

HNM ARCHITECTURE OFFICES

143 South Swinton Avenue
CITY OF Delray Beach, Florida 33444

ARCHITECT:

HNM ARCHITECTURE, LLC
3705 N. Federal Hwy.
Delray Beach, FL 33483
Contact: Jaime O. Mayo
T 561-733-2225

CIVIL:

CAMERO & ASSOCIATES, INC
7400 Sw 50th Terrance Suite 204
Miami, FL 33155
Contact: Jorge Camero
T 305-665-7602

LANDSCAPE :

LYNN BENDER LANDSCAPE ARCHITECTURE
5610 Adair Way;
Lake Worth, FL 33467
Contact: Lynn Bender
T 561-644-3237



PROJECT TEAM

ZONING DESIGNATION:

OSSHAD-OLD SCHOOL SQUARE HISTORIC
ARTS DISTRICT

OCCUPANCY:

'B' BUSINESS PER 2017 F.B.C

CONSTRUCTION TYPE:

TYPE V-B (NON-SPRINKLERED)

LEVEL OF ALTERATION:

LEVEL 3, AS PER FBC., EXISTING BUILDING 504.1

BUILDING STATS:

EXISTING FLOOR AREA(A/C)
EXISTING FLOOR AREA(A/C) CONVERTED
BACK TO ORIGINAL EXTERIOR PORCH :
EXISTING FLOOR AREA (A/C) TO REMAIN:

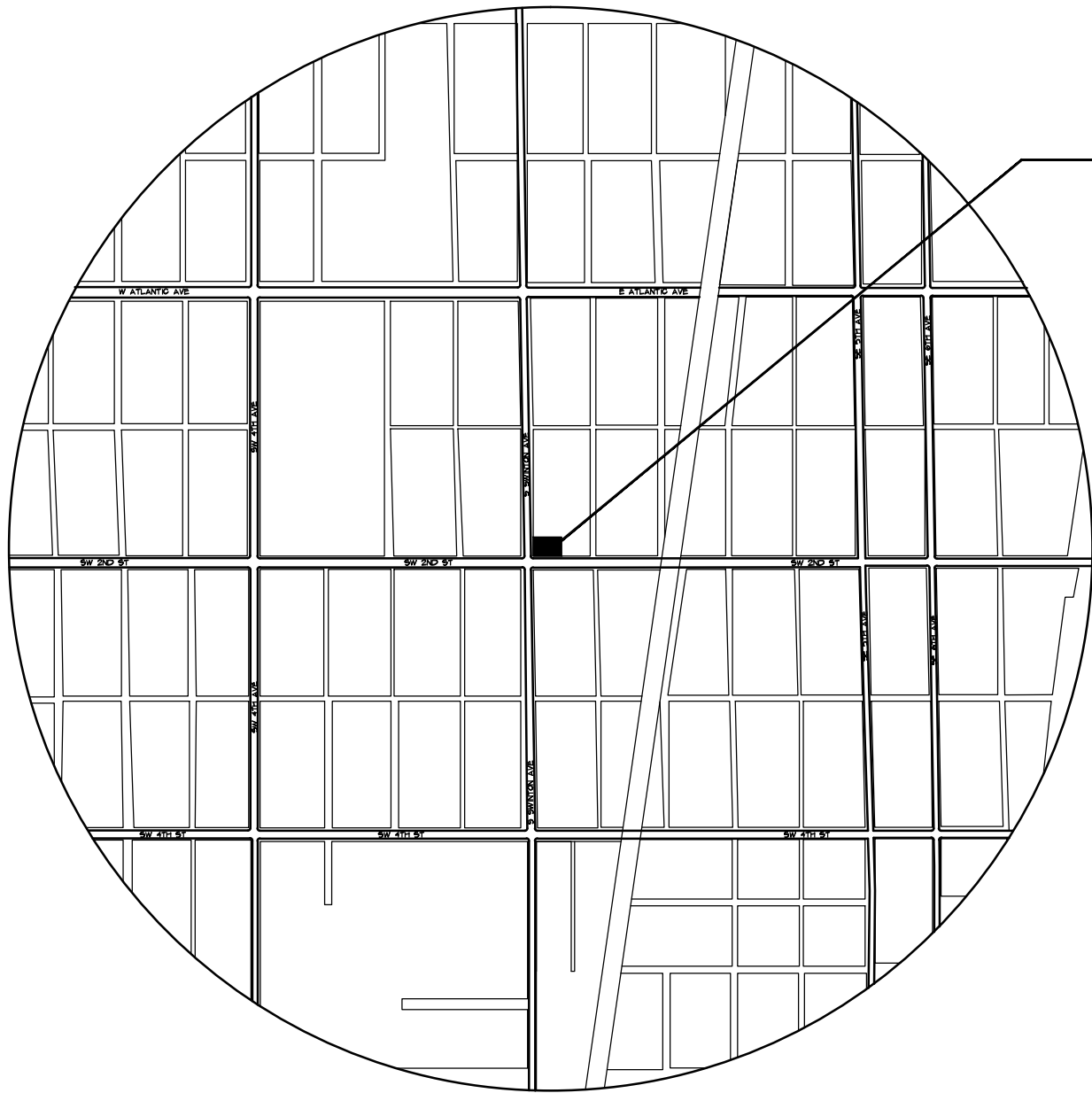
1,317 S.F.
- 254 S.F.
1,063 S.F.

EXISTING FLOOR AREA (A/C) TO REMAIN:
EXISTING ORIGINAL EXTERIOR PORCH :
NEW ADDITIONAL FLOOR AREA (A/C):
NEW GROSS FLOOR AREA:

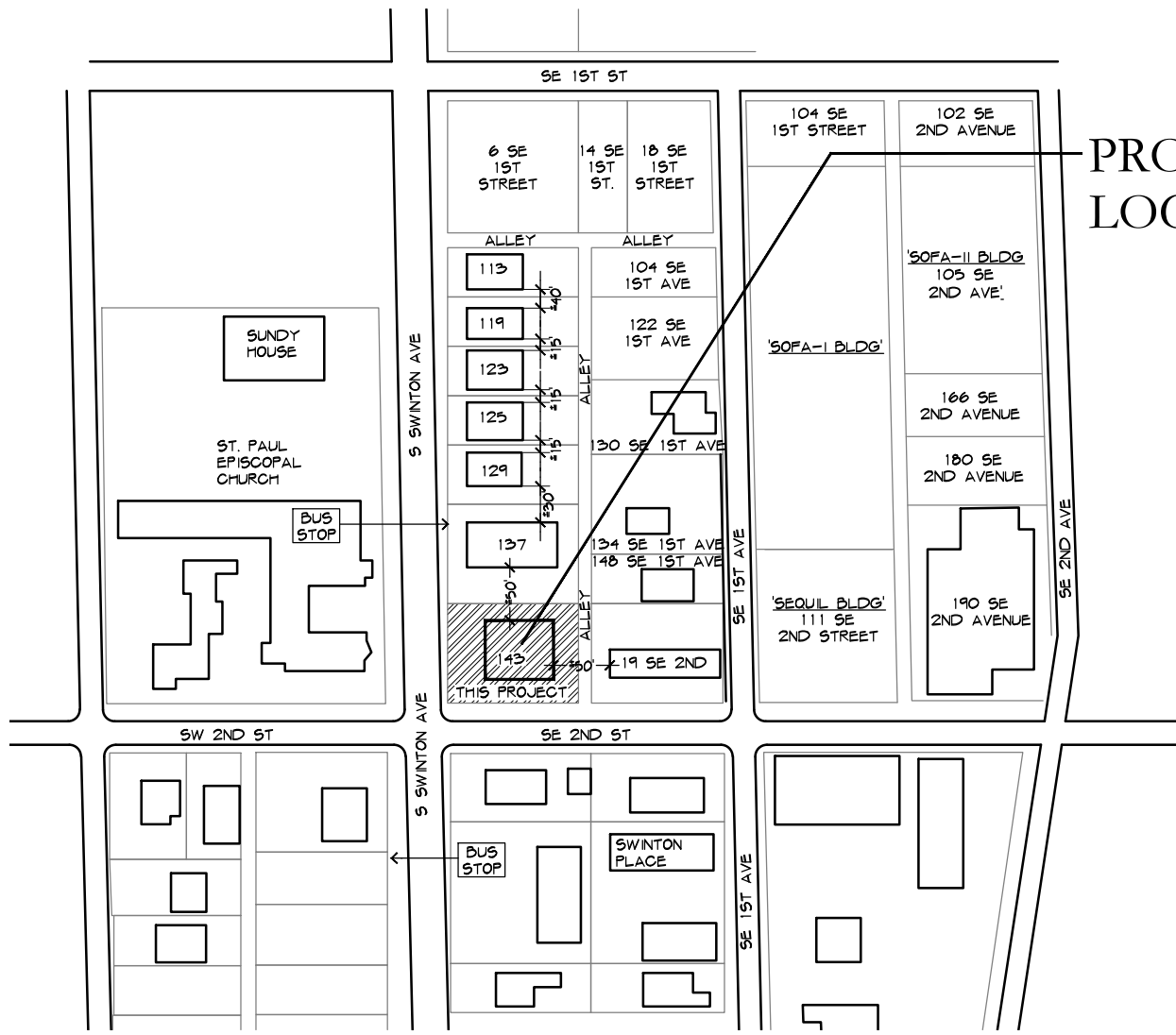
1,063 S.F.
254 S.F.
2,789 S.F.
4,360 S.F.

REFER TO SITE PLAN SHEET A-0.1 FOR SITE STATS

PERSPECTIVE RENDERING



PROJECT
LOCATION



PROJECT
LOCATION

PROJECT DATA

A-0.0 COVER SHEET, NOTES, STATS
SURVEY

ARCHITECTURAL:

A-0.1 SITE PLAN
A-0.1.1 DEMO SITE PLAN
A-0.2 PHOTOMETRIC SITE PLAN
A-0.3 SITE DETAILS
A-0.4 COMPOSITE PLAN
A-1.0 FLOOR PLAN
A-3.0 ROOF PLAN
A-4.0 SOUTH ELEVATION
A-4.1 WEST ELEVATION
A-4.2 NORTH ELEVATION
A-4.3 EAST ELEVATION
A-4.4 RENDER ELEVATIONS
A-4.5 ELEVATION DIAGRAMS
A-8.0 SCHEDULES

CIVIL:

C-1 PAVING & DRAINAGE PLAN
C-2 PAVEMENT MARKING & SIGNING PLAN
C-3 PAVING & DRAINAGE DETAILS
C-4 WATER & SEWER PLAN
C-5 WATER & SEWER DETAILS

LANDSCAPE:

LP-1 LANDSCAPE PLAN
LP-2 LANDSCAPE PLAN
TDP-1 EXISTING TREE DISPOSITION PLAN

DRAWING INDEX

ALL WORK TO COMPLY W/ THE FOLLOWING CODES:

THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH ALL
CITY OF DELRAY BEACH BUILDING DEPARTMENT
REQUIREMENTS AND AMENDMENTS, PALM BEACH
COUNTY REQUIREMENTS AND FOLLOWING CODES:

- 2017 FLORIDA BUILDING CODE
- NATIONAL ELECTRICAL CODE 2015
- 2017 THE FLORIDA FIRE PREVENTION CODE
- NFPA-101, 2015 EDITION W/ FLORIDA AMENDMENTS
- NFPA 1 UNIFORM FIRE CODE 2015 W/ FLORIDA AMENDMENTS
- FLORIDA STATUTES
- FLORIDA ADMINISTRATIVE CODE

DEMOLITION NOTES:

- COMBUSTIBLE WASTE MATERIALS, DUST & DEBRIS SHALL BE REMOVED FROM THE SITE AT THE END OF EACH SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATION
- ANY CHANGES TO FIRE ALARM OR SPRINKLER SYSTEM SHALL BE UNDER SEPARATE PERMIT BY LICENSED INSTALLER
- DEMOLISH AND REMOVE ALL WALLS DESIGNATED TO BE REMOVED ON DEMOLITION PLAN. ADJACENT SURFACES TO BE PROTECTED AND PATCHED TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL DEMOLITION WORK SHALL BE PERFORMED BY MECHANICS SKILLED AND LICENSED IN TRADE INVOLVED.
- REMOVE ALL FLOORING WHERE INDICATED. FLOORING TO REMAIN MUST BE COVERED AND PROTECTED DURING THE DURATION OF CONSTRUCTION.
- REMOVE ALL CABINETRY, COUNTERS AND SHELVING WHERE EVER INDICATED.
- ELECTRICAL LINES AND CIRCUITS THAT ARE IN THE DEMOLITION SHALL BE CAPPED OR DISABLED AT THE ELECTRIC PANEL AS REQUIRED BY N.E.C. LOCAL CODE, ORDINANCES AND OSHA.
- REMOVE ALL ELECTRICAL FIXTURES AND DEVICES THAT ARE IMPACTED BY DEMOLITION WORK.
- CONTRACTOR IS REQUIRED AND IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE SCOPE OF WORK.
- CAP ALL WATER FEED LINES AND SEWER LINES BELOW GRADE FOR ALL PLUMBING FIXTURES DESIGNATED TO BE REMOVED.

NOTES

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Delray Beach, Florida

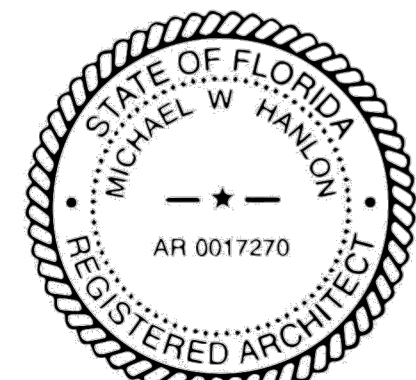
2018-10-25
TAC COMMENTS -2

2018-09-01
TAC COMMENTS-1

NO
DATE
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MICHAEL W. HANLON
FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270

ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:
17-030

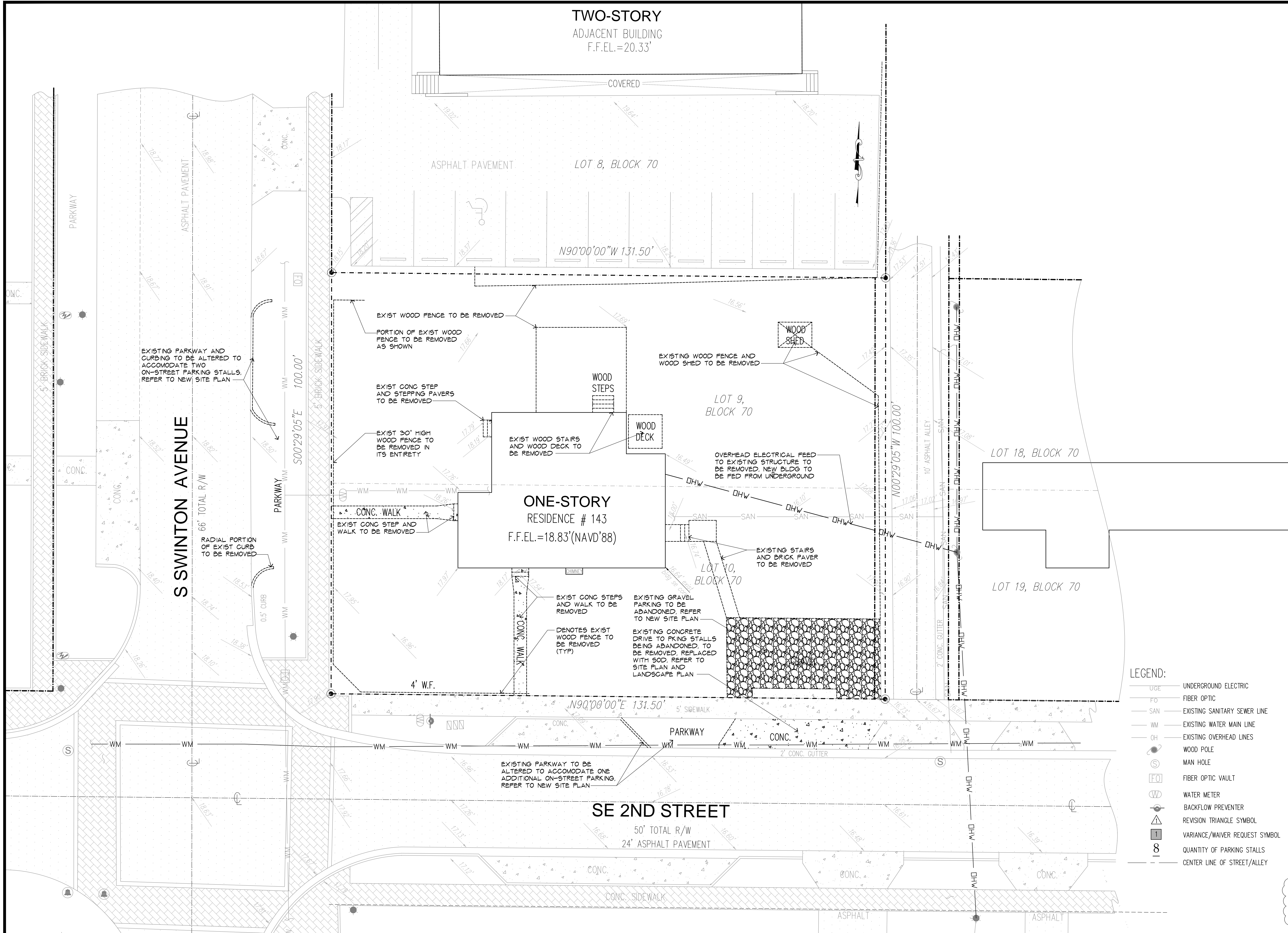
ISSUED DATE:
2018-11-06

SCALE:
N.T.S

TITLE:
COVER, NOTES,
STATS

DRAWING NUMBER:

A0.0



- LEGEND:
- UGE UNDERGROUND ELECTRIC
 - FO FIBER OPTIC
 - SAN EXISTING SANITARY SEWER LINE
 - WM EXISTING WATER MAIN LINE
 - OH EXISTING OVERHEAD LINES
 - WOOD POLE
 - MAN HOLE
 - FIBER OPTIC VAULT
 - WATER METER
 - BACKFLOW PREVENTER
 - REVISION TRIANGLE SYMBOL
 - VARIANCE/WAIVER REQUEST SYMBOL
 - QUANTITY OF PARKING STALLS
 - CENTER LINE OF STREET/ALLEY

PROJECT RELIEF CHART

SYB.	REQUEST & LDR SECTION	REQ'D	PROPOSED
1	VARIANCE REQUEST: SIDE INTERIOR SETBACK REDUCTION LDR SECTION 4.3.4(K)	7'-6"	5'-0"
2	WAIVER REQUEST-1: INCREASE MAX WIDTH BLDG FACING STREET LDR SECTION 4.4.24(F)(4)	60'-0"	64'-3 1/2" / SWINTON 74'-5 1/2" / SE 2ND AVE
3	WAIVER REQUEST-2: REDUCE LANDSCAPE ISLAND AT END OF PKING ROW LDR SECTION 4.4.16(H)(3)(i)	9'-0"	5'-8 1/2" / NORTH 6'-2" / SOUTH

TWO-STORY
ADJACENT BUILDING
F.F.E.L. = 20.33'

COVERED

LOT 8, BLOCK 70

3'-0" X 3'-0" CONC PAD (TYP OF 2)
4'-0" X 5'-0" CONC STOOP

DENOTES EXTERIOR WALL MTD SCIENCE LIGHT FIXTURE (TYP OF 6) REFER TO PHOTOMETRICS ON A02 FOR MORE INFO

New 2,789 sf
1-Story Addition
(F.F.E. = 18.83)
Max Ht. = 14'-6"Existing 1,571 sf
1-Story Structure
(F.F.E. = 18.83)
Max Ht. = 14'-6"
(Max Allowed = 35'-0")
Construction Type VB
Occupancy Type: BLOT 9,
BLOCK 70
NEW PERMEABLE
PAVERS (TYP)LOT 10,
BLOCK 70

LOT 18, BLOCK 70

ADJACENT DOUBLE LOT PROPERTY'S
1-STORY STRUCTURE (APPROX 25' X 111')

LOT 19, BLOCK 70

(NOTE OMITTED (RE: TOTES))

HATCH DENOTES NEW ASPHALT
PAVEMENT W/ ALLEY ROW, FROM
EXIST. ALLEY'S WESTERMOST EDGE
OF PAVEMENT TO NEW BURIED 8"
CONCRETE CURB AS SHOWNHATCH DENOTES AREA OF
EXIST CONC DRIVE TO BE
REMOVED/ABANDONED (REFER
TO DEMO SITE PLAN &
REPLACED WITH SOD

SE 2ND STREET

50' TOTAL R/W
24' ASPHALT PAVEMENT

SITE STATS:

Gross Site Area:	13,150.0 sf
less 2'-6" Alley ROW Dedication:	250.5 sf
New Total Site Area:	12,899.5 sf

Existing 1-story Residence:	1,317 sf
Existing 1-story renovated back to original porch:	254 sf
New 1-story Addition:	2,789 sf
New Total Building Area:	4,360 sf

Max Lot Coverage Allowed:	5,159.80 sf (40%)
Lot Coverage Proposed:	4,360.00 sf (33.80% of Site Area)
Sidewalk/Curbs:	916.45 sf (7.10% of Site Area)
TOTAL Impervious Area:	5,276.45 sf (40.90% of Site Area)

Min. Open (landscaped) Space Req'd:	3,224.87 sf (25.00%)
Open (landscaped) Space Proposed:	5,937.29 sf (46.03 % of Site Area)
Permeable Pavers:	1,685.76 sf (13.07 % of Site Area)
Total Pervious Area:	7,623.05 sf (59.10% of Site Area)
Water Bodies:	Not Applicable

SETBACKS	REQUIRED	PROPOSED
Front -	25'-0"	30'-0" (Swinton) / 25'-0" (SE 2nd St)
Rear -	10'-0"	N/A
Interior side -	7'-6"	5'-0" (VARIANCE)
Street Side -	15'-0"	24'-4 3/4"
Height -	35'-0"	16'-10" (existing)

MISCELLANEOUS DATA: Intended Use of Structure: Professional Offices

PARKING STATS:

Total Building Area:	4,360 sq ft
- less exterior porch:	254 sq ft
- less exterior walls:	260 sq ft
- less mech. rooms:	114 sq ft
- less common restrooms/hallways:	361.7 sq ft
Net Bldg Area:	3,370.3 sq ft / 300 sq ft = 11.23 ± 11*

Total Parking Required = *10 Stalls (incl 1 HC)

* Per Section 4.4.24.G.6..... a one space exemption shall be allowed..

