



HISTORIC PROPERTY AD VALOREM TAX EXEMPTION APPLICATION



HISTORIC PRESERVATION BOARD

Submittal Date: 12/5/18 Property Address: 231 NE 1st Avenue, Delray Beach 33444

Historic District/Site: OSSHAD

INSTRUCTIONS FOR COMPLETING AND FILING THE TAX EXEMPTION APPLICATION

Applications may be submitted to the Planning and Zoning Department at any time between the hours of 8:00 a.m. and 5:00 p.m., Monday thru Friday. Please submit application and all required materials at the same time. Incomplete applications will not be accepted. The Historic Preservation Board (HPB) will act on a tax exemption application at the next applicable meeting upon confirmation by the Historic Preservation Planner that the application is complete and satisfies the requirements of LDR Section 4.5.1(J) and is therefore eligible for review by the Historic Preservation Board. This review period takes approximately **sixty (60) days**. Please review page 8 for complete application processing information.

Tax Exemption Applications must be submitted within three months of Certificate of Occupancy (Final Inspection), and **no later than July 1st** to receive the exemption on the following year's taxes.

The application must be accompanied by the \$100.00 processing fee (make checks payable to the City of Delray Beach). Please print or type all of the required information and ensure that the application is complete and accurate. It is necessary that an owner, or an authorized agent, be present at the Board meeting when the application is reviewed. If a property owner wishes to designate a representative/agent, please execute the "Owner's Consent and Designation of Agency" form found in this application.

Pursuant to the City's Land Development Regulations' Section 2.4.6(J)(2)(b) no application for a COA will be accepted by the HPB unless it contains all required and pertinent information. A pre-application conference with a member of the Planning Staff is strongly recommended, and can be scheduled at your convenience.

All projects will be reviewed and evaluated for conformance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Standards for Rehabilitation are broadly worded to guide the improvement of all types of historic properties. The underlying concern expressed in the referenced Standards and Guidelines is the preservation of significant historic materials and features of a building or archaeological site in the process of restoration, rehabilitation or renovation. Evaluation is based on whether or not the overall project is consistent with the Standards and Guidelines. Proposed work that does not appear to be consistent with the Standards and Guidelines will be identified, and advice will be given to assist property owners, architects, or builders in bringing the project into conformance.

Notes:

1. A digital copy of all plan exhibits provided on CD is required with the submittal of the application and each subsequent resubmittal. The digital copy must be in a PDF format and shall be prepared at a size of 8½" x 11" or 11"x 17", depending upon legibility.
2. Citizens that request a presentation before the Board or City Commission that is on a portable flash drive device must provide their media to the City Clerk's Office, no later than 12:00 pm one day prior to the meeting where they wish to present. The City laptops will not accept (won't even recognize) any jump drives inserted without prior IT scanning. There will be a zero tolerance policy on this. Applicants have the option to bring their own laptops for their presentation.

**CITY OF DELRAY BEACH PLANNING AND ZONING DEPARTMENT
PROPERTY TAX EXEMPTION APPLICATION**

Project Name/Address: Schiffrin - 231 NE 1st Ave. Delray Beach, FL 33444

PART ONE - APPLICANT INFORMATION:

APPLICANT

Name: Mindi Schiffrin

Mailing Address: 231 NE 1st Avenue
Delray Beach, FL 33444

Telephone Number: 561-843-7670 E-Mail: Mindi.Schiffrin@gmail.com

AGENT

Name: _____

Mailing Address: _____

Telephone Number: _____ E-Mail: _____

OWNER (if other than applicant)

Name: Same as Applicant

Mailing Address: _____

Telephone Number: _____ E-Mail: _____

Applicant is: Owner ☒ Lessee ☐ Other _____

PART TWO - PROPERTY INFORMATION:

Property Control Number: 12-43-46-16-01-074-0041

Legal Description (attach separate sheet if necessary): Town of Delray

S 38.5 FT of LT 4 & N 17 FT of LT 5 BLK 74

Old School Square Historic Arts District.

Zoning Designation: Residential - Office

Property is: ☒ in a Local Historic District ☒ in a National Register District
☐ Individually Listed on Local Register ☐ Individually Listed on National Register

Use of Property Prior to Improvements: Residential

Use of Property After to Improvements: Residential

Original Date of Construction: 1938

Dates of Previous Alterations: 1957 - Guest house

Has the building ever been moved or relocated? () Yes (☒) No

If so, when? _____ From Where? _____

Description of Physical Appearance Prior to Improvements:

Provide information about the major *exterior and interior* features of the building. Describe the building in its *existing condition* (before improvement) -- not as it was when first built (unless unchanged) or as it will be after improvement. Note the architectural style, exterior construction materials (wood, brick, etc.), type of roof (flat, gable, hipped, etc.), number of stories, basic plan (rectangular, irregular, L-shaped, etc.), and distinguishing architectural features (placement and type of windows, chimneys, porches, decorative interior features or spaces). Describe any changes that have been made to the building since its original construction (i.e., additions, porch enclosures, new storefronts, relocation of doors and windows, and alterations to the interior). Other buildings on the property such as carriage houses, barns and sheds should also be described. Finally, discuss the way in which the building relates to others in the district in terms of siting, scale, material, construction, and date of construction.

See Addendum A attached

Statement of Significance:

Summarize how the building contributes to the significance of the district. This summary should relate to the significance of the district (including the district's period of significance) as identified in the National Register nomination or district designation documentation. Is it similar to other buildings in the district in scale, building materials, style, and period of construction? Note important persons from the past associated with the building, former uses of the property, and the name of the architect or builder, if known.

See Addendum B attached

PART THREE – PROJECT INFORMATION

Type of request:

(☒) Exemption under 196.1997, F.S. (standard exemption)

() Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public)

Project Start Date: 11/17/17

Project Completion Date: 9/11/18
(Certificate of Occupancy Issued by Building Department)

Total Estimated Project Costs: \$1 550,000

Total Project Cost Attributed Solely to the Historic Structure: \$1 452,357.36

PART FOUR: APPLICATION REQUIREMENTS

Please provide one complete of all applicable items noted below.

☒ **Warranty Deed**

☒ **Survey** – Provide a copy of a survey from both before and after the improvements when the building footprint(s) has changed.

☒ **Site Plan, Exterior Elevations, Floor Plans** – As approved by the HPB.

☒ **Attachment Sheets** – When necessary.

☒ **Photographs (Labeled)** – Provide a before and after photo of each exterior elevation, all new construction, and all interior improvements. Each page should contain a before and after photo of the same item; provide a corresponding description of the photos and the improvements. Photographs are not returnable. Polaroid photographs are not acceptable. Such documentation is necessary for evaluation of the effect of the improvements on the historic structure. Where such documentation is not provided, review and evaluation cannot be completed. This shall result in a recommendation for denial of the request for exemption. NOTE: All features should be identified with the approximate date, a description, and impact of work on existing feature. All pages should include the property address.

☒ **Most Recent Tax Bill**

☒ **Applicable Fee, payable to the City of Delray Beach** - See cover sheet.

☐ **Executed Agent Authorization Form**

PART FIVE: APPLICATION REVIEW

For Historic Preservation Planner Use Only.

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Certifies that the above referenced property qualifies as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
- () Certifies that the above referenced property does not qualify as a historic property consistent with the provisions of s. 196.1997 (11), F.S.
- () Certifies that the above referenced property qualifies for the special exemption provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- () Certifies that the above referenced property does not qualify for the special exemption provided under s. 196.1998, F.S.

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that improvements to the above referenced property are consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.
- () Determines that improvements to the above referenced property are not consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*

The Historic Preservation Planner has reviewed the Historic Preservation Property Tax Exemption Application for the subject property and hereby:

- () Determines that the completed improvements to the property are consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends approval of the requested historic preservation tax exemption.
- () Determines that the completed improvements to the above referenced property are not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, recommends denial of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments: _____

Signature _____

Typed or printed name _____

Title _____

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by the Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Complete the following if signing for an organization or multiple owners:

I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work as approved by the Historic Preservation Board. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work approved by the Historic Preservation Board. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application, I agree to allow access to the property by Historic Preservation Planner of the City of Delray Beach, Planning and Zoning Department, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

Complete the following if signing for an organization or multiple owners:

6 / 8

PART SEVEN: OWNER'S CONSENT AND DESIGNATION OF AGENCY

(This form must be completed by **ALL** property owners)

I Mindi Schifrin, the fee simple owner of the following described
(Owner's Name)

property (give legal description): Town of Delray
S 38.5 FT of LT 4 & N 17 FT of Lot 5 BLK 74
Old School Square Arts District - Residential Home

hereby petition to the City of Delray Beach for approval of a Tax Exemption Application for the
property located at 231 NE 1st Ave, Delray Beach FL 33444 and affirm that
Mindi Schifrin is hereby designated
(Applicants/Agent's Name)

to act as agent on my behalf to accomplish the above.

I certify that I have examined the application and that all statements and diagrams submitted
are true and accurate to the best of my knowledge. Further, I understand that this application,
attachments and fees become part of the Official Records of the City of Delray Beach, Florida,
and are not returnable.

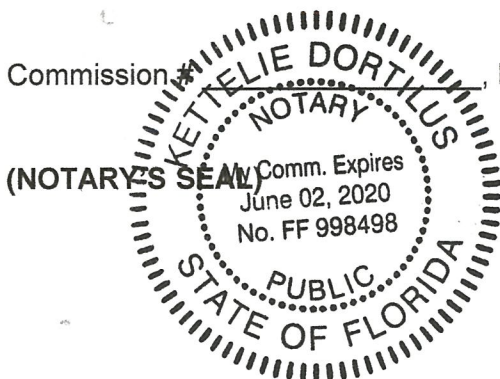
Mindi Schifrin
(Owner's Signature)

The foregoing instrument was acknowledged before me this 4th day of December,
2018 by Mindi Jo Schifrin, who is personally known to me or has produced
FL DL (type of identification) as identification and who did take an
oath.

Kettelie Dorthius
(Printed Name of Notary Public)

[Signature]
(Signature of Notary Public)

Commission # _____, My Commission Expires 06-02-20



PART EIGHT: TAX EXEMPTION APPLICATION REVIEW PROCESS

1. Upon HPB approval of the application, a **Resolution** will be reviewed at the next available City Commission meeting. This review is to authorize the exemption from the City's portion of property taxes.
2. Following approval of the Resolution, a **Property Tax Exemption Covenant** will be provided to the property owner for signature. This Covenant requires the owner(s) to maintain the improvements during the ten (10) year period that the exemption is granted. The Covenant must be **signed and notarized** by a Public Notary for all owners of record of the subject property. Upon signature by the Historic Preservation Planner, the Covenant must then be **recorded by the property owner** (at an additional charge) in the official records of Palm Beach County at:
The Palm Beach County Court House
Recording Department, Room 4.25
205 North Dixie Highway
P.O. Box 4177
West Palm Beach, Florida 33402
(561) 355-2991
3. **Two (2) copies** of the recorded Covenant must be delivered to the Historic Preservation Planner. One (1) of the Property Tax Exemption Covenant copies must be a **Certified Copy**.
4. Upon receiving the two (2) copies of the recorded Covenant, the Historic Preservation Planner will send copies of the following documents to the **Palm Beach County, Property Appraiser's Office, and the Palm Beach County, Planning, Zoning and Building Department, by OCTOBER 1st:**
 - a. HPB Staff Reports for the COA and Tax Exemption Application;
 - b. Certified copy of the recorded Property Tax Exemption Covenant to the Palm Beach County, Property Appraiser's Office;
 - c. Non-certified copy of the Covenant to the Palm Beach County, Planning, Zoning and Building Department;
 - d. Resolution of the City Commission approving the Completed Work Application.
6. Palm Beach County's Planning, Zoning and Building Department will forward this request for the exemption from the County's portion of the property taxes to the County Commission for their approval. The County staff may require additional information. The property owner will also have to enter into a covenant with the County. This covenant will also need to be recorded (additional charge).
7. This documentation will authorize the tax exemption for the Property Appraiser's Office from the City's and the County's portion of property taxes associated with the increased value of the historic property due to improvements.

Please be aware that the **Palm Beach County, Property Appraiser's Office and the Palm Beach County, Planning, Zoning and Building Department must have all documentation prior to or on OCTOBER 1st of the year preceding the year the tax exemption is to commence.**

SCHIFRIN- 231 NE 1ST AVENUE DELRAY BEACH

Addendum A

Description of Physical Appearance Prior to Improvements

The above property is situated on the east side of NE 1st Avenue between NE 2nd and NE 3rd Street in Bankers Row of Old School Square Historic District. It's was 1,503 square feet single-family home, zoned OSSHAD (Old School Square Historic Arts District) sitting on .17 acres. The house had cedar plank siding and single pane windows. It also had gable and flat roofs. The NW corner of the house, originally in built in 1938 had a car port that was converted to bay window bedroom in the 1950's. At that time, it was 3 bedrooms, 2 bathrooms, laundry, kitchen, living and dining room.

Also on the property was a 480 square foot quest house consisting of a kitchen, living room, 1 bedroom and 1 bathroom. This was added in the 1950's

There was severe exterior weather damage as well as termite, structural, foundational, electrical, and mechanical damage throughout the property. The scope of damage required a total restoration and rehabilitation project that included a complete new set of architectural plans for modernization of safe historic structure.

These are cottage style houses along the east of the street that differs significantly from their westerly Mediterranean Revival neighbors. These homes are relatively small, single story structures, with defining gable roof, simplified facades with little or no detailing and an off-centered entry door. Garages were either integrated or detached due to the reliance on the motor car. Initially the structures were the same but over the year's owners infused different ideas to meet different dwelling needs.

M. Schifrin – Statement of Significance

Addendum B

The subject property is located on the east side of NE 1st Avenue between NE 2nd Street and NE 3rd Street within Banker's Row of the Old School Square Historic District. A circa 1938, 1,503 square foot, single-family residence exists on the 0.17 acre property and is zoned OSSHAD (Old School Square Historic Arts District). Banker's Row began from a replat of the original Block 66 as the individual lots were sold by J.C. Keen, who purchased the block from J.S. Sundy in 1924. Mr. Keen sold the lots to wealthy businessmen in Delray.

By 1926, the west side of NE 1st Avenue within Block 66 was developed. Soon thereafter, the Great Depression hit and the east side of the street, which was part of Block 74, remained undeveloped. In 1938, however, the Mackle brothers received building permits for 11 modest houses and 9 guest cottages for the properties along the east side of NE 1st Avenue. The first owner of the subject property was Harry J. Morgan, a local accountant, who purchased it in 1939. The row of Minimal Traditional cottages along the east side of the street significantly contrast from the Mediterranean Revival structures across from them on the west side.

The Banker's Row Plan, developed in the early 1990s, accurately described these structures as relatively small, simple one-story structures, with a dominant gable and simplified façade absent of traditional detailing with an off-center front door. With the increasing dependence on the automobile, garages were either integrated into the structure or free-standing. The houses were originally very much alike, however, changes were incorporated over the years "as owners adapted their houses to new housing needs."

At its meeting of October 19, 2016, the Board approved a COA (2016-202) for a one-story addition to the rear of the historic structure to provide approximately 910 square feet of additional living space, and modifications to the existing front elevation.

The subject proposal includes a flat roof between the historic structure and hip roof of the addition; a gabled roof was previously proposed and approved in this location. A flat roof presently exists on the rear of the structure, which is not original. The proposed flat roof will be higher than the existing flat roof, but at the same height at the approved ridge line, and provide additional interior headroom in that portion of the residence. In addition, the roof height of the bay window on the front elevation is proposed to be raised to also provide additional interior head room.

November 30, 2018

PROJECT DESCRIPTION: 231 NE 1ST Ave, Delray Beach, FL Permit # 1700167848

BACKGROUND

The above property is situated on the east side of NE 1st Avenue between NE 2nd and NE 3rd Street in Bankers Row of Old School Square Historic District. It's a 1,503 square feet single-family home, zoned OSSHAD (Old School Square Historic Arts District) sitting on .17 acres.

Bankers Row is a replat of the original Block 66. Some development was done in 1926 however due to the great depression the east side of the street (part of block 74) received no development until 1938 when the Mackle brothers received permits to construct '11 modest houses and 9 guest cottages for properties the east side of NE 1st Avenue. The property first owner was Harry J. Morgan in 1939.

These are cottage style houses along the east of the street that differs significantly from their westerly Mediterranean Revival neighbors. These homes are relatively small, single story structures, with defining gable roof, simplified facades with little or no detailing and an off-centered entry door. Garages were either integrated or detached due to the reliance on the motor car. Initially the structures were the same but over the year's owners infused different ideas to meet different dwelling needs.

IMPROVEMENTS- INTERIOR

In 2016, the current owner undertook an addition /renovation to the existing home approved by the City of Delray Beach/Historic Preservation Board. At that time, it was 3 bedrooms, 2 bathrooms, laundry, kitchen, living and dining room. The current improvements amounted to approximately 910 square feet, this includes expansion of the dining, kitchen, conversion of existing bedroom to personal office; nook, expanded bathrooms and closets and raised ceilings.

