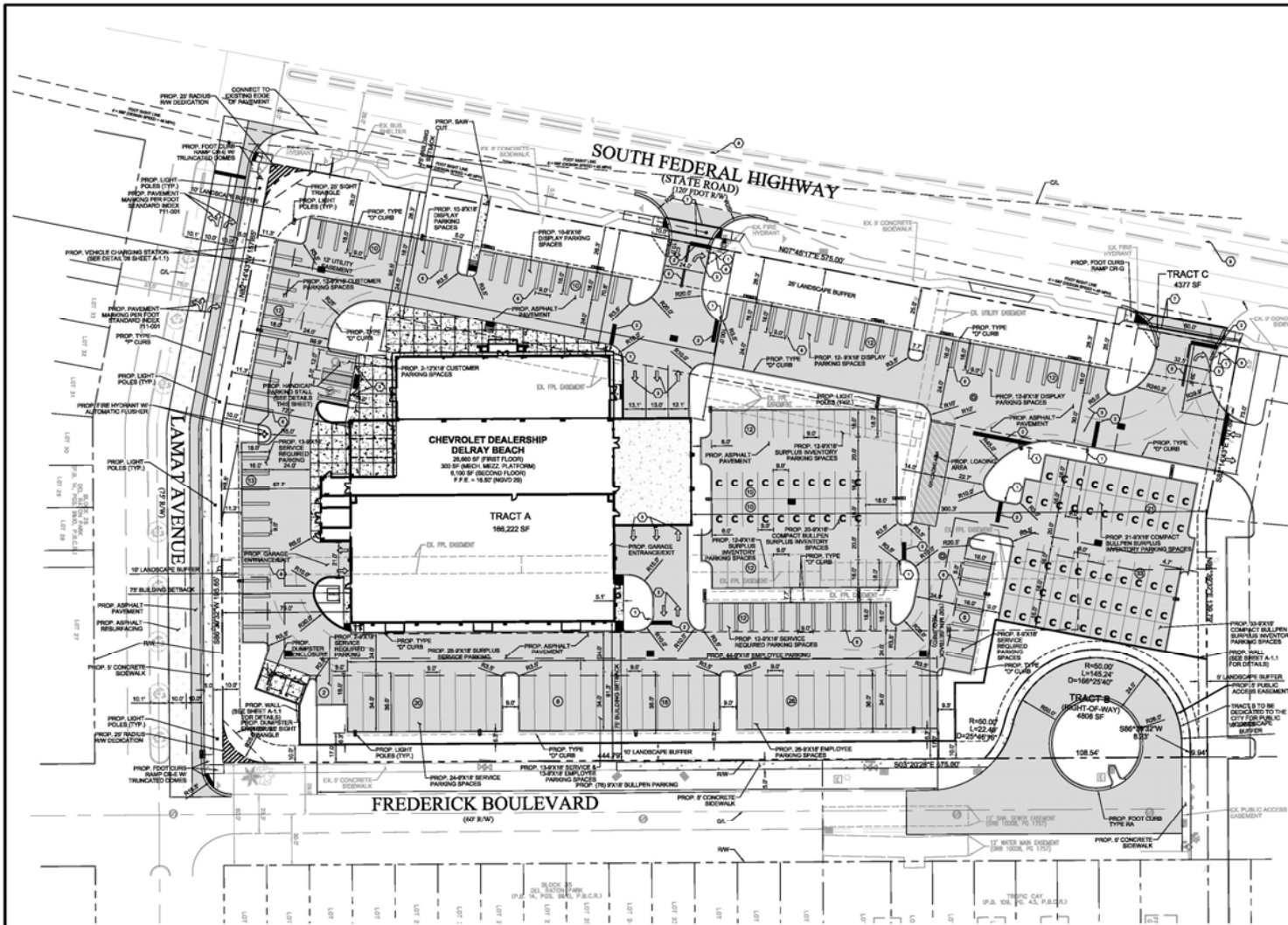




**EXISTING LEGEND**

- PROPERTY LINE
- EDGE OF PAVEMENT
- BACK OF CURB
- SEWER MANHOLE
- FIRE HYDRANT
- SEWER VALVE
- IRRIGATION CONTROL VALVE
- WATER VALVE
- LIGHT POLE
- BURIED ELECTRICAL LINE
- CHAIN LINK FENCE
- ADJACENT ROW
- TREES
- CONCRETE PAVEMENT

**PROPOSED LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- HEAVY-DUTY CONCRETE PAVEMENT
- RESURFACE ASPHALT PAVEMENT
- PARKING STRIPING
- TYPE '12' CURB
- TYPE '12' INLET
- MANHOLE

**SITE CALCULATIONS**

| AREA               | SF         | ACRES     | % OF SITE | REQUIRED  |
|--------------------|------------|-----------|-----------|-----------|
| TOTAL SITE AREA    | 171,021 SF | (3.93 AC) | (100%)    | 1.8 AC    |
| BEULONS COVERAGE   | 16,880 SF  | (0.38 AC) | (10%)     | N/A       |
| VEHICULAR USE AREA | 90,088 SF  | (2.07 AC) | (53%)     | N/A       |
| OPEN SPACE         | 48,134 SF  | (1.10 AC) | (28%)     | 27% (MIN) |
| NON-PAVED AREA     | 8,138 SF   | (0.18 AC) | (5%)      | N/A       |

**LOT INFORMATION**

| FRONTAGE   | DEPTH | AREA     | PERCENTAGE |
|------------|-------|----------|------------|
| 27' X 267' | 267'  | 7,209 SF | 4.2%       |

**PARKING REQUIRED CALCULATIONS**

1st FLOOR = 26,660 GSF ALLOWABLE SF DEDUCTIONS:  
 MECH. PLATFORM = 300 GSF SHOWROOM = 4,600 GSF  
 2nd FLOOR = 6,120 GSF  
 BUILDING TOTAL = 33,080 GSF

SEC. 4.4.9 (C) Number of spaces required (1) Commercial use (2) Vehicle sales

| USE                 | AREA       | RATIO       | REQUIRED SPACES | PROVIDED |
|---------------------|------------|-------------|-----------------|----------|
| BUILDING GROSS AREA | 33,080 GSF |             |                 |          |
| LESS SHOWROOM       | 4,600 GSF  |             |                 |          |
|                     | 28,480 GSF | 4 / 1000 SF | 114             |          |