Off-Street Parking Provided = 8 Stalls (incl 1 HC)

On-Street Parking Provided = 1 Stalls (per LDR Sec 4.6.9(E)(3)(e)**

Total Parking Provided = 9 Stalls (In-Lieu being requested for (1) stall)

** (3) On-Street Parking being proposed to be constructed

LEGEND:

UGE	UNDERGROUND ELECTRIC
FO	FIBER OPTIC
SAN	EXISTING SANITARY SEWER LINE
WM	EXISTING WATER MAIN LINE
OH	EXISTING OVERHEAD LINES
W	WOOD POLE
M	MAN HOLE
FO	FIBER OPTIC VAULT
W	WATER METER
B	BACKFLOW PREVENTER
△	REVISION TRIANGLE SYMBOL
1	VARIANCE/WAIVER REQUEST SYMBOL
8	QUANTITY OF PARKING STALLS
—	CENTER LINE OF STREET/ALLEY
18.00'	EXISTING GRADE ELEVATION
18.00	PROPOSED GRADE ELEVATION

NOTE:

— REFER TO CIVIL & LANDSCAPE
DOCS FOR MORE INFORMATION.
— REFER TO A03 FOR SITE DETAILS.
& A02 FOR PHOTOMETRICS PLAN

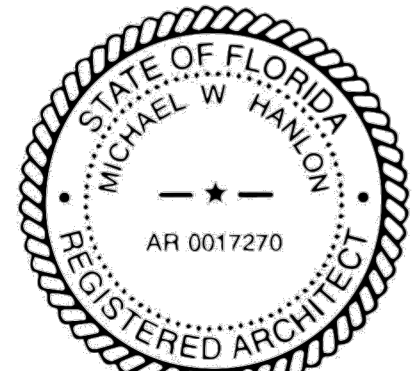
HNM ARCHITECTURE OFFICES

143 South Swinton Avenue
Delray Beach, Florida2018-10-25
TAC COMMENTS-22018-09-01
TAC COMMENTS-1NO
DATE
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17-030

ISSUED DATE:

2018-11-06

SCALE:

1"=10'-0"

TITLE:


SITE PLAN

DRAWING NUMBER:

A-0.1

S SWINTON AVENUE

SE 2ND STREET

LUMINAIRE SCHEDULE				
SYMBOL	QTY	LABEL	DESCRIPTION	LUM. LUMENS
	5	A	FEISS # OL13702ANBZ-L1 / MTD AT 8' AFG (REFER TO SHEET A-0.3 FOR DETAILS)	1915

CALCULATION SUMMARY								
LABEL	CALC. TYPE	UNITS	AVG	MAX	MIN	MAX/MIN	AVG/MIN	
PARKING AREAS	ILLUMINANCE	FC	1.0	3.8	0.0	N/A	N/A	

2.2	2.5	1.8	1.3	1.0	0.7	0.25
3.4	3.5	2.3	1.7	1.0	0.5	0.25
2.8	3.3	2.4	1.5	0.9	0.5	0.25
2.2	2.8	2.3	1.5	0.9	0.4	0.25
2.6	3.1	2.4	1.6	0.9	0.5	0.25
3.6	3.8	2.7	1.6	0.9	0.6	0.25
3.4	3.6	2.6	1.6	0.9	0.6	0.25
2.2	2.7	2.2	1.4	0.8	0.6	0.25
1.6	2.2	1.9	1.4	0.8	0.6	0.25
1.8	2.4	2.0	1.5	1.0	0.6	0.25
2.9	3.2	2.4	1.6	1.0	0.6	0.25
3.5	3.7	2.6	1.6	1.0	0.6	0.25
2.5	3.1	2.4	1.6	0.9	0.6	0.25
1.8	2.6	2.2	1.6	1.0	0.6	0.25
2.1	2.9	2.4	1.6	1.0	0.6	0.25
3.1	3.7	2.6	1.6	1.0	0.6	0.25
3.2	3.6	2.5	1.7	1.0	0.6	0.25
2.6	2.4	2.2	1.6	1.0	0.6	0.25
2.4	1.8	1.7	1.4	0.9	0.6	0.25
2.1	1.6	1.5	1.4	0.8	0.6	0.25
1.6	1.4	1.3	1.3	0.7	0.6	0.25
1.2	1.3	0.9	0.8	0.6	0.5	0.25
1.0	0.6	0.5	0.5	0.5	0.4	0.25

FEISS
LED

OL13702ANBZ-L1: 1 - Light Outdoor LED Wall
Lantern



Dimensions:

Width: 10"
Height: 16 1/4"
Weight: 11.88 lbs.

Extends: 8"
Wire: 8"
Mounting Proc: Self-Screw(s)
Connection: Mounted To Box

Bulb Type: Modules

Bulb Base: Integrated

Volts: 120

Watts: 26

Watts Consumed: 26

Watts Rated: 26

Hours Rated: 50000

Lumens: 1915

Bulb Temp: 2700°K

CRI: 90

Bulbs:

1 - LED Integrated Array 26w 120v - included

Features:

- Advanced LED technology that warms in color when dimmed (2700K - 2200K).
- This advanced LED technology is carefully designed and selected to consist of the highest quality LED chips for superior performance and reliability.
- Meets Title 24 energy efficiency standards

Material List:

1 Body - StoneStrong - Antique Bronze

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French)
(OL13700-OL13701-OL13702-OL13703-LED)

Collection: Urbandise

UPC #: 014817582352

Finish: Antique Bronze (ANBZ)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Finer Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Glass	Glass	Undefined	1									

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	10	9 1/2	1/2			8

Shipping Information:

Package Type	Product	Quantity	UPC	Length	Width	Height	Gross Weight	Net Weight	Pkg. Class	UPB Ship
Individual	OL13702ANBZ-L1	1	014817582352	16.5	14	13.5	2.133	15	125	Yes
N/Pallet		30		48	40	72.5	80.558	450		No
NV Pallet		30		48	40	72.5	80.558	450		No

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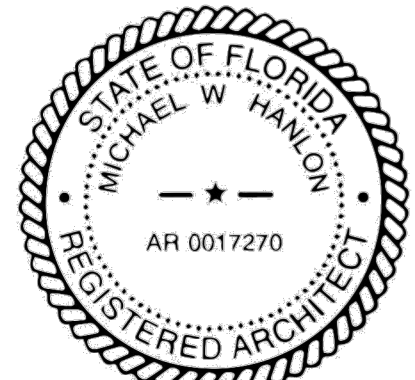
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ISSUED DATE:

2018-11-06

SCALE:

AS NOTED

TITLE:

PHOTOMETRIC
SITE PLAN

DRAWING NUMBER:

A-0.2

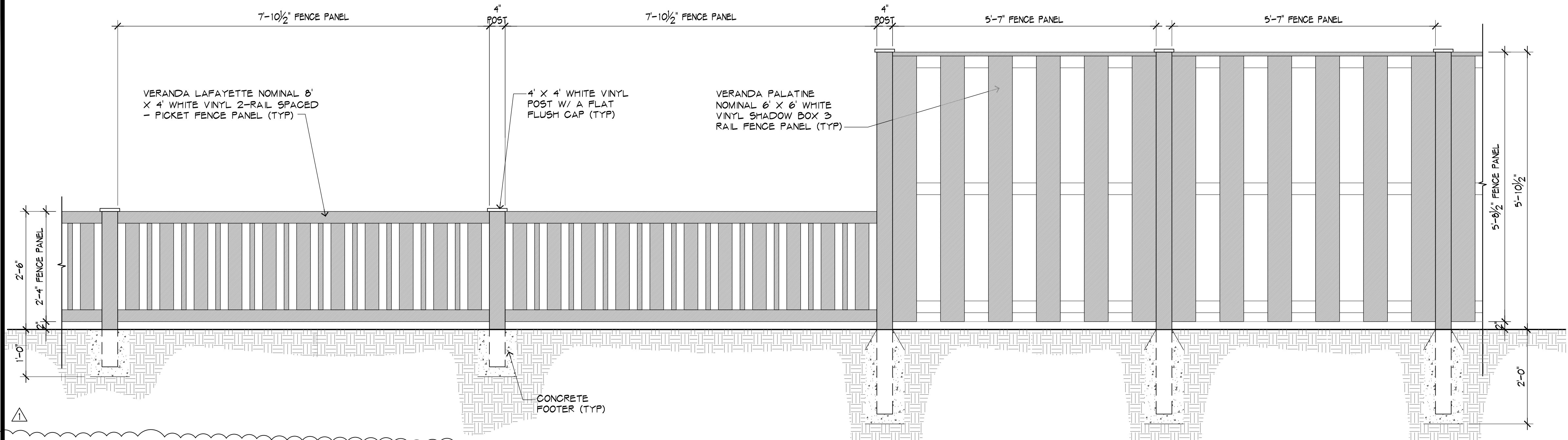


1
1" = 10'-0"

PHOTOMETRIC SITE PLAN

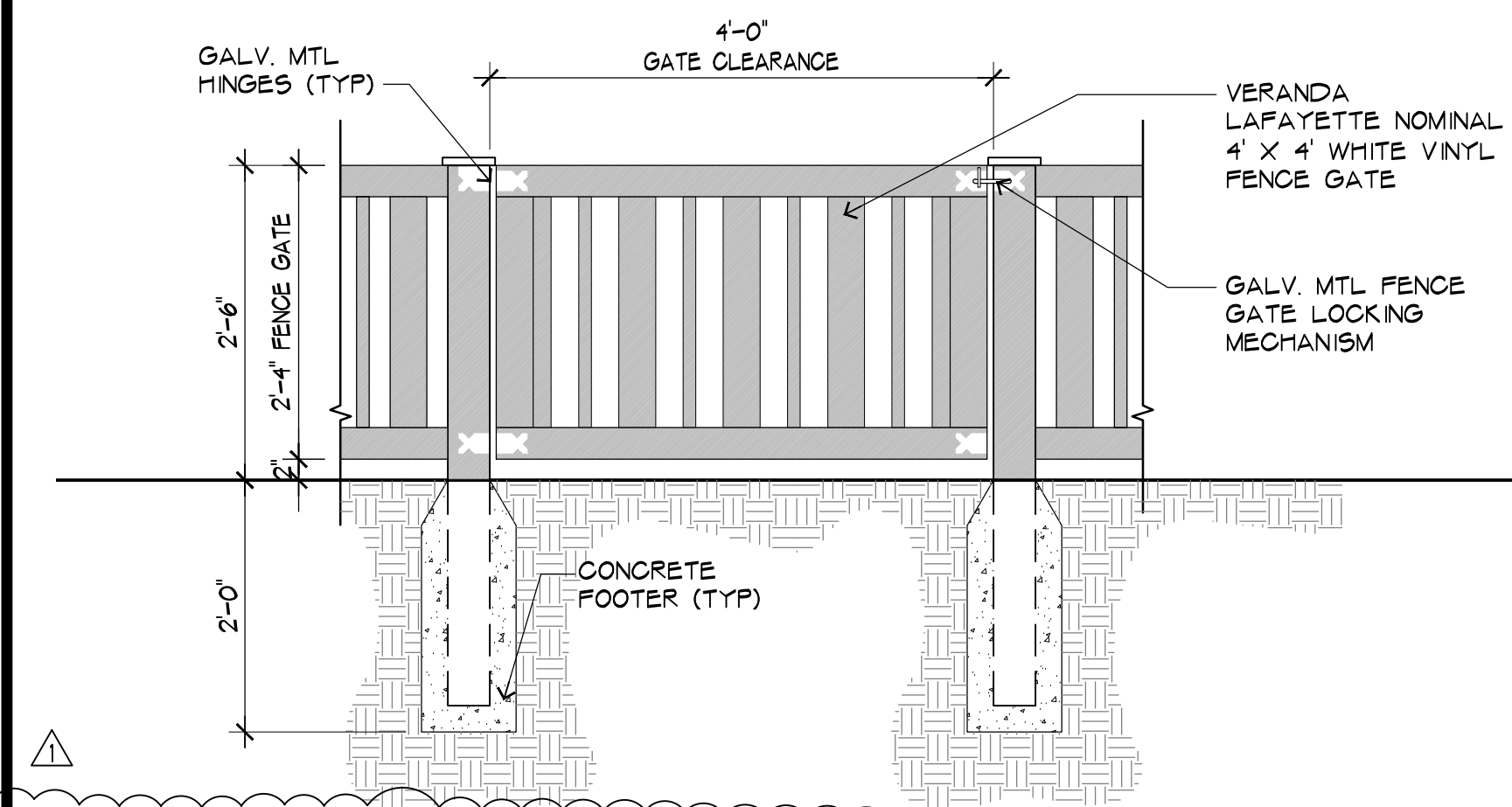


2
OUTDOOR WALL SCONCE



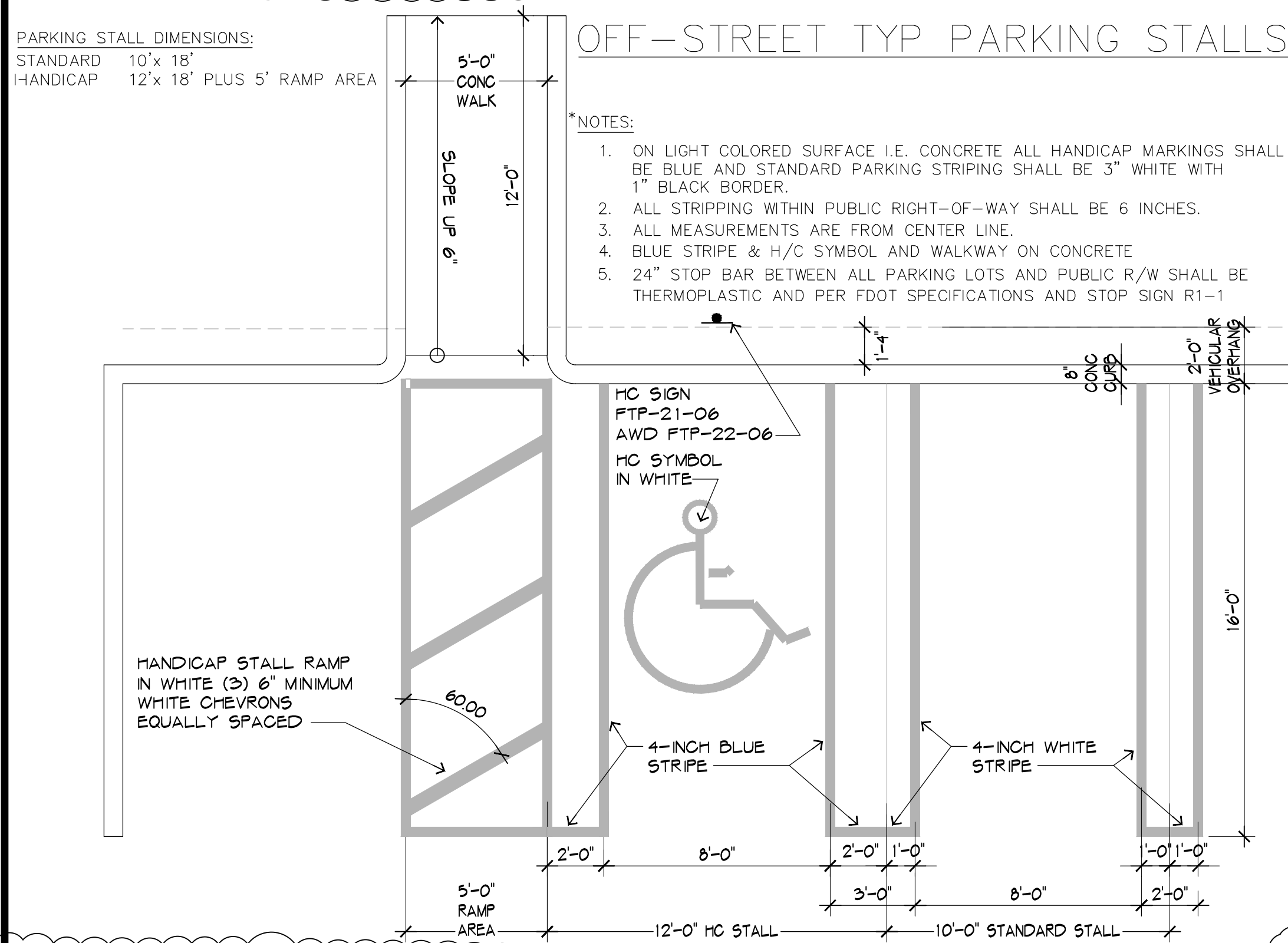
1
3/4"=1'-0"

FENCE - HEIGHT TRANSITION ELEVATION



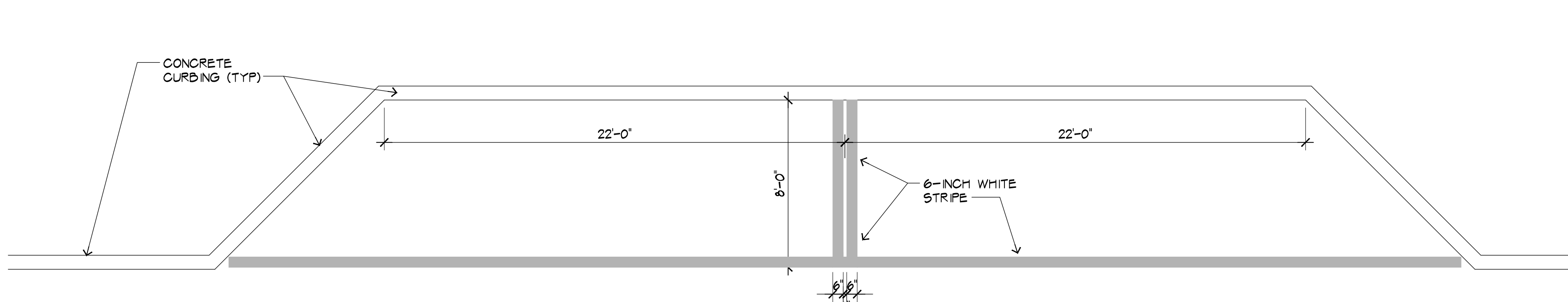
3
3/4"=1'-0"

30" (H) FENCE GATE



5
1/4"=1'-0"

PARKING STALL DETAIL



ON-STREET PARALLEL PARKING STALLS

4
1/4"=1'-0"

PARKING STALL DETAIL

PAVEMENT MARKING SPECIFICATIONS R I 8.1a

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD).

PERMANENT MARKINGS

- Installation:
- All markings shall be installed by the extruded method.
 - Markings shall be free of weaves, bows, drips, drags, and other degrading items.
 - Chalk shall be used for all layout markings
- Materials:
- All materials shall be alkyl or hydrocarbon thermoplastic meeting all FDOT specifications.
- Thickness:
- All markings shall be installed to yield 90 mils of material measured above the pavement surface.
- Spheres:
- Reflective glass sheres are to be applied to all stripes and markings per FDOT specifications.
- Alternate Material:
- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.
- Layout:
- Layout shall be made using marking chalk.
 - It is recommended that marking layout be inspected by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

- Final Pavement Surface:
- Only foil backed marking tape is allowed.
 - All tape shall be totally removed concurrent with permanent marking placement.

- Other Pavement Surfaces:
- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS R I 8.1b

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkyl thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

6
NTS

PAVEMENT MARKING SPECIFICATIONS

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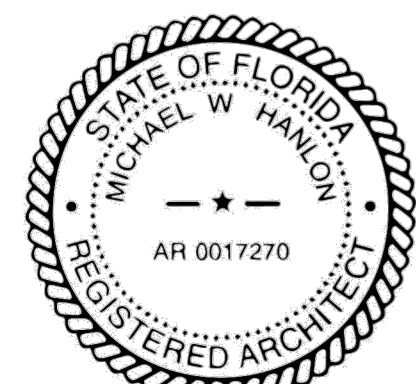
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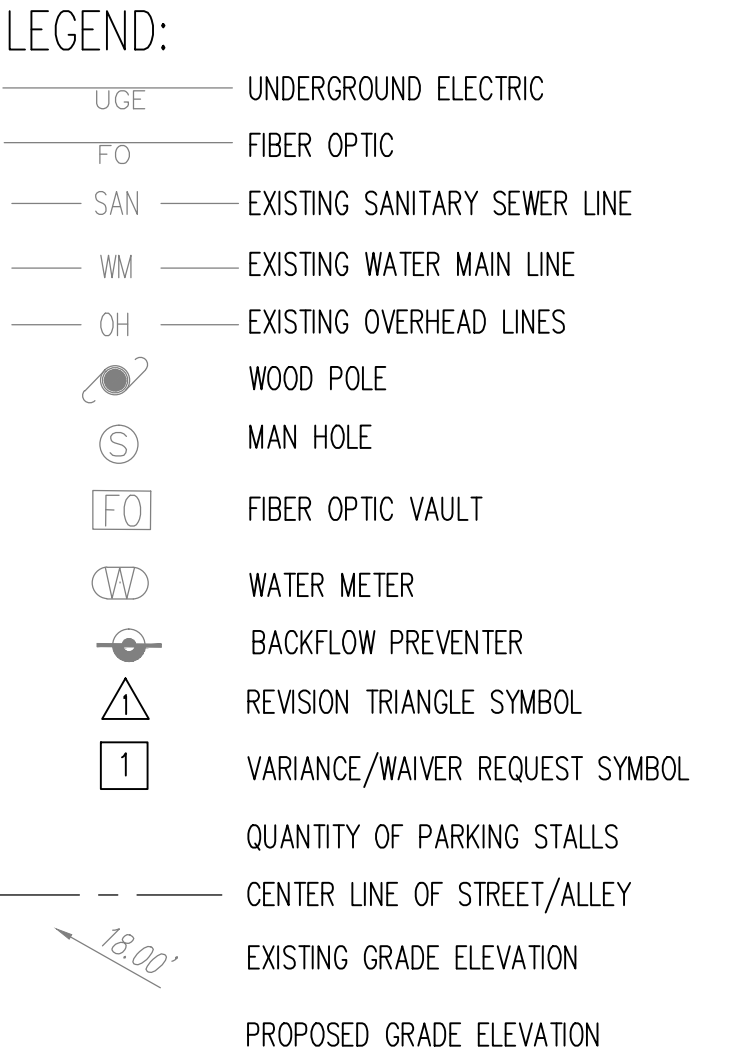
AS NOTED

TITLE:

SITE DETAILS

DRAWING NUMBER

A-0.3

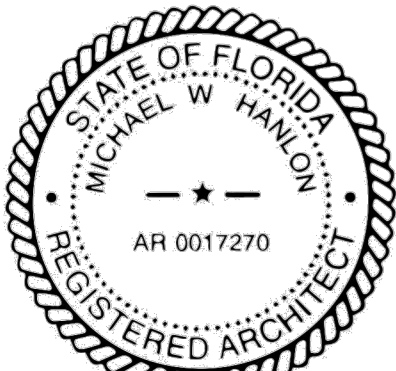
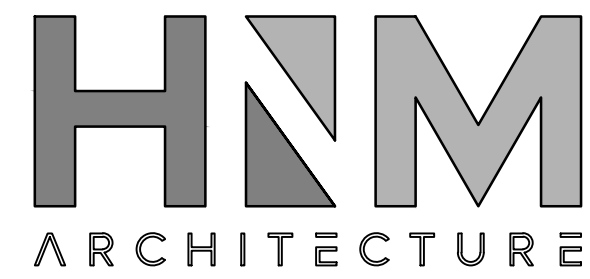


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FLORIDA REGISTERED ARCHITECT - REG. NUMBER: AR0017270
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER: 17-030	
ISSUED DATE: 2018-11-06	
SCALE: AS NOTED	

TITLE: COMPOSITE PLAN

DRAWING NUMBER:

A-0.4

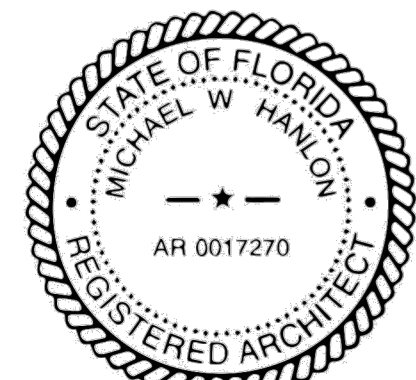
2018-09-01	TAC COMMENTS-2
2018-09-01	TAC COMMENTS-1
NO	DATE REVISION

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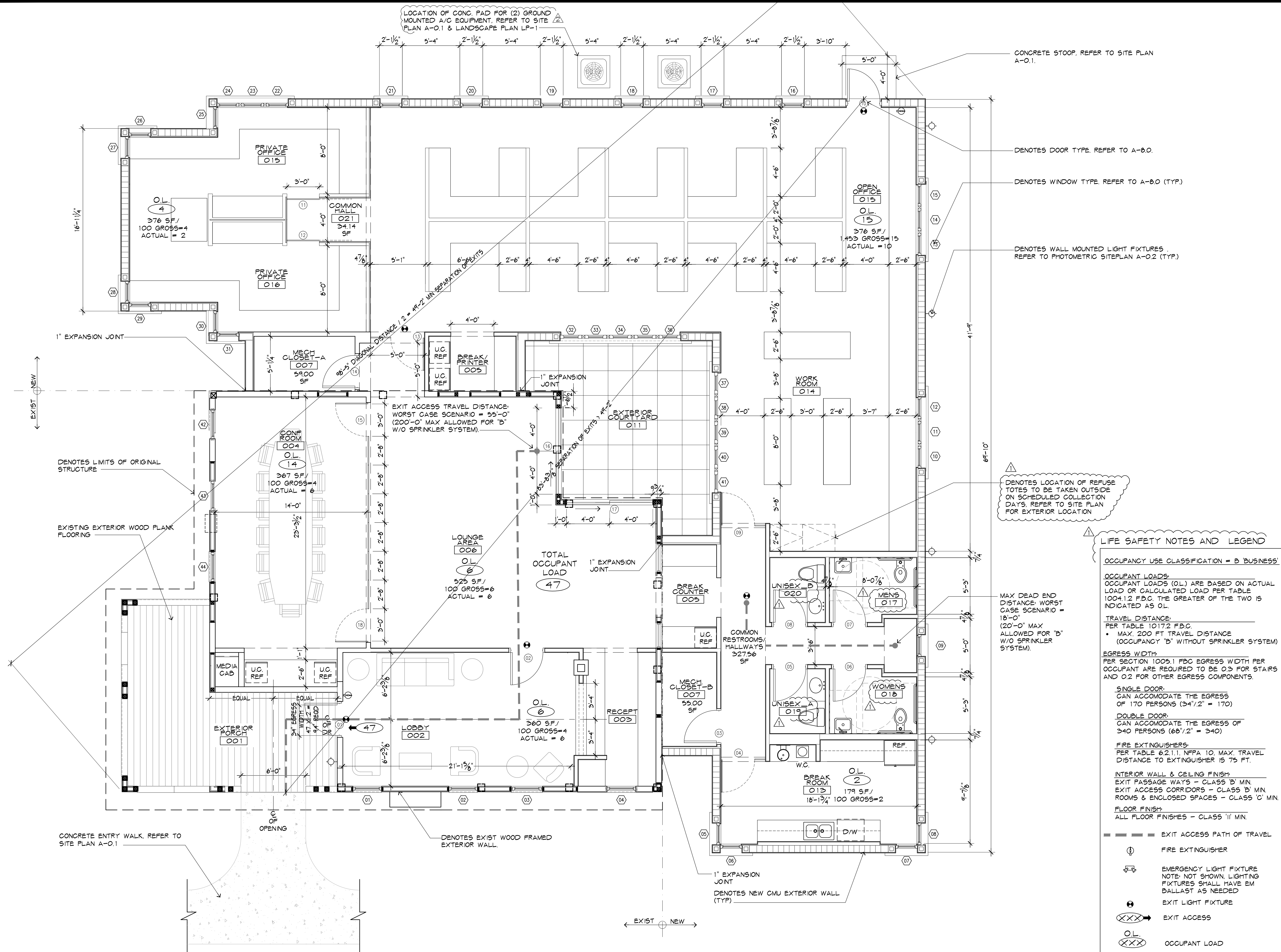


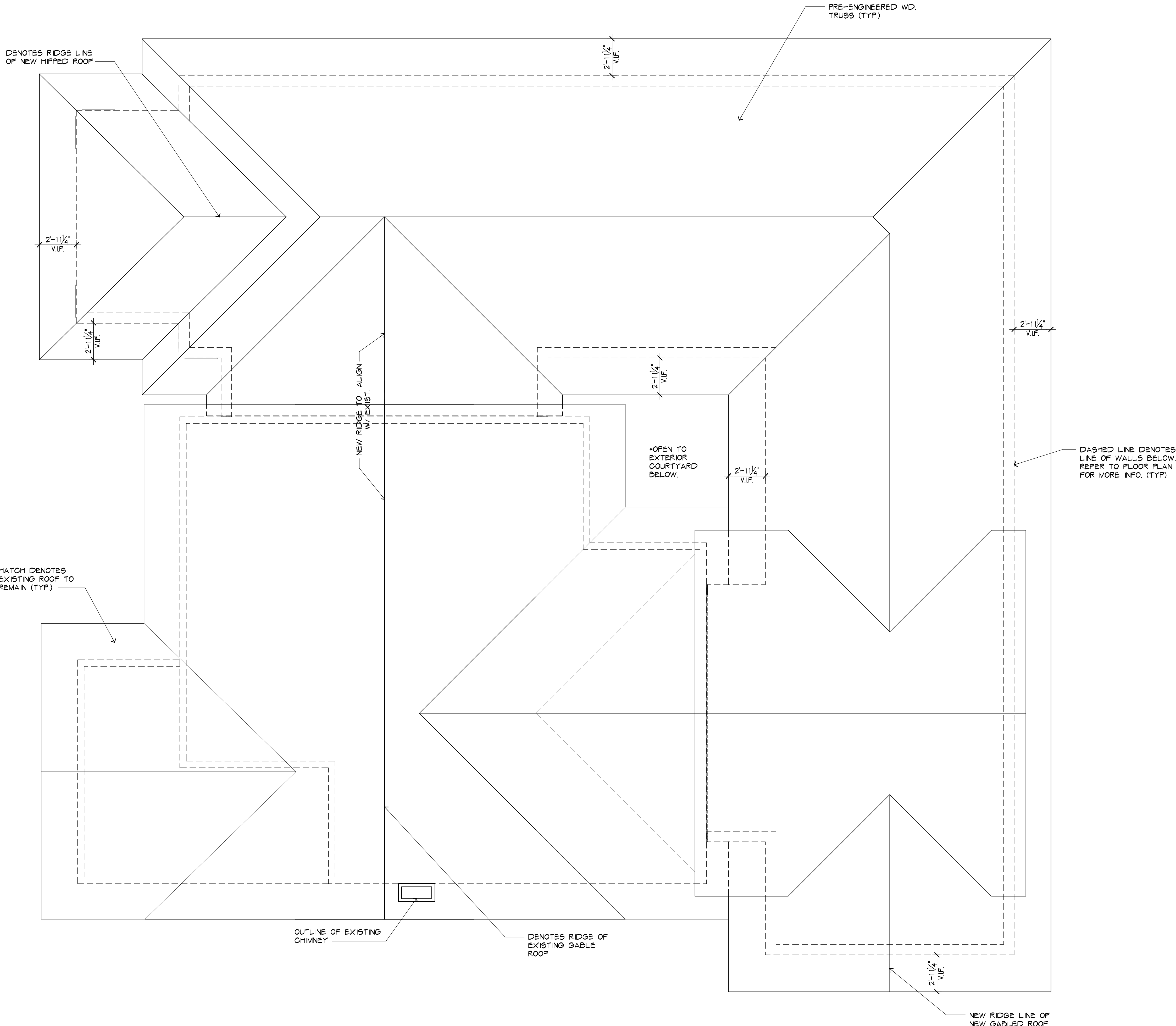
2002 North Federal Highway • Delray Beach, Florida 33483 • T. 561.735.2225
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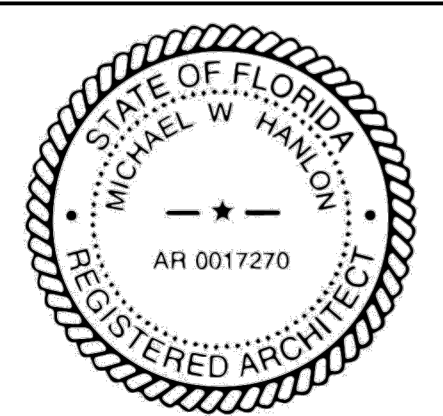
HNM PROJECT NUMBER: 17-030	
ISSUED DATE: 2018-11-06	
SCALE: AS NOTED	
TITLE: FLOOR PLAN	
DRAWING NUMBER: A-1.0	





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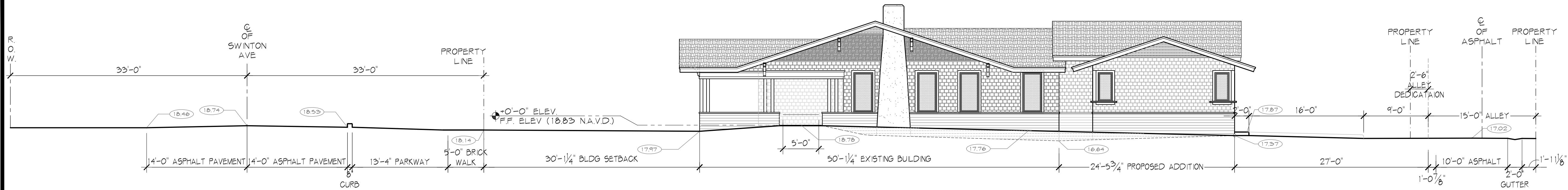


MICHAEL W. HAMLIN
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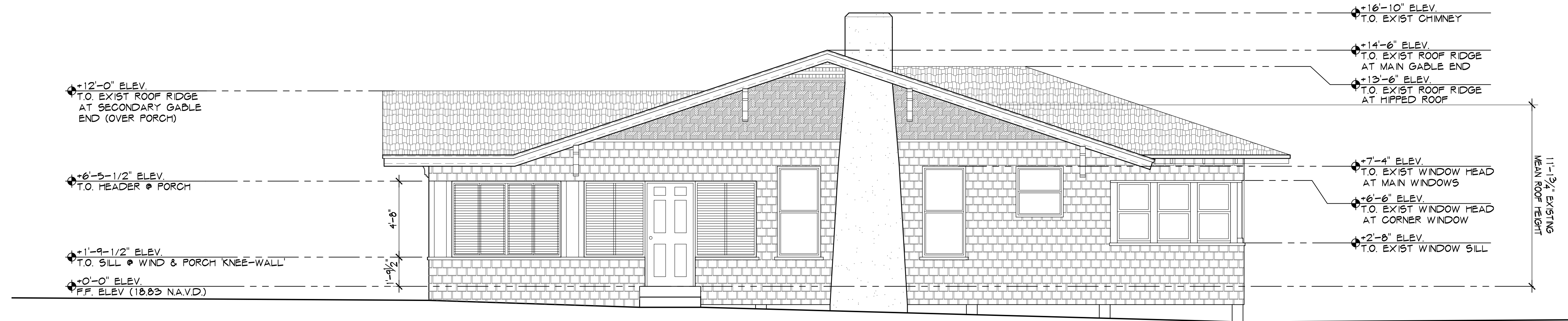
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ISSUED DATE: 2018-11-06		
SCALE: AS NOTED		

TITLE:
ROOF PLAN

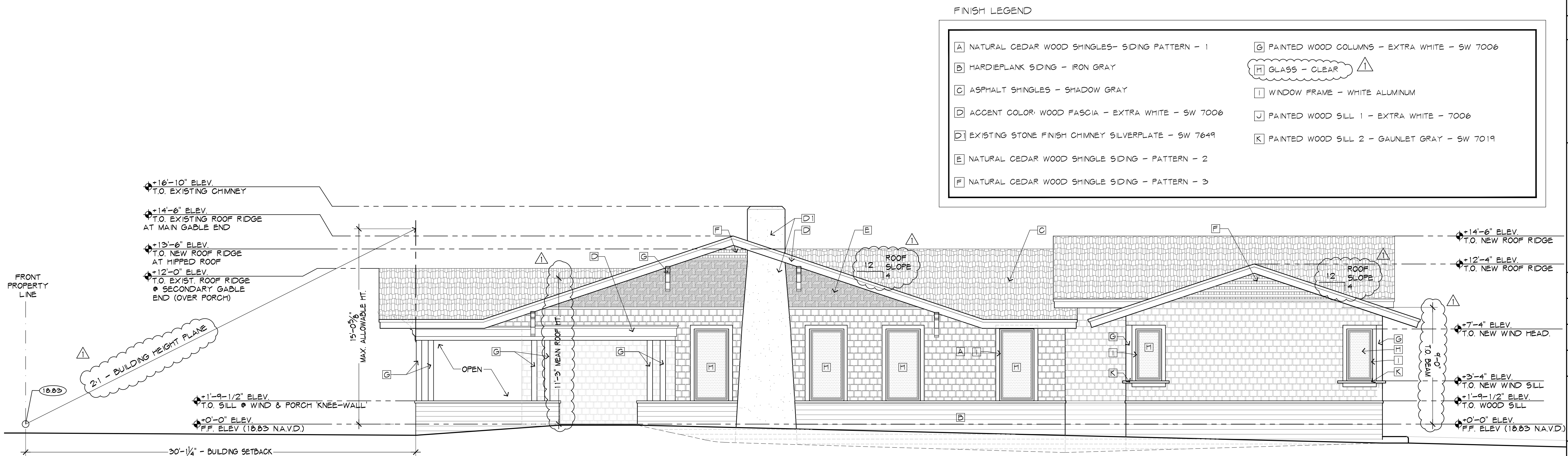
DRAWING NUMBER:
A-3.0



1
1/8" = 1'-0" PROPOSED SOUTH- STREET ELEVATION - SE 2nd Street



2
1/4" = 1'-0" EXISTING - SOUTH ELEVATION



3
1/4" = 1'-0" PROPOSED SOUTH ELEVATION

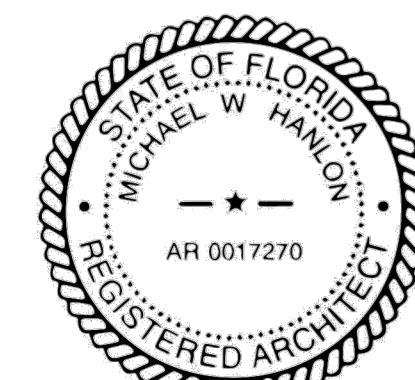
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2018-09-01
TAC COMMENTS-1

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DATE
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:

17-030

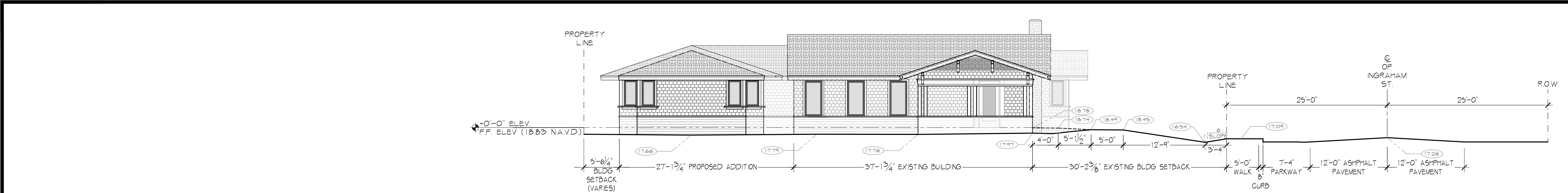
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2018-11-06

SCALE:
AS NOTED

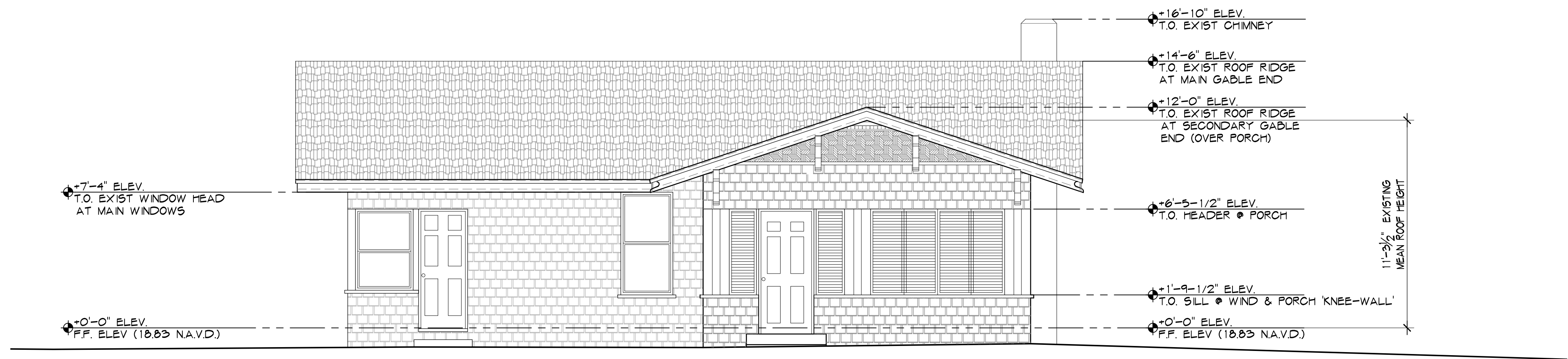
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SOUTH ELEVATION

DRAWING NUMBER:

A-4.0



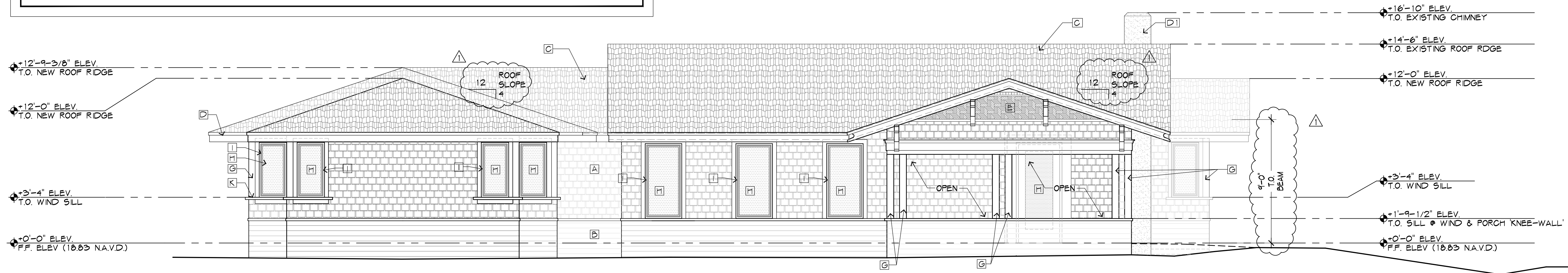
1
1/8" = 1'-0" PROPOSED WEST - STREET ELEVATION (Swinton Avenue)



2
1/4" = 1'-0" EXISTING - WEST ELEVATION

FINISH LEGEND

- | | |
|---|--|
| [A] NATURAL CEDAR WOOD SHINGLES- SOING PATTERN - 1 | [G] PAINTED WOOD COLUMNS - EXTRA WHITE - SW 7006 |
| [B] HARDEPLANK SIDING - IRON GRAY | [H] GLASS - CLEAR |
| [C] ASPHALT SHINGLES - SHADOW GRAY | [I] WINDOW FRAME - WHITE ALUMINUM |
| [D] ACCENT COLOR: WOOD FASCIA - EXTRA WHITE - SW 7006 | [J] PAINTED WOOD SILL 1 - EXTRA WHITE - 7006 |
| [E] EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7649 | [K] PAINTED WOOD SILL 2 - GAUNLET GRAY - SW 7019 |
| [F] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 2 | |
| [F] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 3 | |

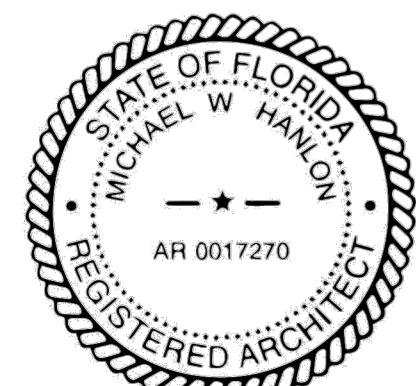


3
1/4" = 1'-0" PROPOSED WEST ELEVATION

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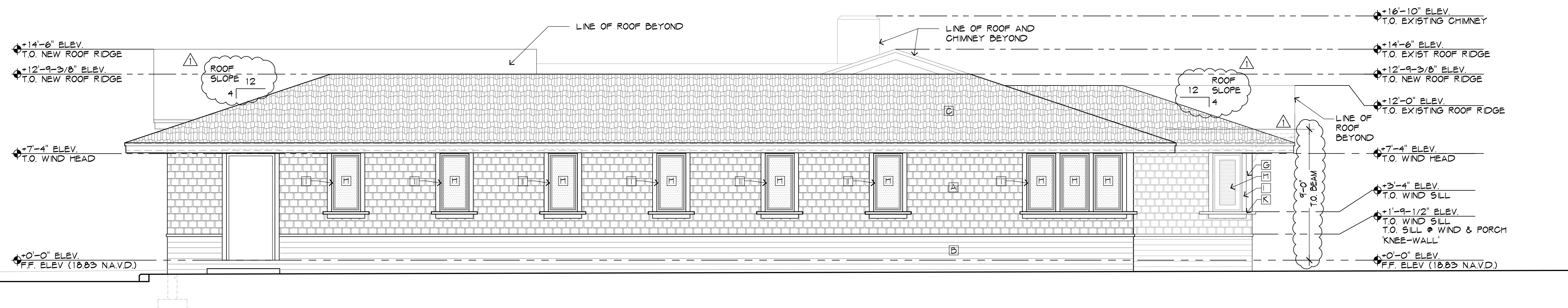
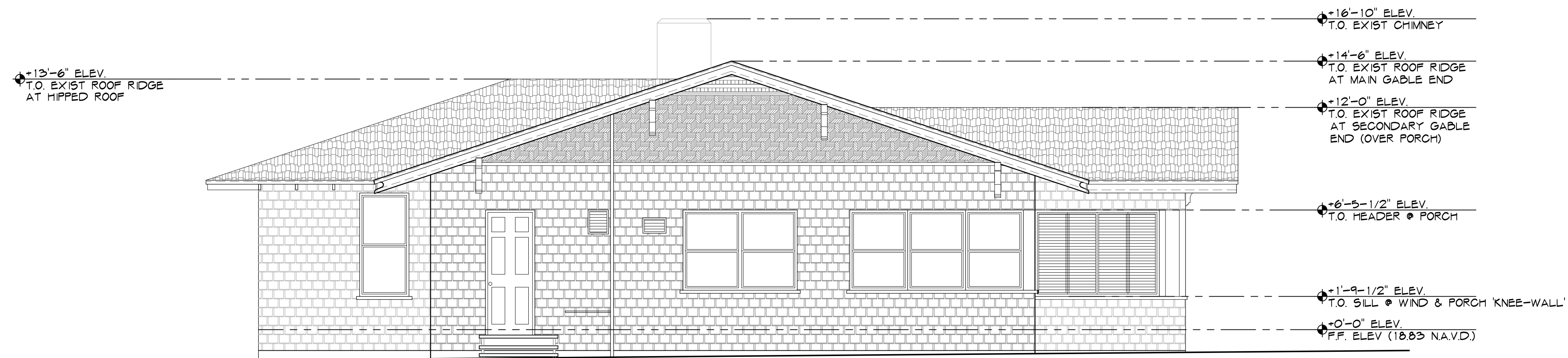
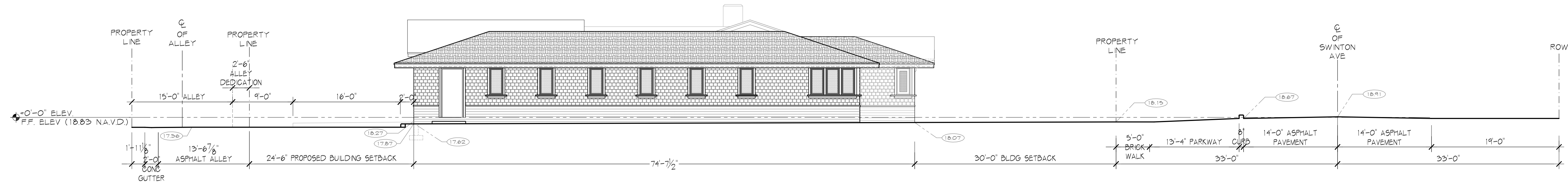


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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:
17-030
ISSUED DATE:
2018-11-06
SCALE:
AS NOTED

TITLE:
WEST ELEVATION

DRAWING NUMBER:
A-4.1



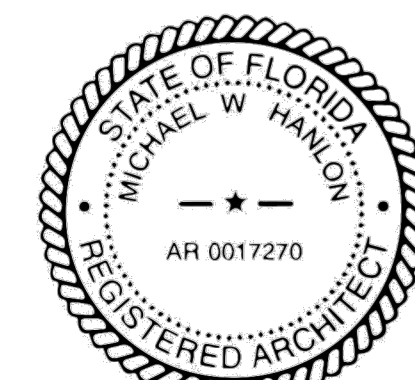
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2018-09-01
TAC COMMENTS-1

