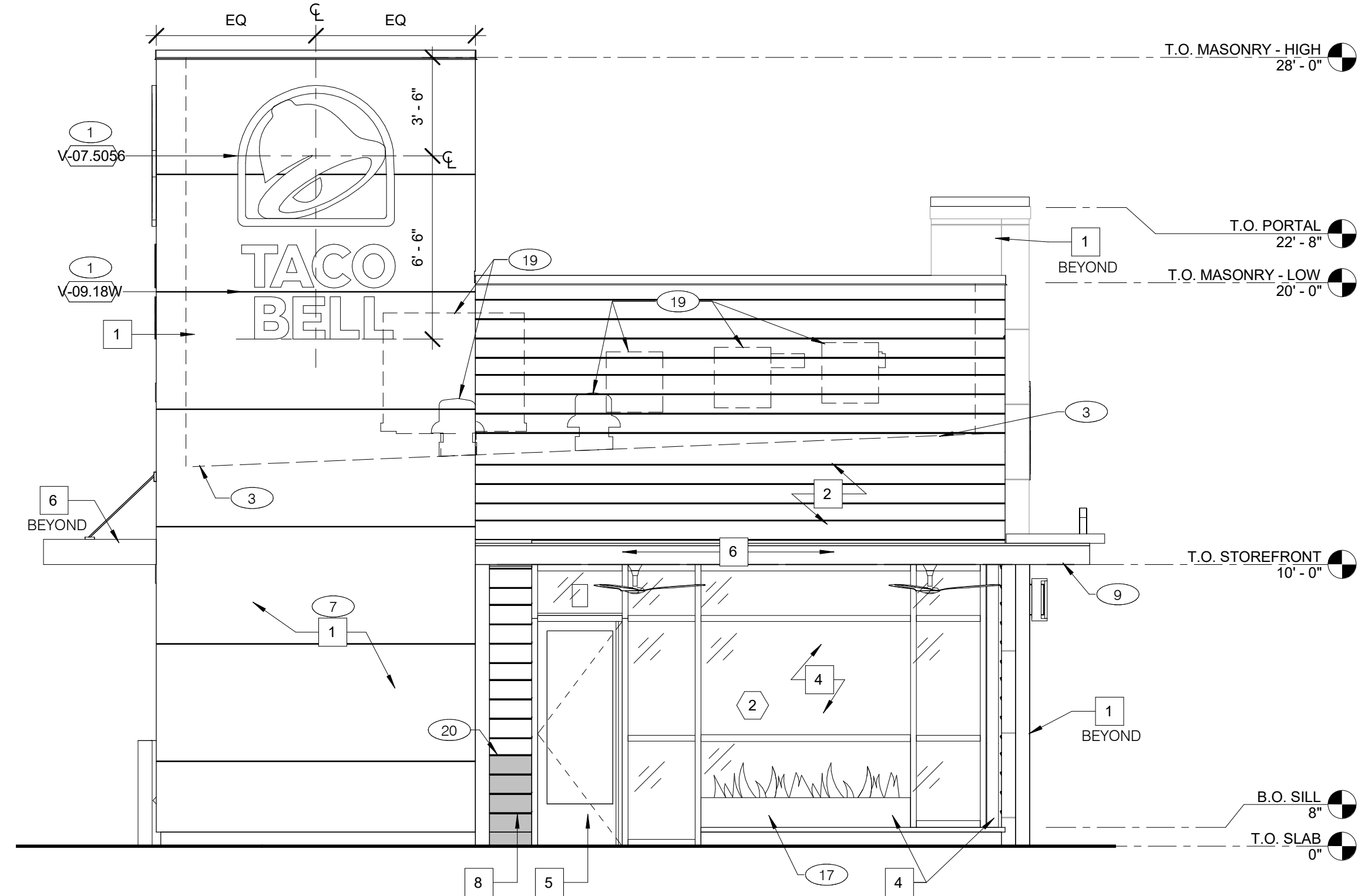
3638 West Galloway Drive
Richfield, OH 44286
330.572.2100 Fax: 330.572.2102



EAST ELEVATION

1/4" = 1'-0"