**TOTAL PARKING 114 sp 263 sp**

**PARKING DESIGNATION CALCULATIONS**

SEC. 4.4.9 (C) Number of spaces required (3) Commercial use (4) Vehicle sales

| USE               | AREA       | RATIO       | REQUIRED SPACES | PROVIDED                   |
|-------------------|------------|-------------|-----------------|----------------------------|
| EMPLOYEE/CUSTOMER | 28,480 GSF | 2 / 1000 SF | 57              | 44 employee<br>14 customer |
| SERVICE BAY AREA  | 23 BAYS    | 1.5 / BAY   | 35              | 35                         |
| DISPLAY           | 22         |             | 44              | 44                         |
| SURPLUS           |            |             | 125             |                            |

**TOTAL PARKING 114 sp 263 sp**

**PARKING DESIGNATION DISTRIBUTION**

| BREAKDOWN BY USE                               | PROVIDED      |
|------------------------------------------------|---------------|
| CUSTOMER (FK18)                                | 12            |
| ACCESSIBLE SPACES (FK18)                       | 2             |
| EMPLOYEE SPACES (FK18) BULLETS ALLOWED         | 44            |
| SERVICE REG. SPACES REQUIRED (FK18)            | 35            |
| SERVICE EMPLOYER SPACES (FK18) SURPLUS SERVICE | 28            |
| DISPLAY (Federal Inv)                          | 44            |
| SURPLUS INVENTORY REG. SPACES NOT REG. (FK18)  | 24            |
| SURPLUS COMPACT INVENTORY NOT REG. (FK16)      | 74            |
| <b>TOTAL SURFACE SPACES PROVIDED</b>           | <b>263 sp</b> |

30% COMPACT ALLOWED = 80 SPACES  
 COMPACT PROVIDED ARE INVENTORY AND NOT REG. BY CODE

INDEX:  
 R = REGULAR FK18  
 B = BULLETS GRACED FK18 or FK16  
 C = COMPACT FK16

NOTE: 8 = REGULAR 'X'18  
9 = SLOTTED 'X'18 or 'X'16  
C/CORNER 'X'18

c) a building parking arrangement may also be used for an employee parking area provided that it complies with the provisions of subsection (j)(2)(i) and is in conjunction with a future new car automatic device. Employee parking provided in a building arrangement may also meet existing employee parking requirements.

| BUILDING DATA       |              |                              |                    |
|---------------------|--------------|------------------------------|--------------------|
|                     | ALLOWED      | PROPOSED                     | SF/HP              |
| BUILDING HEIGHT     |              | 40'                          | 37' = 28' HT       |
| SETBACKS            | LDL REQUIRED | PROVIDED                     | RECOMMENDED        |
| FRONT YARD (WEST)   | 10'          | 70.0'                        |                    |
| SIDE YARD (NORTH)   | 10'          | 300.0'                       |                    |
| SIDE STREET (SOUTH) | 10'          | 30% @ 50' MIN, 50% @ 75' MIN | 50' MIN, 50' @ 75' |
| REAR YARD (EAST)    | 10'          | 81.3'                        | 50' MIN, 50' @ 75' |

'SOUTH FEDERAL HIGHWAY REDEVELOPMENT PLAN

**SITE DATA**

| EXISTING      | PROPOSED      |
|---------------|---------------|
| EXISTING USE  | PROPOSED USE  |
| EXISTING ZONE | PROPOSED ZONE |
| EXISTING LOT  | PROPOSED LOT  |

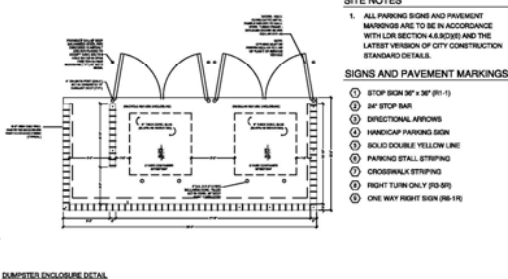
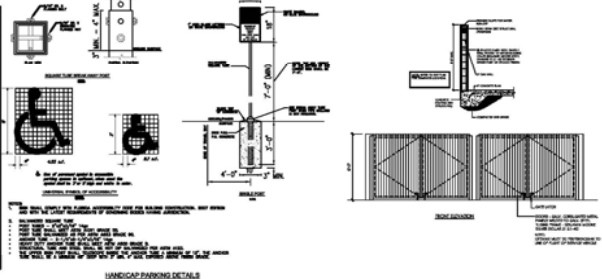
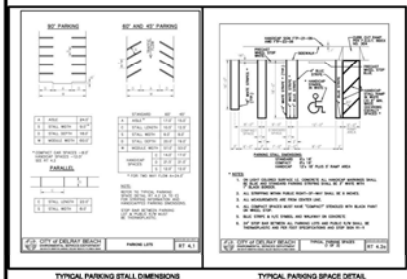
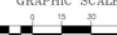
**SITE NOTES**

- ALL PARKING SIGNS AND PAVEMENT MARKINGS ARE TO BE IN ACCORDANCE WITH LDR SECTION 4.8.0.0.0 AND THE LATEST VERSION OF CITY CONSTRUCTION STANDARD DETAILS.

**SIGNS AND PAVEMENT MARKINGS**

- STOP SIGN 36" x 36" (R1-1)
- 8' STOP BAR
- DIRECTIONAL ARROWS
- HANDICAP PARKING SIGN
- SOLID DOUBLE YELLOW LINE
- PARKING STALL STRIPING
- CROSSWALK STRIPING
- RIGHT TURN ONLY (R2-9)
- ONE WAY RIGHT SIGN (R2-10)