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ELECTRONIC SIGNATURE SERIAL NUMBER

HNM PROJECT NUMBER:

17-030

ISSUED DATE

2018-11-06

SCALE:

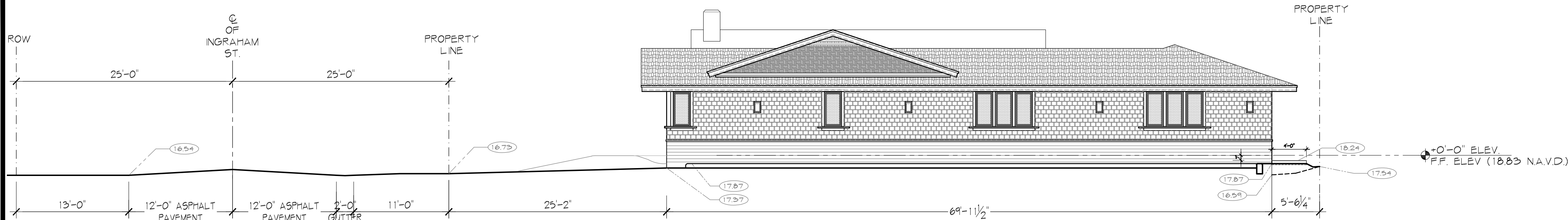
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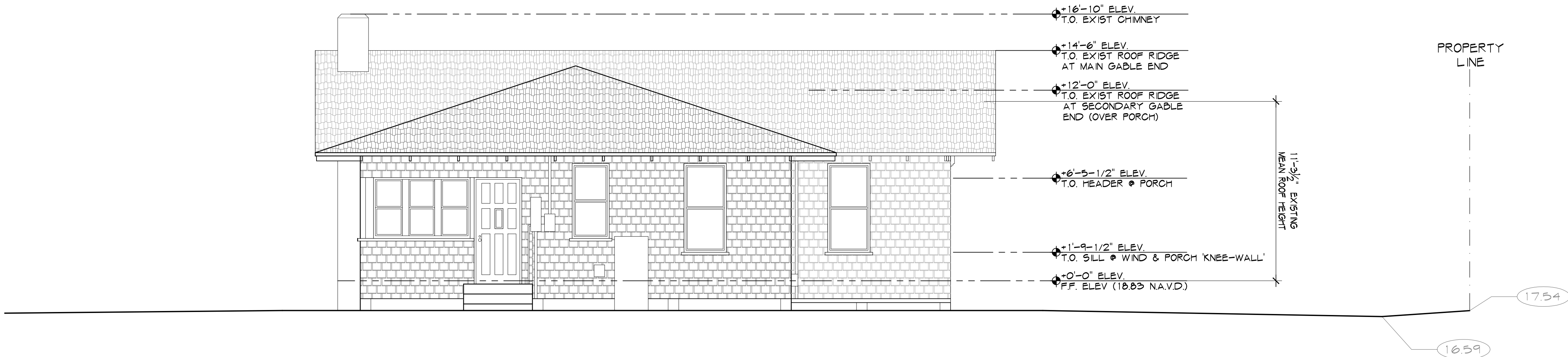
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DRAWING NUMBER

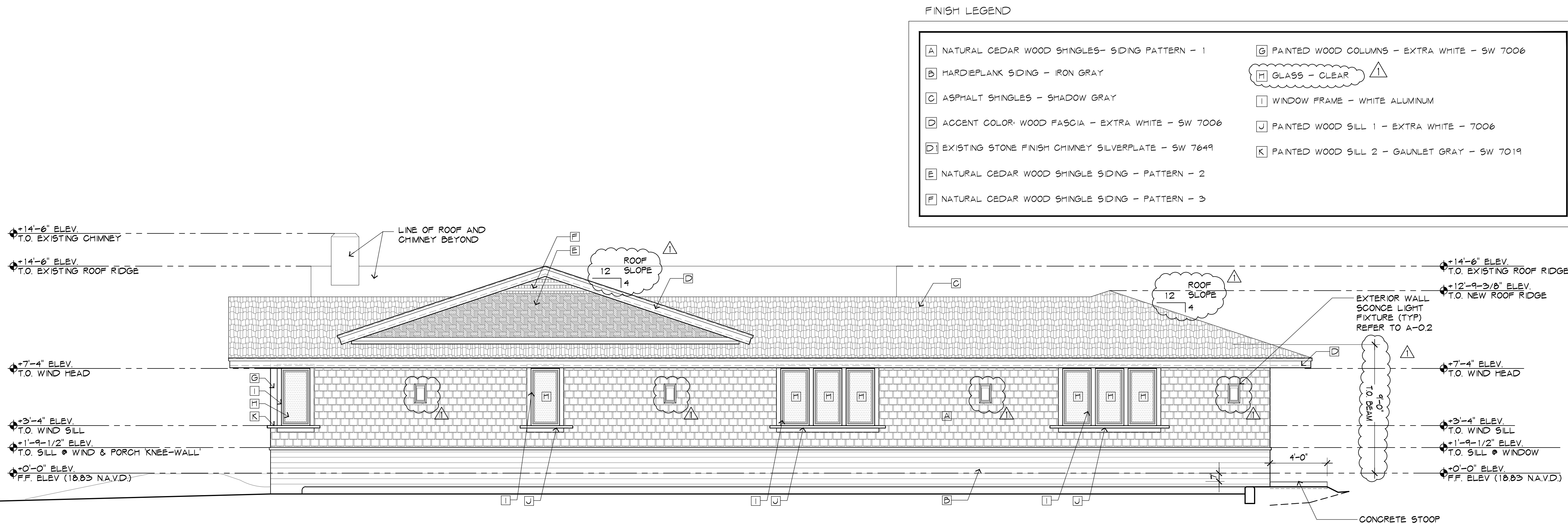
A-4.2



1
1/8" = 1'-0" PROPOSED EAST ELEVATION (Alley)



2
1/4" = 1'-0" EXISTING - EAST ELEVATION



FINISH LEGEND

- | | |
|--|--|
| [A] NATURAL CEDAR WOOD SHINGLES- SIDING PATTERN - 1 | [G] PAINTED WOOD COLUMNS - EXTRA WHITE - SW 7006 |
| [B] HARDIEPLANK SIDING - IRON GRAY | [H] GLASS - CLEAR |
| [C] ASPHALT SHINGLES - SHADOW GRAY | [I] WINDOW FRAME - WHITE ALUMINUM |
| [D] ACCENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006 | [J] PAINTED WOOD SILL 1 - EXTRA WHITE - 7006 |
| [E] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 2 | [K] PAINTED WOOD SILL 2 - GAUNLET GRAY - SW 7019 |
| [F] NATURAL CEDAR WOOD SHINGLE SIDING - PATTERN - 3 | |

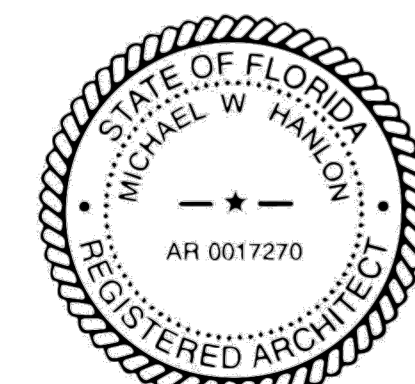
3
1/4" = 1'-0" PROPOSED EAST ELEVATION

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Delray Beach, Florida

2018-10-25
TAC COMMENTS -2
2018-09-01
TAC COMMENTS-1
NO
DATE
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:

17-030

ISSUED DATE:

2018-11-06

SCALE:

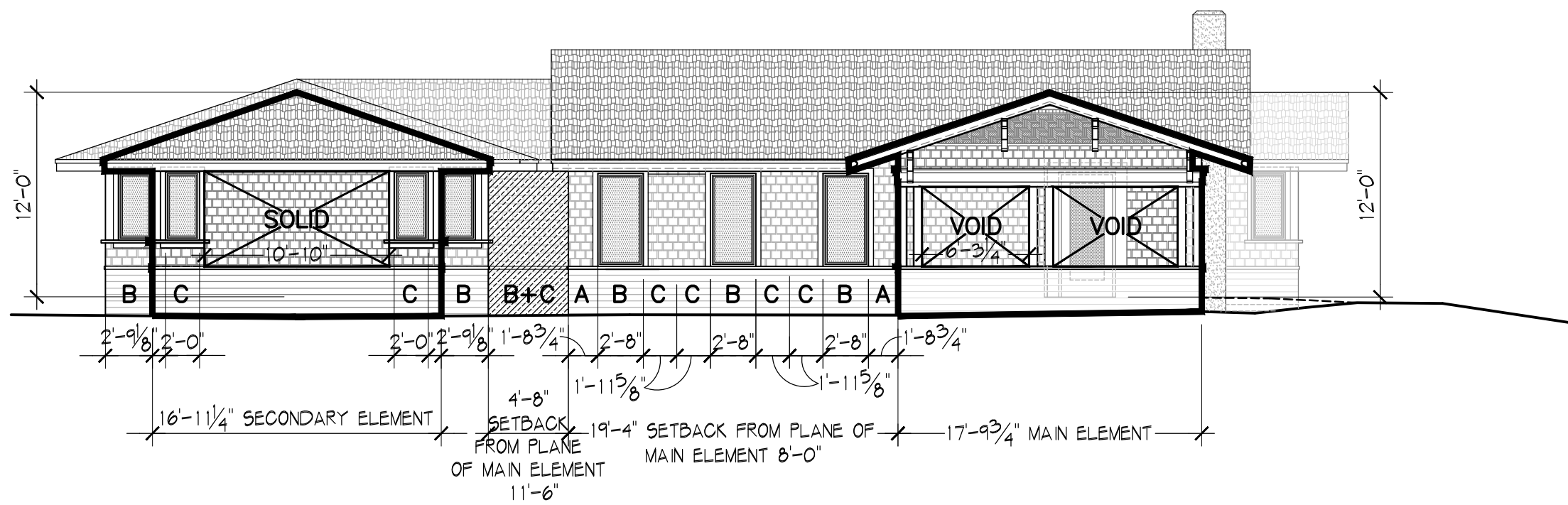
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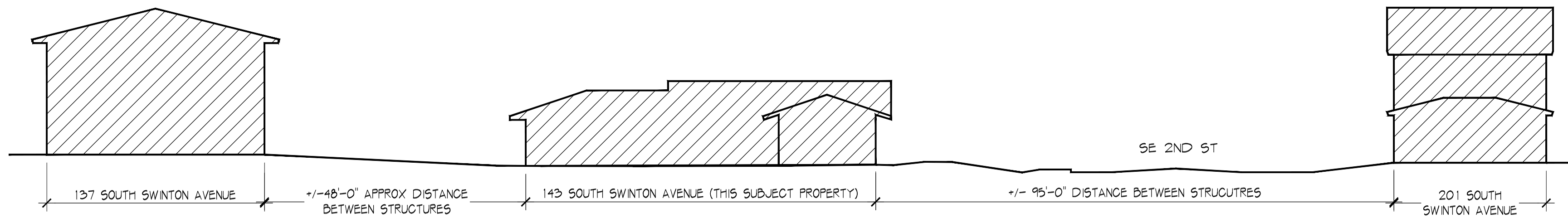
EAST ELEVATION

DRAWING NUMBER:

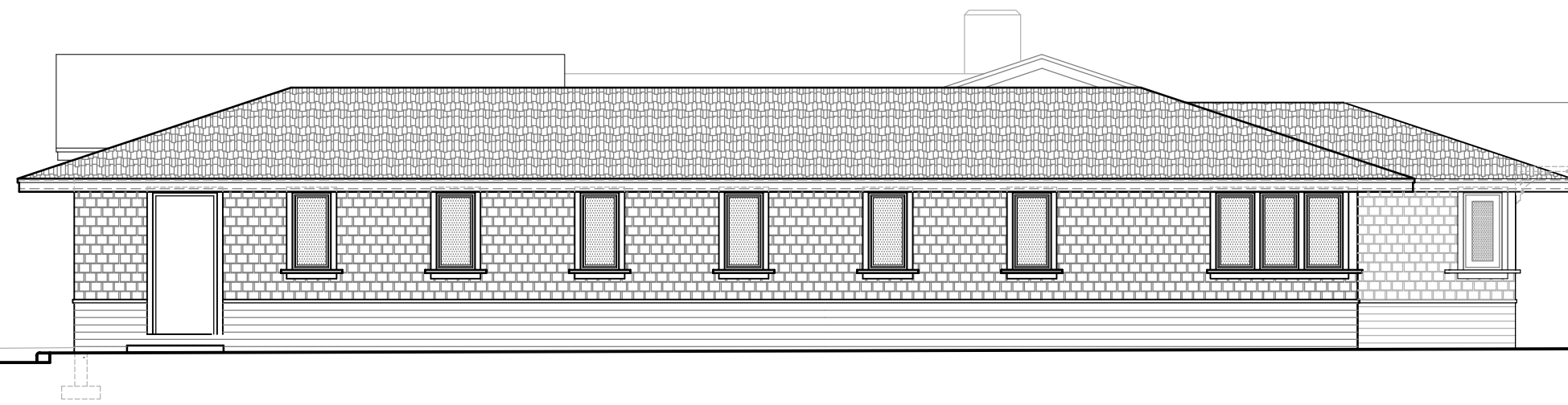
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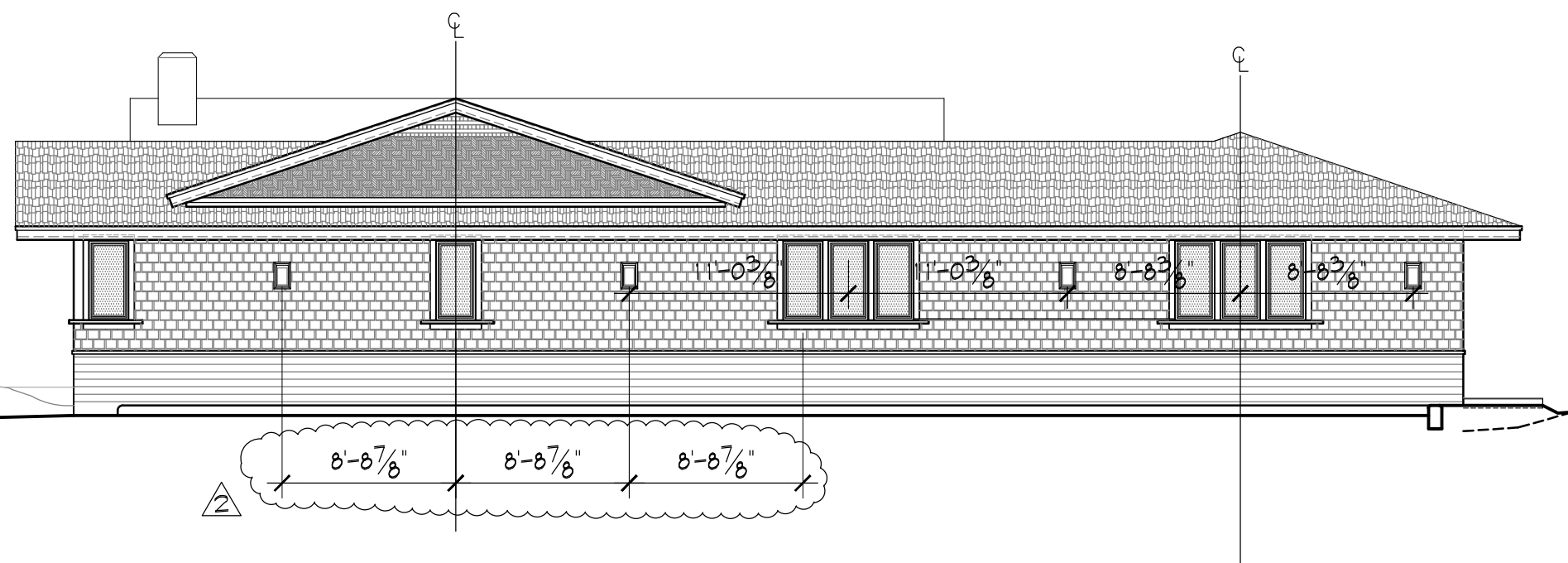
1
1/8" = 1'-0" PROPOSED WEST ELEVATION (Swinton)



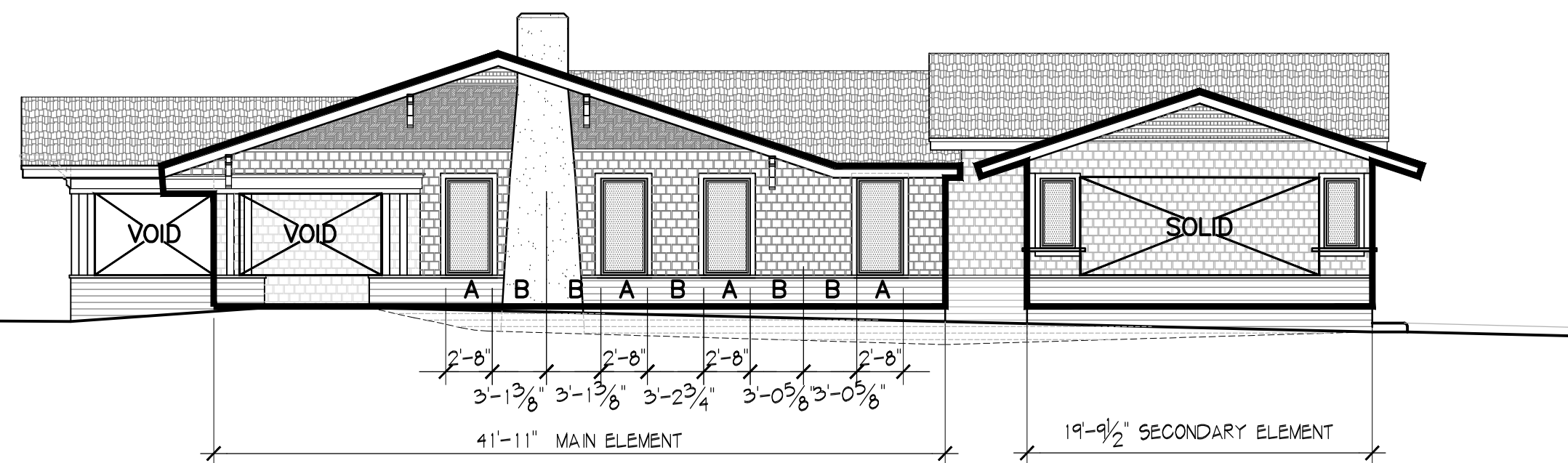
1A
1/16" = 1'-0" WEST ELEVATION MASSING DIAGRAM - SWINTON AVENUE



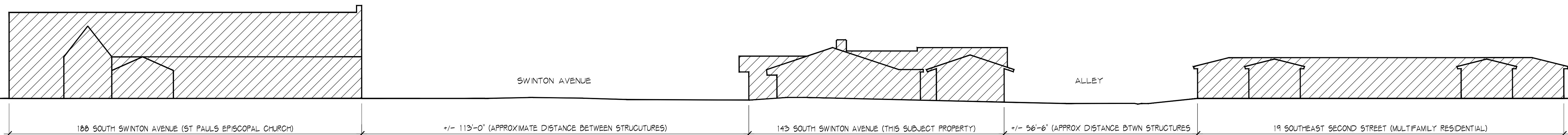
2
1/4" = 1'-0" PROPOSED NORTH ELEVATION



3
1/8" = 1'-0" PROPOSED EAST ELEVATION



4
1/8" = 1'-0" PROPOSED SOUTH ELEVATION (2nd Street)



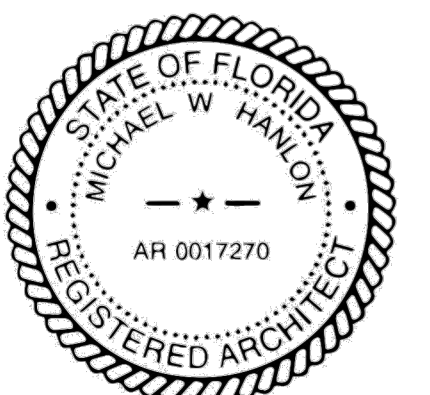
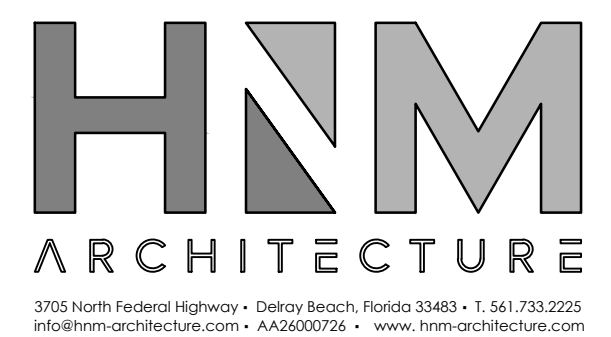
5
1/16" = 1'-0" SOUTH ELEVATION MASSING DIAGRAM - 2ND STREET

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2018-09-01	TAC COMMENTS-1
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:	17-030
ISSUED DATE:	2018-11-06
SCALE:	AS NOTED

TITLE:
ELEVATION
DIAGRAMS

DRAWING NUMBER:
A-4.5

ABBREVIATIONS:
MAT'L - MATERIAL N/A - NOT APPLICABLE H.M. - HOLLOW METAL ENML - ENAMEL PAINT E.S.P. - ELECTROSTATIC PAINT
CLR. - CLEAR TEMP. - TEMPERED LAM - LAMINATED ALUM. - ALUMINUM

NOTES:
1. ALL INTERIOR GLASS WILL BE 1/2" TEMPERED SAFETY CLEAR GLASS.
2. TOP & BOTTOM ALUMINUM U-FRAME
3. SILICONE JOINTS/JAMBS
4. CONTRACTOR TO PROVIDE PRODUCT APPROVALS FOR ALL IMPACT RESISTANT DOORS, STOREFRONT & EXTERIOR WINDOW SYSTEMS
5. ALL ROUGH OPENINGS TO BE FIELD VERIFIED PRIOR TO FABRICATION
6. ALL EXTERIOR GLASS SHALL BE CLEAR GLASS.