IMPROVEMENTS- EXTERIOR

The existing flat roof was raised with higher ceilings for the office, nook, kitchen and hip roof for the great room with clerestory windows in these areas. Exterior material is natural wood siding on the existing portion in keeping with the Historic District requirements. The addition portion finished with approved hardi-planks. Roof finished with gray asphalt shingles and walks ways and parking done in brick pavers.



235 NE 1ST AVE.



231 NE 1ST AVE.



227 NE 1ST AVE.



238 NE 1ST AVE.



234 NE 1ST AVE.



226 NE 1ST AVE.



SCHIFRIN-231 N.E. 1ST AVE. DELRAY BEACH, FL 33444

ADDENDUM C



7.11.18	B4 & After General Contractors	Bid: Schifrin-1
ITEM	DESCRIPTION	PROJECTED AMOUNT
1000-1099	GENERAL CONDITIONS	
1001	Architect Fees	by owner
1003	Plan Copies/ AIA Docs	\$200.00
1005	Engineering Inspections	by owner
1006	Surveys	\$1,500.00
1007	Insurance: Builders Risk	see memo
1007.5	Insurance: Liability/ Work Comp	\$551.27
1008	Soil Testing	\$1,250.00
1009	Building Permits	\$5,000.00
1010	Supervision	\$15,333.00
1011	General Labor / Jobsite Clean up	\$9,000.00
1013	Civil Engineering	by owner
1014	Courier Services	\$600.00
1016	Misc. Construction Expense	no contingencies
1100-1199	TEMPORARY CONDITIONS	
1103	FPL Electric Tie-in	see
1104	FPL Temp. Electric	by owner
1106	Temp. Toilets	\$1,100.00
1108	Temp. Water	by owner
1109	Dumpster	\$7,200.00
1110	Construction Fences	\$2,000.00
1112.5	Temp Floor Protection	\$300.00
1200-1299	SITE WORK	
1201	Demolition	\$4,500.00
1202	Equipment, Land Clearing	included
1204	Tree Removal	none included
1205	Tree Trimming	none included
1206	Tree Relocation	none included
1208	De-watering	none included
1214	Stabilizer Shell Rock	none included
1300-1499	SHELL	\$74,200.00

1301	Concrete Piling	none included
1302	Concrete Labor - Shell	included
1303	Concrete Material	included
1304	Concrete Pump	included
1305	Concrete Finisher	included
1306	Concrete Testing	none included
1307	Soil Poisoning	included
1308	Hardware	included
1308.5	Tapcons	included
1312	Block - Material Labor	included
1313	Trusses and/or Floor Joists	included
1313.25	Fascia	included
1313.5	Beam Material	included
1314	Crane	included
1315	Re-Bar	included
1316	Re-Bar Labor	included
1317	Structural Steel L&M	included
1317.5	Vapor Barrier	included
1319	Structural Steel L & Welding	included
1320	Knee Wall	included
1321	Cabana/Pergola	included
1322	Shoring	included
1324	Truss Repairs To Existing	included
1325	Truss Sheeting L & M	included
1326	Wall Sheeting L & M	included
1327	Peeling Forms	included
1351	Backfill (Clean)	\$2,500.00
1399	Form Lumber Slab & Footers	included
1404	Termite Block	none included
1406	Compaction	included
1408	Gypcrete	Not included
1600-1799	FRAMING	\$27,500.00
1601	Wood Labor & Material	included
1602	Fire Stop (wood or foam)	included
1602.5	Balance Trusses	Not included
1603	Draft Stop	Not included
1603.25	Blocking For Cabinets & Tv's	included
1700	Metal Framing	included
1701	Drywall Hang & Finish	included
1702	Cement Board & Waterproof	included

1800-1899	PLUMBING	
1801	Plumbing Labor	\$15,000.00
1802	Plumbing Fixture Allowance	by owner
1803	Tankless Water Heater	by owner
1900-1999	ELECTRICAL	
1901	Electrical Labor	\$24,000.00
1902	Electrical Fixtures Allowance	no exterior included
1903	Electrical Landscape Fixtures	none included
1904	Ceiling Fans	install of owner supplied
1905	Telephone Outlets	\$500.00
1906	Audio Video	none included
1907	HDMI	none included
1920	Dimmers	Not included
2000-2099	HEATING & COOLING	
2001	Heating & Cooling	\$18,500.00
2002	Dryer Venting	included
2003	Fireplace Venting	tbd
2004	Kitchen Exhaust	included
2005	Bathroom Exhaust	included
2100-2199	NATURAL GAS LINE	
2101	Gas Labor & Material	\$3,500.00
2102	Fireplaces	tbd
2104	Natural Gas Service	by owner
2200-2299	ROOFING	
2201	Roofing Labor & Material	\$20,000.00
2202	Veranda/ Guest House	no work included
2203	Flat Decks	included
2400-2499	GLASS	
2401	Windows-Impact	\$27,609.00
2402	Bucking & Flashing	\$1,800.00
2406	Skylights	\$1,600.00
2500-2599	WALLS & CEILING	
2501	Insulation	\$4,000.00
2503	Painting: Interior & Exterior	\$15,000.00
2504	Wallpaper Labor & Materials	none included
2505	Faux Finishes	none included
2600-2799	TRIM PACKAGE	
2601	Trim Labor	\$4,500.00
2602	Trim Material	\$1,800.00
2603	Doors: Interior	\$4,500.00

2603.5	Door Stops & Bumpers	\$75.00
2604	Doors: Exterior	tbd
2605	Trim Hardware Allowance	Time & Material
2606	Tongue & Groove	tbd
2701	Cypress Siding	none included
2702	Pull Down Ladders	none included
2703	Siding	\$30,000.00
2704	Hand Rails	\$800.00
2705	Ext Trim	\$5,000.00
2800-2899	CABINETS & BUILT-INS	
2801	Kitchen Cabinets & Bath Vanities	\$25,000.00
2802	Custom Built-ins	none included
2803	Closets	\$4,000.00
2804	Cabinet Protection Post Install	\$135.00
2900-2999	APPLIANCES	
2901	Appliance Allowance	by owner
2902	Barbecue Grill	by owner
3000-3099	TOPS	
3001	Counter & Vanity Tops	\$16,500.00
3005	Window Sills	tbd
3006	Other Tops	tbd
3100-3199	FLOOR & BATH WALLS	
3101	Tile Labor Only	\$3,500.00
3102	Flooring & Tile Allowance	\$16,039.09
3104	Wood Floor Labor Only	\$4,615.00
3105	Carpet L & M	none included
3105.5	Kitchen Backsplash	\$1,000.00
3107	Soundproofing/ Underlayment	\$1,500.00
3200-3299	BATH ACCESSORIES	
3201	Shower Enclosures	\$2,000.00
3202	Mirrors	tbd
3300-3399	LANDSCAPING & POOL	
3302	Landscaping	tbd
3304	Irrigation	tbd
3305	Grading	tbd
3400-3499	CONSTRUCTION CLEANING	
3402	Final Cleaning	\$650.00
3600-3699	OTHER AMENITIES	
	Pavers	

[illegible]



NORTH EAST ELEVATION - Before



North Elevation After

North Elevation Improvements

- New 445 square foot addition (partial of total)
- New Foundation
- New Wood Frame & Walls
- New Hardy Board Siding
- New Roof
- New Flooring
- New Hurricane Impact Windows (per code)
- New Electrical, Gas, Tank-Less Hot Water Heater, Mechanical, Structural, Plumbing, HVAC.

231 NE 1st Avenue, Delray Beach FL 33444

Date of Work on Existing Structure: April 2017-August 2018



EAST ELEVATION - Before



East Elevation After

East Elevation Improvements

- New 445 (total) square foot addition
- New Foundation
- New Wood Frame & Walls
- New Hardy Board Siding
- New Roof
- New Flooring
- New Hurricane Impact Doors and Windows (per code)
- New Electrical, Mechanical, Structural, Plumbing, HVAC.



SOUTH EAST ELEVATION - Before



South East Elevation After

South Elevation Improvements

- New 445 square foot addition (partial of total)
- New Foundation
- New Wood Frame & Walls
- New Hardy Board Siding
- New Roof
- New Flooring
- New Hurricane Impact Windows and French Doors (per code)
- New Electrical, Mechanical, Structural, Plumbing, HVAC.
- New Exterior Cement Stairs



WEST ELEVATION - Before



West Elevation After

West Elevation Improvements

- Reinforcement of Foundation
- New Wood Frame & Walls
- New Cedar Siding
- New Hurricane Windows per code
- New House Roof
- New Flooring
- New Hurricane Impact Front Door and Windows (per code)
- New Electrical, Mechanical, Structural, Plumbing, HVAC.
- Raised Bay Window Room Ceiling Height

City of Delray Beach Florida
100 NW 1ST AVE
DELRAY BEACH FL 33444

CERTIFICATE OF OCCUPANCY/CERTIFICATE OF COMPLETION

Application Number 17-00167848 000 000
CO Issue Date 9/11/18
Parcel Number 12 43 46 16 01 074 0041
Property Address 231 NE 1ST AVE
DELRAY BEACH FL 33444
Subdivision Name DELRAY TOWN OF
Legal Description TOWN OF DELRAY
S 38.5 FT OF LT 4 & N 17 FT OF
LT 5 BLK 74
(OLD SCHOOL SQUARE HISTORIC
Property Zoning RESIDENTIAL - OFFICE
Owner SCHIFRIN MINDI
65 NE 4TH AVE
DELRAY BEACH FL 33483
Contractor B4 & AFTER GENERAL CONTRACTORS
Description of Work ADDITION - SINGLE FAMILY
Valuation \$ 376,085
Construction Type TYPE V-B
Occupancy Type RESIDENTIAL - SINGLE FAM
Flood Zone FLOOD ZONE X
Building Code Edition . . . ~~FBC~~/SBC: 1994, 1997, 2001, 2004, 2007, 2010, 2014

NOTES:

CONSTRUCT ADDITION OF GREAT ROOM AND
KITCHEN RENOVATION
CODE VER: FBC 2014
SPRINKLER NOT REQUIRED
THE CITY OF DELRAY BEACH ENCOURAGES THE
USE OF ENERGY STAR PRODUCTS.
FFE: MATCH EXISTING

Building Official Steve Tobias,



VOID UNLESS SIGNED BY BUILDING OFFICIAL OR DESIGNEE

The described portion of the structure has been inspected for compliance with the requirements of the code for the occupancy and division of occupancy and the use for which the proposed occupancy is classified.

WB

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name B4 & AFTER GENERAL CONTRACTORS				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 231 NE 1ST AVENUE				Company NAIC Number:	
City DELRAY BEACH		State Florida		ZIP Code 33444	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PROPERTY CONTROL NUMBER 08-43-46-04-04-005-0051					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>26.465900</u> Long. <u>-80.072093</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF DELRAY BEACH 125102			B2. County Name PALM BEACH		B3. State Florida
B4. Map/Panel Number 12099C 0979	B5. Suffix F	B6. FIRM Index Date 10/05/2017	B7. FIRM Panel Effective/ Revised Date 10/05/2017	B8. Flood Zone(s) X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 231 NE 1ST AVENUE			Policy Number:
City DELRAY BEACH	State Florida	ZIP Code 33444	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: SEE COMMENTS

Vertical Datum: SEE COMMENTS

Indicate elevation datum used for the elevations in items a) through h) below.

☒ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------|-------------|--------------------------------------------------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>21.3</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>N/A</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>19.1</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>19.7</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>20.2</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
ROBERT A. BUGGEE

License Number
3302

Title
SURVEYOR/MAPPER

Company Name
BOB BUGGEE INC.

Address
233 EAST GATEWAY BOULEVARD

City
BOYNTON BEACH

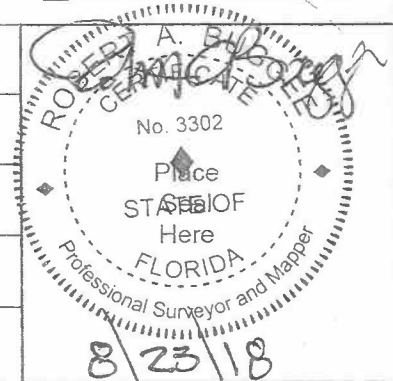
State
Florida

ZIP Code
33435

Signature


Date
08/23/2018

Telephone
(561) 732-7877



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
BENCHMARK: PALM BEACH COUNTY BRASS DISC "Z 233", AS PUBLISHED. ELEVATION: 17.569' NGVD 29 LATITUDE/
LONGITUDE FROM GOOGLE EARTH. CONVERSION FACTOR TO NAVD 88: -1.53'.

FILE NUMBER 0509817

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 231 NE 1ST AVENUE			Policy Number:
City DELRAY BEACH	State Florida	ZIP Code 33444	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 231 NE 1ST AVENUE			Policy Number:	
City DELRAY BEACH	State Florida	ZIP Code 33444	Company NAIC Number	
SECTION G – COMMUNITY INFORMATION (OPTIONAL)				
<p>The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.</p> <p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>				
G4. Permit Number		G5. Date Permit Issued		G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p>				
Local Official's Name			Title	
Community Name			Telephone	
Signature			Date	
<p>Comments (including type of equipment and location, per C2(e), if applicable)</p> <div style="text-align: right; margin-top: 10px;"><input type="checkbox"/> Check here if attachments.</div>				

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

ELEVATION CERTIFICATE**IMPORTANT: In these spaces, copy the corresponding information from Section A.****FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
231 NE 1ST AVENUE

Policy Number:

City
DELRAY BEACHState
FloridaZIP Code
33444

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT 08/23/2018



Photo Two

Photo Two Caption REAR VIEW 08/23/2018

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 231 NE 1ST AVENUE			Policy Number:
City DELRAY BEACH	State Florida	ZIP Code 33444	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One

Photo One Caption SIDE 08/23/2018



Photo Two

Photo Two Caption REAR VIEW 08/23/2018

RECEIVED BY

DEC - 4 2018

City of Delray Beach
Development Services Dept.
Planning & Zoning Div.

Prepared by and return to:
Sheri Kirner

Clarion Title Company, Inc.
250 Tequesta Drive Suite 203
Tequesta, FL 33469
561-747-6000
File Number: 15-3064
Will Call No.: 83

This document has been e-recorded in the Public
Records of Palm Beach County, Florida
under OR BK 28015, PG 1307
CFN 20150472214
30 day of Dec, 20 15

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of December, 2015 between Mark Merrill, Michael Merrill, Gary M. Pouncey, Harry L. Pouncey, Robert C. Pouncey, William B. Pouncey, Individually and as Beneficiaries of the Estate of William P. Merrill, III, deceased whose post office address are listed below, grantors, and Mindi Jo Schiffrin whose post office address is 65 NE 4th Avenue, Delray Beach, FL 33483, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Palm Beach County, Florida** to-wit:

The South 38.5 feet of Lot 4, and the North 17 feet of Lot 5, Block 74, Subdivision of Block 74, Delray Beach, Florida, according to the plat thereof as recorded in Plat Book 11, Page 12, Public Records of Palm Beach County, Florida.

Parcel Identification Number: 12-43-46-16-01-074-0041

Subject to restrictions, reservations, easements and limitations of records.

Grantors warrant that at the time of this conveyance, the subject property is not the Grantors homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. Grantors residence and homestead address are:

Mark Merrill: 103 North 11th Street, Lantana, FL 33562;

Michael Merrill: 70 NW 3rd Ave., Delray Beach, FL 33444;

Gary M. Pouncey: 661 SW 4th Ave., Boynton Beach, FL 33426;

Harry L. Pouncey: 107 Glenrose Circle, Irmo, SC 29063;

Robert C. Pouncey: 1513 Shirley Court, Lake Worth, FL 33461;

William B. Pouncey: 118 Doe Run, Morganton, NC 28655.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: Jason Post

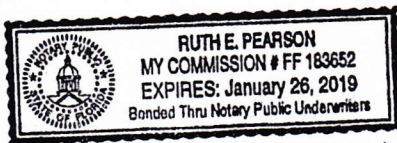
[Signature]
Witness Name: Madison Ann Day

[Signature]
Mark Merrill, Individually and as Beneficiary of the estate of
William P. Merrill, III

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 23 day of December, 2015 by Mark Merrill, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☒ is personally known to me or ☐ [X] has produced a driver's license as identification.

[Notary Seal]




[Signature]
Notary Public

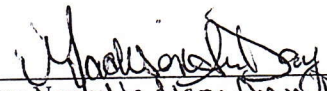
Printed Name: Ruth E Pearson

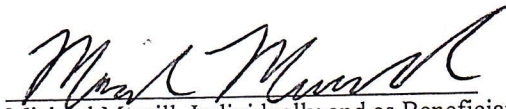
My Commission Expires: Jan 26, 2019

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: Jason Post

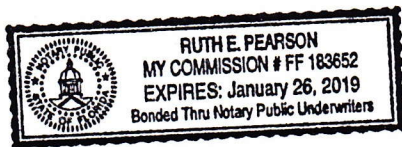
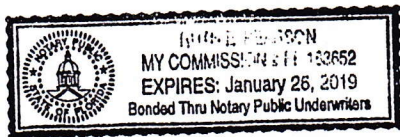

Witness Name: Madison Ann Day



Michael Merrill, Individually and as Beneficiary of the estate
of William P. Merrill, III

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 23 day of December, 2015 by Michael Merrill, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☒ is personally known to me or [X] has produced a driver's license as identification.