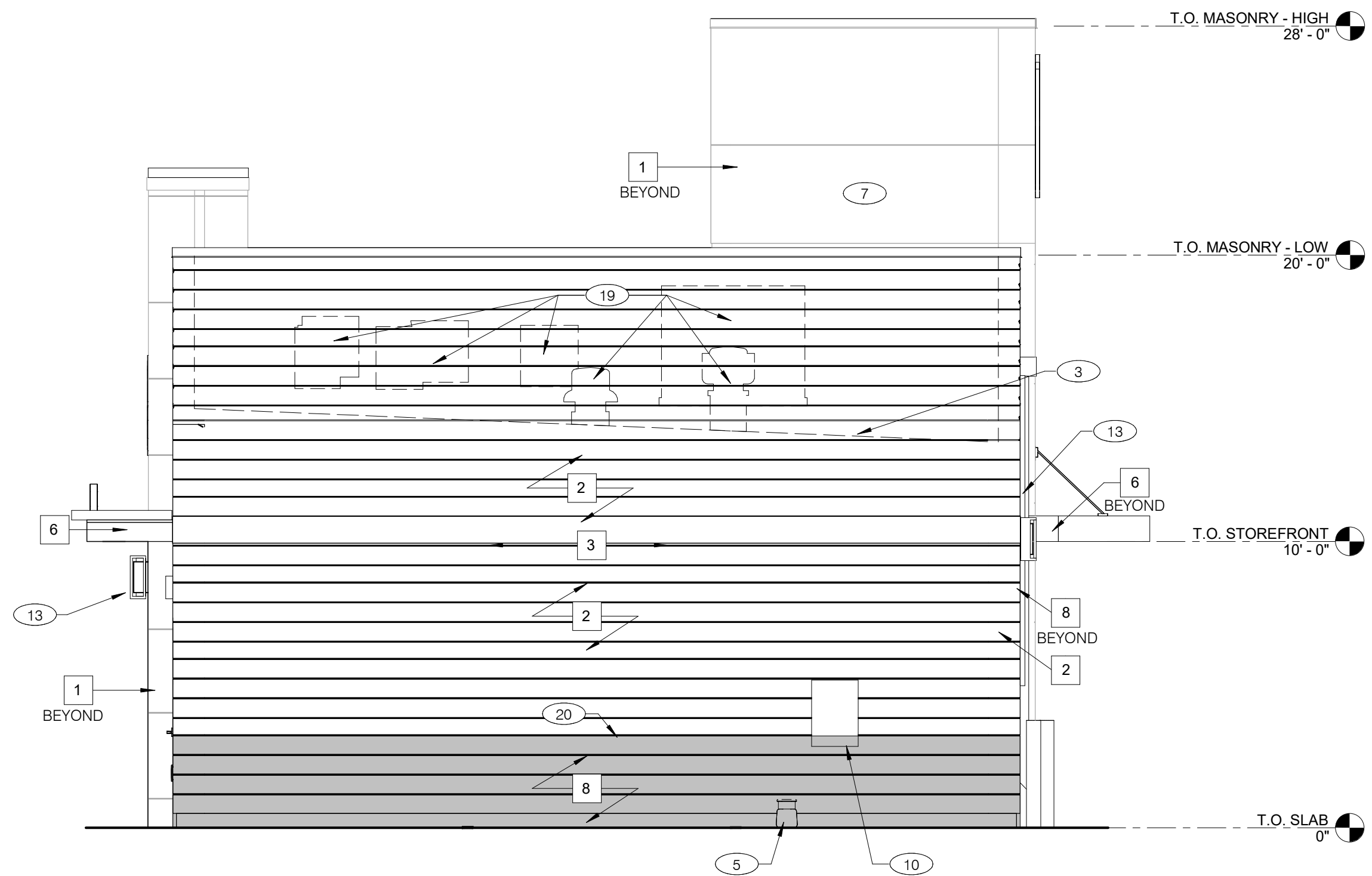
A



NORTH ELEVATION

1/4" = 1'-0"

C



SOUTH ELEVATION

1/4" = 1'-0"

B

G	11/12/18	CLIENT REVISIONS
F	10/25/18	CLIENT REVISIONS
E	8/29/18	PLANNING REVISIONS
D	8/17/2018	CLIENT REVISIONS
C	8/17/2018	PLANNING REVISIONS
A	06/06/18	CLIENT REVISIONS
	04/06/18	ISSUED FOR PERMIT
	07/25/18	ISSUED FOR BID
	10/25/18	ISSUED FOR REBID

CONTRACT DATE: 01.08.18
BUILDING TYPE: T40M-O
PLAN VERSION: FEB 2018
BRAND DESIGNER: GPD GROUP
SITE NUMBER: 312032
STORE NUMBER: 2018088.03

TACO BELL

5070 W. ATLANTIC BLVD.
DELRAY BCH, FL 33484



T40

OPEN KITCHEN
CALIFORNIA SOL

EXTERIOR
ELEVATIONS

A4.1

PLOT DATE: 12/6/2018 10:12:55 AM



NORTH ELEVATION

EAST ELEVATION



SOUTH ELEVATION

WEST ELEVATION



TACO BELL
Delray Beach, FL

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF MATERIAL SAMPLES PROVIDED.



10' UTILITY ESMT. (EXC. 10)

12' STORM ESMT. (PLAT BOOK 85, PAGE 183)

10' UTILITY ESMT. (EXC. 10)

12' UTILITY (EXC. 8)

27.5' TRAVELED WAY WIDTH

12' STORM ESMT. (PLAT BOOK 85, PAGE 183)

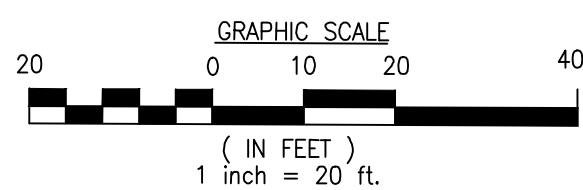
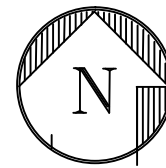
12' WATER ESMT. (PLAT BOOK 85, PAGE 183)

OWNER: MALL 5020 LLC TRACT 1 DELRAY COMMONS (PLAT BOOK 85, PAGE 183)

NOTE: ALL NEW TREES/PALMS SHALL BE INSTALLED IN COMPLIANCE WITH "FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE"

SEE SPECIFICATIONS:

LANDSCAPE PLAN
1"=20'-0"




NOTE: WATER SOURCE AND METHODS COMPLY WITH FLORIDA FRIENDLY LANDSCAPE NINE PRINCIPLES.

<u>DROUGHT TOLERANCE</u> = <u>SFWW</u>	GREEN BUILDING ORDINANCE REQUIRED SECTION 151.153#16 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).
* MODERATE	
** VERY	

PARCEL ID No.	12-42-46-14-24-002-0000
CURRENT ZONING	PLANNED COMMERCIAL (PC) FOUR CORNERS OVERLAY DISTRICT
EXISTING USE	RETAIL BANK WITH DRIVE-THRU SERVICE
PROPOSED USE	RESTAURANT INCLUDING DRIVE-IN AND DRIVE-THRU (PERMITTED PER ZONING SECTION 4.4.9 (B)(4)(a))
TOTAL PARCEL AREA	27,280 SF / 0.625 AC (LEASE AREA ONLY)
EXISTING IMPERVIOUS AREA	23,139 SF / 0.53 AC (84.8%) (LEASE AREA ONLY)
EXISTING OPEN SPACE	4,140 SF / 0.095 AC (15.2%) (LEASE AREA ONLY)
PROPOSED IMPERVIOUS AREA	20,304 SF / 0.466 AC (74.4%) (LEASE AREA ONLY)
PROPOSED OPEN SPACE	6,976 SF / 0.160 AC (25.6%) (LEASE AREA ONLY)
MAXIMUM IMPERVIOUS AREA	21,780 SF / 0.50 AC (80%)

		EXISTING		PROPOSED	
BUILDING SIZE		2,844 SF			
BUILDING COVERAGE		2,844 SF / 0.0653 AC (5.53%)		2,053 SF	
		ALLOWABLE		2,053 SF / 0.04 AC (11.35%)	
BUILDING HEIGHT		48 FEET		PROPOSED	
SETBACKS		REQUIRED BUILDING	REQUIRED LANDSCAPING	24 FEET	
FRONT (W. ATLANTIC)	30 FEET	21 FEET		PROPOSED BUILDING	PROPOSED LANDSCAPING
SIDE (EAST)	25 FEET	10 FEET		40.94 FEET	3.98 FEET
SIDE (WEST)	25 FEET	10 FEET		28.52 FEET	16.93 FEET
REAR (SOUTH)	25 FEET	10 FEET		70.05 FEET	5.00 FEET
EXISTING CONDITION TO REMAIN				86.22 FEET	22.26 FEET
□ TO LEASE LINE					

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA



811

Know what's below.
Call before you dig.

IT'S THE LAW!

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

4. ALL PROPOSED TREES TO BE RELOCATED SHALL BE PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCED TREES SHALL BE 19" DBH, ROOT BALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. "TORN ROOTS" SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREES SHALL BE LIGHTLY PRUNED BY HAND.
5. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005," CURRENT EDITION RESPECTIVELY.
6. LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN, 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
7. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
8. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS.
9. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
10. TREE REMOVAL/RELOCATION PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS.
11. TRANSPLANT TREE WITH 60" TREE SPAD OR TREE CRANE, TRANSPLANTING HOLE SHALL BE AT LEAST 1 1/2' BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
12. SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"-4" GRADE LEVEL.
13. PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MATURE GOOD TOP SOIL (SEE SPEC).
14. A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30" & 8' IF MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.
15. KERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICTS KERISCAPE PLANT GUIDE II", UPDATED, AS REQUIRED.

TABULATIONS

A. TOTAL PAVED AREA 14,978.80 S.F.

B. REQUIRED INTERIOR GREEN SPACE = 14,978.80 S.F. (10% OF TOTAL PAVED AREA).

C. INTERIOR GREEN SPACE PROVIDED = 2,326.64

D. TOTAL NUMBER OF TREES REQUIRED = 12 TREES (1 INTERIOR TREE IS REQUIRED FOR EACH 125 S.F. OF REQUIRED INTERIOR GREEN SPACE).

E. TOTAL NUMBER OF TREES PROVIDED = 12 TREES

F. PERIMETER GREEN SPACE REQUIRED: 5,478.20 S.F. (DEPTH OF BUFFERS x LENGTH).

G. PERIMETER GREEN SPACE PROVIDED: 6,587.80 S.F.

H. NUMBER OF PERIMETER TREES REQUIRED = 18 TREES (1 INTERIOR TREE IS REQUIRED FOR EACH 30 L.F. OF PERIMETER)

I. NUMBER OF PERIMETER TREES PROVIDED = 18 TREES

J. REQUIRED SHRUBS AND GROUND COVERS: 2,092.80 S.F. (30% OF REQUIRED INTERIOR AND PERIMETER GREEN SPACE, SEE B & F)

K. SHRUBS AND GROUND COVER PROVIDED: 3,337.80 S.F.

L. REQUIRED NATIVE PLANT MATERIALS: 523.20 S.F. (25% OF REQUIRED SHRUBS & GROUND COVER, SEE J.)

M. NATIVE PLANT MATERIALS PROVIDED: 1,695.00 S.F.

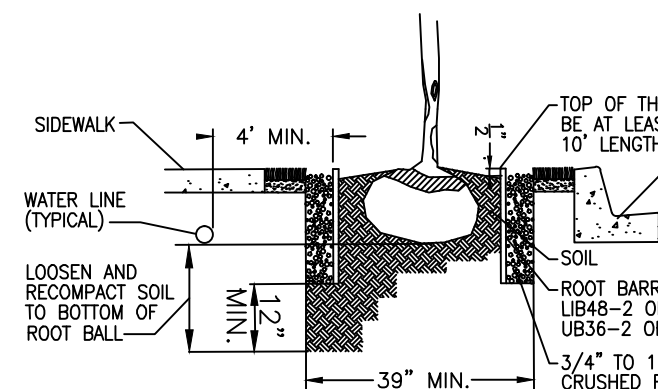
N. NUMBER OF NATIVE TREES REQUIRED: 15 TREES (50% OF REQUIRED TREES, SEE D & H.)