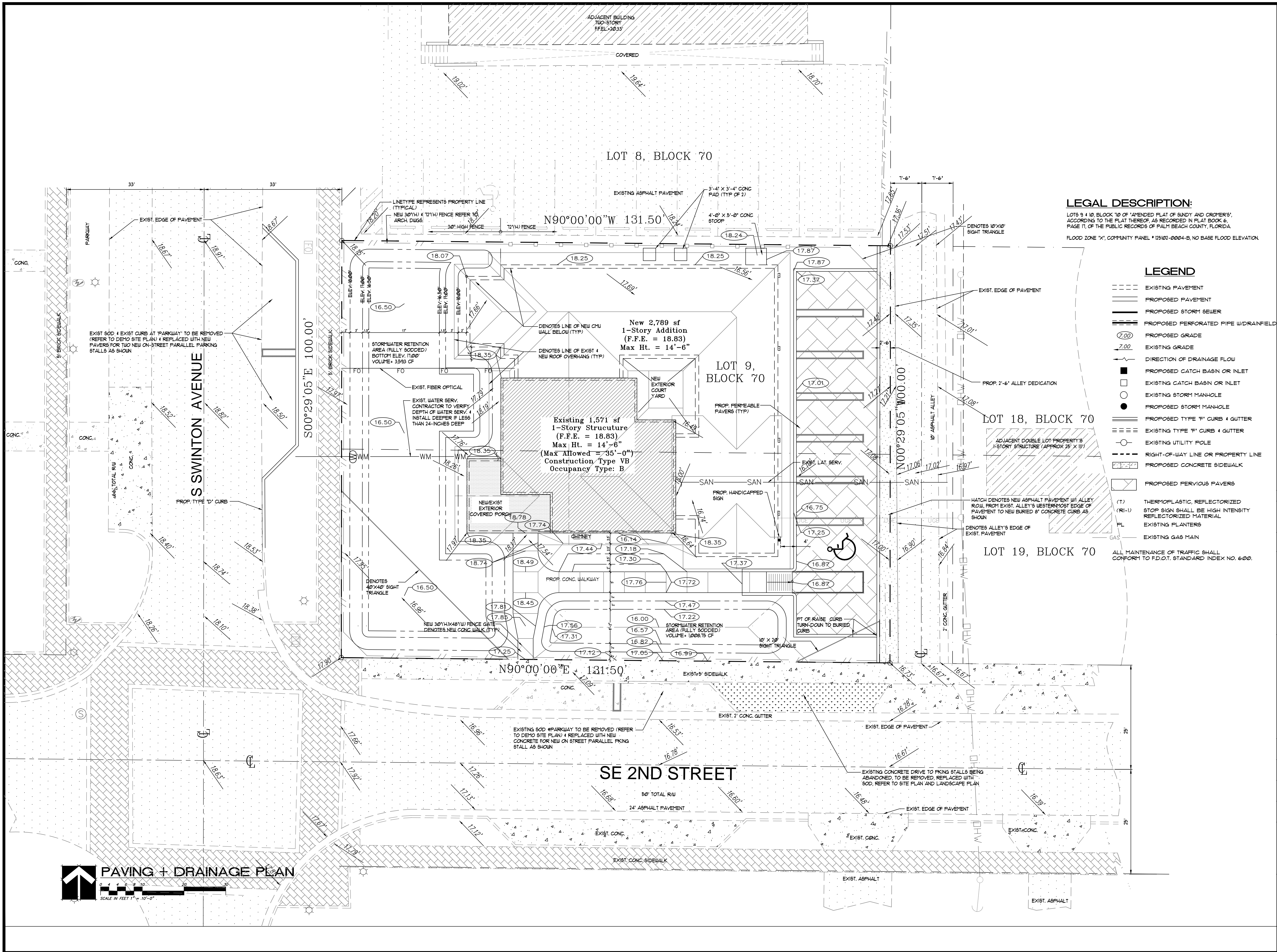
MATL - MATERIAL	N/A - NOT APPLICABLE	CLR - CLEAR	ALUM - ALUMINUM	ENML - ENAMEL	PNT. - PAINTED
SC - SOLID CORE	WD - WOOD	MTL - METAL	STAIN - CLEAR STAIN FINISH		E.S.P. - ELECTROSTATIC PAINT
GL - GLASS	ANOD - CLEAR ANODIZED	MTL - METAL			

NOTES:

- CONTRACTOR SHALL VERIFY ALL INDIVIDUAL DOOR HARDWARE (INCLUDING LOCKING DEVICES) W/ OWNER PRIOR TO ORDERING.
- CONTRACTOR TO PROVIDE PRODUCT APPROVALS AND SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL.
- ALL DOORS SHALL HAVE MASTER KEY AND SUB-MASTERS, COORDINATE WITH OWNER PRIOR TO ORDERING.
- DOORS SHALL HAVE 2.0" ACCESSIBLE DOOR LEVER TYPE HANDLES AS PER FBC AND IBC.
- DOORS TO HAVE 1/2" MAX. LEVEL CHANGE AT THRESHOLD, 1/4" MAX. VERTICAL PLUS 1/4" BEVELED.
- ALL GLASS DOORS BY 'HMS DOORS' (OR APPROVED EQUAL). VERIFY LOCKING REQUIREMENTS W/ TENANT.
- CONTRACTOR SHALL PROVIDE SOLID CORE WOOD DOOR STAIN COLOR SAMPLES FOR OWNER'S APPROVAL.
- ALL GLASS DOORS TO BE CATEGORY II IMPACT 'CLEAR' GLASS.







LEGAL DESCRIPTION:

LOTS 8 & 10, BLOCK 70 OF 'AMENDED PLAT OF SUNDY AND CROMER'S', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 11, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. FLOOD ZONE 'X', COMMUNITY PANEL # 125102-0004-B, NO BASE FLOOD ELEVATION.

LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED STORM SEWER
- PROPOSED PERFORATED PIPE W/DRAINFIELD
- PROPOSED GRADE
- EXISTING GRADE
- DIRECTION OF DRAINAGE FLOW
- PROPOSED CATCH BASIN OR INLET
- EXISTING CATCH BASIN OR INLET
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED TYPE 'F' CURB & GUTTER
- EXISTING TYPE 'F' CURB & GUTTER
- EXISTING UTILITY POLE
- RIGHT-OF-WAY LINE OR PROPERTY LINE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERVIOUS PAVERS
- (T) THERMOPLASTIC, REFLECTORIZED STOP SIGN SHALL BE HIGH INTENSITY REFLECTORIZED MATERIAL
- FL EXISTING PLANTERS
- GAS EXISTING GAS MAIN

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Delray Beach, Florida

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Delray Beach, Florida



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info@hnm-architecture.com • AAS0000709 • www.hnm-architecture.com

CAMERO + ASSOCIATES, INC.
CIVIL ENGINEERS PLANNERS
CAMERO + ASSOCIATES, INC. EB NO. 000479
JORGE L. CAMERO, P.E. FLA. REG. NO. 33949
1400 S.W. 5TH TERR. SUITE 204 MIAMI, FL 33135
(305) 669-1602 FAX (305) 665-8488
CUR JOB NO. 18-116

HNM PROJECT NUMBER:
17-030
ISSUED DATE:
2018-11-02
SCALE:
1" = 10'-0"
TITLE:
PAVING & DRAINAGE PLAN
DRAWING NUMBER:
C-1

1. ENGINEER SHALL PREPARE SIGNING & PAVEMENT MARKING PLANS IN A SEPARATE SHEET
2. ENGINEER SHALL VISIT SITE & VERIFY FIELD CONDITIONS BEFORE PREPARING PROPOSED SIGNING AND PAVEMENT MARKING PLANS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT MARKINGS AND SIGNS CONFLICTING WITH THE PROPOSED ROADWAY CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL PAVEMENT MARKINGS AND SIGNS AS SHOWN IN THE PLANS AND APPLICABLE TRAFFIC DESIGN STANDARDS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND AT THE END OF THE PROJECT, AND AT ALL INTERSECTING SIDE STREETS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF REFLECTIVE PAVEMENT MARKERS ALONG THE ENTIRE LENGTH OF THE PROJECT.
7. SIGN ASSEMBLY LOCATIONS SHOWN IN THE PLANS WHICH ARE IN CONFLICT WITH STREET LIGHTING UTILITIES, DRIVEWAYS, PEDESTRIAN RAMPS, ETC MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER / INSPECTOR.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RAMPS AND CROSSWALKS WHERE SIDEWALK EXISTS AND FOR PROPOSED (ADA) (TYP. - PUM).