[Notary Seal]




Notary Public

Printed Name: Ruth E. Pearson

My Commission Expires: Jan. 26, 2019

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: Jose Otero

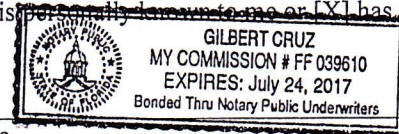
Witness Name: MIRIAM BRUNER

Gary M. Pouncey
Gary M. Pouncey, Individually and as Beneficiary of the
estate of William P. Merrill, III

State of _____
County of _____

The foregoing instrument was acknowledged before me this ____ day of December, 2015 by Gary M. Pouncey, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]




Notary Public

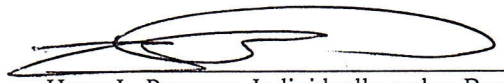
Printed Name: _____


My Commission Expires: July 24, 2017

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: BRAD BATWRIGHT

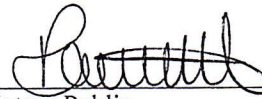

Harry L. Pouncey, Individually and as Beneficiary of the
estate of William P. Merrill, III


Witness Name: John D. Rayles

State of South Carolina
County of Lexington

The foregoing instrument was acknowledged before me this ____ day of December, 2015 by Harry L. Pouncey, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]


Notary Public

Printed Name: Pamela Harms

My Commission Expires: 05/05/2025

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

KD Berg
Witness Name: Kenneth R. Berg

Mark McElroy
Witness Name: MARK McELROY

State of Florida
County of Palm Beach

The foregoing instrument was acknowledged before me this 21st day of December, 2015 by Robert C. Pouncey, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☒ is personally known to me or ☐ has produced a driver's license as identification.

[Notary Seal]



Robert C. Pouncey
Robert C. Pouncey, Individually and as Beneficiary of the estate of William P. Merrill, III

Linda Berg
Notary Public

Printed Name: LINDA BERG

My Commission Expires: December 13, 2017

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Jordan Austin Killian
Witness Name: Jordan A. Killian

Dwayne M. Swayne
Witness Name: DWAYNE M. SWAYNE

William B. Pouncey
William B. Pouncey, Individually and as Beneficiary of the
estate of William P. Merrill, III

State of NC
County of Catawba

The foregoing instrument was acknowledged before me this ____ day of December, 2015 by William B. Pouncey, Individually and as Beneficiary of the estate of William P. Merrill, III, deceased, who ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]

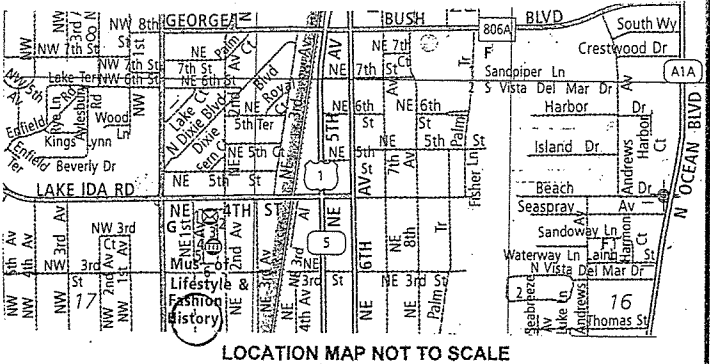
Justin A. Killian
Notary Public

Printed Name: Justin A Killian

My Commission Expires: 6-9-2016

DESCRIPTION:
THE SOUTH 38.5 FEET OF LOT 4, AND THE NORTH 17 FEET OF LOT 5, BLOCK 74,
CITY OF DELRAY BEACH, FLORIDA ACCORDING TO THE PLAT OF SUBDIVISION
OF SAID BLOCK 74, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT
COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA IN PLAT BOOK 11, PAGE
12.

PROPERTY ADDRESS:
231 NE 1ST AVENUE
DELRAY BEACH, FLORIDA
33444



NE 3RD STREET

LOT 4, BLK. 74

LOT 4, BLK. 74

LOT 5, BLK. 74

LOT 5, BLK. 74

- LEGEND:
- | | | | |
|--------|----------------------------|--------|--------------------------------|
| Δ | = DELTA ANGLE | I.R. | = IRON ROD |
| AC | = AIR CONDITIONER | I.P. | = IRON PIPE |
| BLK. | = BLOCK | L | = ARC LENGTH |
| C | = CALCULATED | LB | = LICENSED BUSINESS |
| CATV | = CABLE TV | M | = MEASURED |
| C | = CENTERLINE | O.R.B | = OFFICIAL RECORD BOOK |
| CONC. | = CONCRETE | P | = PLAT |
| CBS | = CONCRETE BLOCK STRUCTURE | P.C.P. | = PERMANENT CONTROL POINT |
| C.B. | = CORD BEARING | P.K. | = PARKER KALON |
| CM | = CONCRETE MONUMENT | P.O.B. | = POINT OF BEGINNING |
| ☒ | = CONCRETE UTILITY POLE | P.O.C. | = POINT OF COMMENCEMENT |
| ☒ | = COVERED | P.P. | = POWER POLE |
| D.E. | = DRAINAGE EASEMENT | P.R.M. | = PERMANENT REFERENCE MONUMENT |
| ELEV. | = ELEVATION | PLS | = PROFESSIONAL LAND SURVEYOR |
| E.O.P. | = EDGE OF PAVEMENT | R | = RADIUS |
| E.O.W. | = EDGE OF WATER | R/W | = RIGHT-OF-WAY |
| FF | = FINISHED FLOOR | T.O.B. | = TOP OF BANK |
| FND. | = FOUND | U.E. | = UTILITY EASEMENT |
| | | Ø | = WOOD UTILITY POLE |

SURVEYORS REPORT:
SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHT OF
WAY OF RECORD.
INFORMATION PROVIDED BY CLIENT.
NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
THIS SURVEY NOT VALID UNLESS EMBOSSED WITH A RAISED SEAL.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN
THE SIGNING PARTY ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE
SIGNING PARTY.
ALL BEARINGS SHOWN ARE RELATIVE TO AN ASSUMED BEARING OF NORTH
00°-52'-30" WEST ALONG THE CENTERLINE OF NE 1ST AVENUE.
DISTANCES SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY
INSURANCE.
ACCURACY - SUBURBAN: LINEAR: 1 FOOT IN 7,500 FEET.
THE PURPOSE OF THIS SURVEY IS FOR BOUNDARY LOCATION AND FOR THE
LOCATION OF ALL IMPROVEMENTS.

CERTIFICATION:
I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED
HEREON, AND THAT THIS SKETCH OF SURVEY IS ACCURATE AND CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO APPARENT
ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN OR STATED
HEREON, AND THAT THIS SURVEY COMPLIES WITH THE STANDARDS OF
PRACTICE ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL LAND
SURVEYORS IN CHAPTER 5J-17, F.A.C.

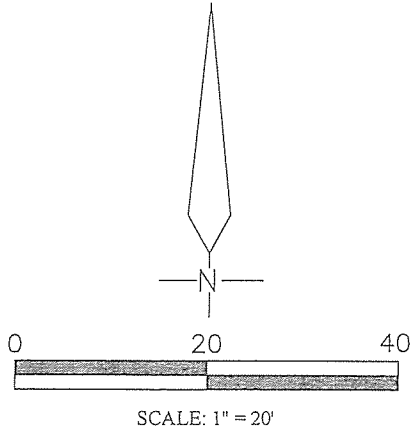
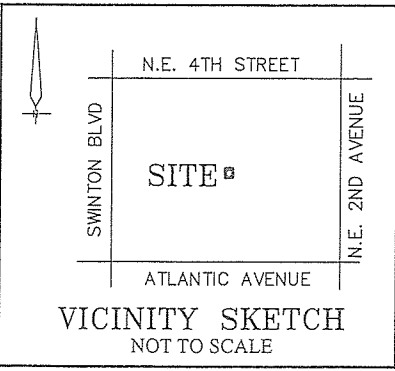
RICHARD G. RADER, PLS
FLORIDA CERTIFICATE NO. 4861
11288 61ST STREET NORTH
WEST PALM BEACH, FL 33412
(561)790-3068 FAX (561)790-6320

BOUNDARY SURVEY FOR:
Mindi Jo Schifrin

SCALE: 1" = 20'	APPROVED BY:	DRAWN BY: R.G.R.
DATE: 12-10-15		REVISED:

FURTHER CERTIFIED TO:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;
CLARION TITLE COMPANY, INC.

FLOOD ZONE "C" COMMUNITY PANEL #125102 0004D
DRAWING NUMBER 37-20



LEGEND

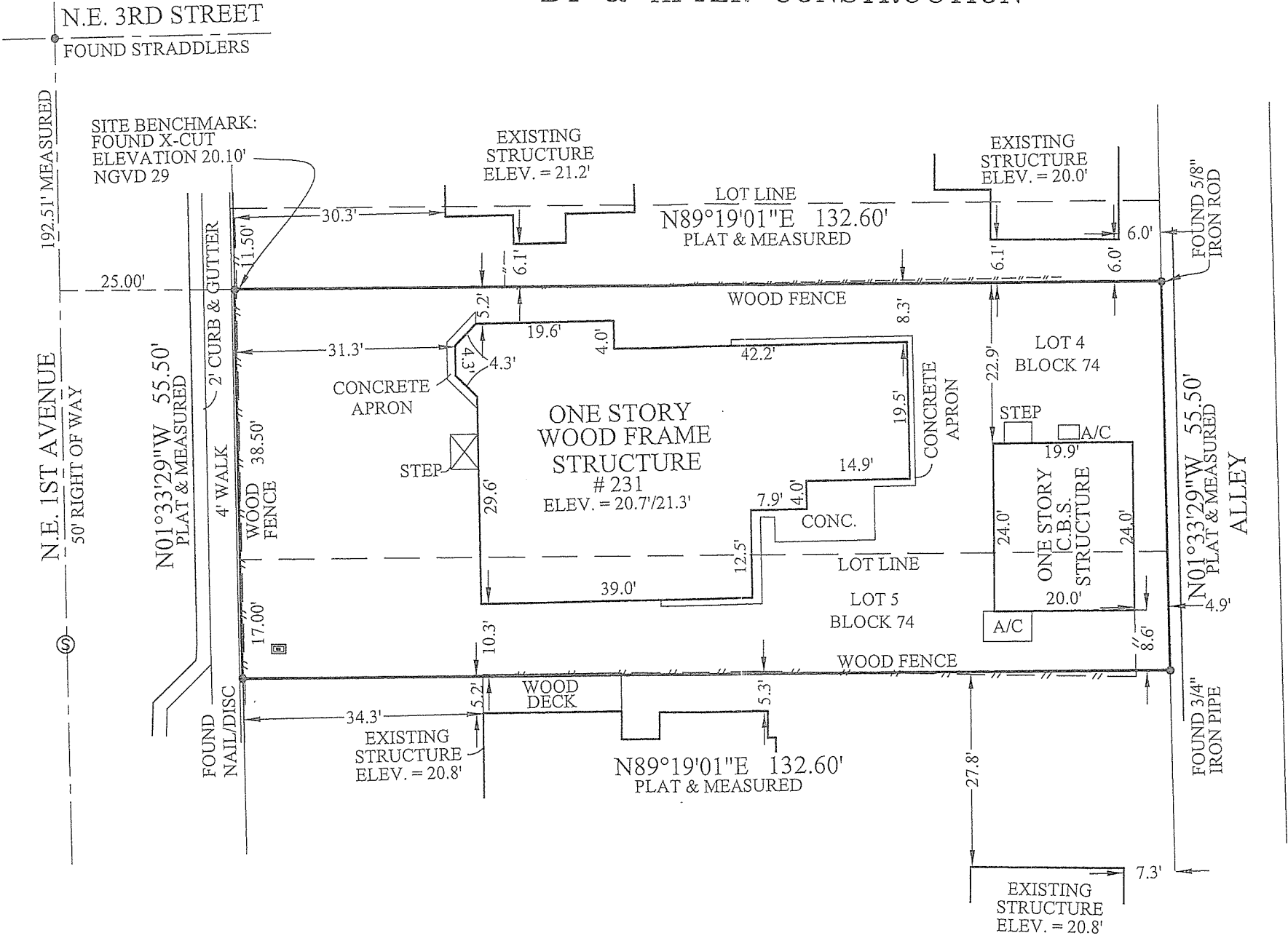
- = PROPERTY CORNER
- Ø = WOOD UTILITY POLE
- U.E. = UTILITY EASEMENT
- ⊙ = SANITARY MANHOLE
- ⊞ = WATER METER

FLOOD ZONE

FLOOD ZONE: X
CITY OF DELRAY: 125102
PANEL NUMBER: 12099C 0979 F
EFFECTIVE DATE: 10/5/17

DWG # 0509817A

Final As-Built Survey
for
B4 & AFTER CONSTRUCTION



PROPERTY ADDRESS

231 NE 1ST AVENUE
DELRAY BEACH, FL 33444

CERTIFICATION

I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *Robert A. Buggee*
ROBERT A. BUGGEE, FLORIDA LAND SURVEYOR #3302
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA
DATE OF FIELD SURVEY: 8/17/18

PREPARED BY:
Bob Buggee, Inc.
the "SURVEYOR"
P.O. BOX 3887
BOYNTON BEACH, FLORIDA, 33426
SURVEY & MAPPING BUSINESS #7890
561-732-7877

SURVEYOR'S NOTES

EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS SHOWN.

LEGAL DESCRIPTION PROVIDED BY CLIENT.

SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAYS OF RECORD.

SURVEY IS NOT VALID WITHOUT A RAISED SEAL.

BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.

ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USING FEET.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

BENCHMARK: PALM BEACH COUNTY BRASS DISC, "Z 233", AS PUBLISHED. 17.569, NGVD 29.

LEGAL DESCRIPTION

THE SOUTH 38.5 FEET OF LOT 4, AND THE NORTH 17 FEET OF LOT 5, BLOCK 74, CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF SUBDIVISION OF SAID BLOCK 74, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 11, PAGE 12.



ADDITION / RENOVATION FOR MINDI SCHIFRIN

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW 'F.B.C. 5TH EDITION 2014' AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN. SEE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.

- THE AMES INTERNATIONAL ARCHITECTURE RESERVES, MAINTAINS AND RETAINS ITS COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE.
- ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
- BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION
- NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH F.B.C. 2010.
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH F.B.C. 2010.
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

INDEX OF DRAWINGS	
SHEET NO.	SHEET CONTENTS
A01	COVER SHEET & GENERAL NOTES
A02	SITE PLAN, ARCHITECTURAL
A03	DEMOLITION PLAN
A04	EXISTING FLOOR PLAN
A05	EXISTING BUILDING ELEVATIONS
A06	NOTED FLOOR PLAN + DOOR/WINDOW SCHEDULE
A07	DIMENSIONED FLOOR PLAN
A08	ROOF PLAN ARCHITECTURAL
A09	BUILDING ELEVATIONS
A10	BUILDING ELEVATIONS + SECTIONS
A11	BUILDING SECTIONS
A12	ELECTRICAL PLAN
A12.1	ELECTRICAL RISER
A13	PLUMBING PLAN & PLUMBING RISER
A13.1	CONSTRUCTION DETAILS + NOTES
A14	ARCHITECTURAL DETAILS

COVER SHEET

DRAWN A.G.
CHECKED
DATE 4/5/2017
SCALE AS NOTED
JOB NO. 16_4566
SHEET
A01
OF XX SHEETS



Glenn Ames - Architect

NOTES: THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE AMES INTERNATIONAL ARCHITECTURE, IN EACH AND EVERY INSTANCE. ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE AMES INTERNATIONAL ARCHITECTURE. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE AMES INTERNATIONAL ARCHITECTURE (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE AMES INTERNATIONAL ARCHITECTURE FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE AMES INTERNATIONAL ARCHITECTURE FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME. BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS. ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS. APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION. NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE AMES INTERNATIONAL ARCHITECTURE FOR VERIFICATION. OTHERWISE, THE AMES INTERNATIONAL ARCHITECTURE WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE. ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH F.B.C. 2010. ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS. ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS. GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH F.B.C. 2010. ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS. ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS.