O. NATIVE TREES PROVIDED: 21 TREES

P. REQUIRED MIN. NUMBER OF SPECIES: 3 PROVIDED 7

1. SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURE, GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
3. LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & MAINTAIN A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. CHAIRS SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.
4. ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTINCT", (ANSI) 300-2005". CURRENT EDITION RESPECTIVELY.
5. LANDSCAPE CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER & FLORIDA HOLLY FROM SITE.
6. EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING.
7. NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DUMPED ARE TO BE ALLOWED ON SITE.
8. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE; (SEE SOIL PLANTING SPECIFICATIONS).
9. A TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
10. WATER METERS SHALL NOT BE PLACED IN DRIVE AREAS OR IN SIDEWALKS.
11. LANDSCAPE CONTRACTOR TO VERIFY CLEAR ACCESS AREAS AT FPL TRANSFORMERS AS REQUIRED.
12. ALL EXISTING SOIL WITHIN LANDSCAPE AREAS ADJACENT TO VEHICULAR USE AREAS IS REQUIRED TO BE REMOVED (10 TO 20" DEEP) AND INSTALLED WITHIN AREAS WHEN REPLACED WITH A SIXTY FORTY (60/40) MIX OF SAND TO TOPSOIL; SEE SOIL SPECIFICATIONS

NOTE: ALL TREES INSTALLED WITHIN 6' OF PUBLIC INFRASTRUCTURES SHALL BE INSTALLED WITH ROOT BARRIERS AS REQUIRED, INCLUDING WATER MAIN LINES. VERIFY LOCATIONS WITH LANDSCAPE INSPECTOR.



INJECTION MOLDED, RECYCLED POLYPROPYLENE
ROOT BARRIER WITH DOUBLE TOP EDGE

NOTE: WATER SOURCE AND METHODS COMPLY WITH FLORIDA FRIENDLY LANDSCAPE NINE PRINCIPLES.

DROUGHT TOLERANCE= SFWM

* MODERATE

**** VERY**

GREEN BUILDING ORDINANCE REQUIRED SECTION 151.153#16 80% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

LANDSCAPE LEGEND						
TOLERANCE	NATIVE	CODE	AMOUNT	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
**	YES	LIV	4	QUERCUS VIRGINICA / LIVE OAK	20"-30" HGTS.	EXISTING TO REMAIN- RELOCATE (1) AS SHOWN
**	YES	SWI	1	SWITENIA MAHOGANI / MAHOGANY	28"-30" HGT.	EXISTING TO REMAIN
**	YES	SAB	11	SABAL PALMETTO / CABERGE PALM	20"-30" HGTS.	EXISTING TO REMAIN- RELOCATE (7) AS SHOWN
**	NO	LAC	8	LACERSTROEMIA INDICA / CRAPE MYRTLE	16"-18" HGTS.	EXISTING TO REMAIN- RELOCATE (2) AS SHOWN
**	YES	COC	9	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16"-18" HGTS.	EXISTING TO REMAIN- RELOCATE (9) AS SHOWN
**	NO	TAB	1	TABEBUIA PALLIDA / PINK TRUMPET	16"-18" HGTS.	EXISTING TO REMAIN- RELOCATE (1) AS SHOWN
**	YES	CON	3	CONCARPUS SERICEUS / SILVER BUTTWOOD	12"-14" HGTS.	EXISTING TO REMAIN- RELOCATE (3) AS SHOWN
**	NO	BUC	1	BUCIDIA BUCERAS / BLACK OLIVE	28"-30" HGT.	EXISTING TO REMAIN
**	YES	CHR	121	CHRYSOBALANUS ICADO / RED TIP *	36"x18" x 30"	24" O.C. FULL TO BASE
**	NO	FUR	7	FURCRAEA FOETIDA / GIANE FALSE AGAVE	30" x 30" O.C.	AS SHOWN
**	YES	MUH	65	MUHLENBERGIA CAPILLARIS / MUHLY GRASS	18"x18" x 3 GAL	24" O.C.
**	NO	RAP	271	RAPIHOLEPIS INDICA / INDIAN HAWTHORN	14"-16" SPD. x 3 GAL	24" O.C.
**	YES	YOM	101	ILEX VOMITORIA / DWARF YALPOM	14"-16" SPD. x 3 GAL	24" O.C.
**	NO	DRA	2	DRACAENA MARGINATA / DWARF DRAGON	3'x2' FULL	25 GAL MULTI-STEM - AS SHOWN
**	NO	XO	12	XORA NORA GRANT / PINK XORA	24"x18" x 3 GAL	24" O.C. FULL TO BASE
**	NO	PDO	24	PODOCARPUS MACROPHYLLUS/PODOCARPUS	5'-6" HGT. MIN.	FULL TO BASE
**	NO	JAS	60	JASMINUM TILLIFLORUM / DOWNEY JASMINE	24"x18" x 3 GAL	24" O.C. FULL
---	---	CAP	15	URDL'S SHELL CAP BOULDERS	34"x26"x20"	AS SHOWN (INSTALL HALF WAY INTO GROUND, 10")
**	NO	JUN	75	JUNIPERUS CONFERTA / BLUE PACIFIC	6" FULL	12" O.C.
*	NO	LIR	435	LIRIOPE MUSCARI / BIG BLUE	6" FULL	12" O.C.