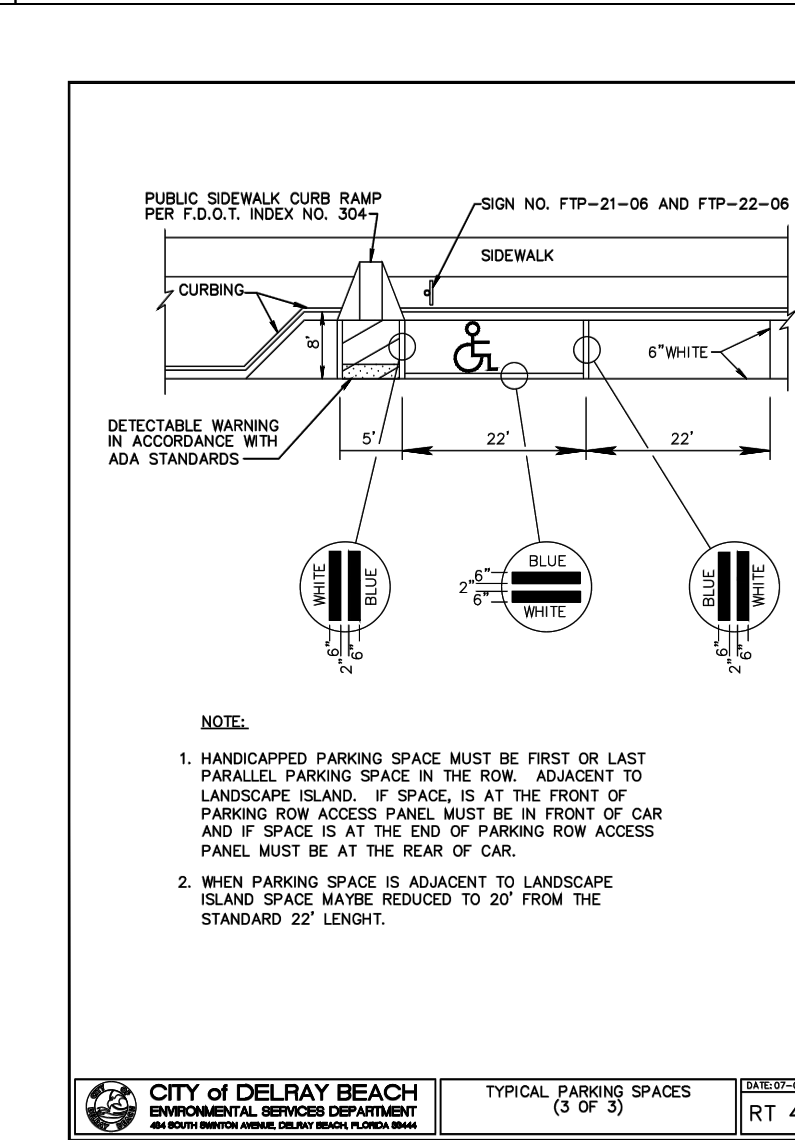
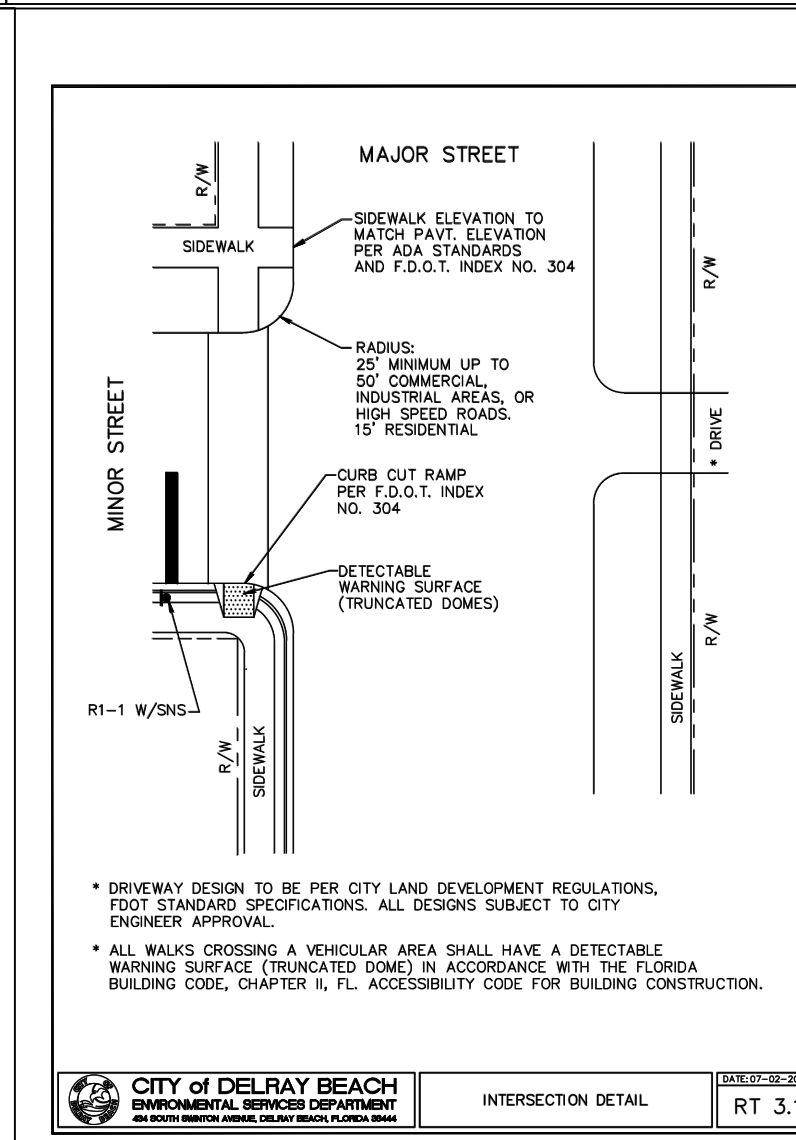
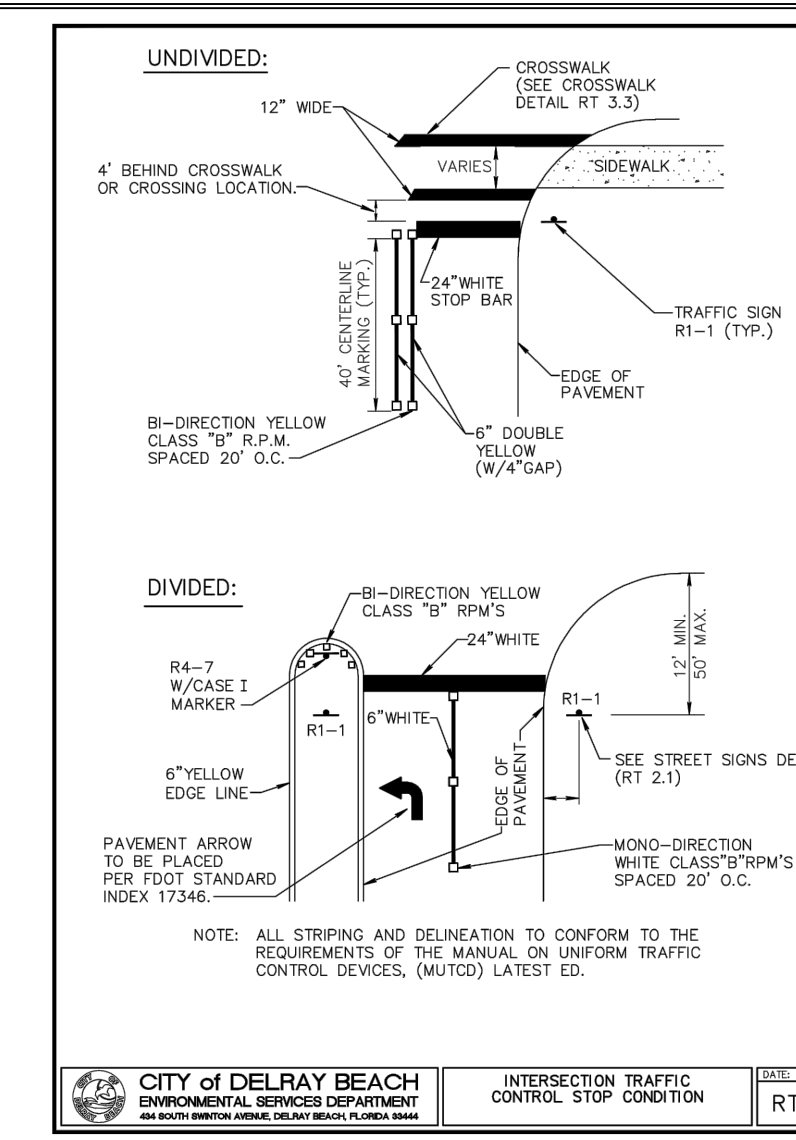
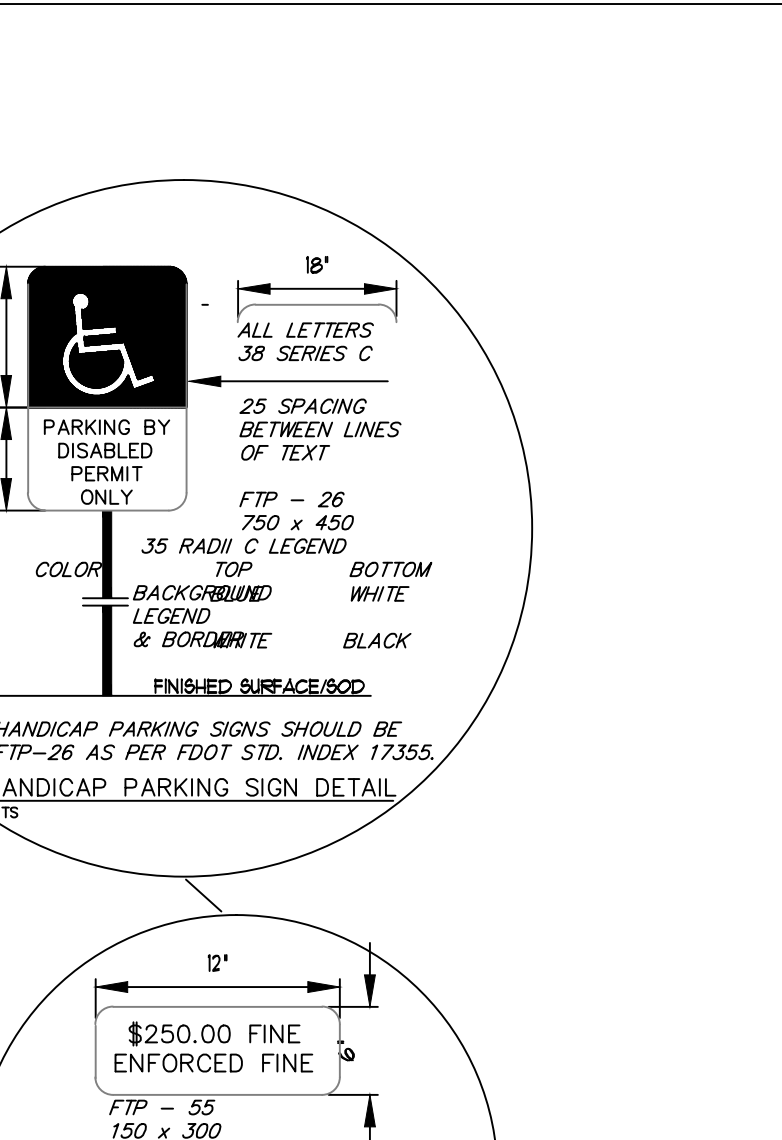
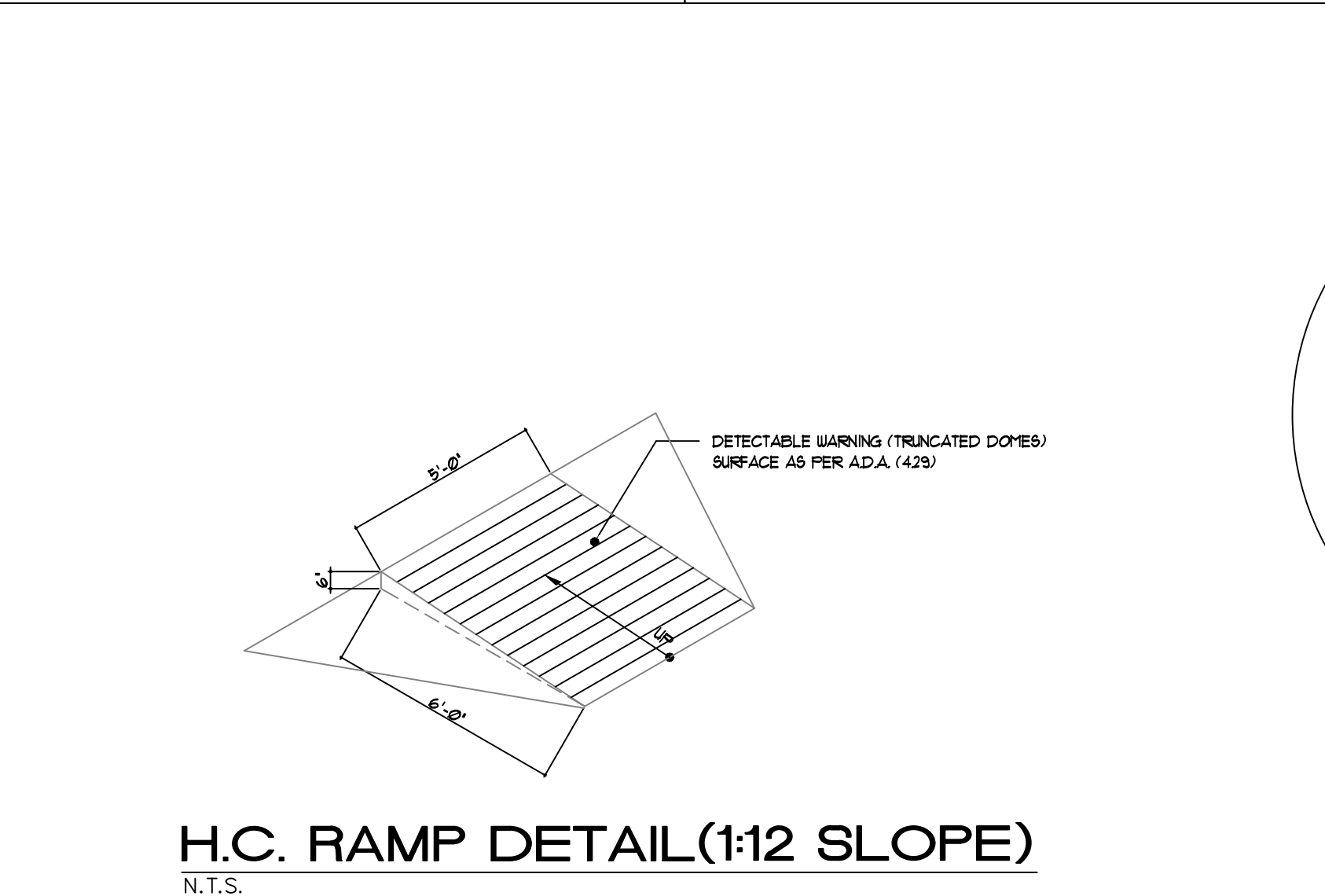
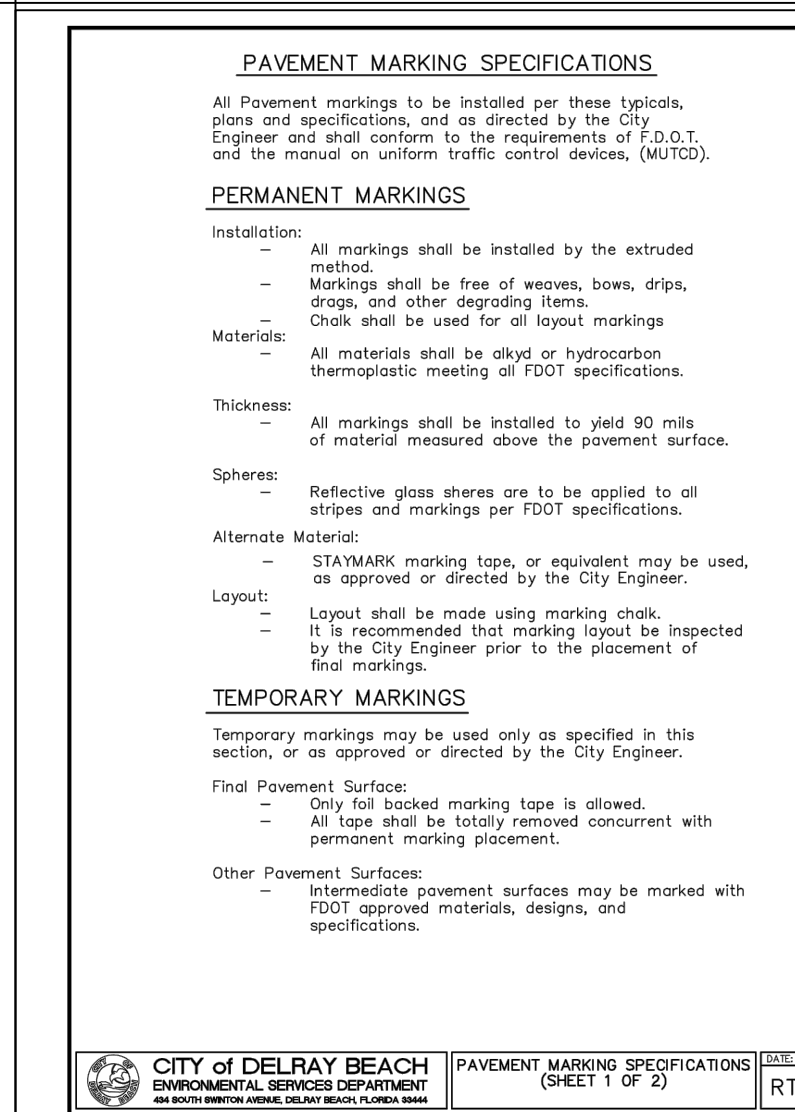
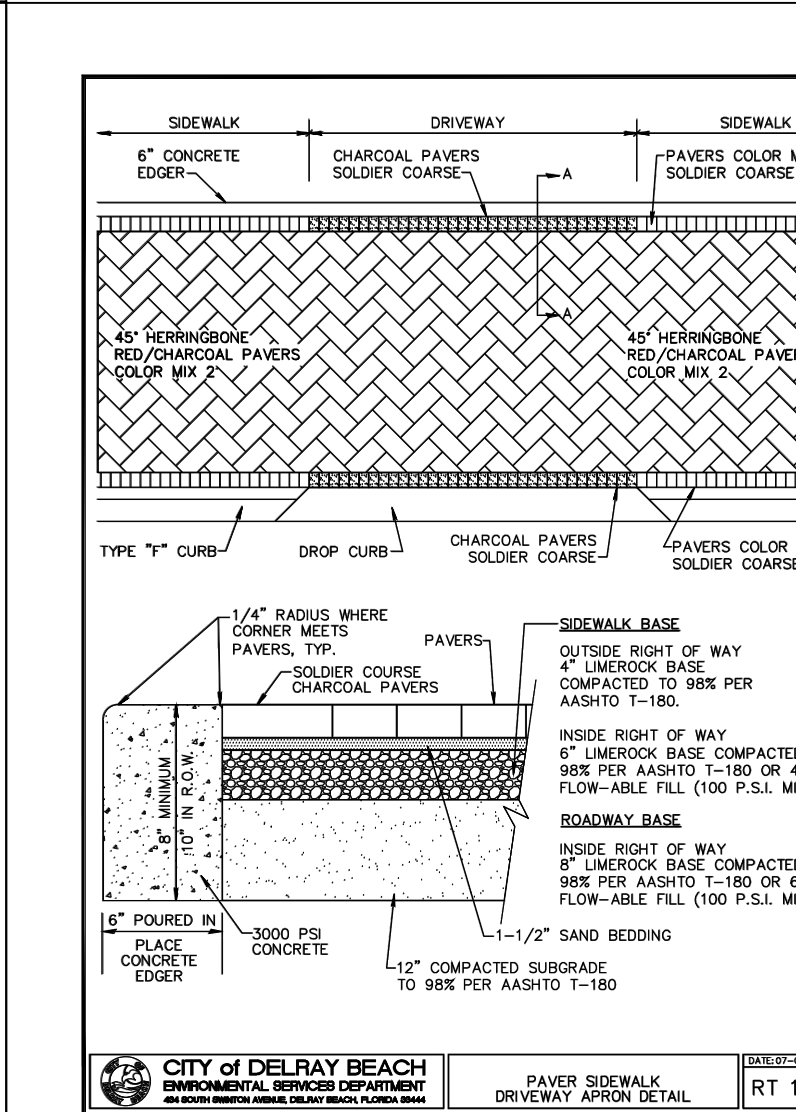
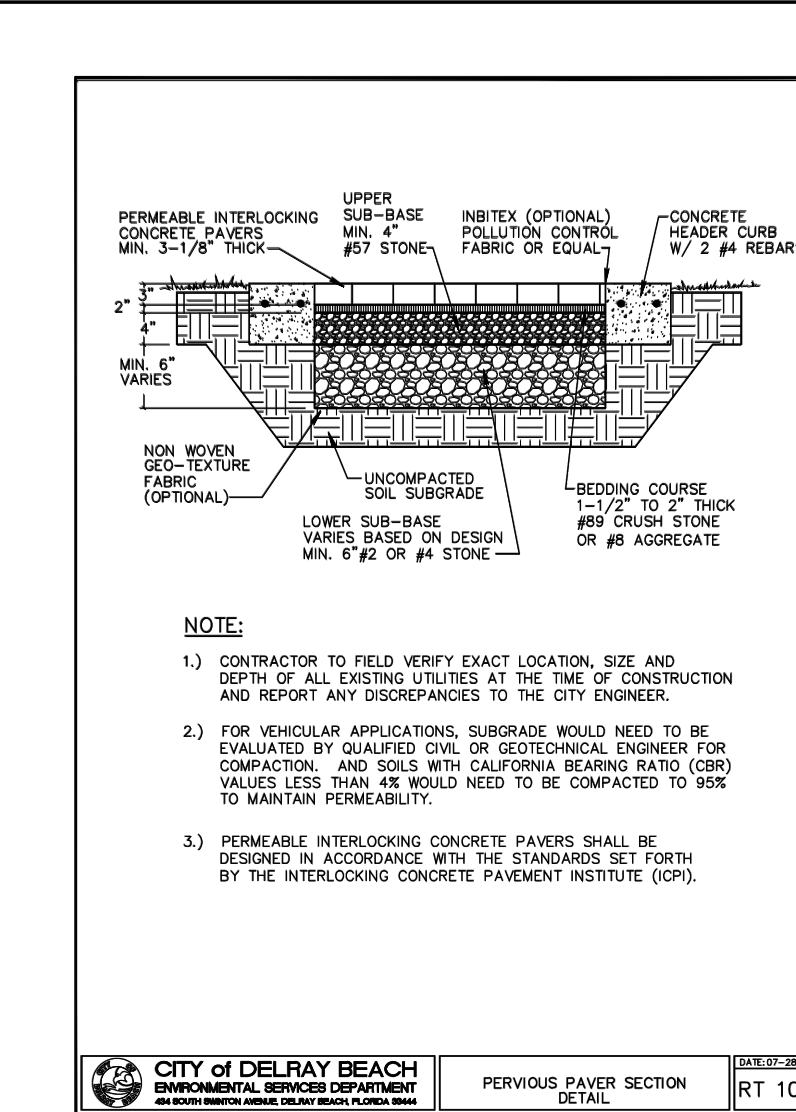
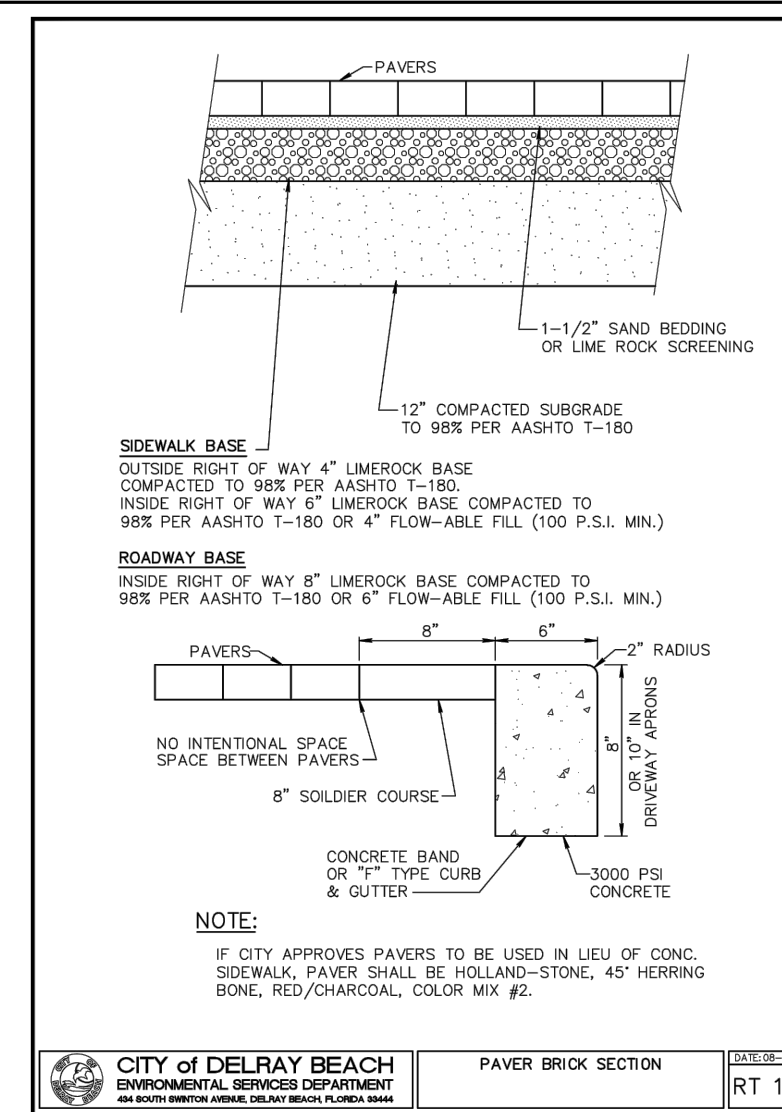
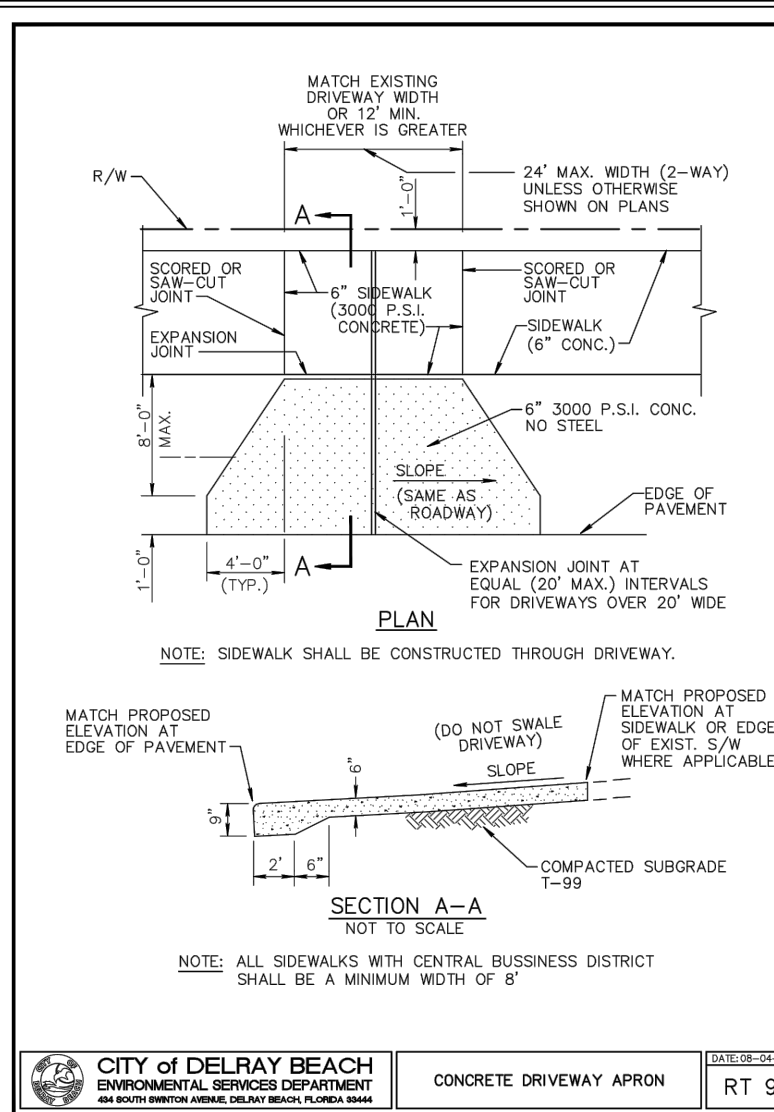
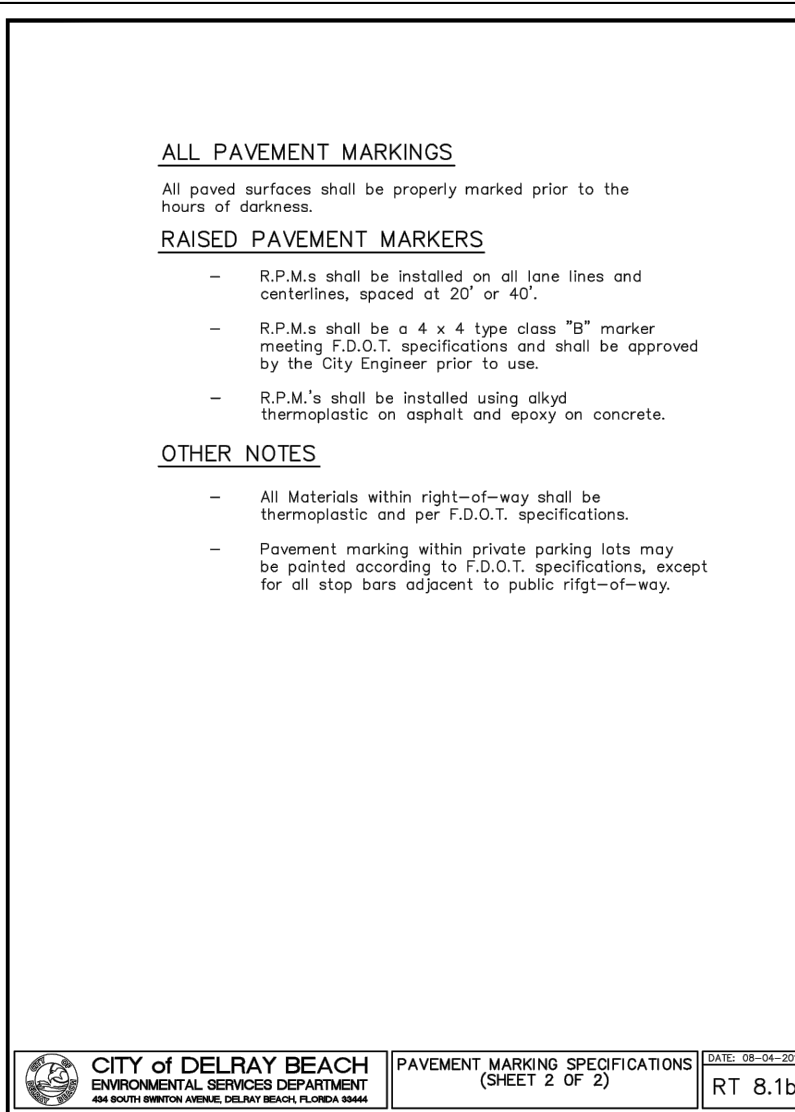
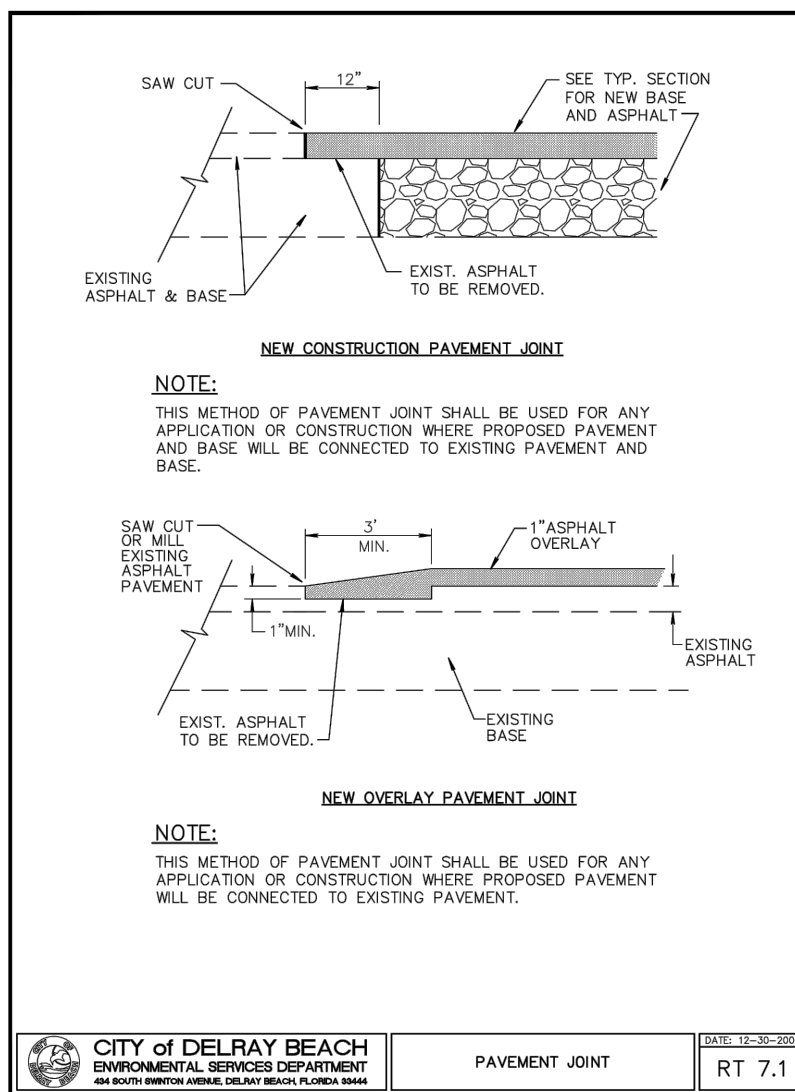
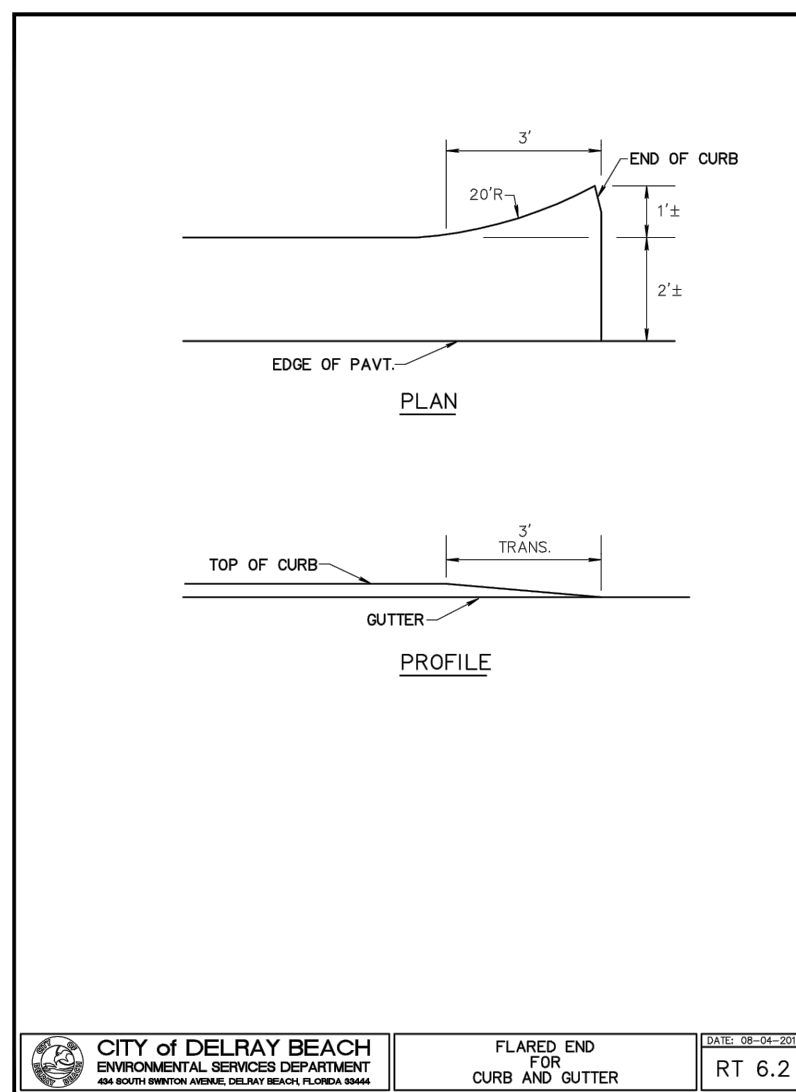
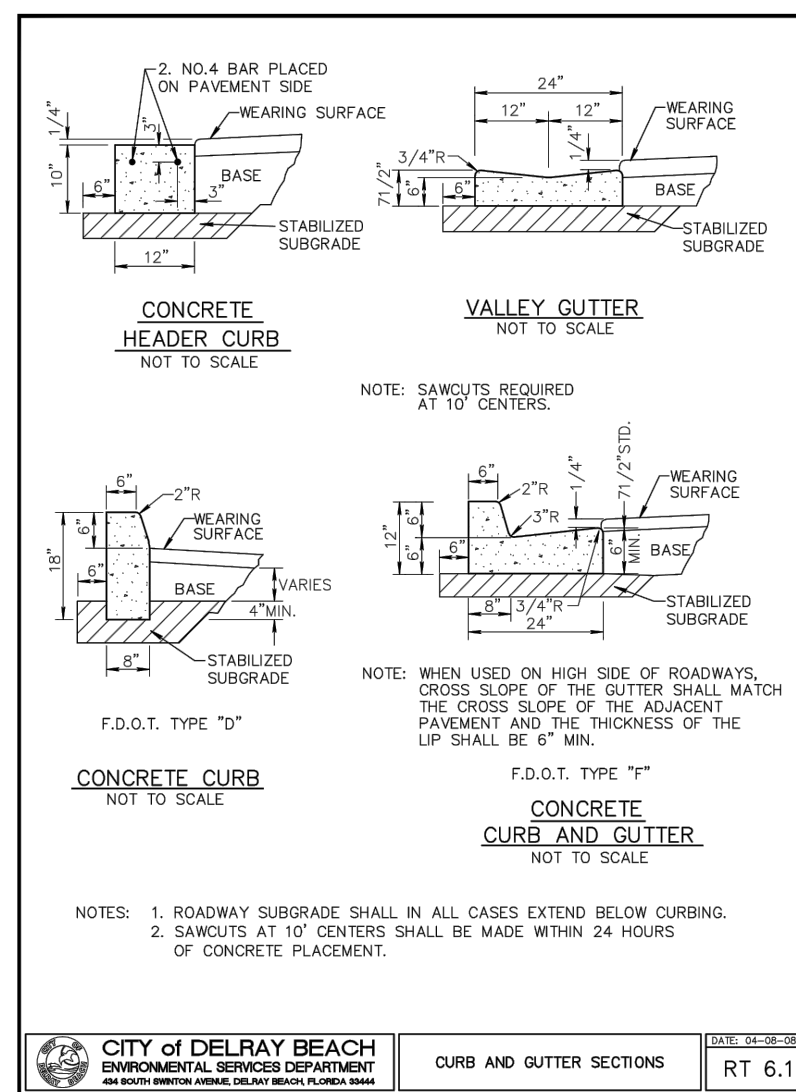
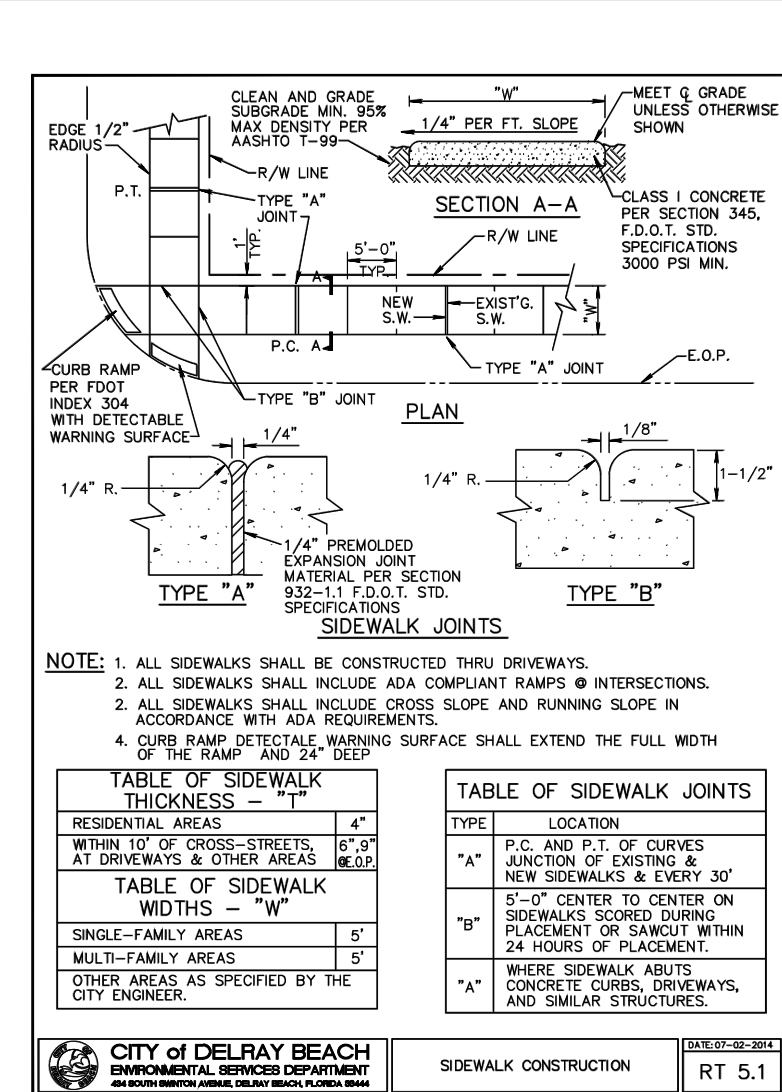
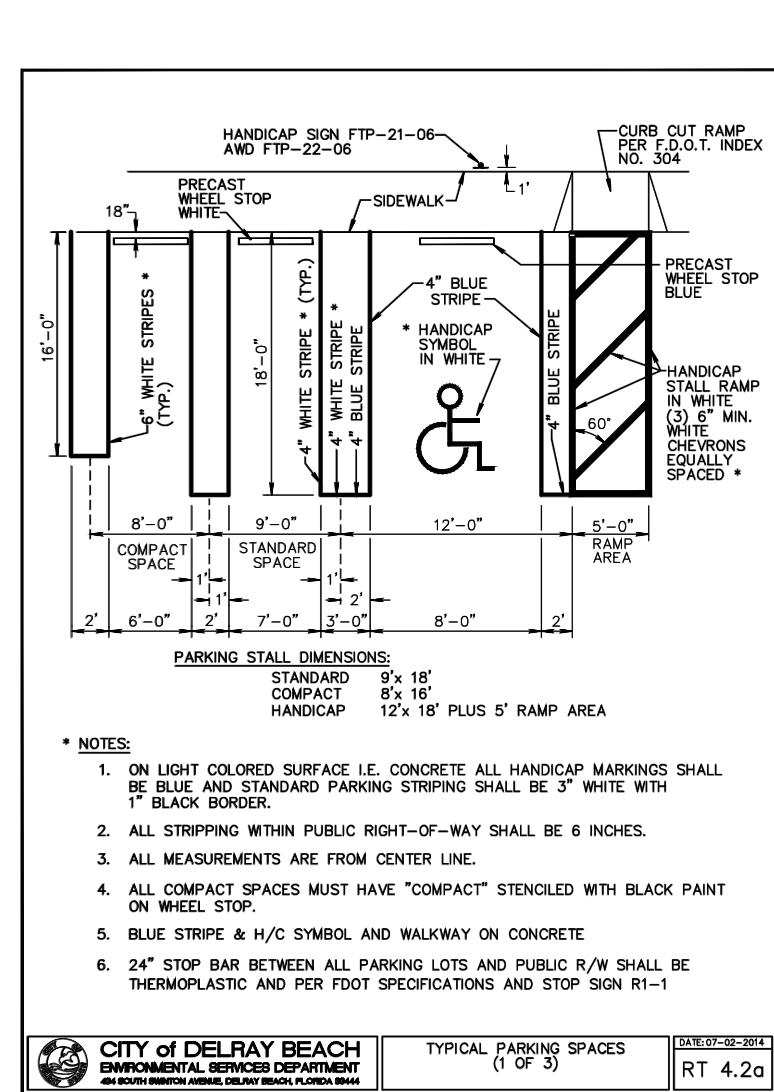
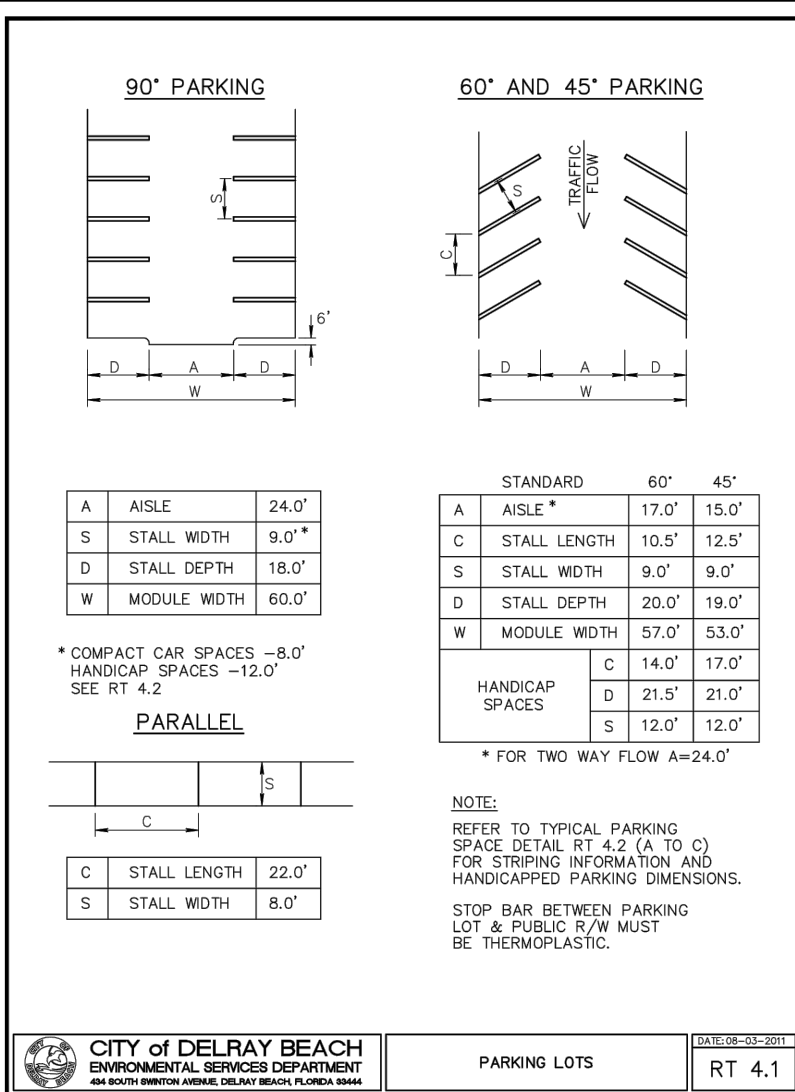