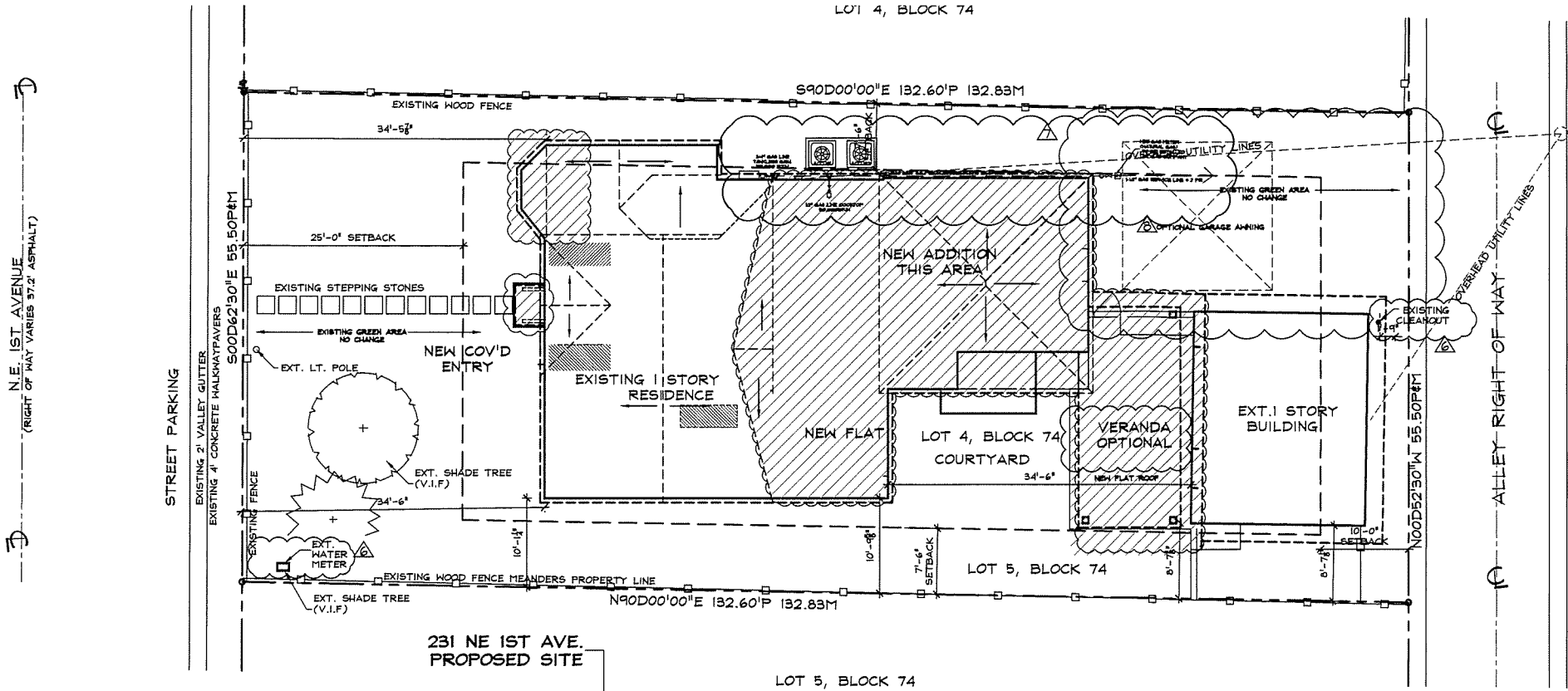
PERMIT SET

MINDI SCHIFRIN
281 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/18/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HPB COMMENTS	A.G.
1/28/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.
6/6/2017 BLDG. DEPT. COMMENTS	A.G.
6/9/2017 BLDG. COMMENTS	A.G.

ADDS266 - HISTORIC DEL-SEA PARK PROFESSIONAL DISTRICT, 305 DOSE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE - (561) 827-8444. FAX - (561) 827-8444.

Lin - A40000007 ARCHES - A40000007

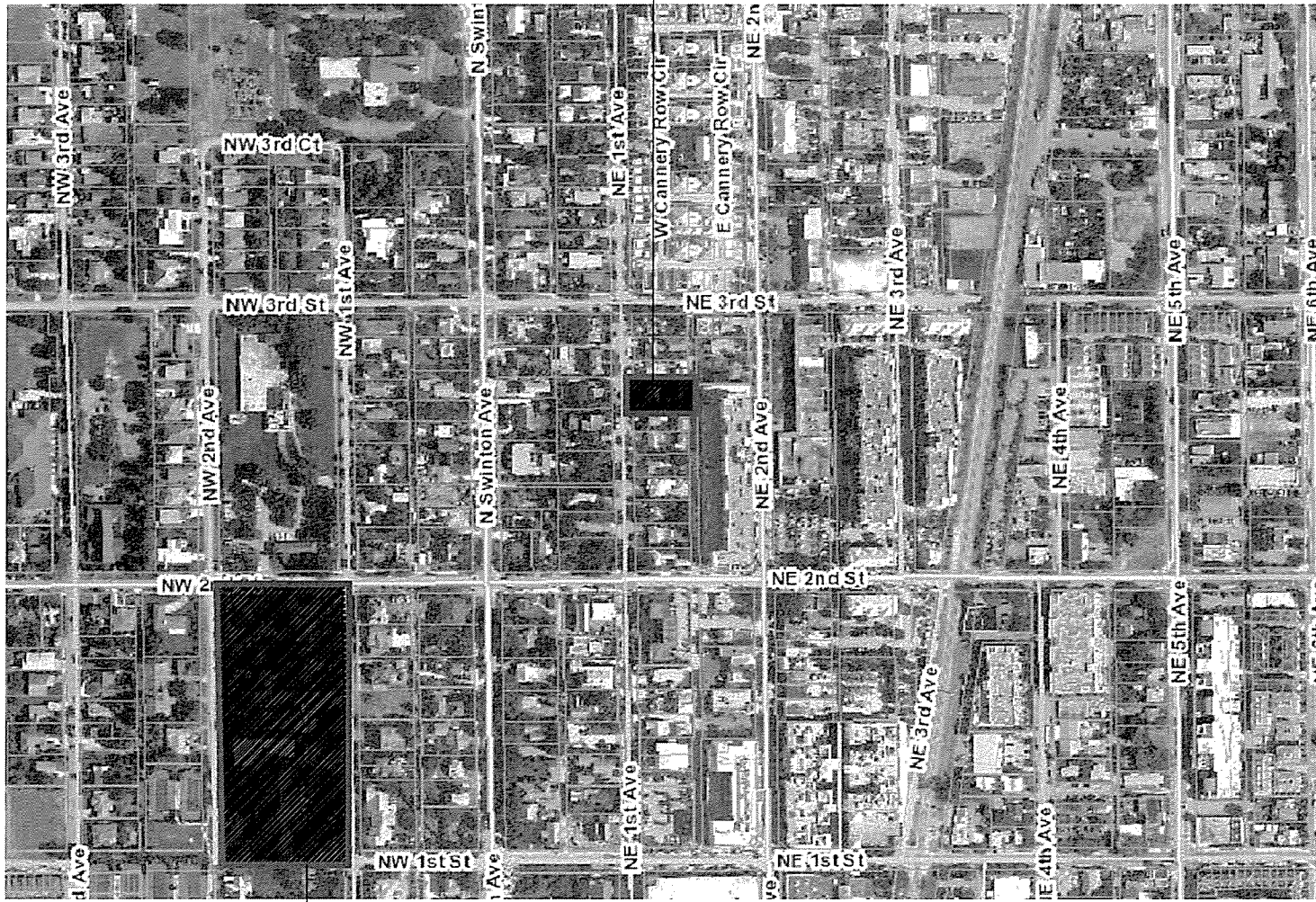


LOCATION MAP

PERMIT SET

MINDI SCHIFRIN
281 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISIONS	BY
1. 7/5/2016 BY CLIENT	A.G.
2. 8/18/2016 BY CLIENT	A.G.
3. 9/23/2016 BY CLIENT	A.G.
4. 10/21/2016 HPB COMMENTS	A.G.
5. 1/29/2017 BY CLIENT	A.G.
6. 4/4/2017 HPB COMMENTS	A.G.
7. 6/6/2017 BLDG. DEPT COMMENTS	A.G.



VICINITY MAP

AREA CALCULATIONS			
AREA	EXIST'G	NEW ADD	TOTAL
A/C AREA	1503 S.F.	483 S.F.	1986 S.F.
GARAGE	N/A	N/A	N/A
COV'D VERANDA	N/A	253 S.F.	253 S.F.
COVERED ENTRY	N/A	35 S.F.	35 S.F.
SIDE ENTRY	N/A	59 S.F.	59 S.F.
TOTAL AIR CONDITIONED AREA			1986 S.F.
TOTAL ROOFED			2333 S.F.

LOT AREA CALCULATIONS		
	ALLOWABLE	GIVEN
TOTAL LOT AREA		7356 S.F.
LOT COVERAGE (40%)	2943 S.F.	2876 S.F.
NON VEH.OPEN SPACE MIN.(25%)	1840 S.F.	2481 S.F.

CODE PARAMETERS	
GOVERNING CODE	2014 F.B.C.
MUNICIPALITY	CITY OF DELRAY BEACH
OCCUPANCY CLASS	GROUP RESIDENTIAL
MAX. BUILDING HEIGHT	35'-0" ABOVE GRADE
FRONT SETBACK	25'-0"
REAR SETBACK	10'-0"
SIDE SETBACK	7'-6"
ZONING	OSSHAD

LEGAL DESCRIPTION

ALL OF SOUTH 35.5' OF LOT 4 AND THE NORTH 17' OF LOT 5, BLK 74, CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF SUBDIVISION OF SAID BLOCK 74, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA IN PLAT BOOK 11, PAGE 12.

SITE PLAN NOTES

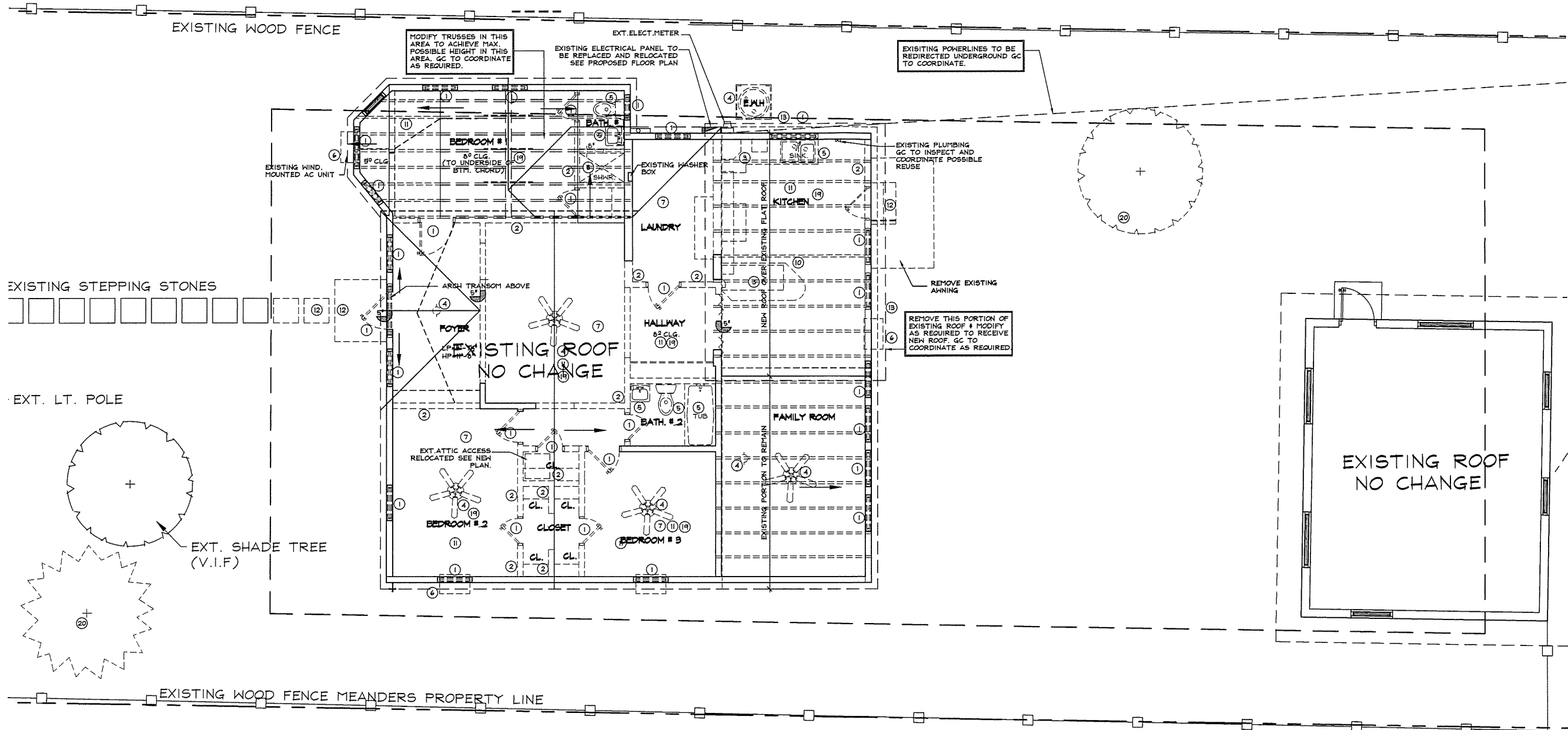
1. LOWEST SLAB AT LIVING AREA SHALL BE MINIMUM 18" ABOVE CROWN OF ROAD.
2. LOT DRAINAGE SHALL BE AS ALL LOCAL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION.
3. LANDSCAPING, IRRIGATION, BERMING, ETC., SHALL BE AS ALL LOCAL CODES, REGULATIONS, RESTRICTIONS HAVING JURISDICTION, AND FURTHER, AS SELECTED AND DIRECTED BY BUILDER (NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
4. DRIVENWAYS, WALKWAYS, SLAB ON GRADE, POOL DECKS, SHIMMING POOL ARE BY OTHERS AND PERMITTED SEPARATELY.(NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT).
5. SHIMMING POOL, DECK, SPA, ETC., BY OTHERS, SEE POOL SUBCONTRACTORS ENGINEERED SHOP DRAWINGS, PERMITTED SEPARATELY AND NOT A PART OF THE AMES INTERNATIONAL ARCHITECTURE CONTRACT. SEE OWNER.
6. LAND SURVEYOR SHALL VERIFY LOCATION OF HOUSE ON SITE AND ANY OCCURRING SETBACK ENCROACHMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING DONE.
7. SITE PLAN AS DRAWN REFLECTS ARCHITECTS CONCEPTION OF OVERALL SITE LAYOUT AND FEATURES, AND MAY NOT NECESSARILY BE AN ACCURATE REPRESENTATION OF THE BUILDERS STANDARD INCLUDED FEATURES OR LAYOUT AND DESIGN.

PLUMBING NOTES

1. SANITARY LINES SHALL BE OF CAST IRON, OR PVC (SCHEDULE 40) AS APPROVED BY THE BUILDING OFFICIAL.
2. WATER LINES SHALL BE COPPER (UNLESS NOTED OTHERWISE).
3. CONDENSE LINES SHALL BE 3/4" Ø PVC (SCHEDULE 40), INSULATED WITH 1/2" AMFLEX.
4. HOT WATER LINES INSULATED WITH 1" AMFLEX ABOVE.
5. PROVIDE AIR CHAMBER WITH ALL WATER SUPPLIES.
6. COPPER WATER LINES RUN UNDER SLAB SHALL BE PROTECTED BY MINIMUM OF 12" OF EARTH COVER, 1" AMFLEX (HOT WATER ONLY) AND SLEEVED TO 12" ABOVE SLAB.
7. PROVIDE CONDENSE DRIP PAN UNDERNEATH ELECTRIC WATER HEATERS, METAL PANS SHALL BE GALVANIZED AND RUSTPROOF. PROVIDE DRAIN LINE FROM DRIP PAN TO EXTERIOR OF BUILDING.
8. SHOWER HEADS TO HAVE FLOW CONTROL DEVICE TO GIVE MAXIMUM FLOW OF (2 1/2) GALLONS PER MINUTE EACH.
9. HOSE BIBS TO BE PROVIDED WITH BACK FLOW PREVENTER.
10. ELECTRIC WATER HEATER SHALL HAVE A STAND BY LOSS NOT TO EXCEED 4.0 WATTS PER SQUARE FOOT TO TANK SERVICE AREA.
11. PLUMBING FIXTURES, TRIM, ACCESSORIES, COLORS, ETC. SHALL BE SELECTED. (SEE BUILDER TO VERIFY).
12. ALL POOL PLUMBING AND RELATED EQUIPMENT SHALL BE PROVIDED BY POOL SUBCONTRACTOR AND SHALL BE PERMITTED SEPARATELY. SEE POOL SUBCONTRACTOR'S ENGINEERED SHOP DRAWING. PLUMBING CONTRACTOR SHALL PROVIDE (2) TWO COPIES OF THE "AS-BUILT" PLUMBING RISER DIAGRAM TO THE AMES INTERNATIONAL ARCHITECTURE.
13. THE PLUMBING SUBCONTRACTOR SHALL PROVIDE A HOSE BIB AT THE POOL EQUIPMENT LOCATION (VERIFY LOCATION WITH OWNER) AND SHALL LOCATE A POOL-FILL LINE WITH A VACUUM BREAKER. PLUMBING SUBCONTRACTOR SHALL COORDINATE WITH POOL SUBCONTRACTOR AND SHALL ALSO PROVIDE A LINE, TIED DIRECTLY FROM THE 'FILL' LOCATION, UNDER POOL DECK (SLEEVED IN PVC PIPE) INTO TILE BAND AREA OF POOL AND COORDINATE SAME WITH SUBCONTRACTOR.
14. ALL CLEAN OUTS UP TO GRADE.
15. NO VENT STACKS SHALL PASS THROUGH ROOF CRICKETS OR VALLEYS.
16. SIZE AND LOCATION OF CLEAN OUTS SHALL CONFORM TO ALL LOCAL BUILDING CODE.
17. FIXTURE SUPPLY SIZES SHALL CONFORM TO ALL LOCAL BUILDING CODE.
18. PLUMBER TO DIVERT ALL VENTS TO REAR ELEVATION.

SITE PLAN

DRAWN A.G.
CHECKED
DATE 4/5/2017
SCALE 1/8" = 1'-0"
JOB NO. 16-4566
SHEET A02
OF XX SHEETS



- DEMOLITION LEGEND:**
- 1 REMOVE DOOR / WIN
 - 2 REMOVE INTERIOR WALL
 - 3 REMOVE BUILT-IN & CABINETS
 - 4 REMOVE ELECTRICAL FIXTURES
 - 5 REMOVE PLUMBING FIXTURES
 - 6 REMOVE A/C UNITS/DUCTS/RELATED A/C COMPONENTS
 - 7 REMOVE FLOOR COVERING
 - 8 REMOVE APPLIANCES
 - 9 ALTER FINISH FLOOR ELEVATION AS REQUIRED SEE NEW PLANS
 - 10 REMOVE SOFFIT/BEAM
 - 11 RAISE/MODIFY CEILING
 - 12 REMOVE CONCRETE STEP/STOOP/PAVERS
 - 13 REMOVE THIS PORTION OF EXIST'G OVERHANG
 - 14 REMOVE EXIST'G DRIVE AS REQ'D TO ALLOW FOR NEW ADDITION
 - 15 REMOVE EXIST'G SHED
 - 16 REMOVE EXIST'G STEP STONE
 - 17 RELOCATE EXISTING AHU
 - 18 RELOCATE EXISTING GENERATOR
 - 19 NEW CEILING
 - 20 REMOVE TREE

DEMOLITION LEGEND	
SYMBOL	TYPE OF WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW INTERIOR FRAMED WALL
	NEW C.M.U. WALL
	NEW CONC. COLUMN

NOTE TO GC:
GC TO COORDINATE THE DEMO PLAN AS INDICATED W/ NEW FLOOR PLAN LAYOUT TO DETERMINE THE EXACT EXTENT OF THE DEMOLITION.

NOTE TO GC:
DUE TO THE UNKNOWN / CONCEALED CONDITIONS OF THE EXISTING STRUCTURE MODIFICATION TO SOME PARTS OF THE CONSTRUCTION DOCUMENT AND DETAILING WILL BE REQUIRED. THIS ADJUSTMENT WILL BE ACCOMPLISHED DURING THE COURSE OF CONSTRUCTION. GC TO COORDINATE WITH ARCHITECT

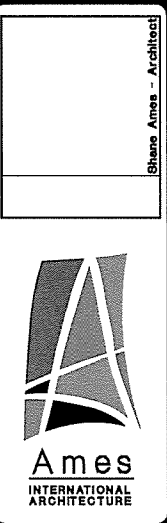
DEMOLITION NOTES:

- DOTTED LINES DENOTES ITEMS BEING REMOVED. COOR. WITH NEW PLAN FOR EXTENT OF DEMO.
- GENERAL CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING PRIOR TO ANY DEMOLITION, OF THE PORTION OF THE STRUCTURE.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND COORDINATE THE DEMO PLAN WITH THE NEW LAY OUT IN ORDER TO DETERMINE THE EXTENT OF DEMOLITION AND ADVISE THE ARCHITECT OF ANY DISCREPANCY PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS TAKE PRECEDENCE.
- GENERAL CONTRACTOR TO PERFORM ALL WORK ACCORDING TO ALL APPLICABLE CODES AND AS PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DISTURBED AREAS AS PER CODE TO MATCH EXISTING ADJACENT FINISHES.
- ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- REMOVED ELEC. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
- FOR MODIFICATION TO A/C, SEE A/C PLAN BY OTHERS.
- REMOVED PLUM. FIX. SHALL BE CAPED OFF AND MADE SAFE. ALL WORK SHALL BE DONE AS PER LOCAL CODE.
- ALL AREAS HAVING PORTION OF WALLS, FLOORS, AND CEILINGS REMOVED SHALL BE PATCHED AND FINISHED TO MATCH EXIST. MATERIALS AND CONDITIONS. EXISTING SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED ON TYPICAL WALL SECTION, TYP. PARTITION DETAILS, ETC.
- ALL ITEMS DETERMINED BY OWNER TO BE SALVAGEABLE SHALL BE REMOVED PRIOR TO START OF DEMOLITION. SEE OWNER FOR STORAGE.
- REMOVAL OF ANY PORTION OF WALL, FLOOR, OR CEILING WHICH CONTAIN ELECTRICAL, HVAC OR PLUMBING SHALL HAVE SUCH ITEMS REROUTED OR REESTABLISHED AS PER ELECTRICAL, HVAC, OR PLUMBING PLANS PROVIDED. SEE CONSTRUCTION DOCUMENTS.
- NEIGHBORING EXISTING STRUCTURES AROUND THE BUILDING UNDER DEMOLITION ARE TO BE SURVEYED FOR ANY EXISTING CRACKS IN THE STRUCTURAL ELEMENTS, AND NEIGHBORS ARE TO BE NOTIFIED.
- GC AND ALL TRADES INVOLVED IN THE PROJECT SHALL SURVEY THE EXIST. CONDITIONS PRIOR TO ANY WORK AND BE FAMILIAR WITH THE EXTENT OF WORK AND ALL NECESSARY STEPS IN ORDER TO COMPLETE THE PROJECT.

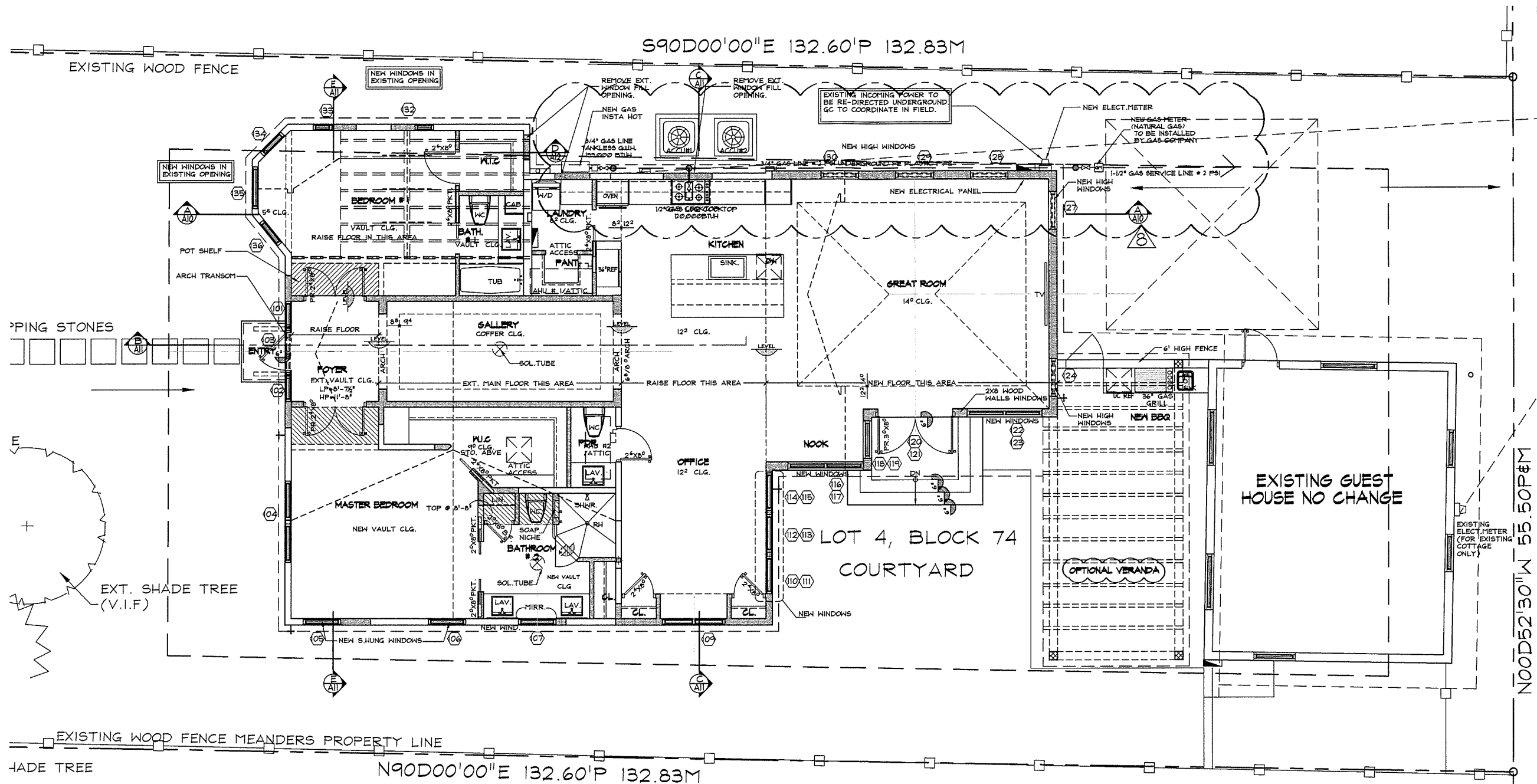
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BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

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4/4/2017 HPB COMMENTS	A.G.



DRAWN A.G.
CHECKED
DATE 4/5/2017
SCALE 1/4" = 1'-0"
JOB NO. 16_4566
SHEET A03
OF XX SHEETS

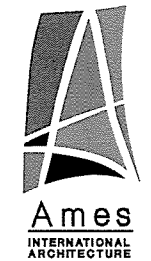


PERMIT SET

MINDI SCHIFRIN
231 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/18/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HPB COMMENTS	A.G.
1/28/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.

Shane Arnes - Architect



DRAWN A.G.	DATE 4/5/2017
CHECKED	SCALE 1/4" = 1'-0"
JOB NO. 16_4566	SHEET A06
OF XX SHEETS	

DOOR / WINDOW NOTES

- SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
- ALL GLAZING SHALL COMPLY WITH CHAPTER 24, OF F.B.C. 2010 RES.
- SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
- ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
- EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2/F.B.C. 2010 RES. EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
- ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
- EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
- DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
- FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL.
- GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
- ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
- G.C. TO COORDINATE THRESHOLD FOR ALL DOORS & WINDOWS (V.I.F.).
- OPERABLE WINDOWS WITH MORE THAN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.

DOOR / WINDOW SCHEDULE

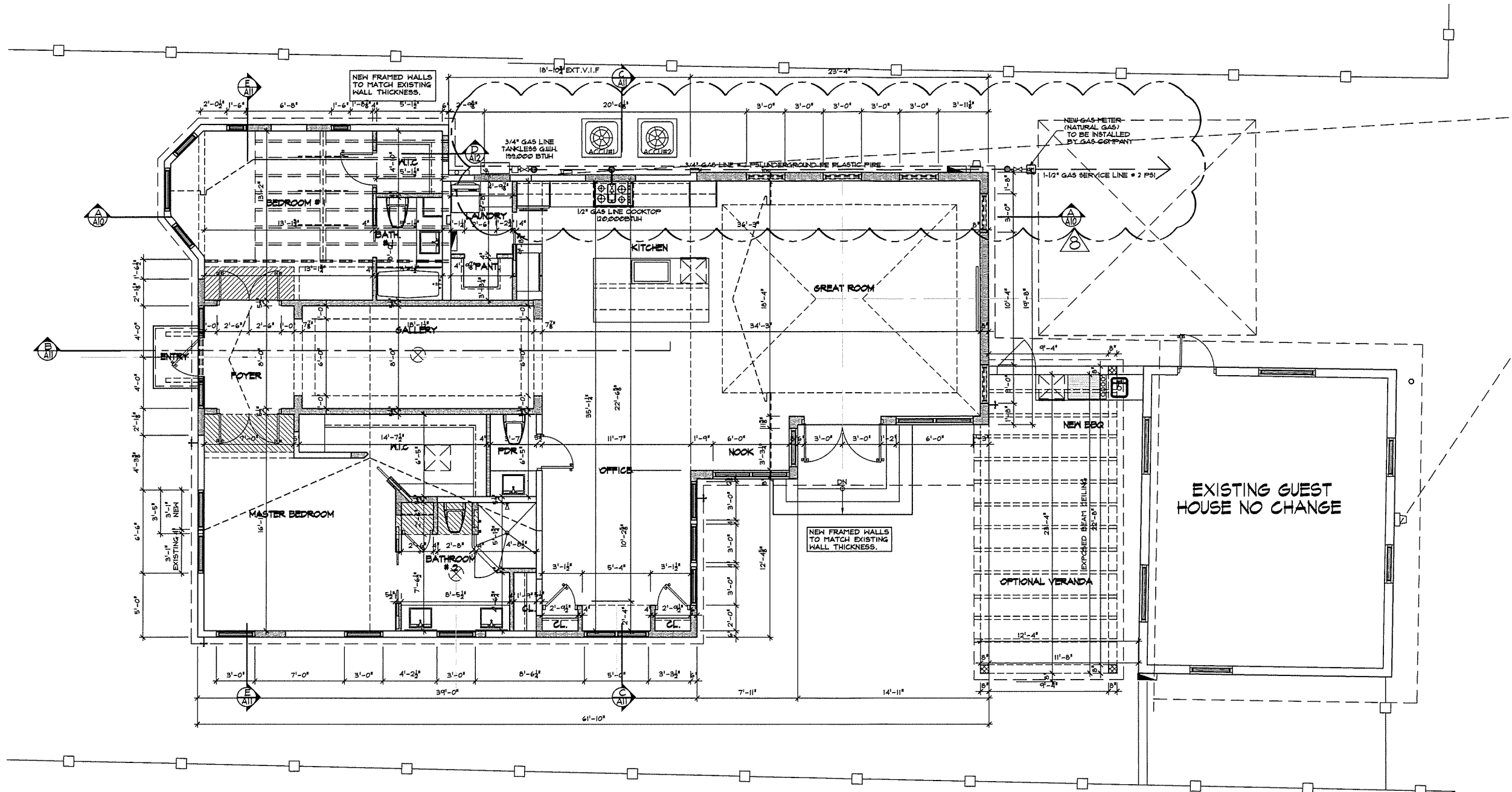
#	SIZE	MATL	TYPE	SILL	EGRESS	REMARKS	OPENING	TRANSOM	WIND
101	2'-4 1/2" x 10'-0"	ALUM	FIX GL	10"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
102	2'-4 1/2" x 10'-0"	ALUM	FIX GL	10"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
103	3'-0" x 6'-0"	ALUM	S CORE	N/A	N/A	LOH T. GLS. EXIST.	3'-0" x 1'-6" ARCH	N/A	+25.5/-49.5
104	6'-0" x 4'-0"	ALUM	S HUNG	EXT	EGRESS	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
105	3'-0" x 4'-0"	ALUM	S HUNG	EXT	EGRESS	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
106	3'-0" x 4'-0"	ALUM	S HUNG	EXT	EGRESS	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
107	3'-0" x 3'-0"	ALUM	S HUNG	20"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
108	4'-0" x 6'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
109	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
110	1'-0" x 2'-0"	ALUM	S HUNG	30"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
111	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
112	1'-0" x 2'-0"	ALUM	S HUNG	30"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
113	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
114	1'-0" x 2'-0"	ALUM	FIX GL	30"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
115	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
116	1'-0" x 2'-0"	ALUM	FIX GL	30"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
117	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
118	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
119	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
120	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
121	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
122	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
123	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
124	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
125	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
126	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
127	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
128	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
129	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
130	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
131	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
132	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
133	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
134	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
135	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
136	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
137	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
138	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
139	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5
140	1'-0" x 2'-0"	ALUM	FIX GL	100"	N/A	LOH T. GLS. EXIST.	N/A	N/A	+25.5/-49.5

- NOTES:
- VERIFY ALL ROUGH OPENINGS IN FIELD FOR PROPOSED WINDOW OR DOOR FIT PRIOR TO FABRICATION.
 - PROVIDE ST. STL OR BRASS HARDWARE FOR ALL DOOR & WINDOWS (V.I.F.).
 - BUILDER TO V.I.F. W/ OWNER ALL PRODUCT & MATERIAL SELECTIONS
 - NEW WINDOWS IN EXISTING OPENINGS THROUGHOUT

GENERAL NOTES:

- SEE FOUND, PLAN FOR SLAB STEPS & SLOPES & FOR COLUMNS, FILLED BLOCK CELLS, ETC.
- VERIFY ALL MASONRY & WD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS.
- USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS.
- PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
- ALL ATTIC SPACES AND SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOPS. PROVIDE A 22"x36" (MIN) ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)

SYMBOL	WALL LEGEND
	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CHU (KNEE WALL)



WALL LEGEND	
SYMBOL	TYPE OF WALL
	CONC. BLOCK
	WD. OR MTL. FRAME (FULL HEIGHT)
	BEARING WD. FRAME WALL / CONC. COL.
	INTERIOR WD. OR MTL. FR. (KNEE WALL)
	EXTERIOR CHU (KNEE WALL)

GENERAL NOTES:

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DOOR / WINDOW NOTES

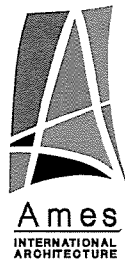
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- ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
- G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
- OPERABLE WINDOWS WITH MORE THAN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.