SEAL

RBL#18-01-2096
DRAWN BY: RICK BARTLETT
01/15/2018

NO.	DATE	DESCRIPTION
1	03-02-18	
2	07-24-18	
3	08-22-18	
4	12-05-18	

CONTRACT DATE:	-----
BUILDING TYPE:	CUSTOM
PLAN VERSION:	1
SITE NUMBER:	309797
STORE NUMBER:	420630

TACO BELL

5070 W. Atlantic Blvd.
Delray Bch., FL



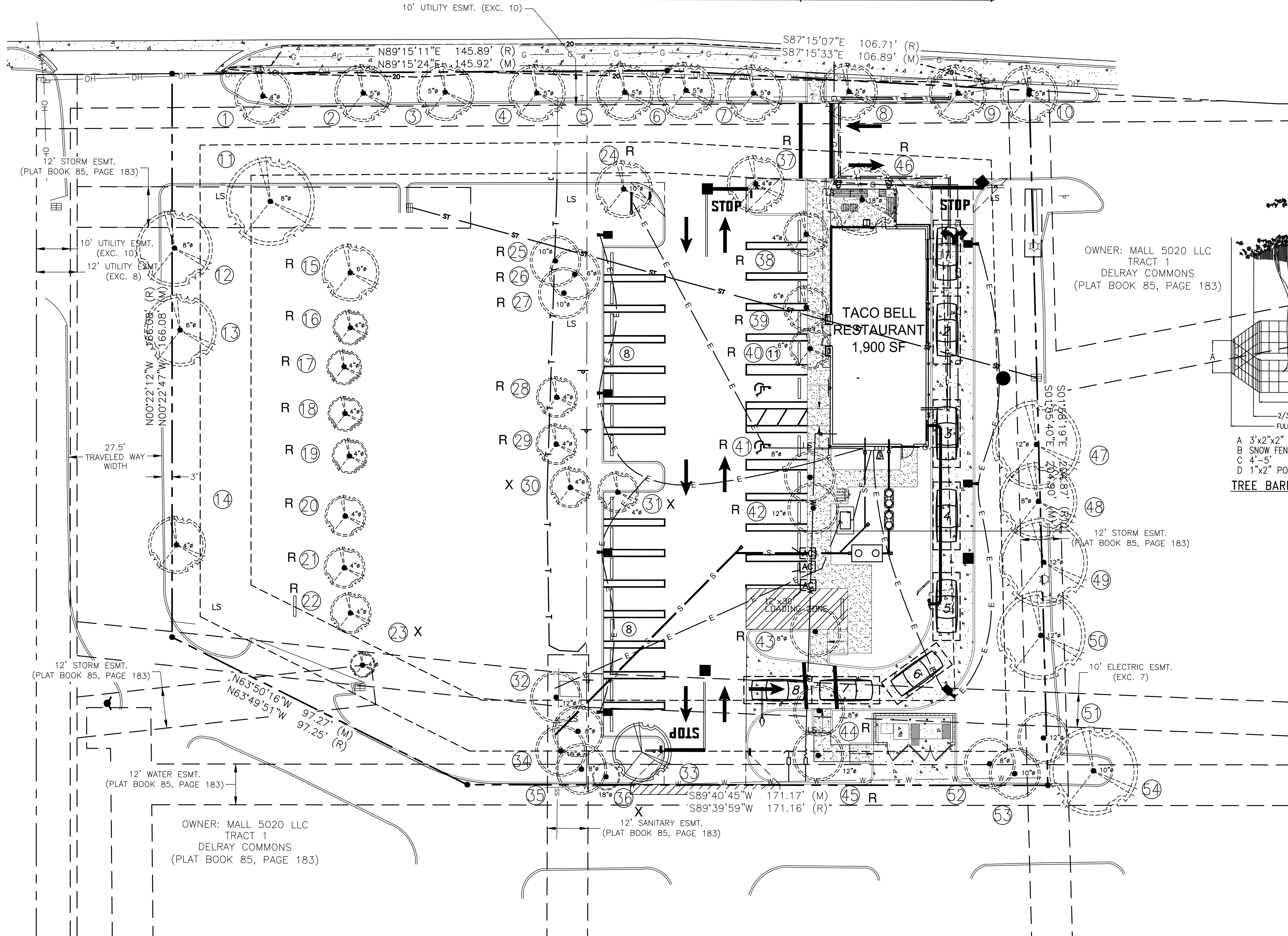
OPEN KITCHEN
ELRAY BEACH SOL

LANDSCAPE PLAN

L-1

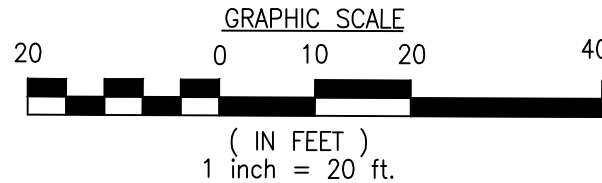
PLOT DATE: 12-06-2018

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



TREE DISPOSITION PLAN

1"=20'-0"



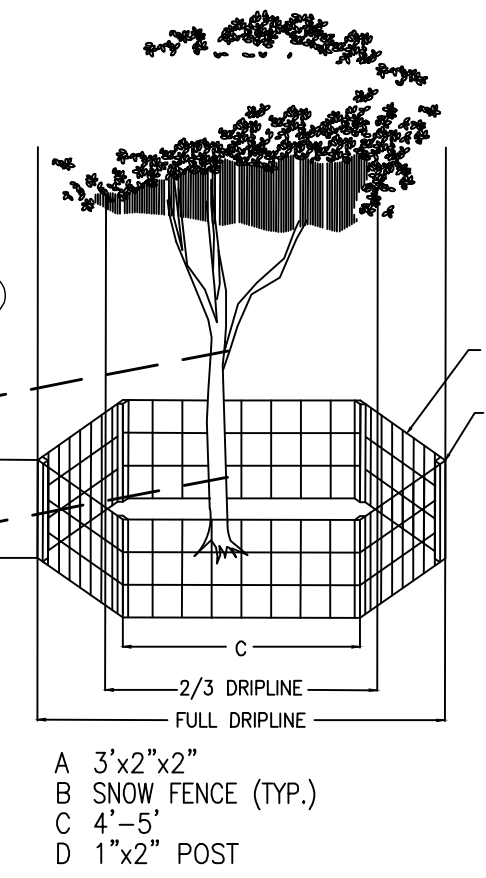
R = TO BE RELOCATED

X = TO BE REMOVED

EXISTING LANDSCAPE MATERIAL(TO BE RELOCATED SEE PLAN L-1)				
No.(see chart)				
15	TAB	1	TABEBUIA PALLIDA / PINK TRUMPET	16' X 16'
16,17,18,19,28,29,38,39,40	PIG	9	COCCOLOBA DIVERSIFOLIA / PIGEON PLUM	16' X 16'
24,37	LAG	2	LAGERSTROEMIA INDICA / CRAPE MYRTLE	16' X 16'
25,26,27,42,43,44,45	SAB	7	SABAL PALMETTO /CABBAGE PALM	18'-22' HGTS.
46	LIV	1	QUERCUS VIRGINIANA / LIVE OAK	22' X 24'
20,21,22	CON	3	CONOCARPUS SERICEUS / SILVER BUTTWOOD	14' X 12'

TREE BARRICADE NOTES:

- ALL PROPOSED TREES TO BE RELOCATED SHALL BE ROOT PRUNED 8 WEEKS PRIOR TO CONSTRUCTION AND DONE ACCORDING TO GOOD NURSERY PRACTICE AS REQUIRED. TRENCH DEPTH SHALL BE 18"-36"; ROOT BALL SHALL BE A MINIMUM OF 60" WHEN ROOT PRUNED. FILL TRENCH WITH FIBROUS-MATERIAL SUCH AS LEAVES OR WOOD SHAVINGS. WATERING SHALL BE ONCE A WEEK DURING ROOT PRUNING. TOPN ROOTS SHALL BE TRIMMED TO SOLID WOOD. RELOCATED TREE SHALL BE LIGHTLY PRUNED BY HAND.
- ALL EXISTING TREES SHALL COMPLY WITH THE "AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-2005." CURRENT EDITION RESPECTIVELY.
- LANDSCAPE CONTRACTOR SHALL WATER RELOCATED TREES WITH TEMPORARY IRRIGATION EVERYDAY FOR THE FIRST MONTH THEN 2-3 TIMES A WEEK UNTIL SYSTEM IS FULLY AUTOMATIC. OWNER TO SUPPLY WATER ON SITE.
- EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRICADES.
- TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).
- TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.
- TRANSPLANT TREE WITH 60" TREE SPADE, TRANSPLANTING HOLE SHALL BE AT LEAST 1/3 BIGGER THAN THE AREA THAT WAS TRENCHED FOR TRANSPLANTING.
- SET THE TREE NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING AT 1"+- GRADE LEVEL.
- PROVIDE DISH TO RETAIN WATER, ELIMINATE AIR POCKETS WITH THE USE OF WATER HOSE, HOLE SHOULD BE FILLED WITH A MIXTURE OF GOOD TOP SOIL (SEE SPECIFICATION SHEET).
- A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30' & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.



TREE BARRICADE DETAIL

EXISTING TREE DISPOSITION CHART									
No.	D.(")	H.(")	S.(")	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION		
1	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
2	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
3	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
4	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
5	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
6	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
7	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
8	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
9	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
10	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	TO REMAIN		
11	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
12	2	18	24	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
13	3	20	22	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
14	2	16	16	conocarpus sericeus	SILVER BUTTWOOD	FAIR	TO REMAIN		
15	2	16	16	tabebuia pallida	PINK TRUMPET	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
16	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
17	2	16	15	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
18	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
19	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
20	2	14	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
21	2	12	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
22	2	14	12	conocarpus sericeus	SILVER BUTTWOOD	FAIR	(1)TO BE RELOCATED(SEE PLAN)		
23	2	10	8	conocarpus sericeus	SILVER BUTTWOOD	POOR/DAMAGES	TO BE REMOVED		
24	2	18	16	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
25	2	22	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
26	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
27	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
28	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
29	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
30	2	12	12	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
31	2	12	12	ligustrum japonicum	WAX PRIVET	FAIR/LIMITED SPACE	TO BE REMOVED		
32	2	16	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
33	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
34	2	16	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
35	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
36	2	6	8	sabal palmetto	CABBAGE PALM	SEEDLING	TO BE REMOVED		
37	2	16	15	lagerstroemia indica	CRAPE MYRTLE	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
38	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
39	2	16	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
40	2	14	12	coccoloba diversifolia	PIGEON PLUM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
41	2	24	20	cocos plumosa	QUEEN PALM	GOOD	TO BE REMOVED		
42	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
43	2	24	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
44	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
45	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
46	2	22	24	quercus virginiana	LIVE OAK	GOOD	(1)TO BE RELOCATED(SEE PLAN)		
47	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
48	3	28	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
49	3	30	28	swietenia mahogani	MAHOGANY	GOOD	TO REMAIN		
50	3	30	28	quercus virginiana	LIVE OAK	GOOD	TO REMAIN		
51	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
52	2	18	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
53	2	20	15	sabal palmetto	CABBAGE PALM	GOOD	TO REMAIN		
54	3	30	30	bucidia buceros	BLACK OLIVE	GOOD	TO REMAIN		

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CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
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14417 STUBBINS LANE
WELLINGTON, FL 33414
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LANDSCAPE ARCHITECTURE LC26000352
MICHAEL E. RAWLS: RLJ#0001633
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RBL#18-01-2096
DRAWN BY: RICK BARTLETT
01/15/2018
CHECKED BY: RGB/MER

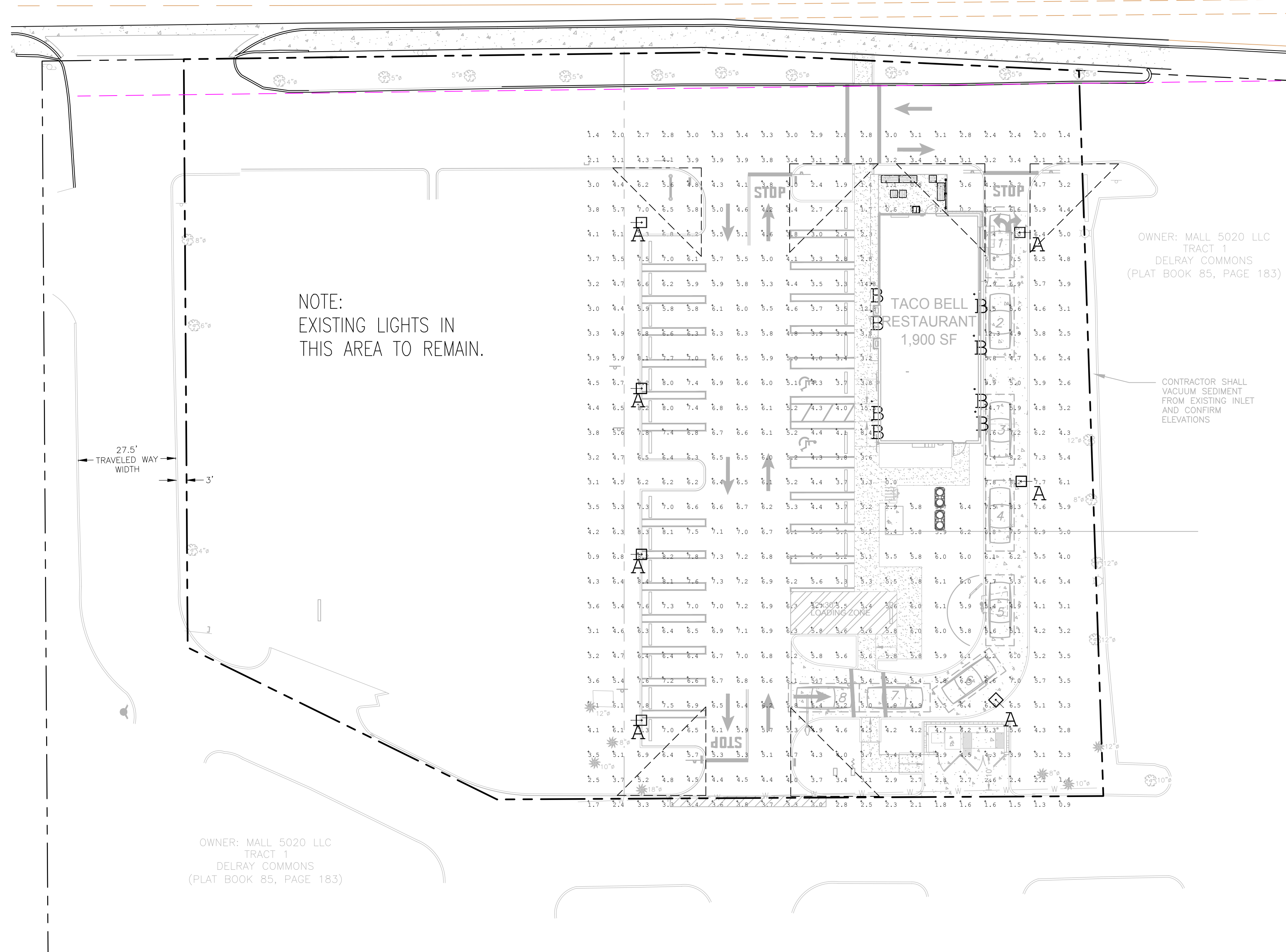
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△	07-24-18	
△	12-05-18	
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CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

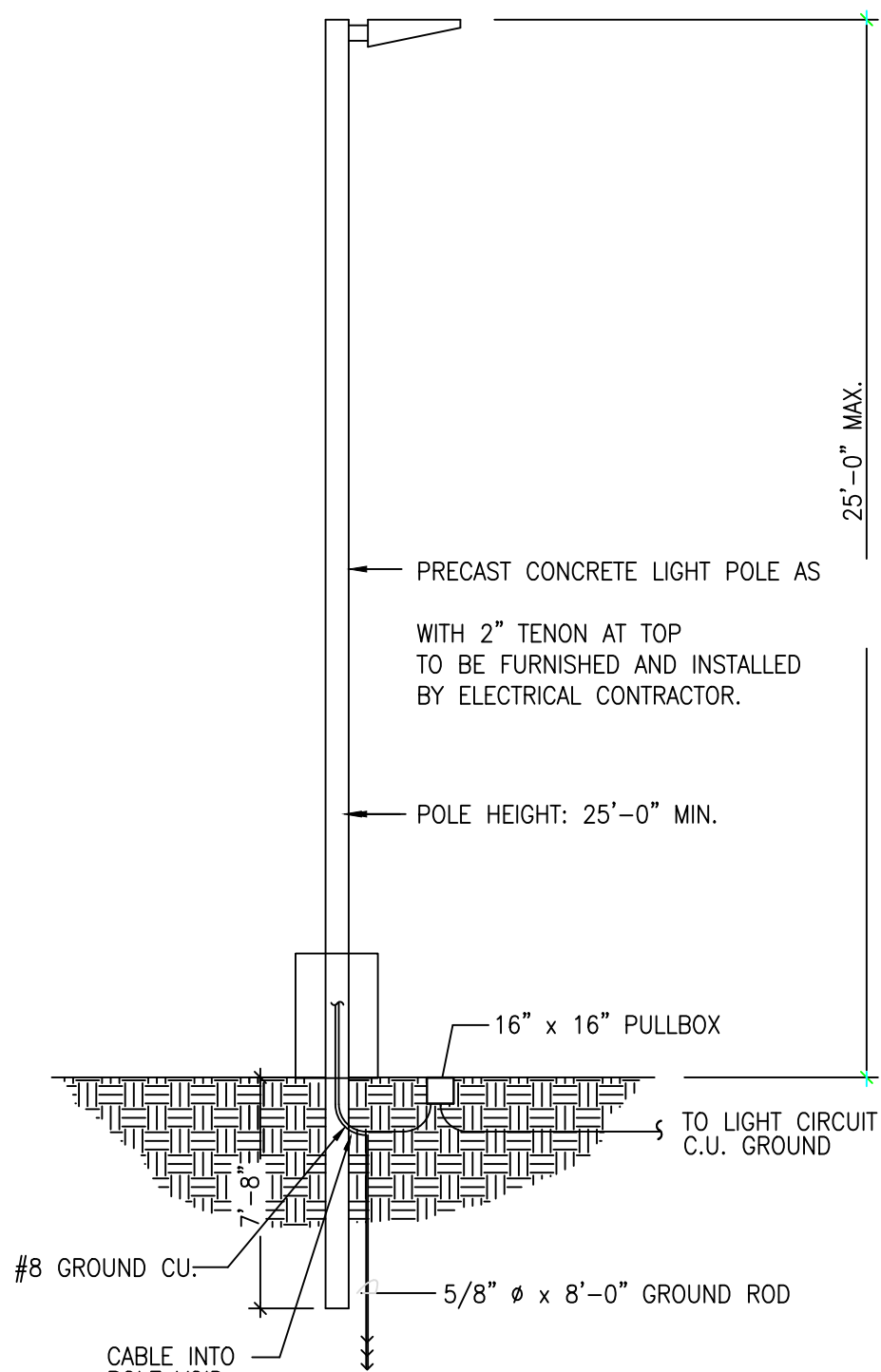
TACO BELL
5070 W. Atlantic Blvd.
Delray Bch., FL

TACO BELL
T-40
OPEN KITCHEN
DELRAY BEACH SOL
TREE
DISPOSITION
PLAN

L-2
PLOT DATE: 12-06-2018



PHOTOMETRIC NOTES
1. REFER TO SHEET E1.1 FOR LIGHT POLE, LIGHT POLE BASE AND LIGHT FIXTURE DETAILS.



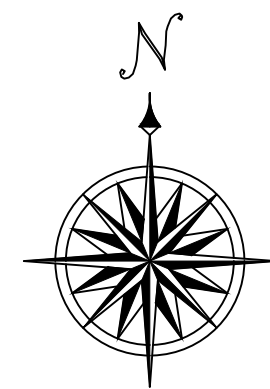
EXTERIOR POLE LIGHTS
NOT TO SCALE

OWNER: MALL 5020 LLC
TRACT 1
DELRAY COMMONS
(PLAT BOOK 85, PAGE 183)

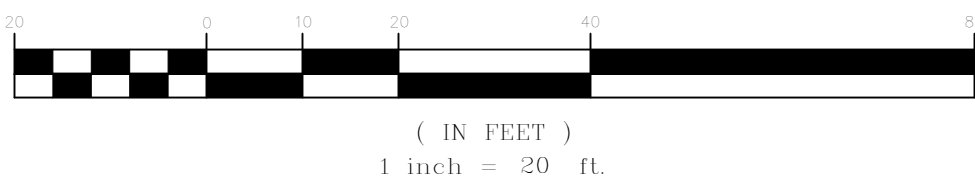


PHOTOMETRICS COMPLETED BY CAPITOL LIGHT
LOCATION **DELRAY, FL**

Please contact Dan Clancy if you
would like a quote or to place an order
860-520-2395
daniel.clancy@capitollight.com



GRAPHIC SCALE



Luminaire Schedule			
Symbol	Qty	Label	Description
	7	A	XALM-FT-LED-HO-50 MOUNTED AT 25'
	8	B	PROGRESS P5642 W/ 17W PAR38 LED LAMP MOUNTED AT 8.5'

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
-	N.A.	N.A.	N.A.	N.A.	N.A.
DRIVE THRU SURFACE	6.52	14.7	4.3	1.52	3.42
EXTENDED	3.61	6.8	0.9	4.01	7.56
PARKING LOT SURFACE	6.01	8.4	2.2	2.73	3.82



CKE GROUP
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EB#0004432

SEAL
EDUARDO L. CARCACHÉ
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-26-18	
△		
△		
△		
△		
△		
△		

CONTRACT DATE: -----
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL
5070 W. Atlantic Blvd.
Delray Bch., FL


T-40
OPEN KITCHEN
DELRAY BEACH SOL
PHOTOMETRIC
PLAN

E1.0

PLOT DATE: 08-23-2018