143 South Swinton Avenue
Delray Beach, Florida

HNM
ARCHITECTURE
3705 North Federal Highway • Delray Beach, Florida 33483 • T. 561.733.2225

HNM PROJECT NUMBER: 17-030		JORGE L. CAMERO, PE RIG. ENGINEER PE 32535 CAMERO & ASSOC., INC. EB 0004275
ISSUED DATE: 2018-11-02		
SCALE: 1"= 10'-0"		
TITLE:		

C-2



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Delray Beach, Florida

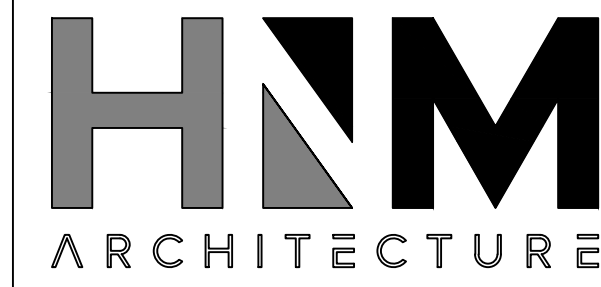
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CAMERO + ASSOCIATES, INC.

CIVIL ENGINEERS
CAMERO + ASSOCIATES, INC.
JORGE L. CAMERO, P.E.
1400 S.W. 5th Avenue, Suite 304
(305) 665-1602

PLANNERS
EB NO. 0005479
FLA. REG. NO. 33349
NAMI, FL 33555
FAX (305) 665-5468

CUR JOB NO. 18-126

HNM PROJECT NUMBER:
17-030

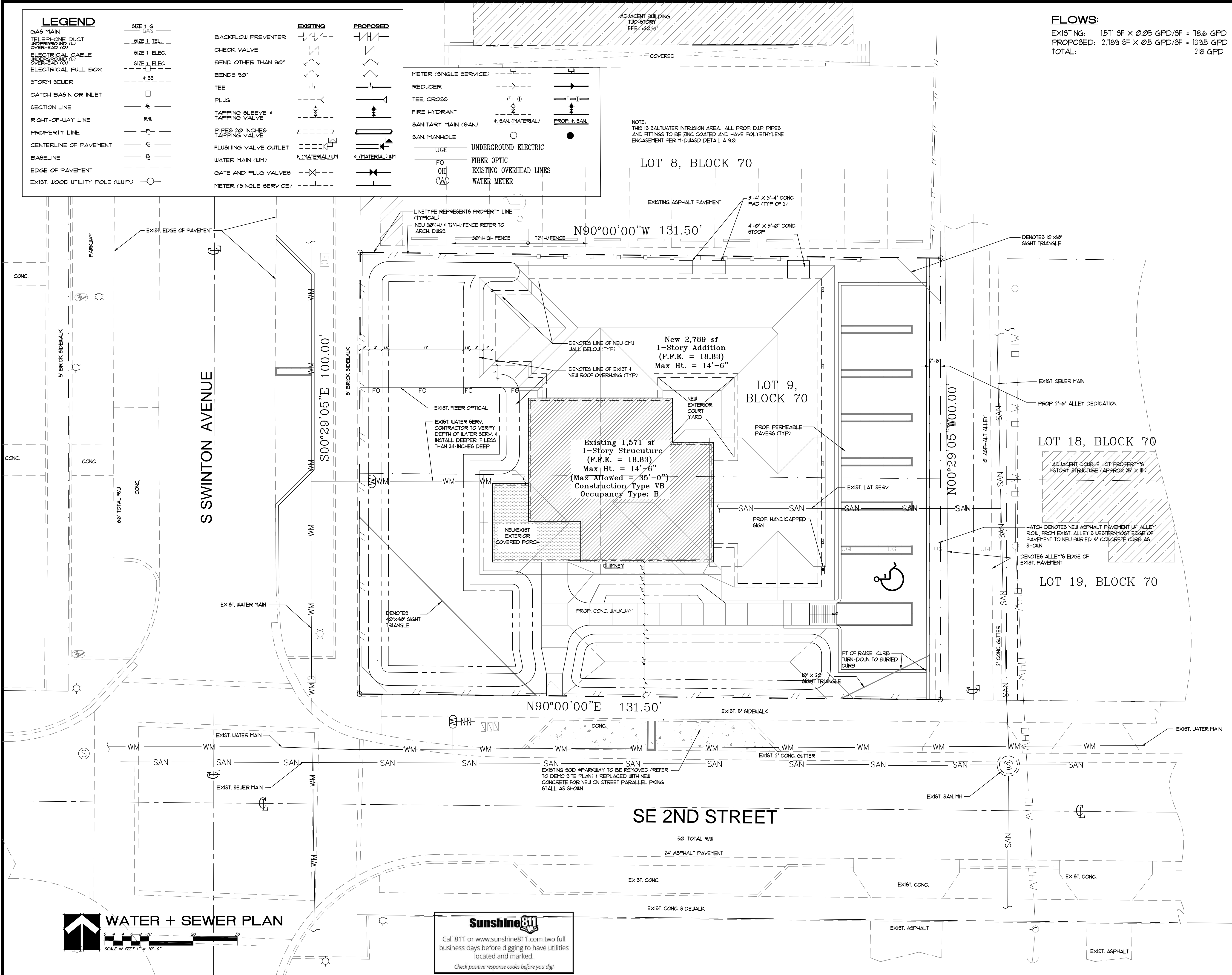
ISSUED DATE:
2018-II-02

SCALE:
N.T.S.

TITLE:
PAVING & DRAINAGE DETAILS

PAVING & DRAINAGE DETAILS

C-3



FLows:
EXISTING: 1,571 SF X 0.05 GPD/SF = 78.6 GPD
PROPOSED: 2,789 SF X 0.5 GPD/SF = 139.5 GPD
TOTAL: 218 GPD

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Delray Beach, Florida

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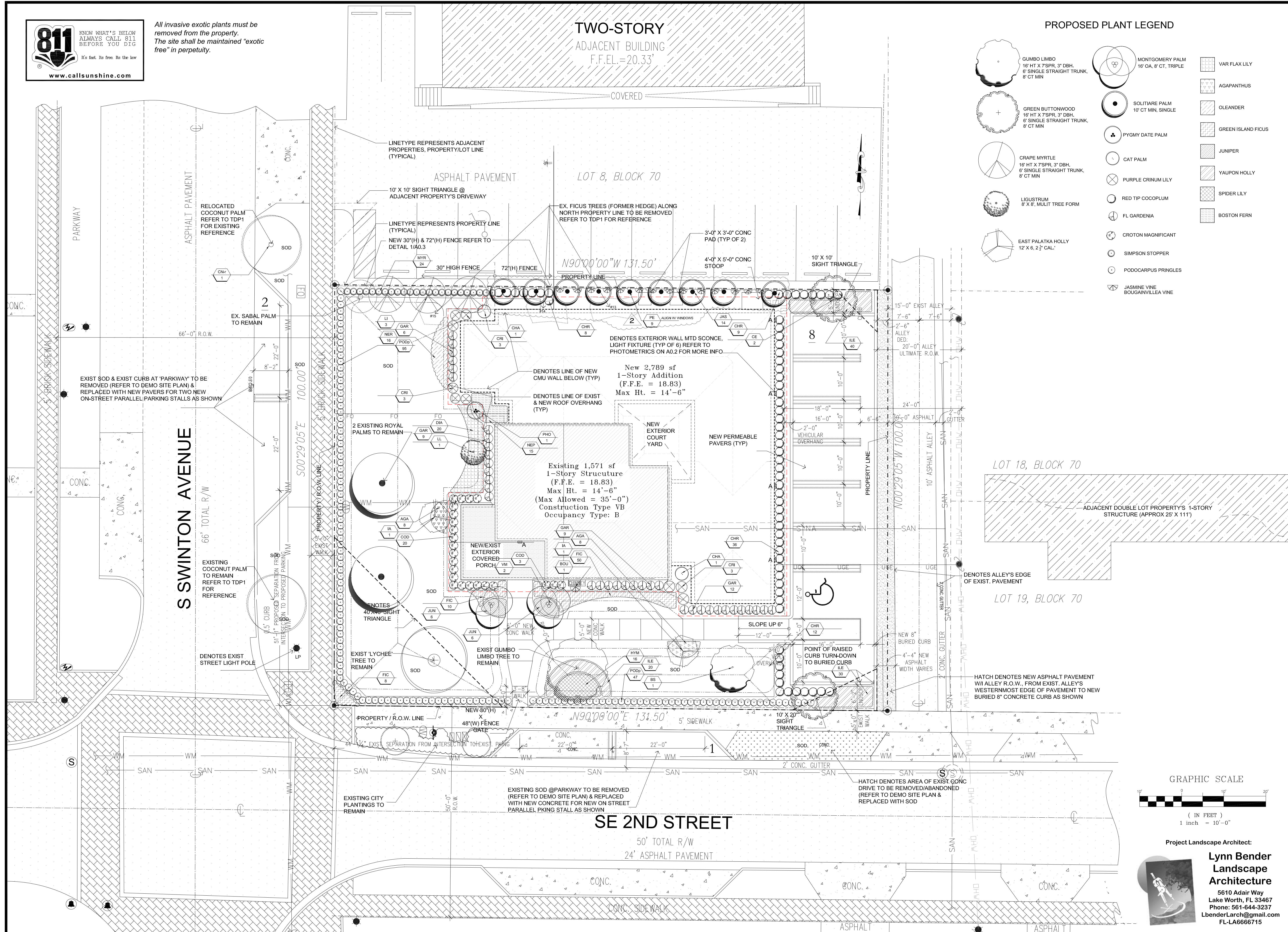


CAMERO + ASSOCIATES, INC.
CIVIL ENGINEERS
CAMERO + ASSOCIATES, INC.
JORGEL L. CAMERO, P.E.
1400 S.W. 5TH TERR. SUITE 204
(305) 665-1602
CUR JOB NO. 18-116

HNM PROJECT NUMBER:
17-030
ISSUED DATE:
2018-11-02
SCALE:
1" = 10'-0"
TITLE:
WATER AND SEWER PLAN
DRAWING NUMBER:
C-4



All invasive exotic plants must be removed from the property.
The site shall be maintained "exotic free" in perpetuity.



PROPOSED PLANT LEGEND

- | | | |
|--|--|--------------------|
| GUMBO LIMBO
16' HT X 7" SPR. 3" DBH.
6" SINGLE STRAIGHT TRUNK,
8" CT MIN | MONTGOMERY PALM
16' OA, 8" CT, TRIPLE | VAR FLAX LILY |
| GREEN BUTTONWOOD
16' HT X 7" SPR. 3" DBH.
6" SINGLE STRAIGHT TRUNK,
8" CT MIN | SOLITAIRE PALM
10' CT MIN, SINGLE | AGAPANTHUS |
| CRAPE MYRTLE
16' HT X 7" SPR. 3" DBH.
6" SINGLE STRAIGHT TRUNK,
8" CT MIN | PYGMY DATE PALM | OLEANDER |
| LIGUSTRUM
8' X 8', MULT TREE FORM | CAT PALM | GREEN ISLAND FIGUS |
| EAST PALATKA HOLLY
12' X 6, 2 1/2" CAL. | PURPLE CRINUM LILY | JUNIPER |
| | RED TIP COCOPLUM | YAUPOON HOLLY |
| | FL GARDENIA | SPIDER LILY |
| | CROTON MAGNIFICANT | BOSTON FERN |
| | SIMPSON STOPPER | |
| | PODOCARPUS PRINGLES | |
| | JASMINE VINE
BOUGAINVILLEA VINE | |

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Delray Beach, Florida

2018-10-31
TAG COMMENTS:2
2018-10-31
TAG COMMENTS:1

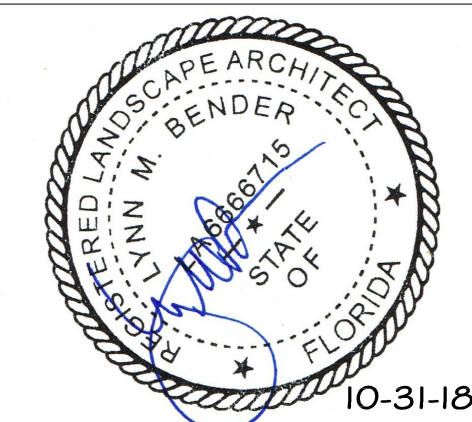
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LYNN M. BENDER
FL REG. LANDSCAPE ARCHITECT L6666715
ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:
17-030
ISSUED DATE:
2018-10-31
SCALE:
1"=10'-0"
TITLE:

PROPOSED
LANDSCAPE PLAN

DRAWING NUMBER:

LP1

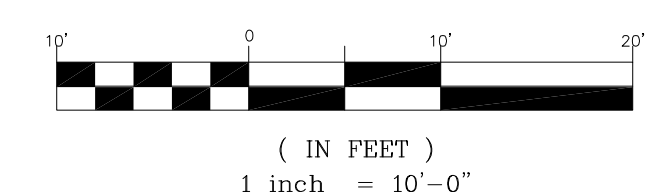
OF 2

1

PROPOSED LANDSCAPE PLAN

1"=10'-0"

GRAPHIC SCALE



Project Landscape Architect:

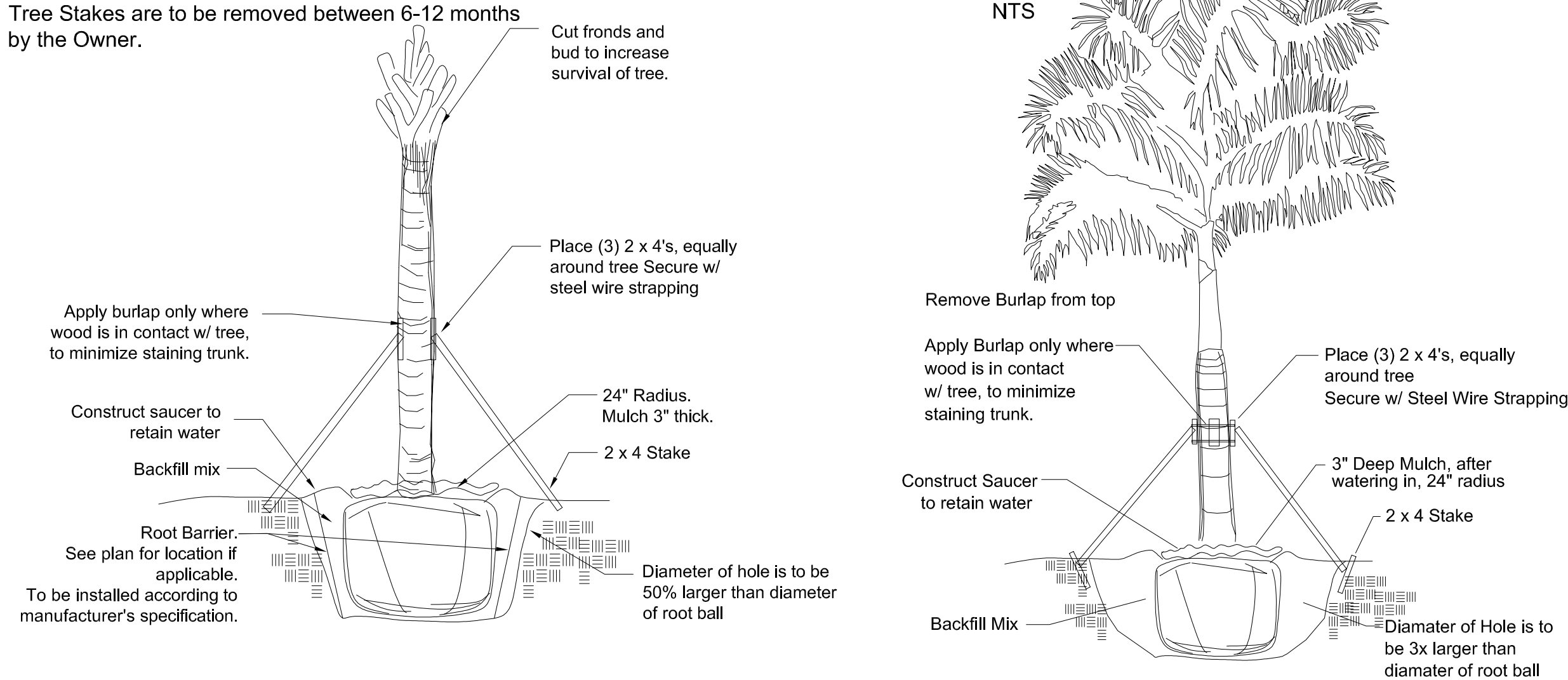
**Lynn Bender
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Lake Worth, FL 33467
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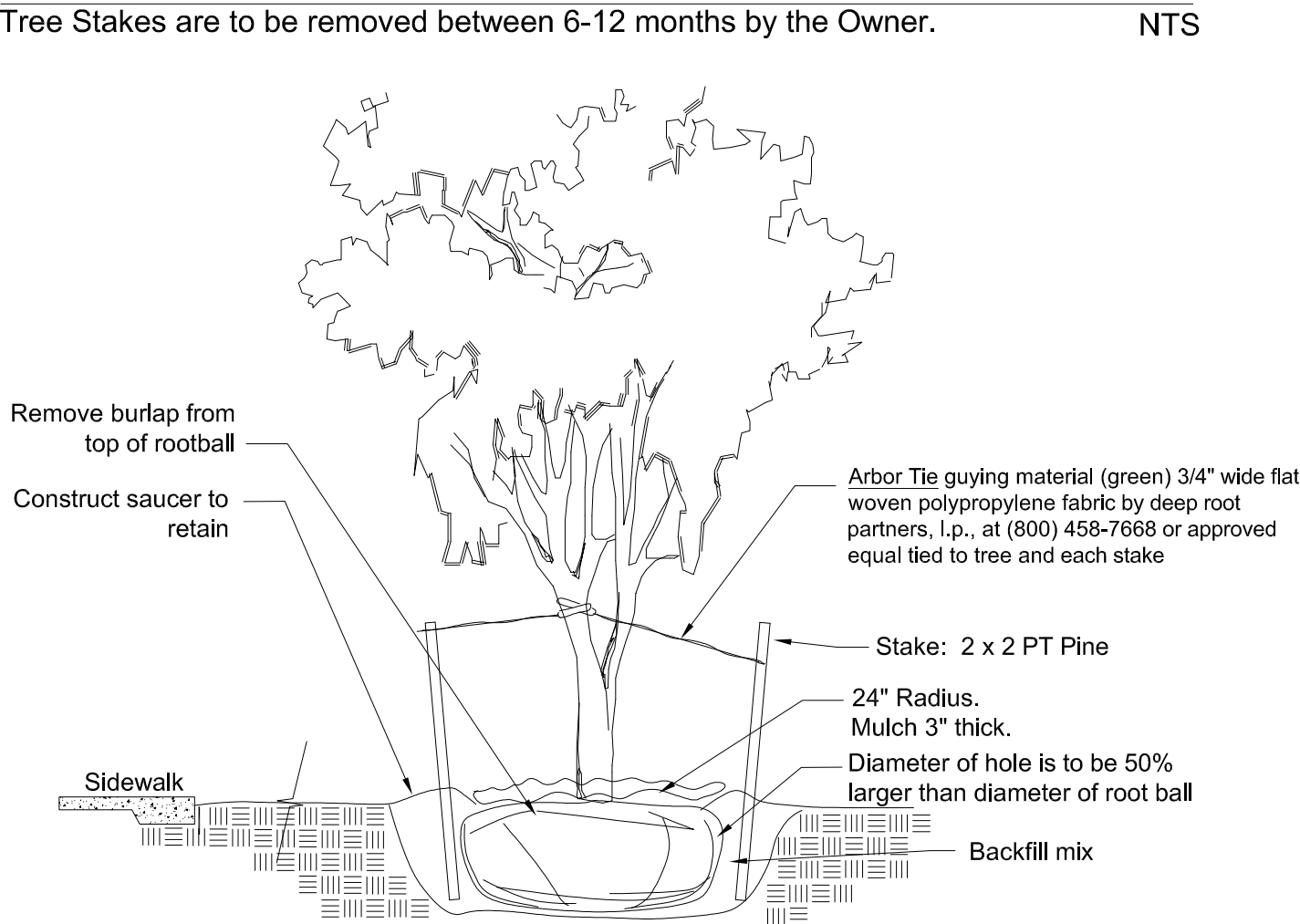
Palm Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