DIM_FLOOR PLAN

PERMIT SET

MINDI SCHIFRIN
281 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/18/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HPB COMMENTS	A.G.
1/29/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.



Blaine Ames - Architect

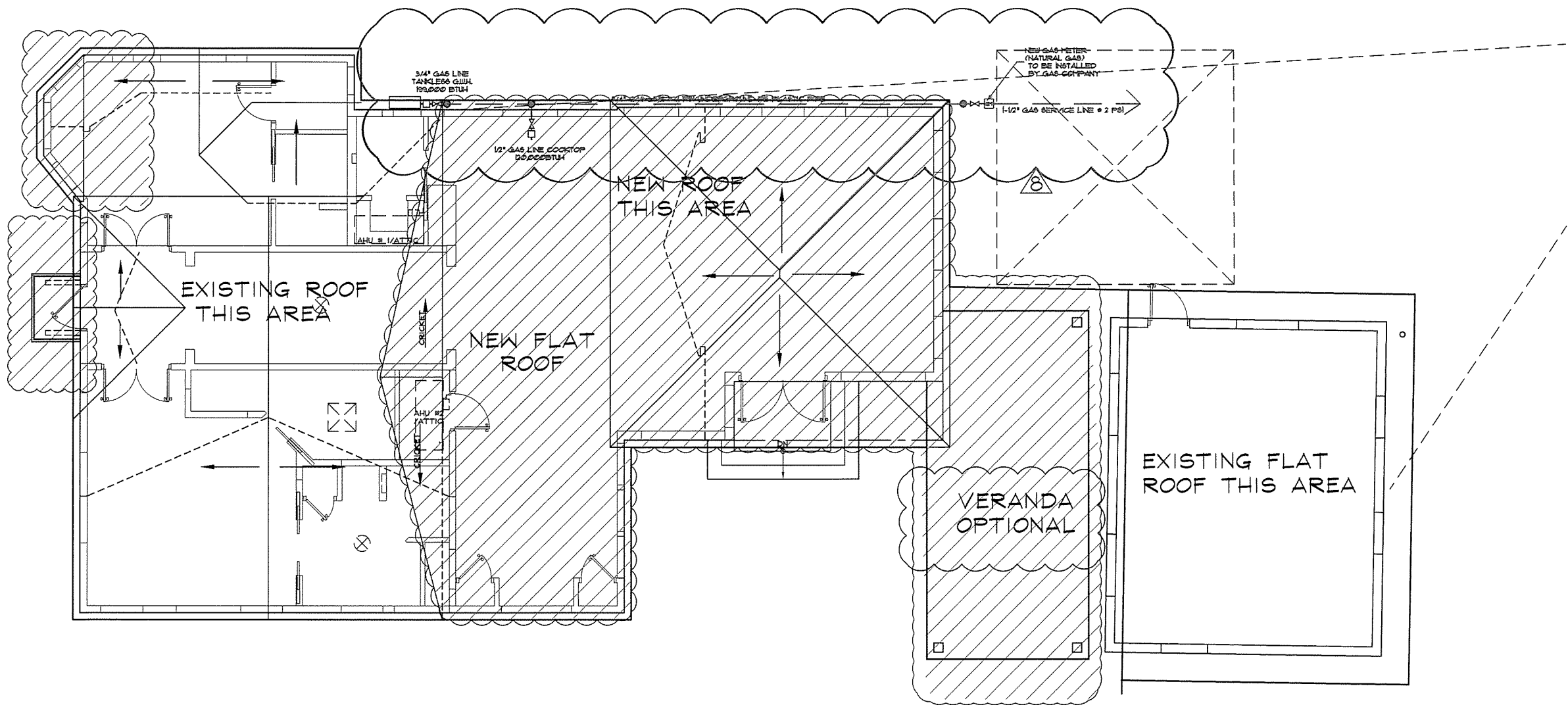
ADDRESS - 1810 TORO DEL-SEA PARK, PROFESSIONAL DISTRICT, 202 DOKE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE - (561) 674-8444, FAX - (561) 674-8444.

16-4566 ARCH-8 - ARCH-2001

DRAWN
A.G.
CHECKED
DATE
4/5/2017
SCALE
1/4" = 1'-0"
JOB NO.
16-4566
SHEET

A07

OF XX SHEETS



TRUSS COMPANY
TO PROVIDE FOR A/C CHASES IN
FLOOR TRUSSES, ROOF TRUSSES AND
ALL GIRDER TRUSSES. COORDINATE
WITH GENERAL & A/C CONTRACTORS

ROOF PLAN ARCHITECTURAL

Ames
INTERNATIONAL
ARCHITECTURE

Shane Ames - Architect

REVISIONS

REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/16/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HPB COMMENTS	A.G.
1/28/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.

DRAWN
A.G.
CHECKED

DATE
4/5/2017
SCALE
1/4" = 1'-0"

JOB NO.
16_4566
SHEET

A08

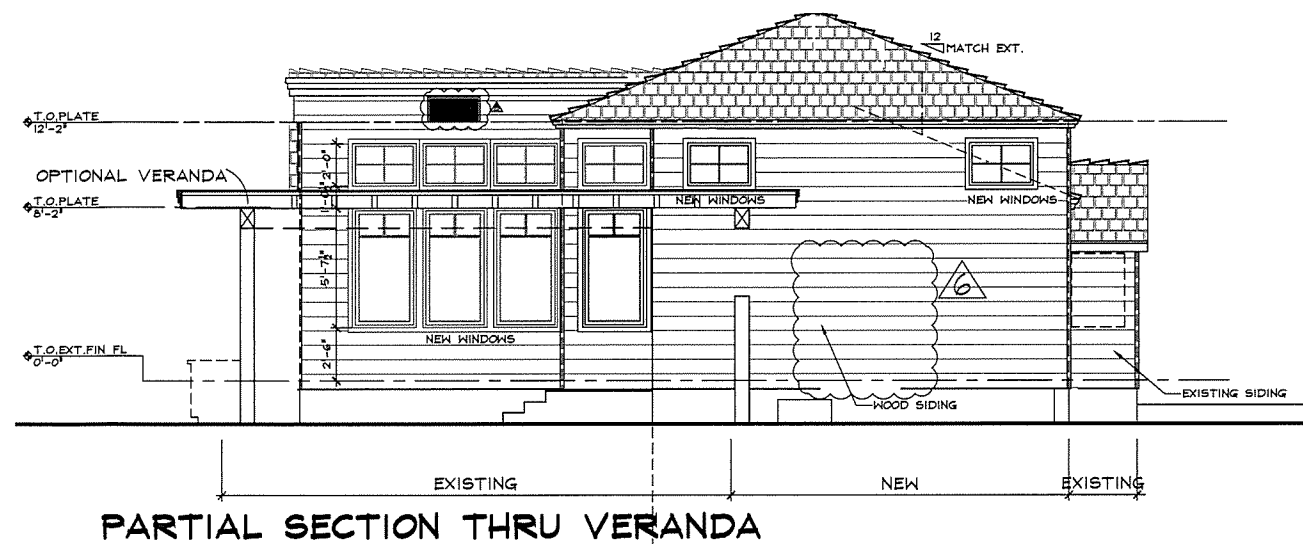
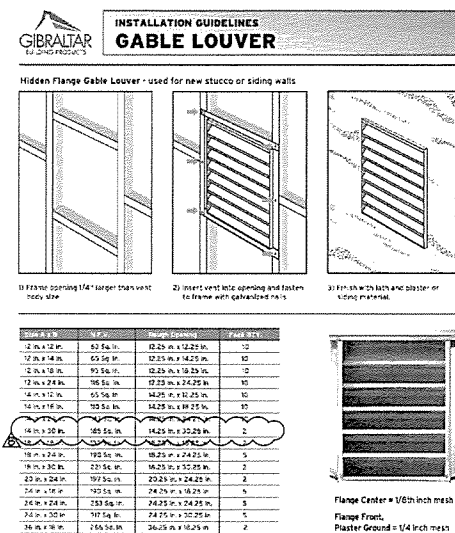
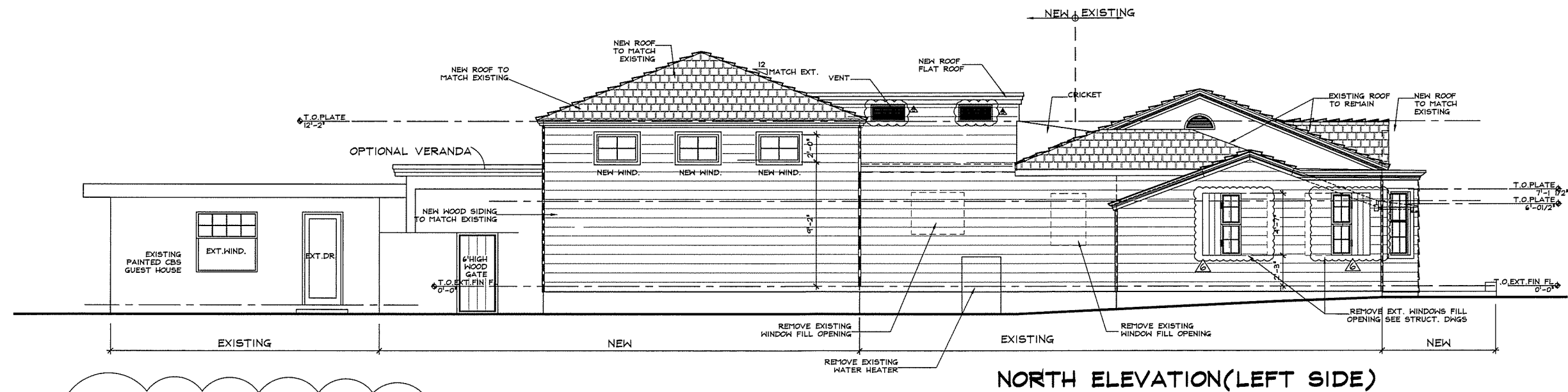
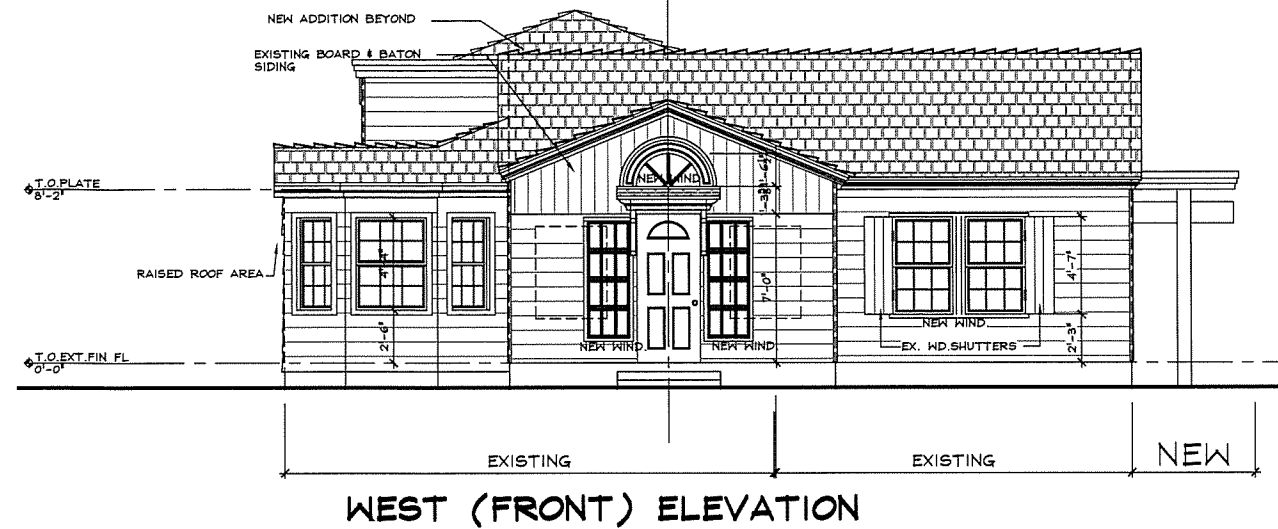
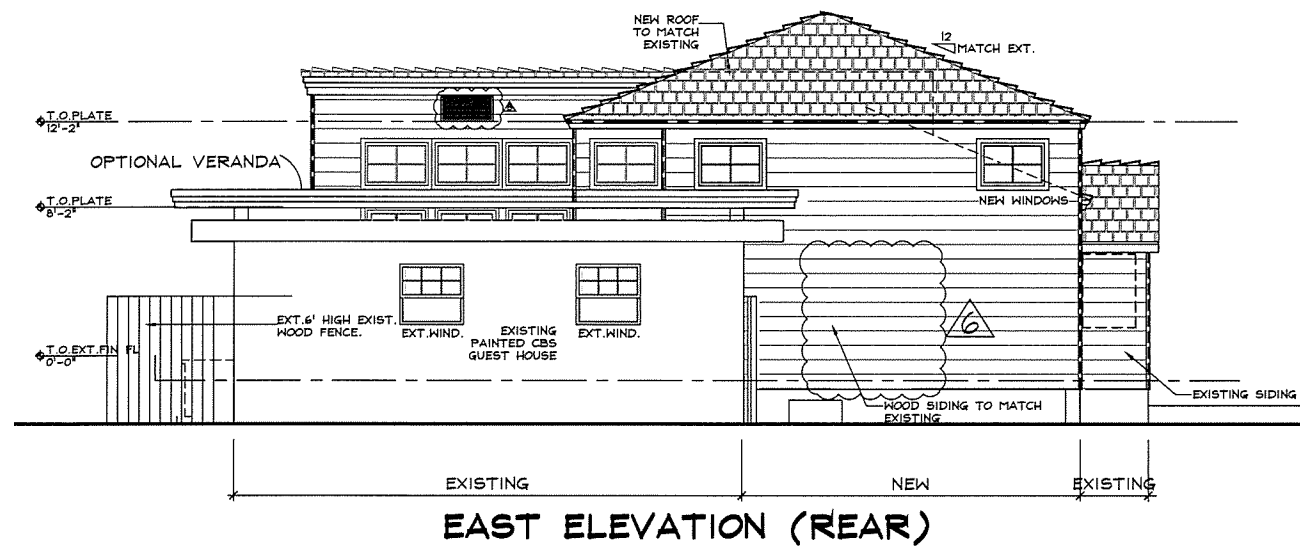
OF XX SHEETS

PERMIT SET

MINDI SCHIFRIN
281 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

ADDRESS • 180 TORO DEL SA PARK, PROFESSIONAL DISTRICT, 303 DOWE BOULEVARD, DELRAY BEACH, FLORIDA 33444, PHONE • 561.837.4444, FAX • 561.837.4444

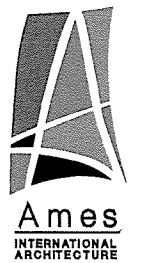
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PERMIT SET

MINDI SCHIFRIN
201 NE 1ST AVE
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

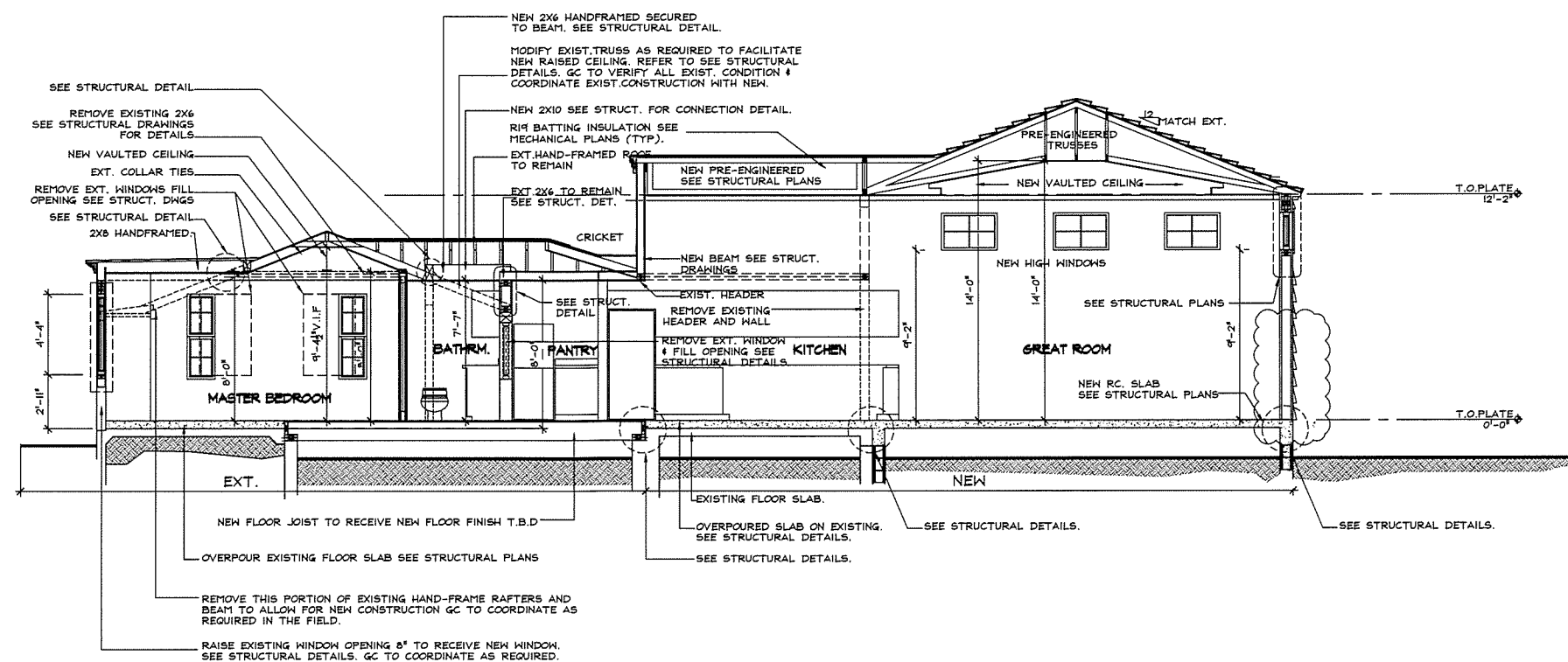
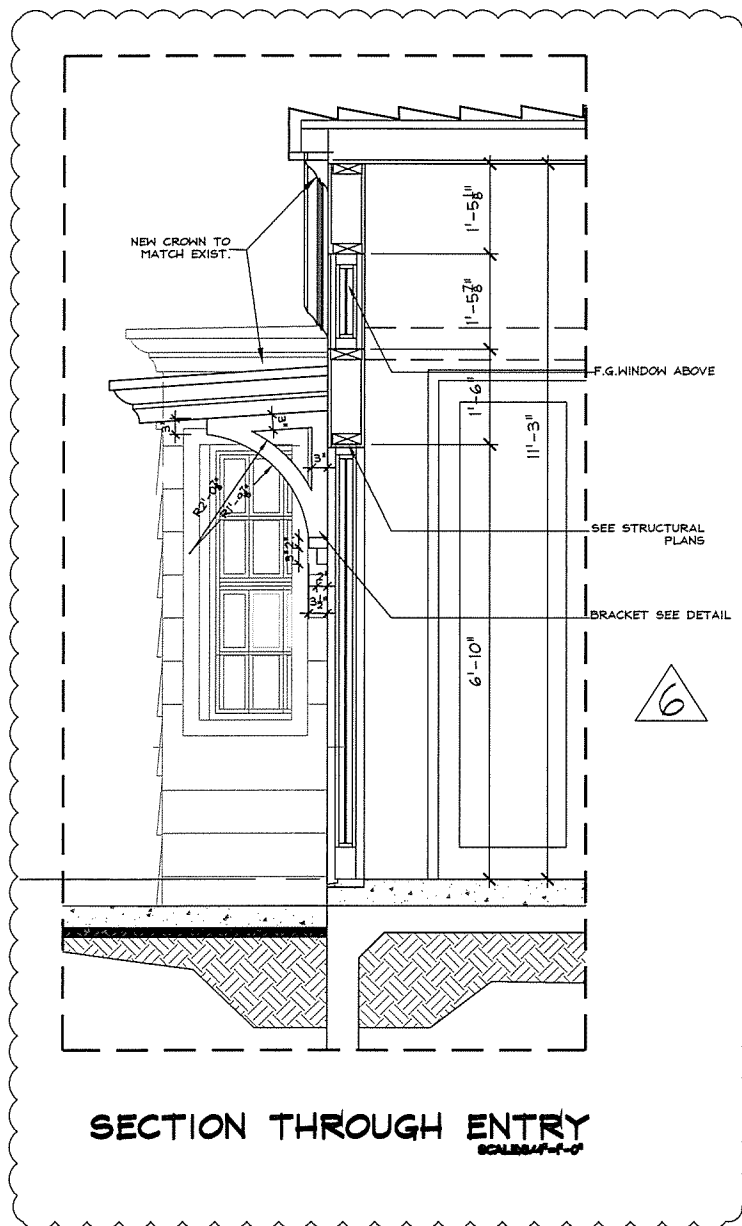
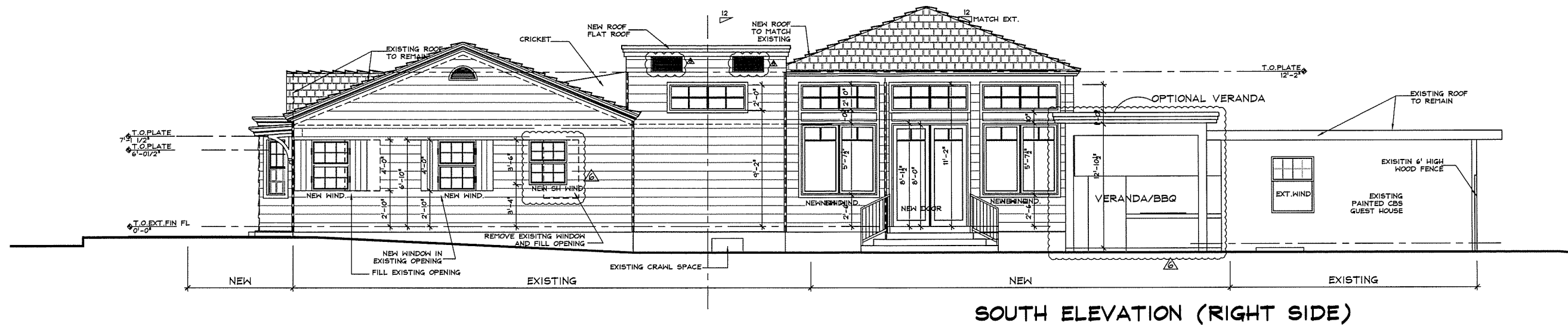
REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/18/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HPB COMMENTS	A.G.
1/29/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.
6/6/2017 BLDG. DEPT. COMMENTS	A.G.
6/9/2017 BLDG. COMMENTS	A.G.



BUILDING ELEVATIONS

DRAWN A.G.
CHECKED
DATE 4/5/2017
SCALE $\frac{1}{4}'' = 1' - 0''$
JOB NO. 16-4566
SHEET A09
OF XX SHEETS









ANDRZEJ • HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DOXE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE • (609) 274-8444. FAX • (609) 274-8440.



SECTION A-A

PERMIT SET

MINDI SCHIFRIN
231 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISONS		BY
	7/5/2016 BY CLIENT	A.G.
	8/18/2016 BY CLIENT	A.G.
	9/23/2016 BY CLIENT	A.G.
	10/21/2016 HPB COMMENTS	A.G.
	1/29/2017 BY CLIENT	A.G.
	4/4/2017 HPB COMMENTS	A.G.
	6/6/2017 BLDG. DEPT. COMMENTS	A.G.
	6/9/2017 BLDG. COMMENTS	A.G.

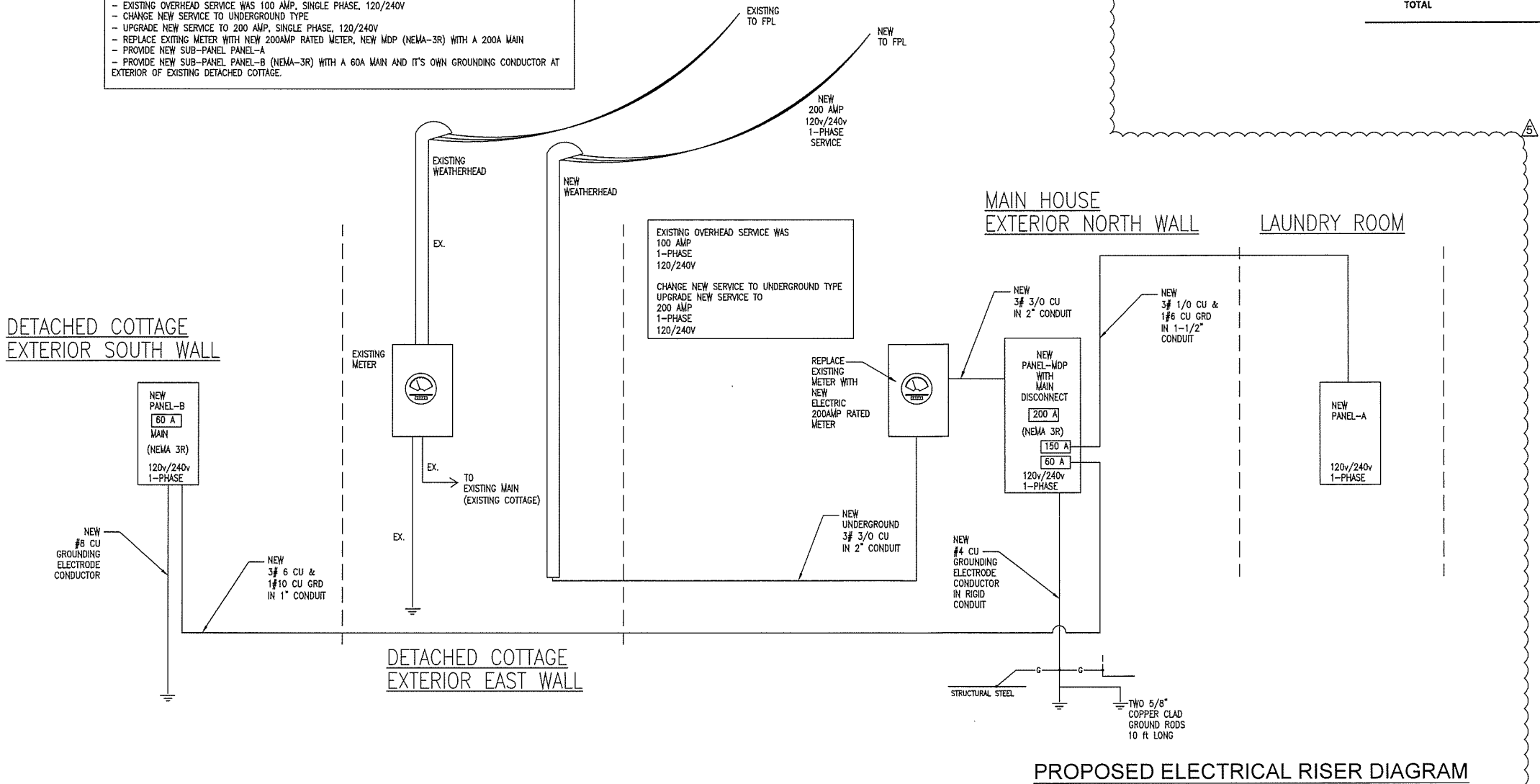


BUILDING ELEVATIONS

DRAWN A. G.
CHECKED
DATE 4/5/2017
SCALE $\frac{1}{4}'' = 1' - 0''$
JOB NO. 16-4566
SHEET
A10
OF XX SHEETS

ADDRESS HATTISBERG DR.-6A PARK PROFESSIONAL DISTRICT 203 DOVE BOULEVARD, DELRAY BEACH, FLORIDA, 33444
PHONE: (561) 774-9444 FAX: (561) 774-9448
CITY/STATE/ZIP/COUNTRY

- ELECTRICAL SCOPE OF WORK NOTES:
- SCOPE OF WORK CONSISTS OF A RENOVATION AND ADDITION TO AN EXISTING DWELLING (MAIN HOUSE ONLY).
 - THE EXISTING DETACHED COTTAGE ON THIS PROPERTY IS ALREADY BEING FED FROM A SEPARATE SERVICE. THE EXISTING COTTAGE HAS ALREADY IT'S OWN METER, MAIN AND ELECTRICAL PANEL. NO ELECTRICAL WORK IN THE EXISTING COTTAGE UNDER THIS PERMIT.
 - EXISTING MAIN HOUSE FED FROM AN EXISTING OVERHEAD ELECTRICAL SERVICE
 - EXISTING OVERHEAD SERVICE WAS 100 AMP, SINGLE PHASE, 120/240V
 - CHANGE NEW SERVICE TO UNDERGROUND TYPE
 - UPGRADE NEW SERVICE TO 200 AMP, SINGLE PHASE, 120/240V
 - REPLACE EXISTING METER WITH NEW 200AMP RATED METER, NEW MDP (NEMA-3R) WITH A 200A MAIN
 - PROVIDE NEW SUB-PANEL PANEL-A
 - PROVIDE NEW SUB-PANEL PANEL-B (NEMA-3R) WITH A 60A MAIN AND IT'S OWN GROUNDING CONDUCTOR AT EXTERIOR OF EXISTING DETACHED COTTAGE.



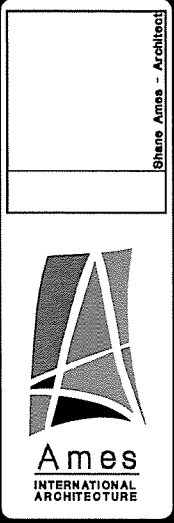
COMPUTED LOAD TABLE					
PANEL-MDP 200 AMP					
120/240V 1-PHASE					
CKTS	QTY	EQUIPMENT	BREAKER	LOAD	TOTAL LOAD
1986	SF	GEN. LIGHTING (3W / SF)	20/1P	5,958	5,958
1	1	COOKTOP	50/2P	12,000	12,000
1	1	DOUBLE OVEN (SELF CLEAN)	50/2P	9,500	9,500
1	1	WASHER	20/1P	1,500	1,500
1	1	DRYER	30/2P	5,600	5,600
1	1	REFRIGERATOR	20/1P	830	830
1	1	MICROWAVE	20/1P	1,500	1,500
1	1	RECIRCULATION FAN / HOOD	20/1P	500	500
1	1	DISPOSAL	20/1P	900	900
1	1	HOT WATER REGR. PUMP	20/1P	1,500	1,500
1	1	DISHWASHER	20/1P	1,200	1,200
1	6	SMALL APPLIANCE CIRCUIT	20/1P	1,500	9,000
1	3	DINING ROOM RECEPT. CIRCUIT	20/1P	1,500	4,500
1	3	BREAKFAST RECEPTACLE CIRCUIT	20/1P	1,500	4,500
1	3	PADDLE FANS (375W EACH)	20/1P	1,125	3,375
1	1	SPRINKLER / IRRIGATION	20/1P	500	500
SUBTOTAL				62,863	WATTS
FIRST 10,000 WATTS @100%				10,000	WATTS
REMAINDER @40%				21,145	WATTS
SUBTOTAL				31,145	WATTS

AIR CONDITIONING LOAD TABLE					
PANEL-MDP					
CKTS	QTY	EQUIPMENT	TON / KW	BREAKER	WIRE
2	1	A/C COMPRESSOR #1	2	30/2P	10
2	1	AHU & HEAT #1	5	30/2P	10
2	1	A/C COMPRESSOR #2 (FIRST FLOOR)	2.5	30/2P	10
2	1	AHU & HEAT #2	6	45/2P	8
SUBTOTAL					
PANEL-MDP (AC LARGEST LOAD)					
TOTAL CONNECTED ESTIMATED LOAD					
TOTAL					
39,921 WATTS / 240V = 166.34					

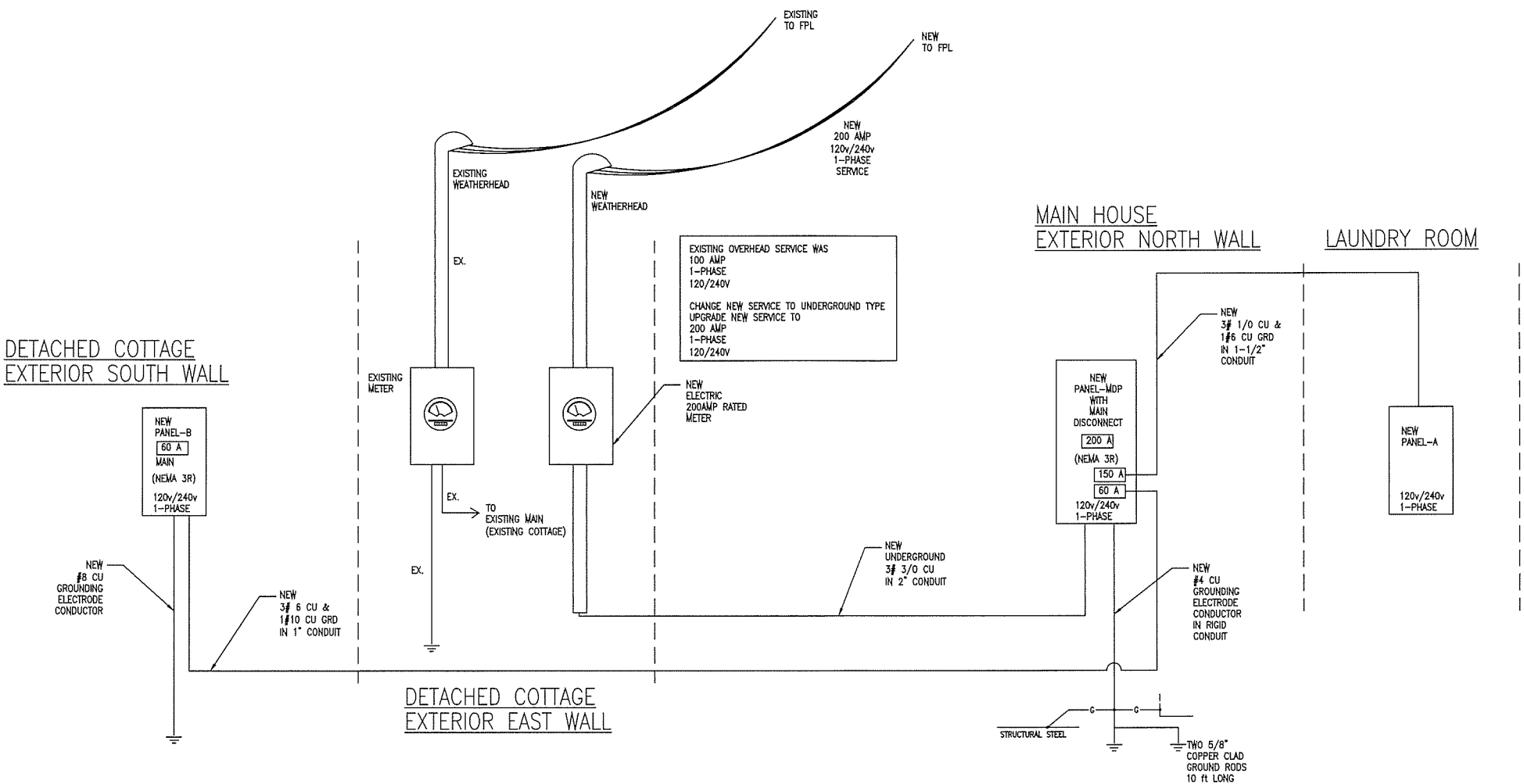
PERMIT SET

MINDI SCHIFRIN
281 NE 1ST AVE.
BANKERS ROW HISTORIC DISTRICT
DELRAY BEACH FLORIDA
33444

REVISIONS	BY
7/5/2016	A.G.
8/18/2016	A.G.
8/23/2016	A.G.
10/21/2016	A.G.
12/29/2017	A.G.



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CHECKED
DATE 4/5/2017
SCALE 1/4" = 1'-0"
JOB NO. 16-4566
SHEET
A12.1
OF XX SHEETS



PROPOSED ELECTRICAL RISER DIAGRAM
(ALTERNATE)

CONTRACTOR TO PROVIDE ALTERNATE PRICE
FOR ELECTRICAL PER ALTERNATE RISER DIAGRAM

NEW SHEET

PERMIT SET

MINDI SCHIFFRIN

281 NE 1ST AVE.

BANKERS ROW HISTORIC DISTRICT

DELRAY BEACH FLORIDA

33444

REVISIONS	BY
7/5/2016 BY CLIENT	A.G.
8/18/2016 BY CLIENT	A.G.
9/23/2016 BY CLIENT	A.G.
10/21/2016 HYB COMMENTS	A.G.
1/20/2017 BY CLIENT	A.G.

Shane Ames - Architect

Ames
INTERNATIONAL
ARCHITECTURE

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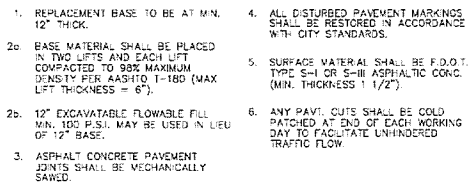
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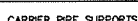
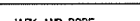
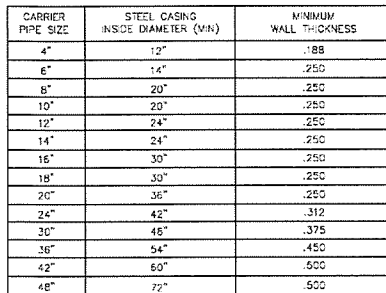
ELECTRICAL RISER DIAGRAM + LOAD CALCULATIONS

ADDRESS: HISTORIC DELRAY PARK, PROFESSIONAL DISTRICT, 280 DOSE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: 561.927.0444 FAX: 561.927.0448

Lic: A-00003837 ARCHT-FLA - 00000001



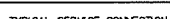
1. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGE ROCKS SHALL BE REMOVED. BEDDING MATERIAL AND BACKFILL, CONSISTING OF WASHED AND GRADED UNDERCOP 3/8" - 7/8" SIZE.
2. THE PIPE AND/OR STRUCTURE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
3. THE PIPE AND/OR STRUCTURE SHALL BE PLACED IN A DRY TRENCH.
4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, AND DEBRIS.
5. COMPACT BACKFILL TO 96% DENSITY UNDER PAVEMENT AND TO 90% DENSITY ELSEWHERE (ASHTO T-100).
6. COMPACTION AND DENSITY TESTS SHALL BE COMPLETED DURING BACKFILL OPERATIONS. CONTRACTORS NOT FOLLOWING THIS PROCEDURE, FOR WHATEVER REASONS, SHALL BE REQUIRED TO RE-EXCAVATE THE AREA IN QUESTION, DOWN TO THE BEDDING MATERIAL, THEN RE-INSTALL THE PIPE AND/OR STRUCTURE AND REPEAT THE ABOVE PROCEDURES.



1. INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS IN LIEU OF CASTING AND CONE COLLAR.
2. MINIMUM DEPTH OF SERVICE LATERAL SHALL BE 3 FEET.



1. SUCCESSIVE TAPS TO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 16' ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL METERS REQUIRE A LOCKING BRASS CUBES STOP WITH LOCK WING (1" MIN.).
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. GASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
9. ALL VALVES TO BE BALL VALVES.
10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
12. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER. SERVICE IS GALVANIZED. BUILDER/CONTRACTOR/DEVELOPER SHALL REPLACE WITH POLYETHYLENE PIPING FROM MAIN TO THE METER.



1. SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 16' ON CENTER.
2. SERVICE LINES SHALL NOT BE PLACED UNDER DRIVEWAYS.
3. ALL METERS REQUIRE A LOCKING BRASS CURB STOP WITH LOCK WING (1" MIN.).
4. NO FITTINGS BETWEEN CORPORATION STOP AND BRANCH ASSEMBLY.
5. MAXIMUM SERVICE LENGTH IS 100' TO METER.
6. CASING PIPE I.D. SHALL BE SERVICE O.D. PLUS 1" MINIMUM.
7. MINIMUM BEND RADIUS ON SERVICES SHALL BE 14" ON ALL SERVICES BEHIND METER.
8. METER SIZE WILL BE DETERMINED BY PUBLIC UTILITIES DEPT. UPON APPLICATION FOR SERVICE.
9. ALL VALVES TO BE BALL VALVES.
10. METER BOX SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR.
11. ALL SERVICES UNDER ROADWAYS ARE TO BE INSTALLED BY TRENCHLESS METHOD, UNLESS OTHERWISE APPROVED.
12. ALL EXISTING SERVICES TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR/DEVELOPER. IF EXISTING SERVICE IS UN-MAINTAINED, BUILDER/CONTRACTOR/DEVELOPER SHALL REPAIR THE POLYETHYLENE PIPE TO THE WATER MAIN TO THE METER.



MINDI SCHIFRIN
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10/21/2016 HPB COMMENTS	A.G.
1/28/2017 BY CLIENT	A.G.
4/4/2017 HPB COMMENTS	A.G.
6/6/2017 BLDG. DEPT. COMMENTS	A.G.
6/9/2017 BLDG. COMMENTS	A.G.



Shane Amen - Architect

UDORF38 • 4650 MC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DOGE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE • (561) 274-6444. FAX • (561) 274-6444.

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CONSTRUCTION DETAILS + NOTES

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A.G.
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DATE
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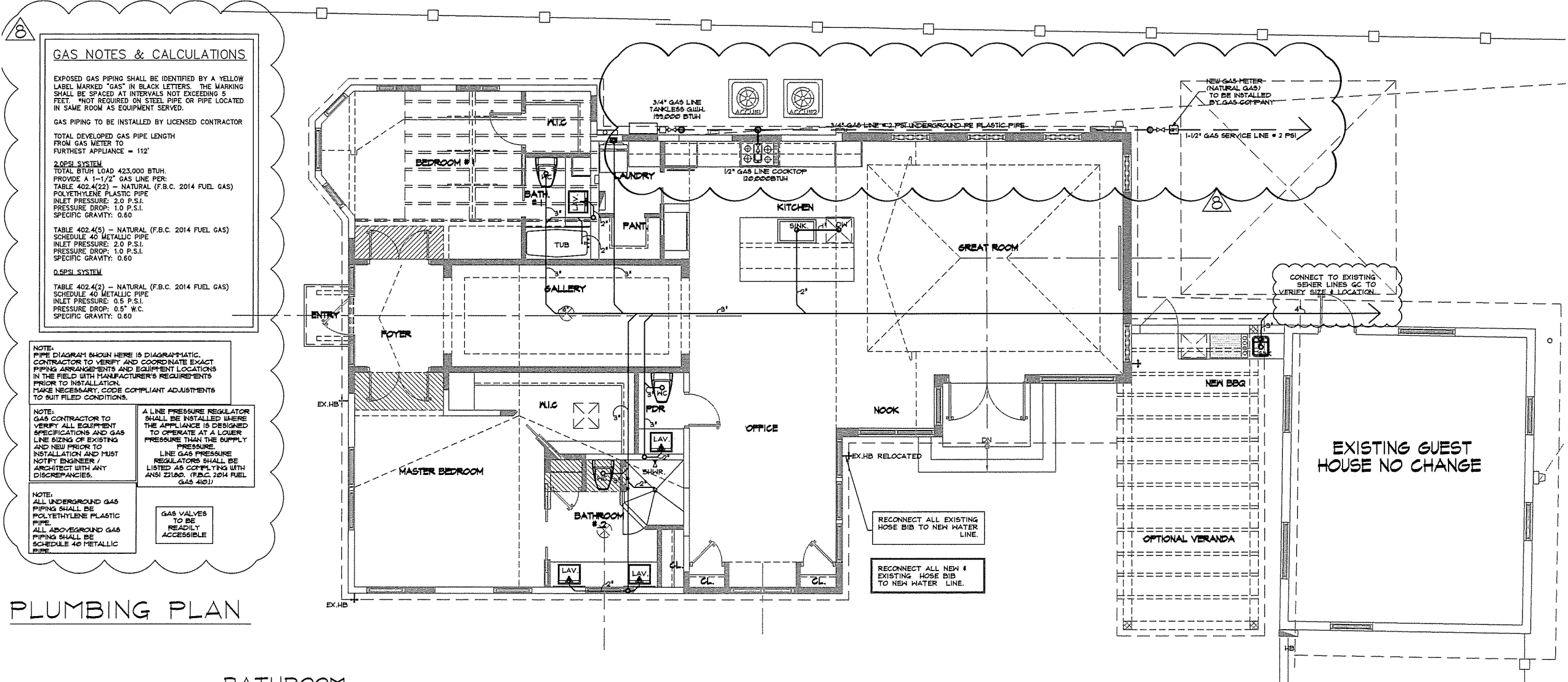
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6-4566

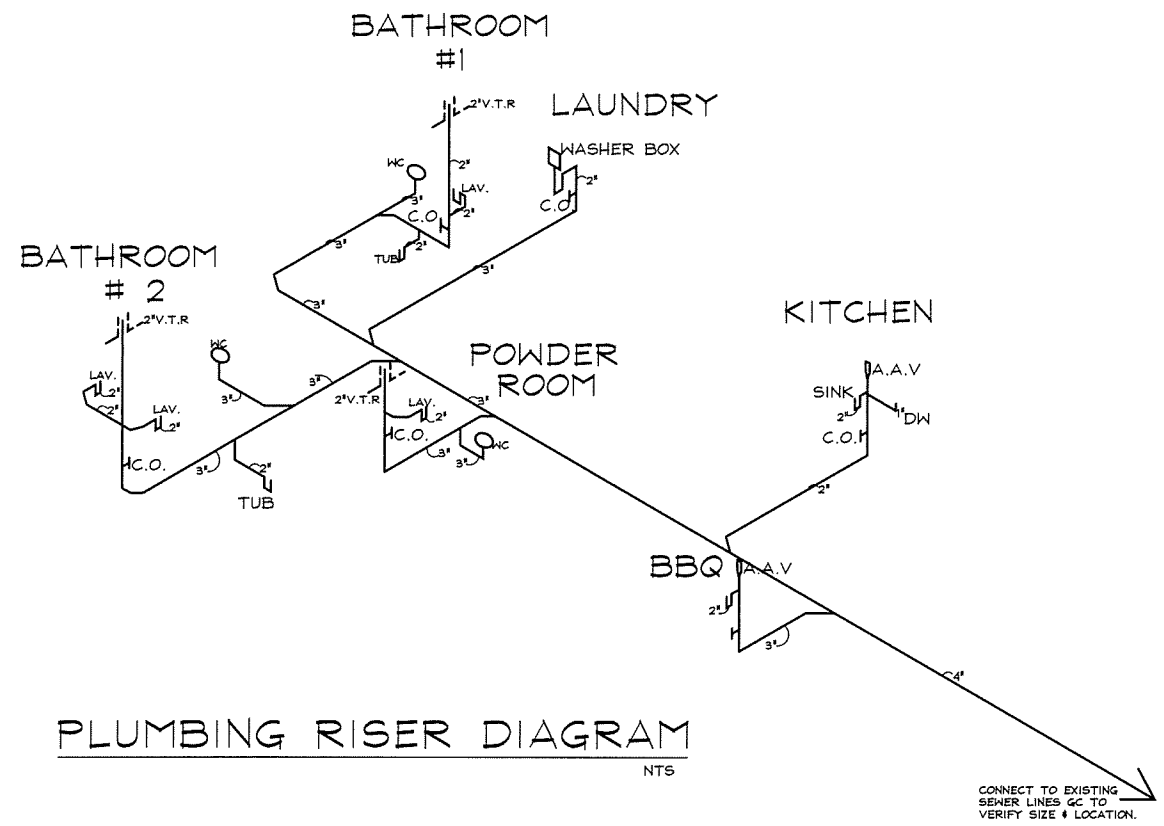
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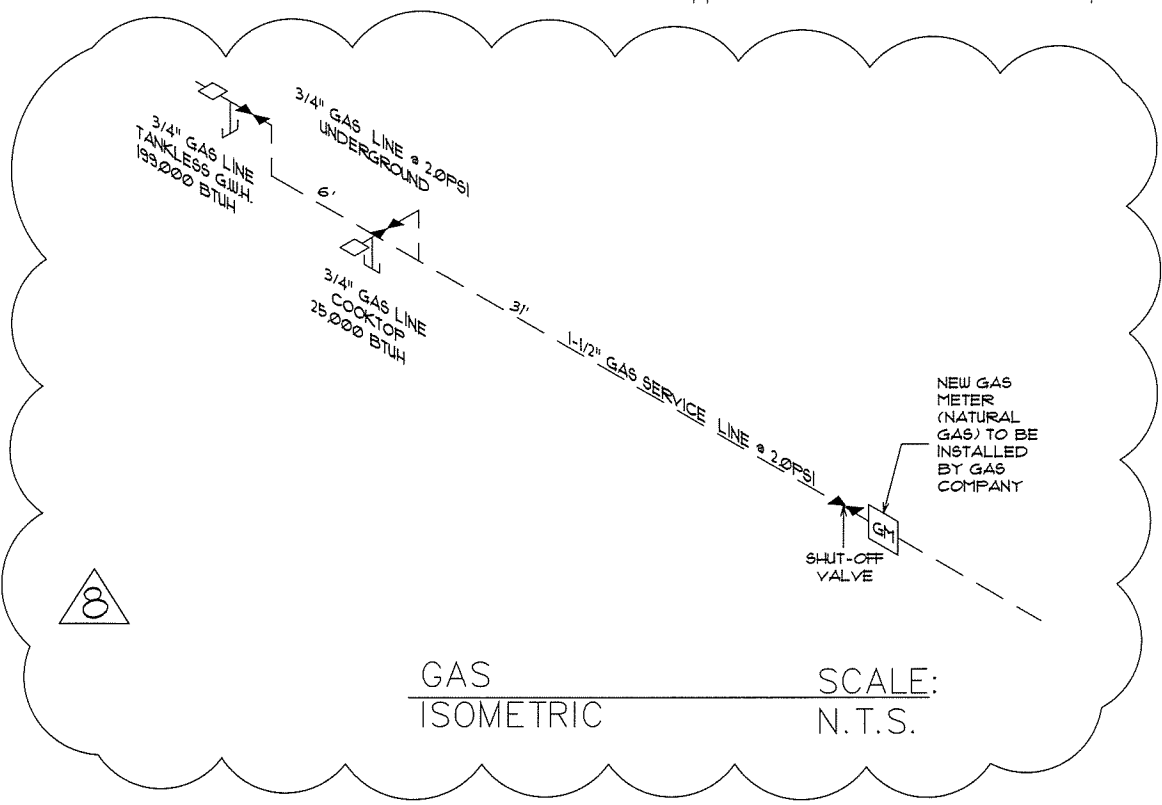
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PLUMBING PLAN



PLUMBING RISER DIAGRAM



PERMIT SET

MINDI SCHIFRIN
 231 NE 1ST AVE.
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 DELRAY BEACH FLORIDA 33444

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6/9/2017 BLDG. COMMENTS	A.G.

PLUMBING_GAS PLAN + RISER

Ames INTERNATIONAL ARCHITECTURE

Shane Ames - Architect

ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DODE BULEVARD, DELRAY BEACH, FLORIDA 33444. PHONE: 561.827.4444 FAX: 561.827.4444

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DATE: 4/5/2017
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SHEET: A13

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