**GRAPHIC SCALE**



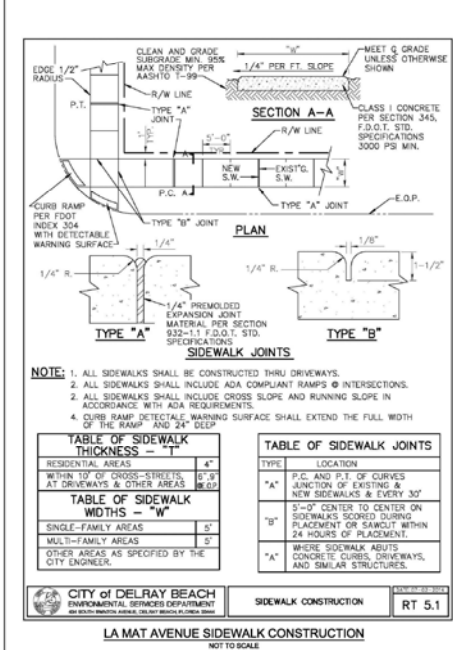
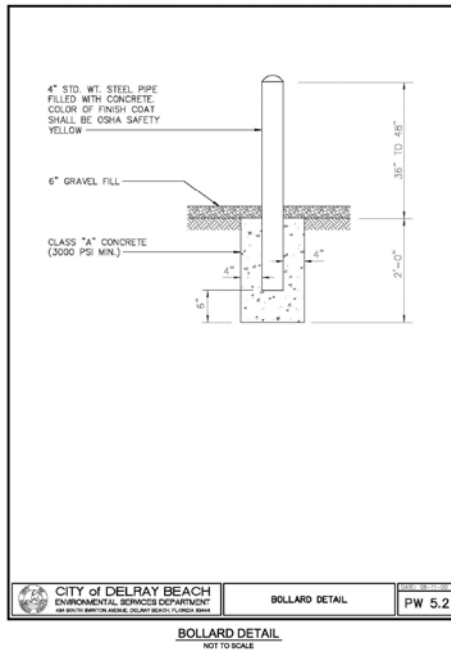
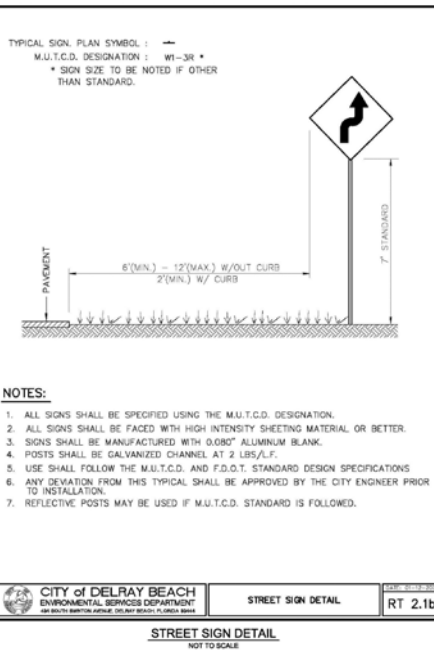
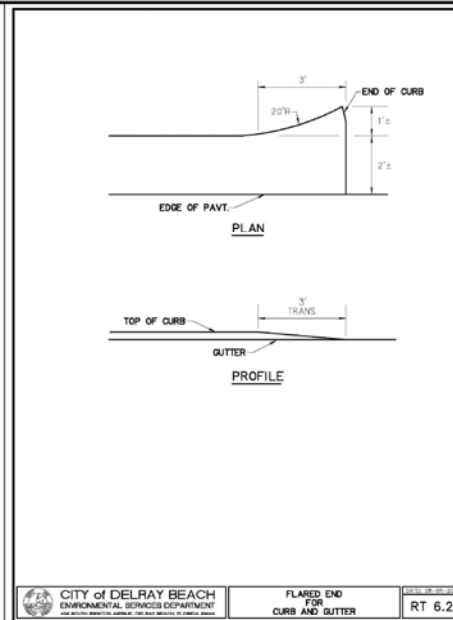
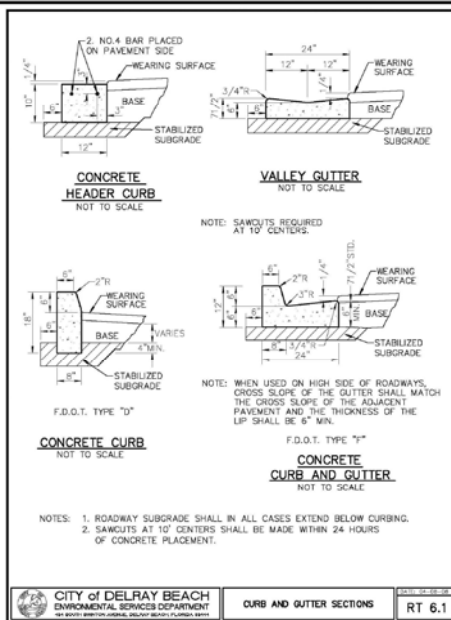
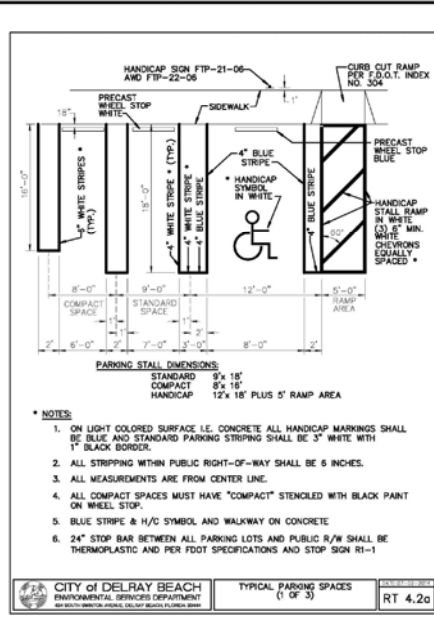
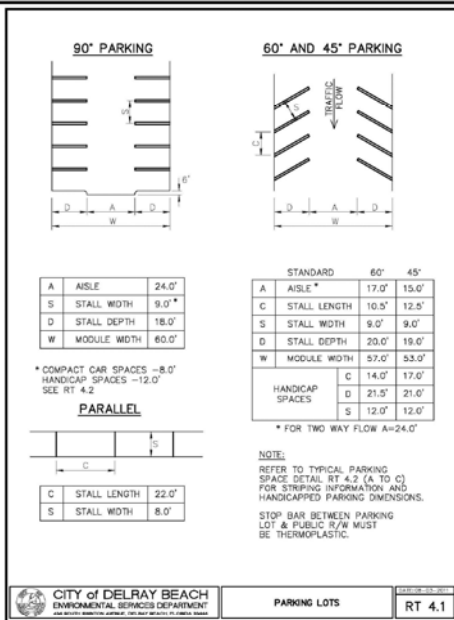
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 11450 W. Sunrise Blvd., Suite 200  
 Sunrise, FL 33323  
 Phone: (954) 714-4470  
 www.bowmanconsulting.com  
 Certificate of Authorization License No. 30082

**SITE PLAN**  
**CHEVROLET - DELRAY BEACH**  
 2605 SOUTH FEDERAL HIGHWAY  
 DELRAY BEACH, FLORIDA 33483  
 PALM BEACH COUNTY, FLORIDA

WILLIAM PFEFFER, P.E.  
 LICENSE NO. 72095  
 01/12/2019  
 PLAN REVISIONS

DATE DESCRIPTION  
 EL. RM. JT.  
 DESIGN DRAWING CHECK  
 SCALE 1" = 30'  
 JOB No. 010463-01-002  
 DATE 01/12/2019  
 FILE 04-010463-01-002.dwg

SHEET **C-7**



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**CHEVROLET - DELRAY BEACH**  
2605 SOUTH FEDERAL HIGHWAY  
DELRAY BEACH, FLORIDA 33483  
PALM BEACH COUNTY, FLORIDA

**CITY of DELRAY BEACH**

WILLIAM PFEFFER, P.E.  
LICENSE NO. 72085  
01/31/2019

**PLAN REVISIONS**

| DATE   | DESCRIPTION |
|--------|-------------|
| EL     | RM          |
| DESIGN | JT          |
|        | CHKD        |

**SCALE**

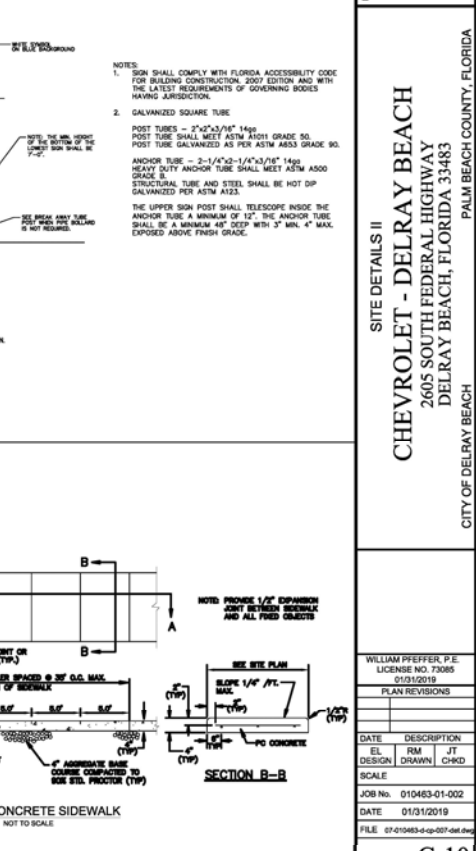
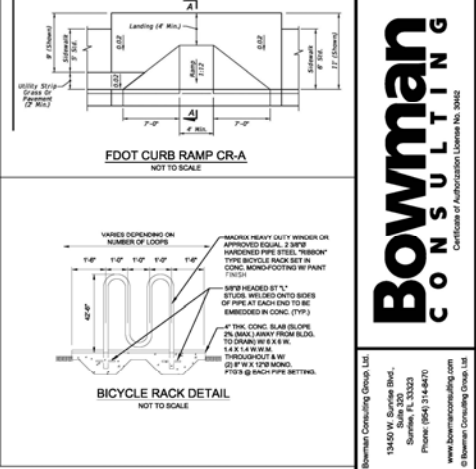
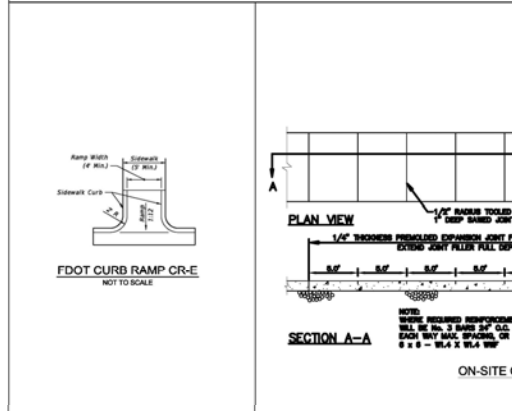
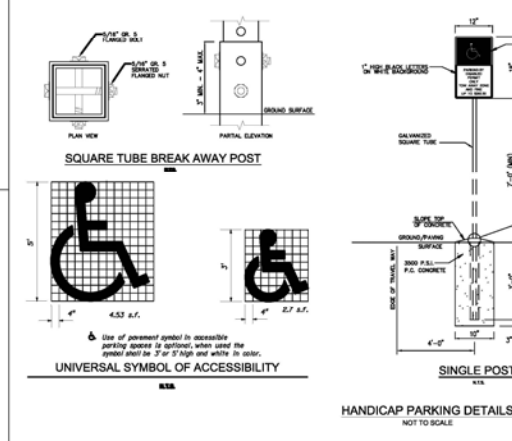
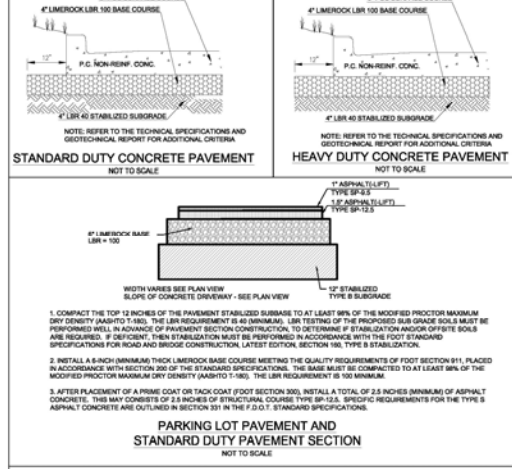
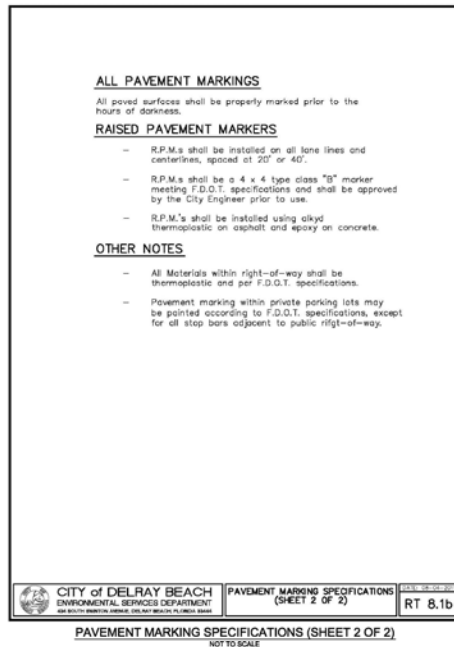
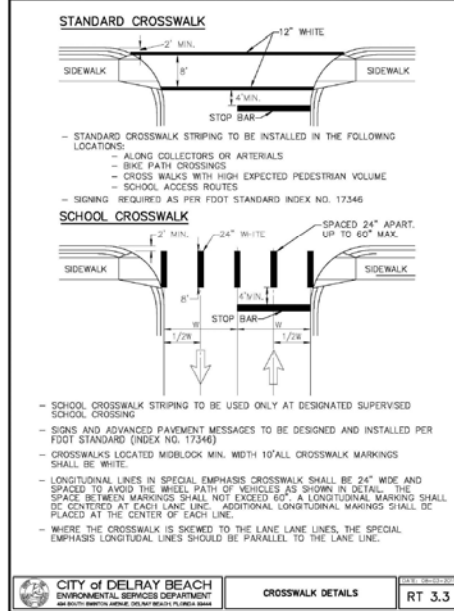
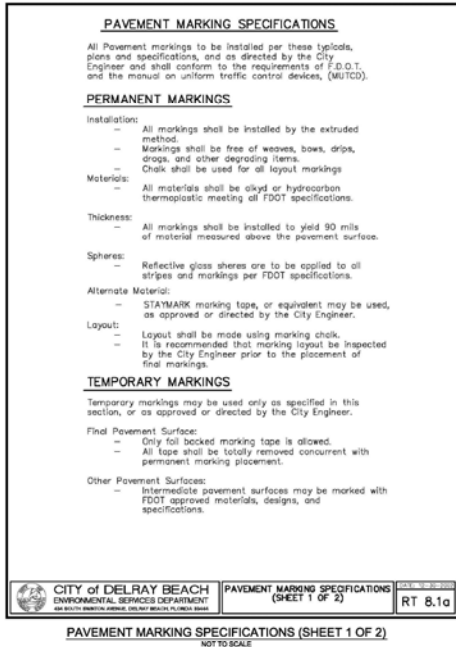
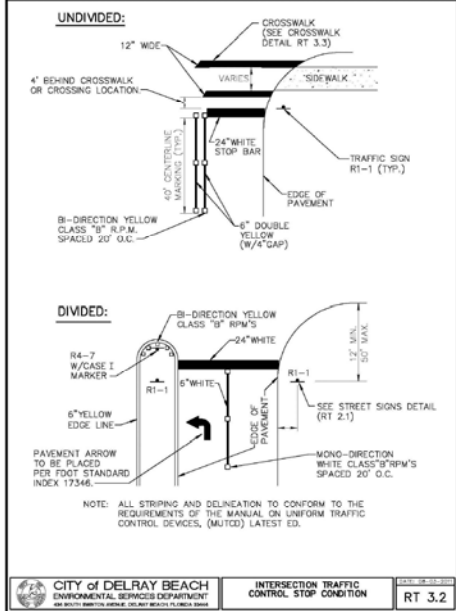
**JOB No:** 010463-01-002

**DATE:** 01/31/2019

**FILE:** 07-010463-d-01-001-dwt.dwg

**SHEET**

**C-9**



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**CHEVROLET - DELRAY BEACH**

2605 SOUTH FEDERAL HIGHWAY  
DELRAY BEACH, FLORIDA 33483

**CITY of DELRAY BEACH**

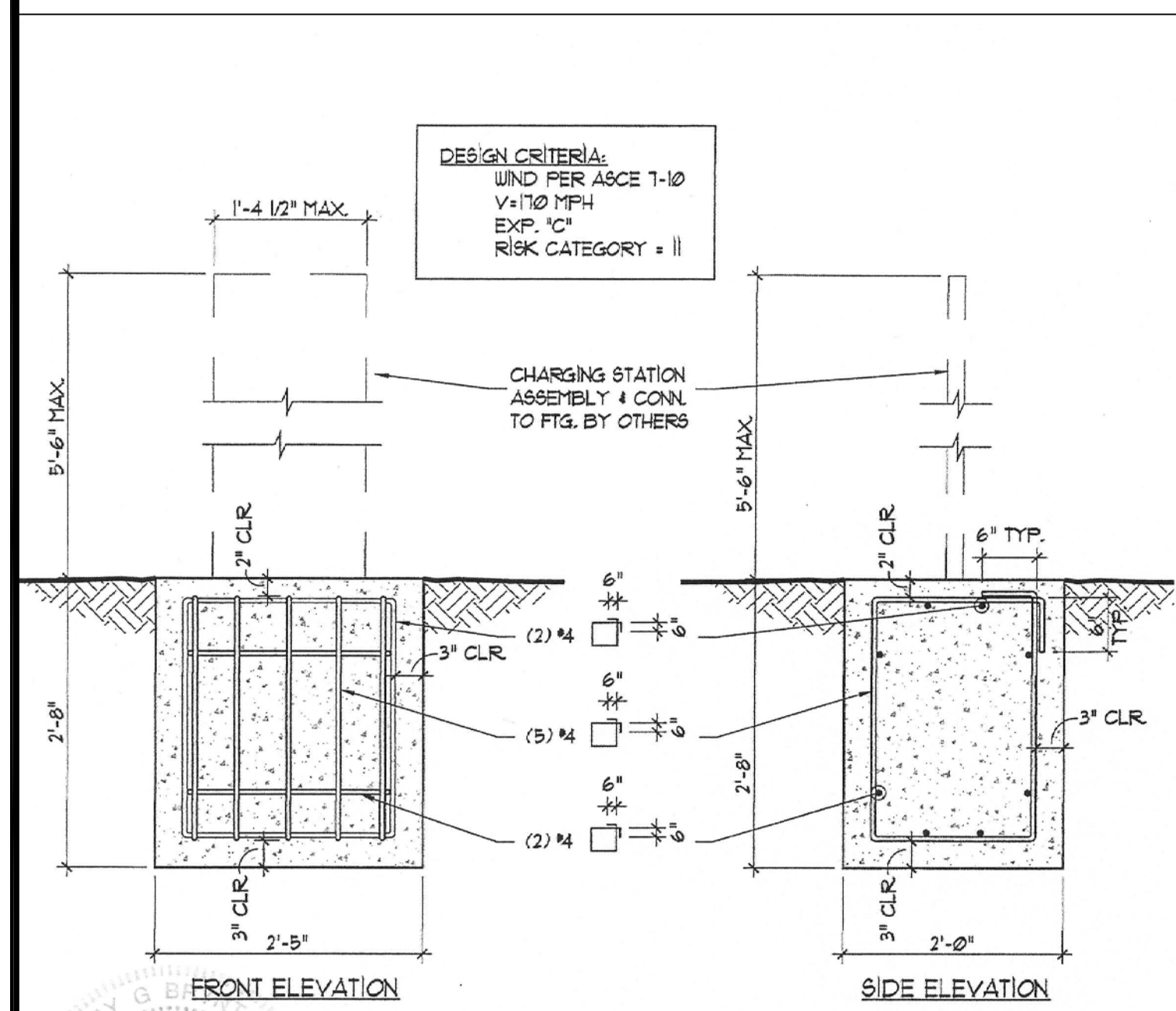
**WILLIAM PFEFFER, P.E.**  
LICENSE NO. 72085  
01/31/2019  
PLAN REVISIONS

**DATE** **DESCRIPTION**  
EL JT  
DESIGN DRAWN CHKD  
SCALE

**JOB NO.** 010463-01-002  
**DATE** 01/31/2019  
**FILE** 01-01463-01-002-DET-001.dwg

**SHEET** **C-10**





NTS

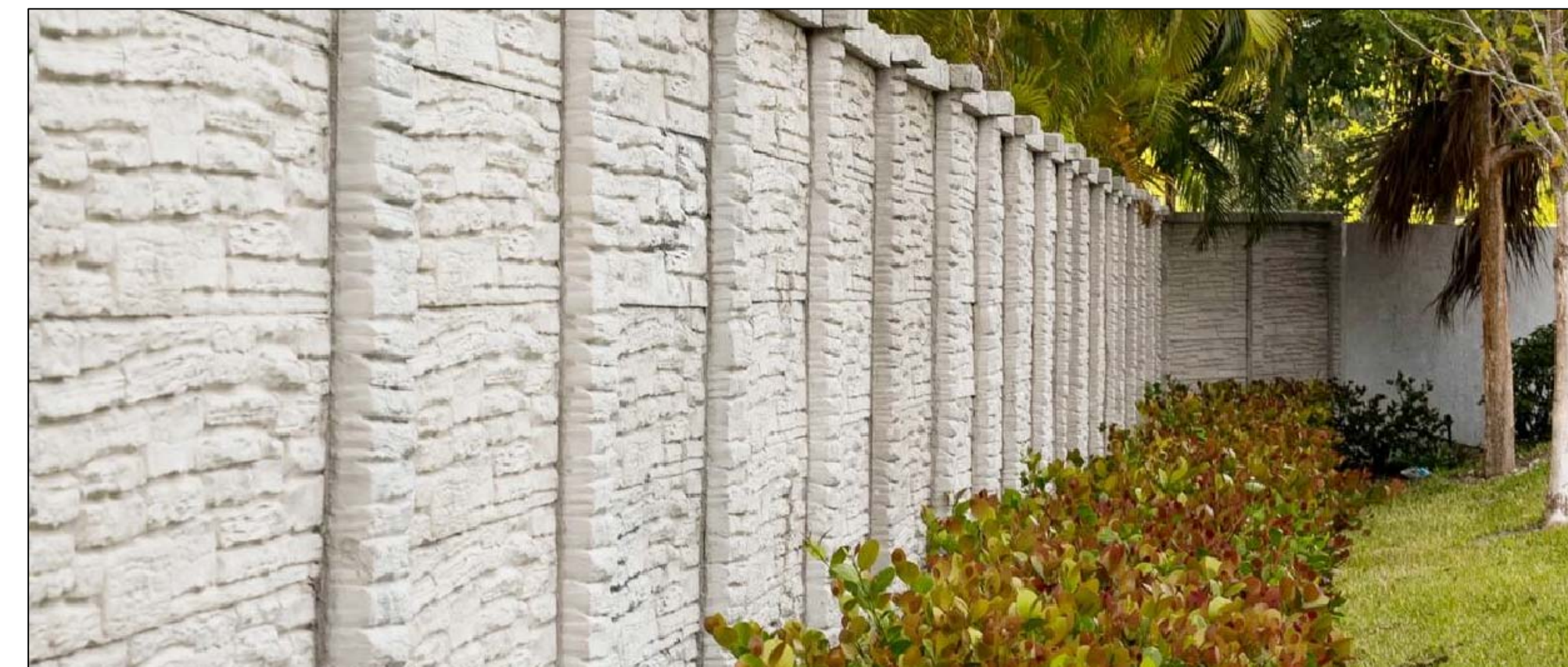
Charging Station Foundation

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| 07 |
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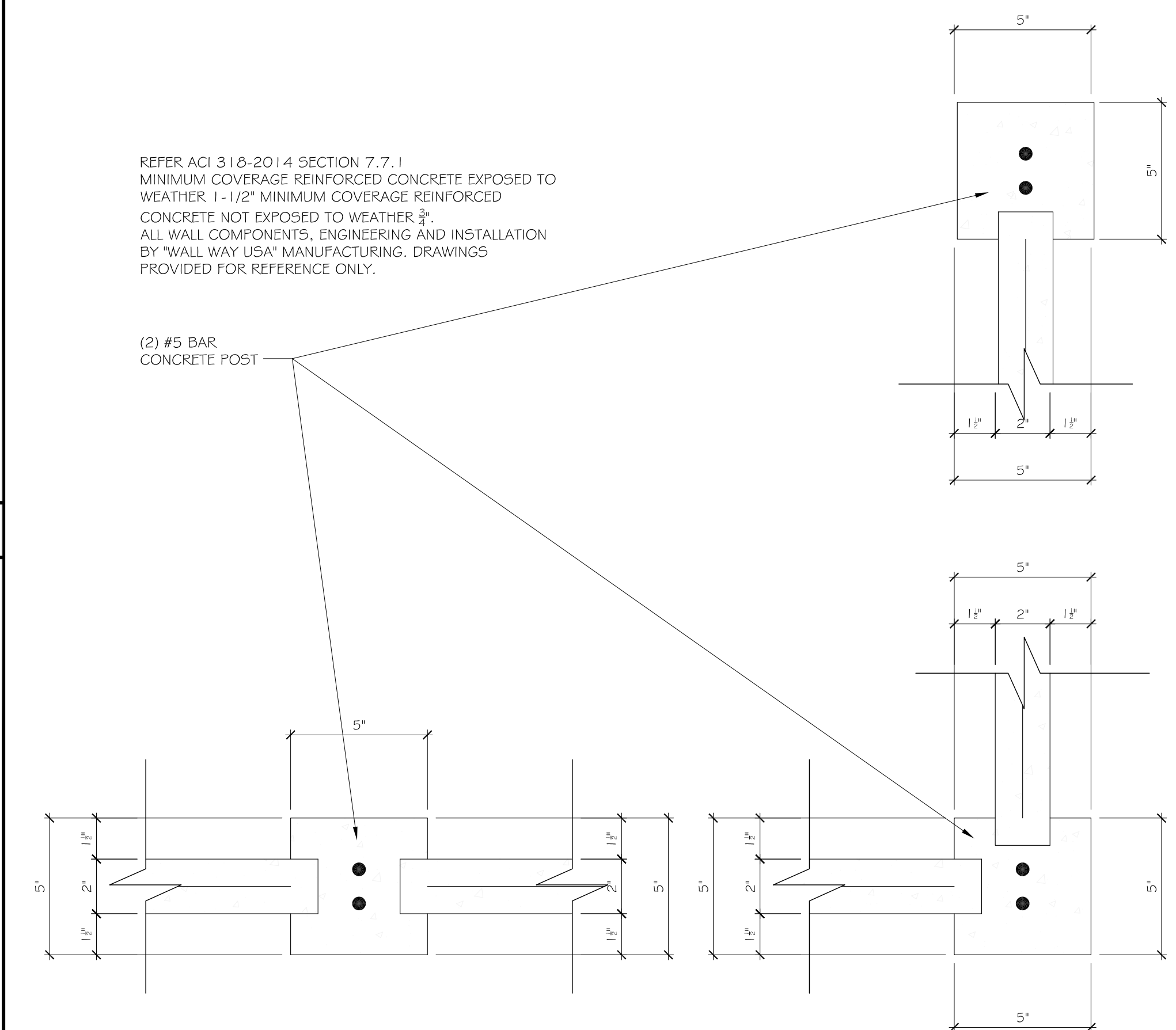
Typical View From With-In Property

|    |
|----|
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Typical View From Neighborhood Side Of Wall

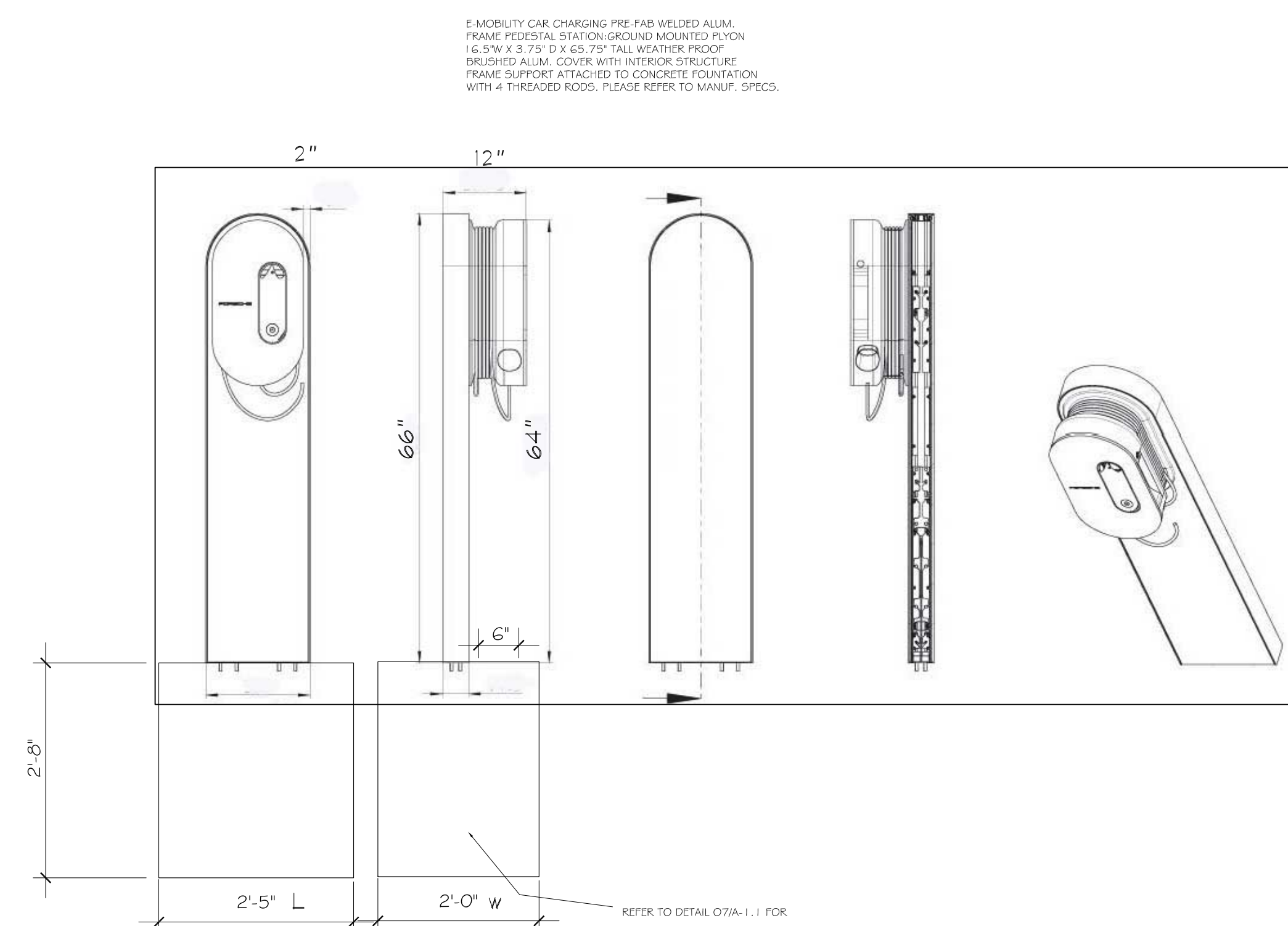
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## Post & Panel Typical Connections

Scale 3" = 1'-0"

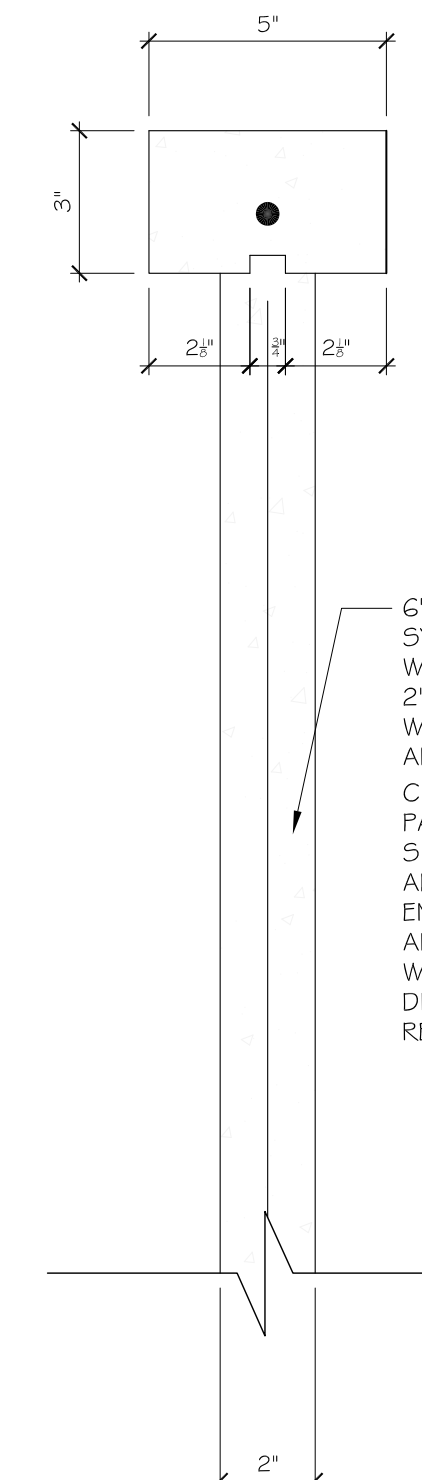
|    |
|----|
| 02 |
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NTS

Typical Charging Station Elevations (Two To Be Provided On Site)

|    |
|----|
| 06 |
|----|



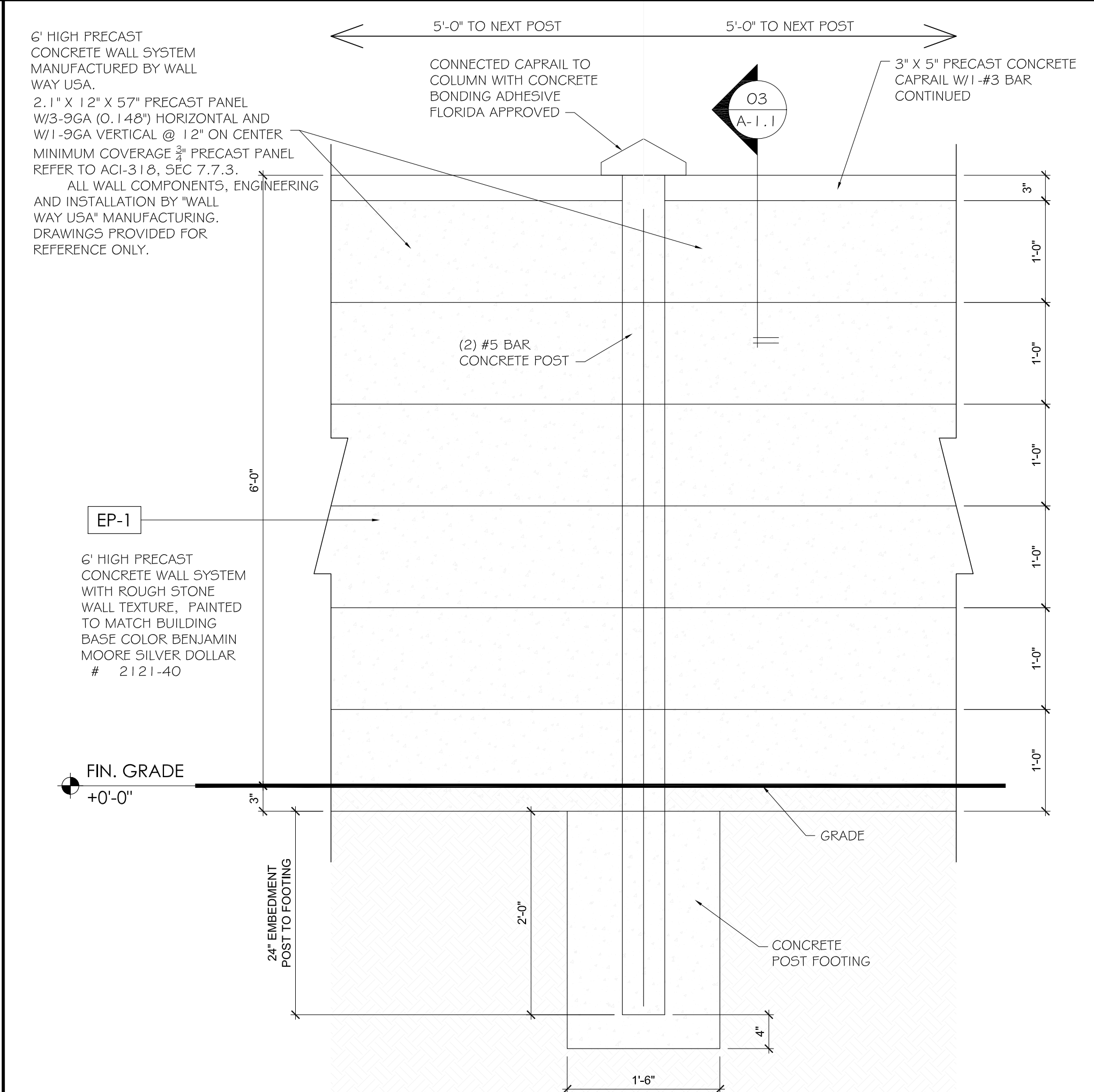
6' HIGH PRECAST CONCRETE WALL  
SYSTEM MANUFACTURED BY WALL  
WAY USA.  
2" X 12" X 57" PRECAST PANEL  
W3-9GA (0.148") HORIZONTAL  
AND W1-9GA VERTICAL @ 12" ON  
CENTER COVERAGE  $\frac{3}{4}$ " PRECAST  
PANEL REFER TO ACI 318-2014,  
SEC 7.7.3  
ALL WALL COMPONENTS,  
ENGINEERING  
AND INSTALLATION BY "WALL  
WAY USA" MANUFACTURING,  
DRAWINGS PROVIDED FOR  
REFERENCE ONLY.

Section "A"

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$$3'' = 1'-0''$$

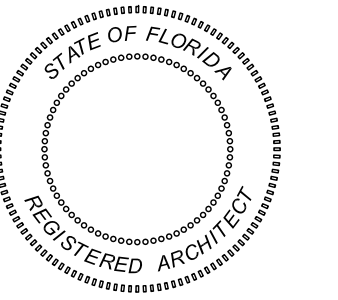
|    |
|----|
| 03 |
|----|



Wall & Post Elevation View

Scale 1" = 1'-0"

|    |
|----|
| 01 |
|----|



REG. # AR 93354  
E: 11-06-18

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9 5 4. 7 1 3. 6 1 0 1  
9 5 4. 8 1 2. 6 6 8 0  
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GRIECO DELRAY CHEVROLET  
2605 SOUTH FEDERAL HIGHWAY  
DELRAY BEACH, FL 33483

CITY OF DELRAY BEACH

DRAWING ISSUE DATES:

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## SITE DETAILS

EET

A- 1.1

PROJECT 171010  
DATE 11-06-18  
PERMIT NO.