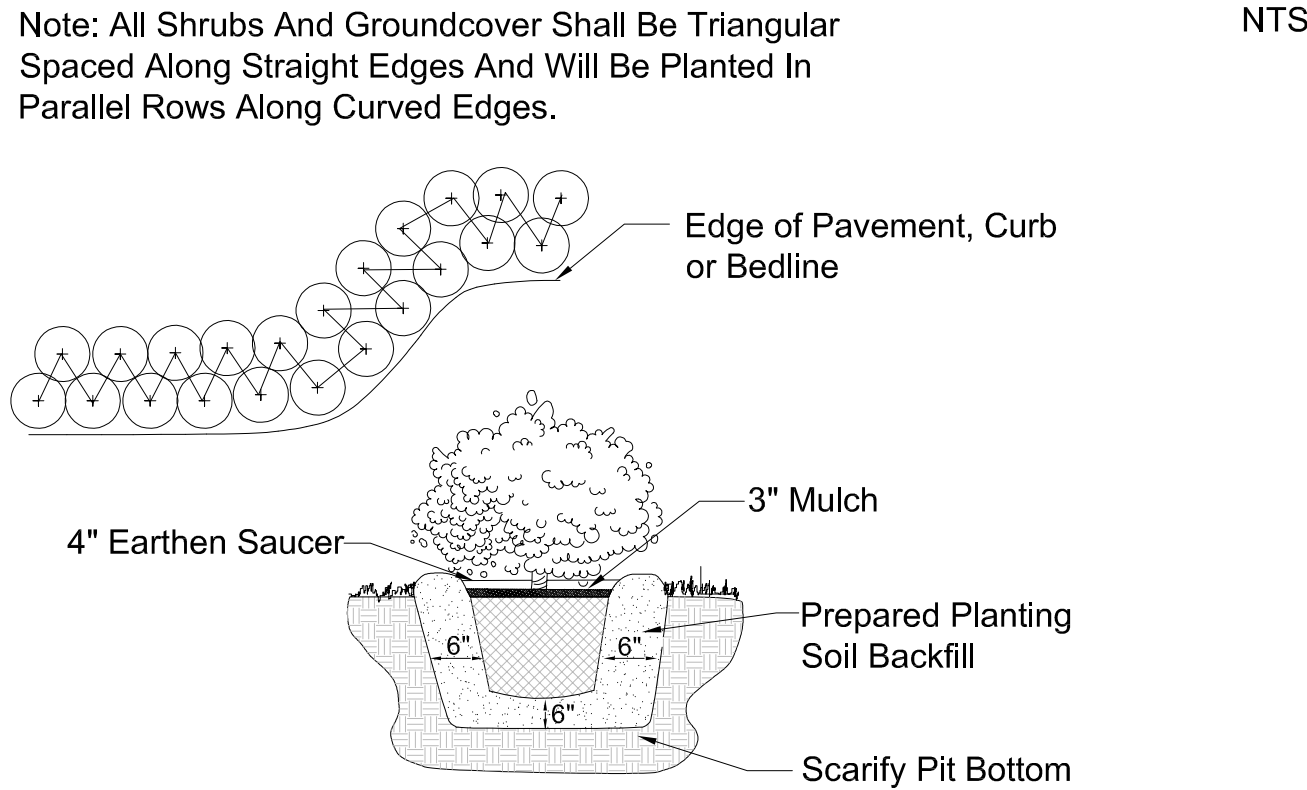
Tree Planting Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



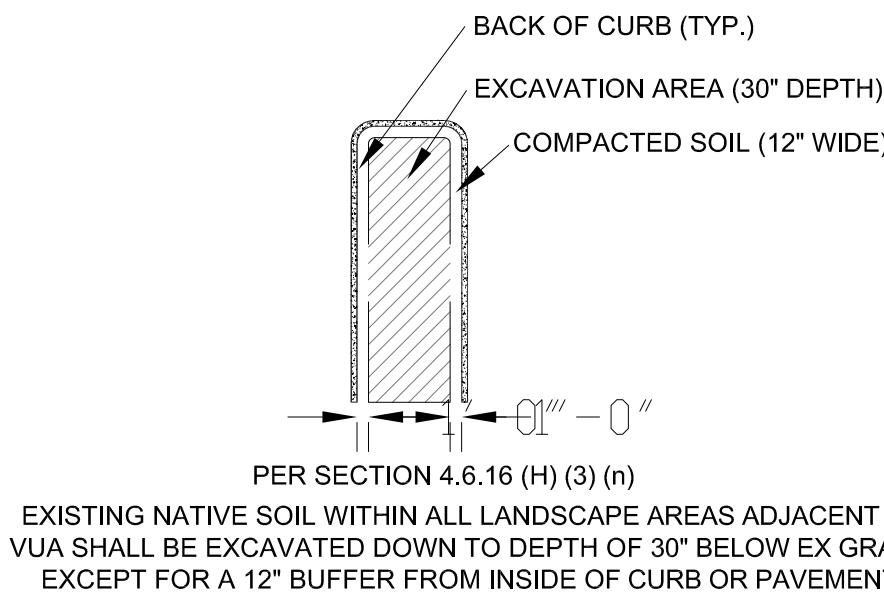
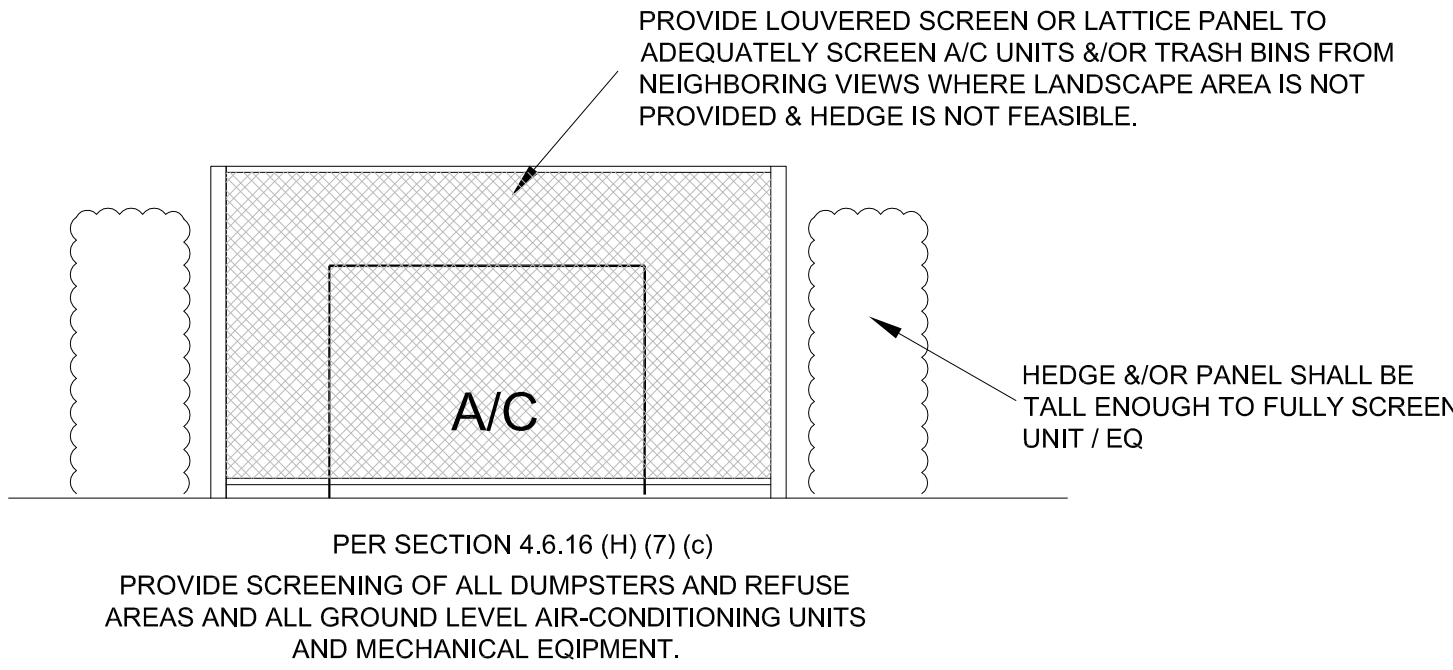
Shrub & Groundcover Planting Detail

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



IRRIGATION NOTE:

An automatic properly functioning underground irrigation system with a rain sensing cutoff device shall be designed and installed in compliance with the South Florida Building Code and city Building Code requirements. The rain sensing cutoff device shall be located and installed in such a manner that the building eaves, balconies and similar overhangs do not interfere with the operation of the device. The irrigation system shall be properly maintained in good working order and provide a minimum coverage of 100% with 100% overlap.



PROPOSED PLANT LIST							
KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE/SPEC	NATIVE	UNIT COST	
TREES & PALMS							
IA	2	EAST PALATKA HOLLY	Ilex x attenuata 'East Palatka'	12' HT X 5' SPR.; FULL; 4' CT	YES	350.00	\$700.00
CE	2	GREEN BUTTONWOOD	Conocarpus erectus	16' HT. X 7' SPR.; FULL; 8' C.T.	YES	800.00	\$1600.00
BS	1	GUMBO LIMBO	Bursera simaruba	16' HT. X 7' SPR.; FULL; 8' C.T.	YES	425.00	\$425.00
LI	3	CRAPE MYRTLE	Lagerstroemia spp	16' HT. X 7' SPR.; MULTI: 5 TRUNK, FULL	NO	475.00	\$1425.00
LL	1	LIGUSTRUM	Ligustrum spp	8' X 8' MULTI TREE FORM	NO	525.00	\$525.00
PE	9	SOLITAIRE PALM	Pythosperma elegans	10' CT MIN., SINGLE	NO	240.00	\$2160.00
VM	2	MONTGOMERY PALM	Veitchia montgomeryana	8' CT MIN, TRIPLE	NO	425.00	\$850.00
CN-r	1	COCONUT PALM	Cocos nucifera	RELOCATED	NO	500.00	\$500.00
ACCENTS, SHRUBS & GROUNDCOVERS							
PHO	1	PYGMY DATE PALM	Phoenix roebelenii	4' OA, TRIPLE	NO	165.00	\$165.00
BOU	1	BOUGAINVILLEA	Bougainvillea	7 GAL, TRELLIS, FULL	NO	55.00	\$55.00
CHA	2	CAT PALM	Chamaedorea cataractarum	3'X3'	NO	65.00	\$130.00
CHR	65	RED TIP COCOPLUM	Chrysobalanus icaco	24" O.A. MIN., FULL TO BASE; PLANT TIP TO TIP	YES	12.00	\$780.00
CRI	9	PURPLE CRINUM	Crinum asiaticum	7 GAL, FULL, 3PPP	NO	65.00	\$585.00
POD-p	142	PODOCARPUS	Podocarpus	24" OA MIN., FULL TO BASE; 2' OC	NO	12.00	\$1704.00
COD	23	CROTON MAGNIFICANT	Codiaeum variegatum	3 GAL; FULL, 2' OC	NO	10.00	\$230.00
DIA	20	FLAX LILY	Dianella tasmanica 'Variegata	3 GAL; FULL, 2' OC	NO	10.00	\$200.00
NER	16	DWF OLEANDER	Nerium oleander	3 GAL; FULL, 2' OC	NO	10.00	\$160.00
MYR	24	SIMPSON STOPPER	Myrcianthes fragrans	24" O.A. MIN., FULL TO BASE; PLANT TIP TO TIP	YES	12.00	\$288.00
JAS	14	CONFEDERATE JASMINE	Trachelospermum jasminoides	3 GAL TRELLIS, FULL, 3' OC	NO	10.00	\$140.00
FIC	68	GREEN ISLAND FICUS	Ficus macrocarpa 'Green Island'	18" x 18"; 3-GAL; FULL; 2' oc	NO	10.00	\$680.00
GAR	36	FL GARDENIA	Gardenia jasminoides	24" O.A. MIN., FULL TO BASE; PLANT TIP TO TIP	YES	12.00	\$432.00
HYM	16	SPIDER LILY	Hymenocallis	3 GAL; FULL, 2' OC	YES	8.00	\$128.00
JUN	12	JUNIPER	Juniperus horizontalis	20" x 20"; 3-GAL; FULL; 2' oc	NO	8.00	\$96.00
ILE	70	DWF YAUPOH HOLLY	Ilex vomitoria	14" X 14"; FULL; 18" O.C.	YES	12.00	\$840.00
AGA	16	LILY OF THE Nile	Agapanthus	3 GAL, FULLY ROOTED, 2' OC	NO	8.00	\$128.00
NEP	15	BOSTON FERN	Nephrolepis exaltata	1 GAL, FULLY ROOTED, 12' OC	YES	5.00	\$75.00
sod	4250 +/-	ST. AUGUSTINE	Stenotaphrum secundatum 'Floratum'	SOD LAID FLAT; END TO END; NO GAPS; ROLLED, FINAL QTY TBD		.50 / sf	\$2125.00
	300 +/- bags	MULCH	Dark Brown	NON-CYPRESS; FDA INSP. AND CERT. GRADE 'A'		4.50 / 2 cf bag	\$1350.00
						TOTAL =	\$18476.00

LANDSCAPE NOTES: (CITY NOTES SHALL APPEAR ON ALL PLANS)

ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.

MULCH SHALL BE APPLIED TO A MINIMUM DEPTH OF THREE (3) INCHES IN ALL PLANTING BEDS.

ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.

ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED..

SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.

REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.

THREE (3) PALMS ARE EQUIVALENT TO ONE (1) SHADE TREE.

SHRUBS ARE REQUIRED ALONG FOUNDATION VISIBLE TO STREET PLUS ALL EQUIPMENT, A/C, P/E, ETC. SHALL BE SCREENED FROM VIEW.

SITE TABULAR DATA : EXISTING DEVELOPED SITE W/ PROPOSED ADDITION

SITE AREA: 12,899.5 net SF (.30 AC)

ZONING: OSSHAD

TOTAL BLDG SF: 4,360 S.F.

PROPOSED IMPERVIOUS: 5,276.45 S.F. (40.90 % of Site Area)

PROPOSED OPEN SPACE: PERVIOUS AREA 5,937.29 S.F. (46.03 % of Site Area)

PERMEABLE PAVERS: PERVIOUS AREA 1,685.76 S.F. (13.07 % of Site Area)

LANDSCAPE CALCULATION FORM			
MULTIPLE FAMILY, COMMERCIAL & INDUSTRIAL			
A	TOTAL LOT AREA	12,899.5	S.F.
B	STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	7,223 (incl permeable pavers)	S.F.
C	TOTAL PERVIOUS LOT AREA	C = (A - B) 5,937.29 SF (n/c permeable pavers)	S.F.
D	AREA OF SHRUBS AND GROUND COVER REQUIRED	D = (C x .30) 1,781.2	S.F.
E	AREA OF SHRUBS AND GROUND COVER PROVIDED	2,487	S.F.
F	NATIVE VEGETATION REQUIRED	F = (D x .25) 445.3	S.F.
G	NATIVE VEGETATION PROVIDED	1,268	S.F.
H	TOTAL PAVED VEHICULAR USE AREA	1,685.76(permeable pavers)	S.F.
I	TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I = (H X .10) 168.6	S.F.
J	TOTAL INTERIOR LANDSCAPE AREA PROVIDED	> 220 (credit @ parking islands)	S.F.
K	TOTAL INTERIOR SHADE TREES REQUIRED	K = (I / 125 S.F.) 1.3 = 2	TREES
L	TOTAL INTERIOR SHADE TREES PROVIDED	3	TREES
M	TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREAS	N/A (no off street parking lot)	L.F.
N	TOTAL NUMBER OF PERIMETER TREES REQUIRED	N = (M / 30) @ vua 36 lf / 30 = 1.2	TREES
O	TOTAL NUMBER OF PERIMETER TREES PROVIDED	2 @ VUA (parking lot end islands) 11 @ north, west & south PL	TREES
P	TOTAL NUMBER OF EXISTING TREES TO BE SAVED ON SITE	4 PRESERVED	TREES
Q	TOTAL NUMBER OF NATIVE TREES REQUIRED	Q = [(K + N) X .50] = 2	TREES
R	TOTAL NUMBER OF NATIVE TREES PROVIDED	3 EX. + 5 PROPOSED = 8	TREES
S	TOTAL NUMBER OF TREES ON PLAN PROVIDED	4 EX. + 11 PROPOSED = 15	TREES

2
UPDATED PER SITE PLAN DATA



Project Landscape Architect:



Lynn Bender
Landscape
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5610 Adair Way
Lake Worth, FL 33467
Phone: 561-644-3237
LbenderLarch@gmail.com
FL-LA6666715

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Delray Beach, Florida

143 South Swinton Avenue

Delray Beach, Florida

2018-10-31
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ELECTRONIC SIGNATURE SERIAL NUMBER:

HNM PROJECT NUMBER:

17-030

ISSUED DATE:

2018-10-31

SCALE:

N/A

TITLE:

PROPOSED
LANDSCAPE PLAN

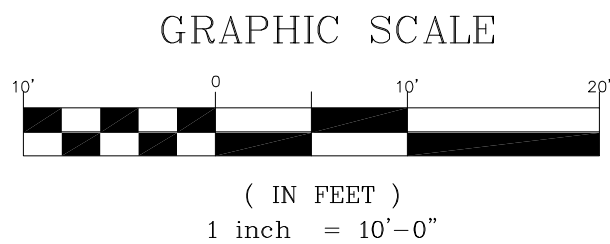
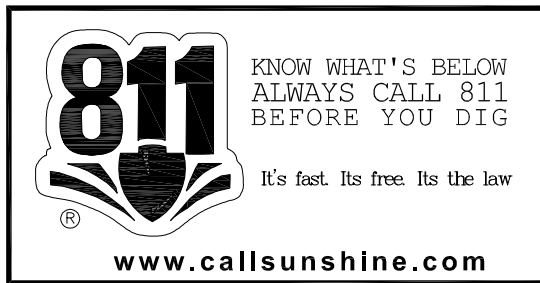
DRAWING NUMBER:

LP2

OF 2

EXISTING TREE DISPOSITION CHART										
TREE #	BOTANICAL NAME	COMMON NAME	HT (FT)	SPR (FT)	DBH (IN)	CONDITION	PRESERVE	RELOCATE	REMOVE	NOTES
1	Mangifera indica	MANGO	20	18		POOR			1	TWISTED MULTI CO-DOMINANT, INCLUDED, LEANING, 1/3 CROWN
2	Roystonea regia	ROYAL PALM	30	20	-	GOOD	1			
3	Roystonea regia	ROYAL PALM	30	20	-	GOOD	1			
4	Litchi chinensis	LYCHEE	18	15	16	FAIR	1			
5	Bursera simaruba	GUMBO LIMBO	14	12	6 / 6	GOOD	1			CO-SOMINANT
6	Coccoloba uvifera	SEA GRAPE	5	8		FAIR			1	MULTI TRUNK MASS
7	Coccoloba uvifera	SEA GRAPE	5	8		FAIR			1	MULTI TRUNK MASS
8	Coccoloba uvifera	SEA GRAPE	5	5		FAIR			1	MULTI TRUNK MASS
9	Coccoloba uvifera	SEA GRAPE	5	6		FAIR			1	MULTI TRUNK MASS
10	Citrus spp.	CITRUS	10	8	-	FAIR			1	MULTI @ BASE
11		UNKNOWN	CUT	-	20	DEAD			1	DEAD
12		UNKNOWN	CUT	-		POOR			1	LEANING; STORM DAMAGE
13	FICUS	FICUS	40	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
14	FICUS	FICUS	30	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
15	FICUS	FICUS	30	-		POOR			1	MASS, UN-MAINTAINED, TOPPED
16	Sabal palmetto	CABBAGE PALM	18	10	-	GOOD	1			
17	Cocos nucifera	COCONUT PALM	28	12		GOOD		1		
18	Cocos nucifera	COCONUT PALM	32	15		GOOD	1			
19 a&b	Ilex cassine	DAHOON HOLLY	12	5		GOOD	1			
20	Hyophorbe laginicaulis	BOTTLE PALM	8'	3'	-	POOR			1	NEW PARALLEL PARKING

All invasive exotic plants must be removed from the property.
The site shall be maintained "exotic free" in perpetuity.



Project Landscape Architect:
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EXISTING TREE
DISPOSITION PLAN

TDP1

OF 1

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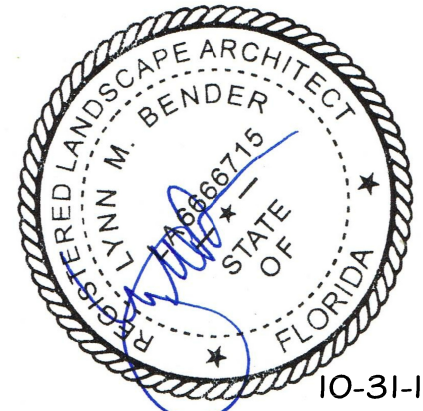
Delray Beach, Florida

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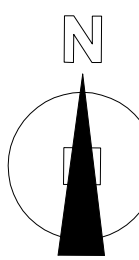
ELECTRONIC SIGNATURE SERIAL NUMBER:

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ISSUED DATE:
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SCALE:
1"=10'-0"

TITLE:



DRAWING NUMBER: