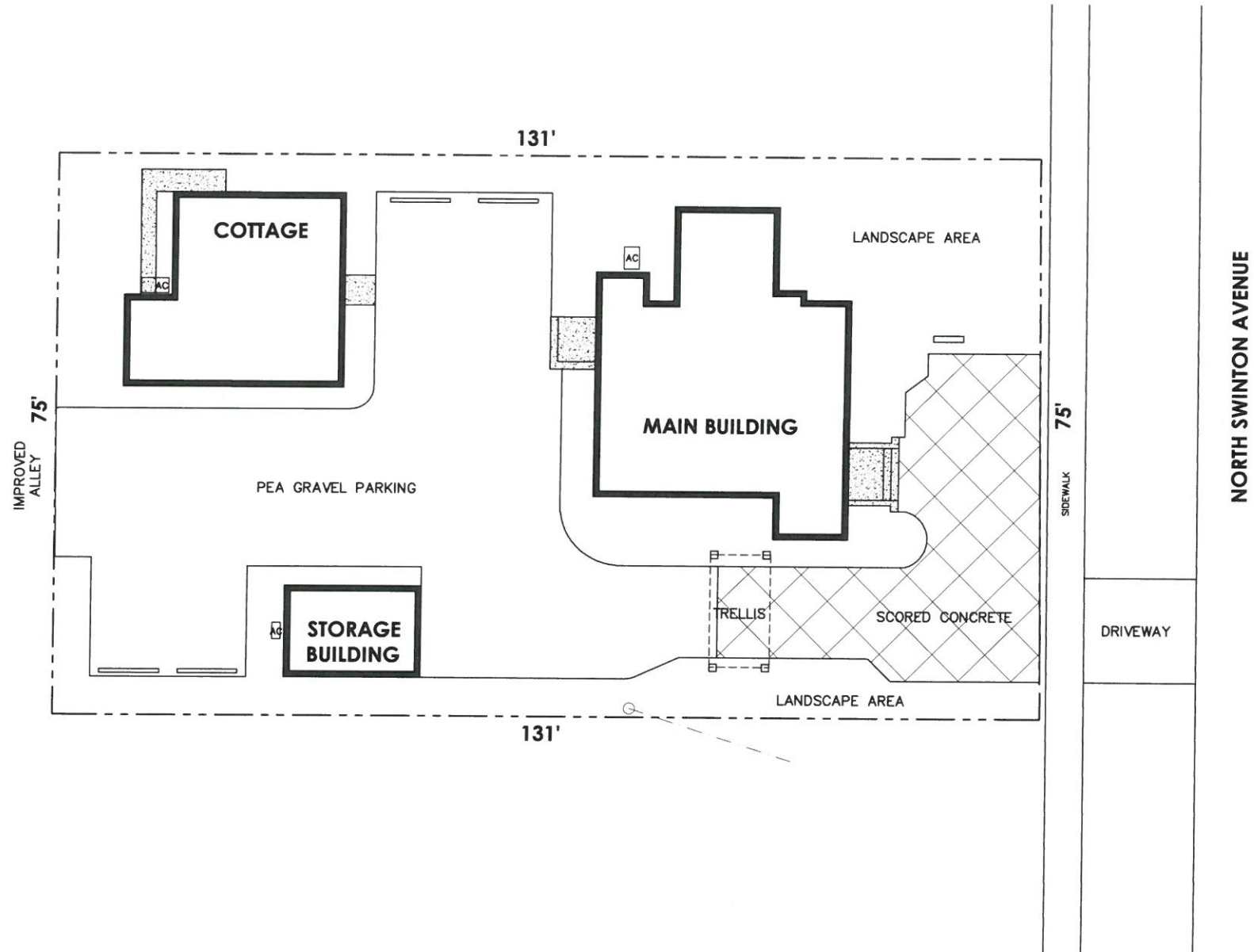




SCALE: 1"=10'-0"

act

PROJECT

132 N. SWINTON AVENUE
DELRAY BEACH, FL

TITLE

SITE PLAN

PROJ. NO.

LP-1 FILE NAME

AGT/JRA DRAWN

2-14-19 DATE

REV.

SHEET

SP-1

NOTES

All plant material to be Florida #1 or better.

Sod to be St. Augustine 'Floritam', contractor to determine quantity.

All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.

Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.

Mulch, topsoil, and fertilizer to be applied according to specifications.

SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.

PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.

GUYNIG: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

GUARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

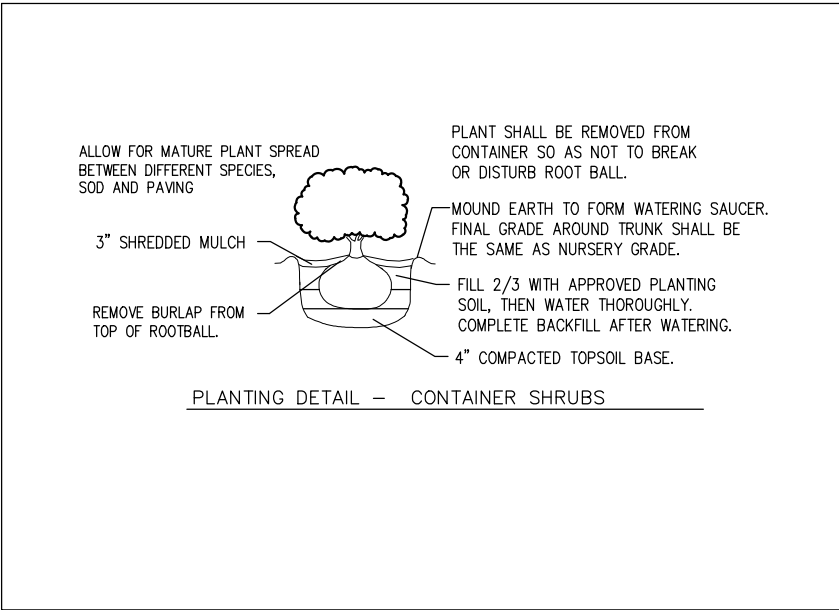
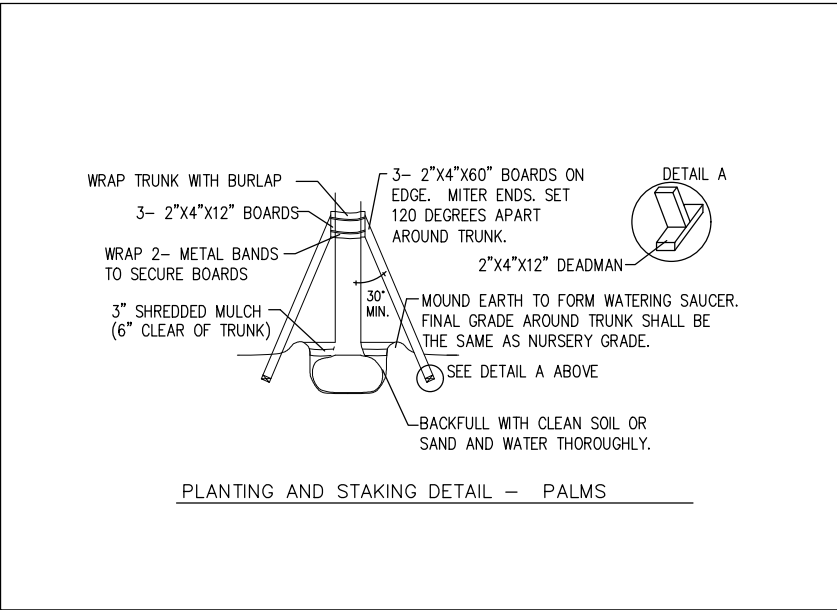
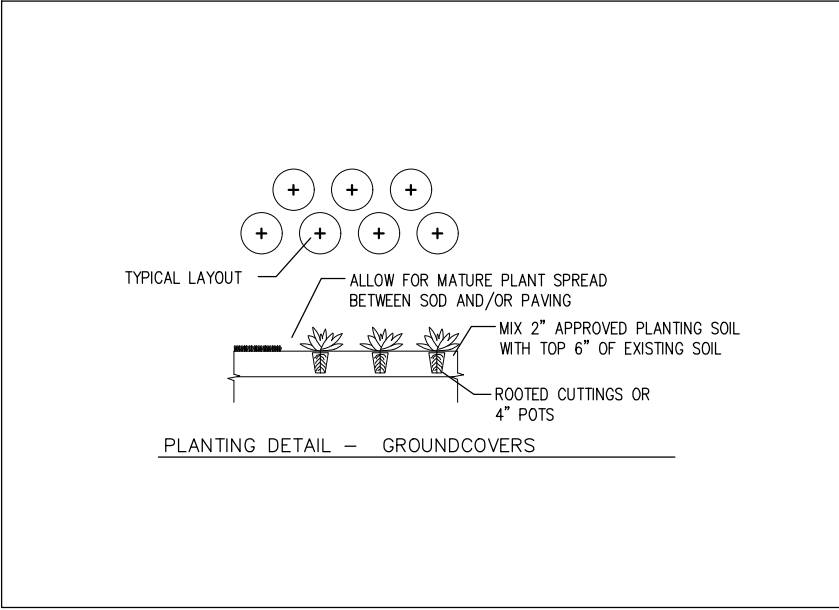
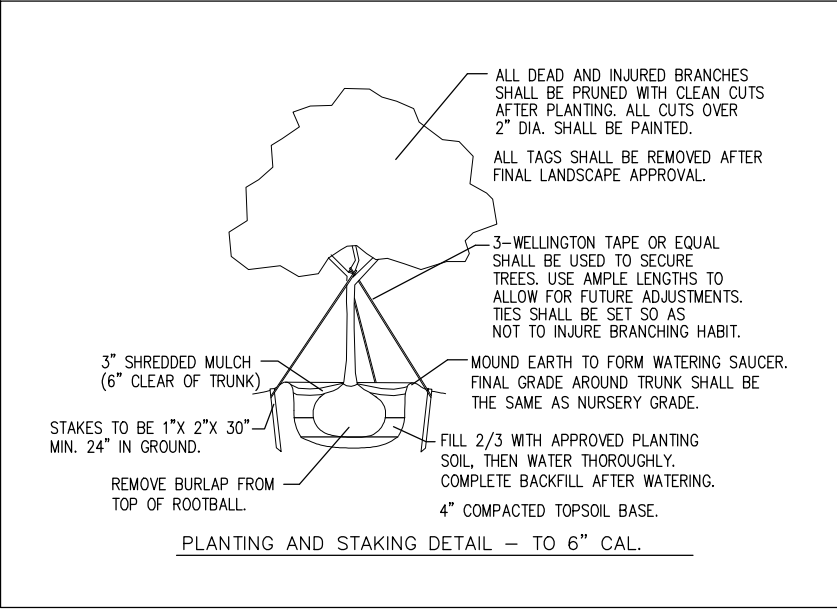
PLANT LIST

TREES AND PALMS		
KEY	QTY	PLANT AND SPECIFICATION
PO	2	Plumeria obtusa 'Singapore' (Singapore Plumeria) 5' ht., 3' spr., full
xx	1	Elaeocarpus decipiens (Japanese Blueberry) 12' ht., 6' spr., standard, full, matched
TR	1	Thrinax radiata (Thatch Palm) 6' ht.,
VM	2	Veitchia montgomeryana (Montgomery Palm) 10' ht., full, matched

SHRUBS, ACCENTS, AND GROUNDCOVERS

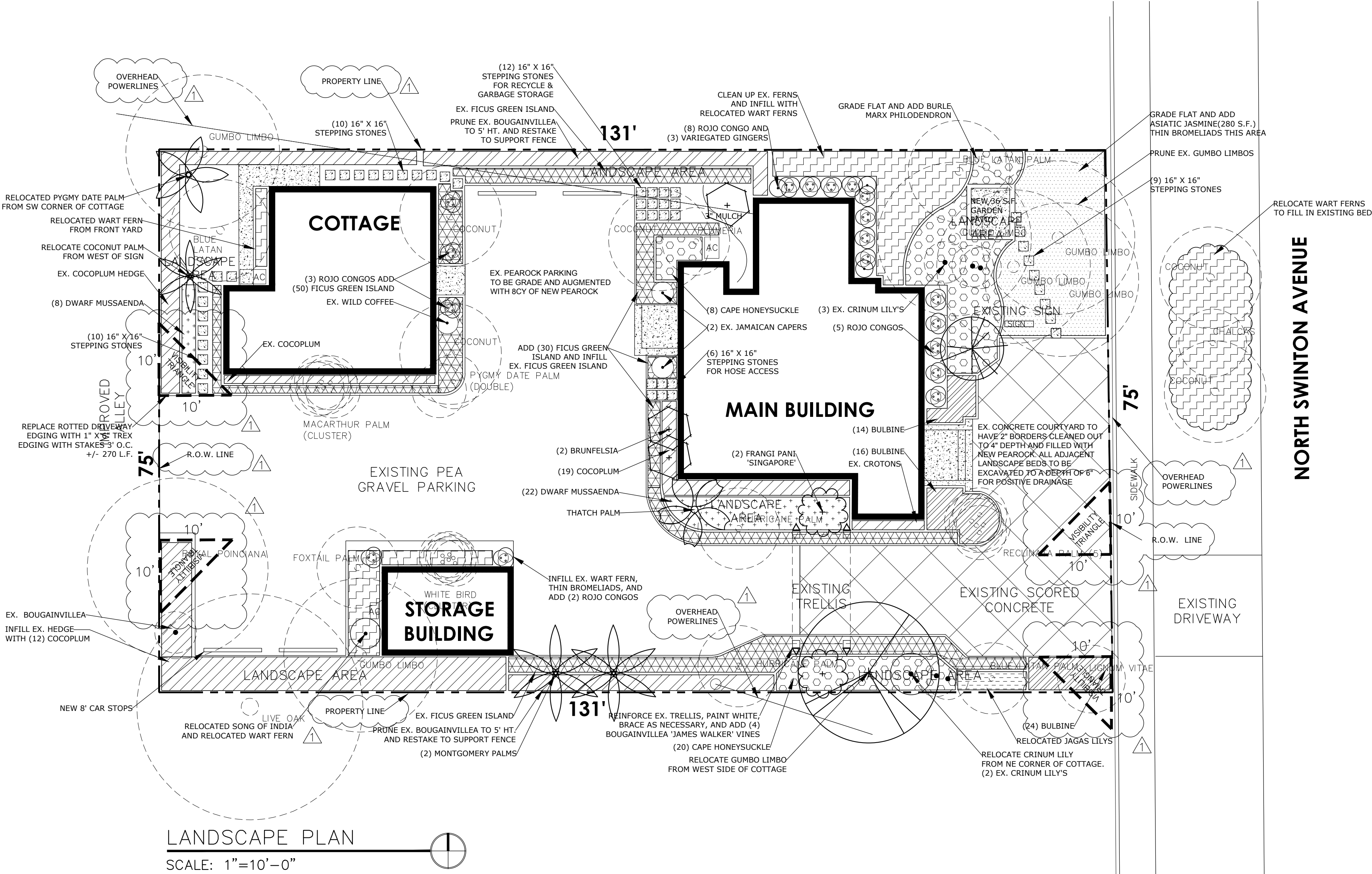
KEY	QTY	PLANT AND SPECIFICATION
ALP	3	Alpine zerumbet 'Variegata' (Variegated Ginger) 3' ht., 7 gal.
BOU	4	Bougainvillea 'James Walker' (James Walker Bougainvillea) 15 gal.,
BRU	3	Brunfelsia pauciflora (Yesterday-Today-and-Tomorrow) 3' ht., 7 gal.
BUL	54	Bulbine frutescens (Bulbine) 3' ht., 7 gal.
CHR	19	Chrysobalanus icaco (Cocoplum) 24" ht., 18" spr., 2' o.c.
FGI	80	Ficus microcarpa 'Green Island' (Ficus Green Island) 14" ht., 14" spr., 18" o.c.
MUS	30	Mussaenda glabra 'Dwarf' (Dwarf Mussaenda) 3 gal., 30" o.c.
PBM	00	Philodendron 'Burle Marx' (Burle Marx Philodendron) 16" ht., 16" spr.,
PRC	18	Philodendron 'Rojo Congo' (Rojo Congo) 30" ht., 7 gal.
TEC	28	Tecoma capensis (Cape Honeysuckle) 30" o.c.
TRA	280	Trachelospermum asiaticum (Asiatic Jasmine) Liners

(47) 16" X 16" STEPPING STONE PAVERS



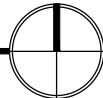
IRRIGATION NOTES

Irrigation system currently exists and is to remain. Contractor to adjust existing irrigation system as necessary to accommodate proposed planting, and provide 100% coverage to all plants.



REMOVAL/RELOCATION PLAN

SCALE: 1"=20'-0"



PROJECT

132 N. SWINTON AVENUE
DELRAY BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

LP-1 FILE NAME

AGT/JRA/BDB DRAWN

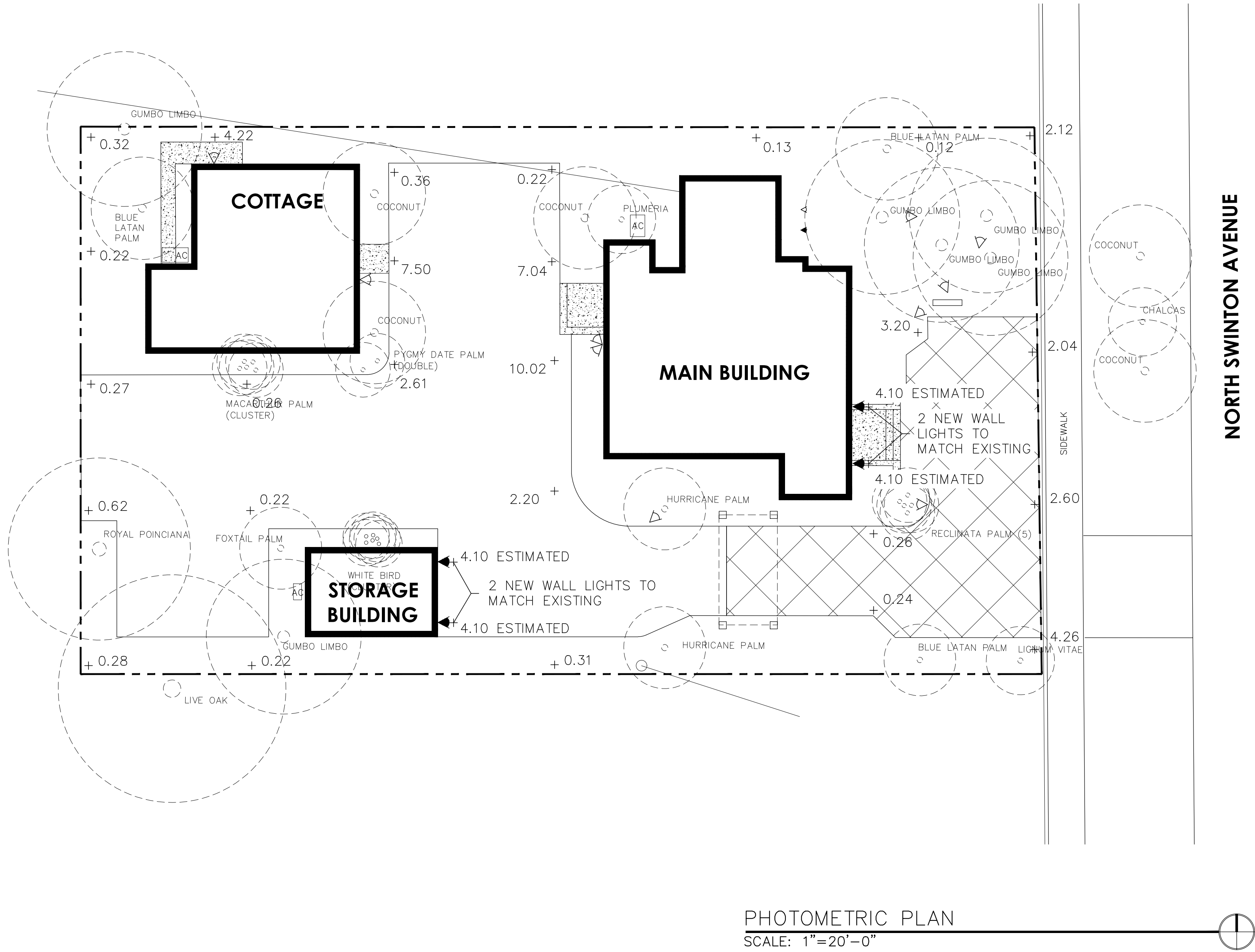
4-9-19 DATE

REV.

4/9/19 HPB SUBMISSION

SHEET

LP-1



PHOTOMETRIC PLAN

SCALE: 1"=20'-0"

THIS PHOTOMETRIC PLAN REPRESENTS EXISTING LIGHTING CONDITIONS.

LIGHTING FIXTURE LEGEND

- EXISTING FIXTURES
- 4 - NEW WALL LIGHTS TO MATCH EXISTING, MANUFACTURED BY QUOIZEL

PROJECT

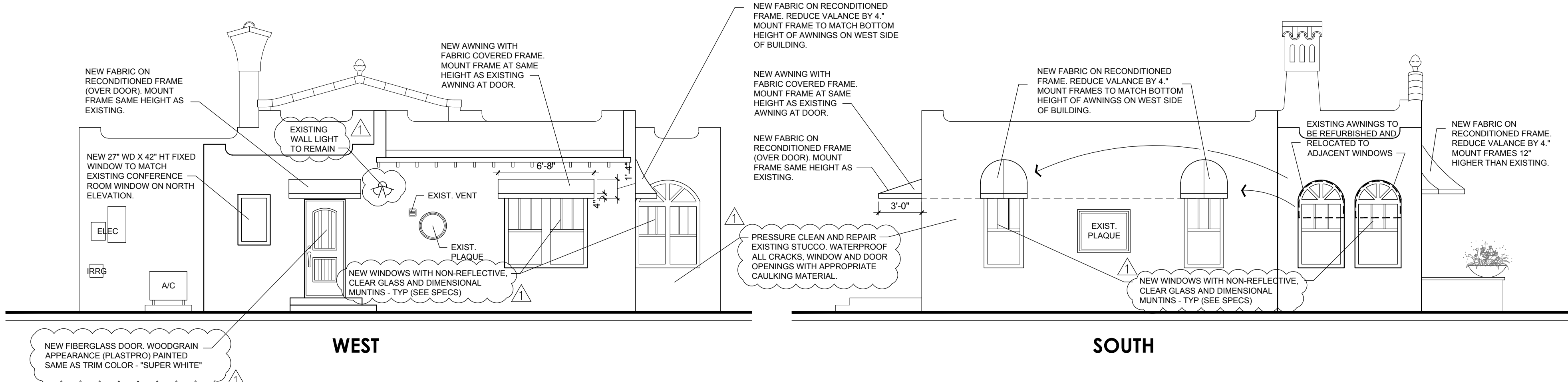
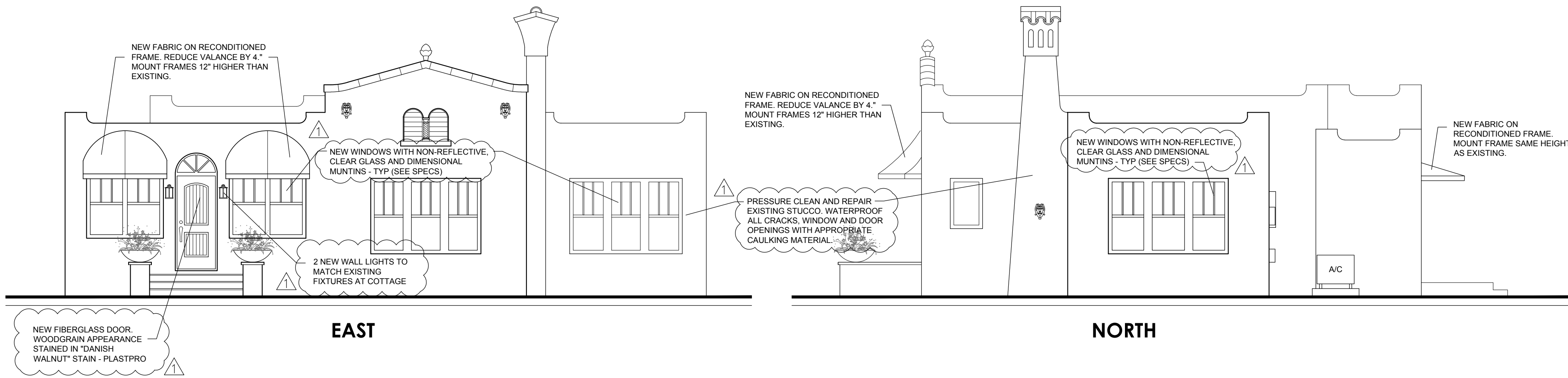
132 N. SWINTON AVENUE
DELRAY BEACH, FL

TITLE

PHOTOMETRIC PLAN

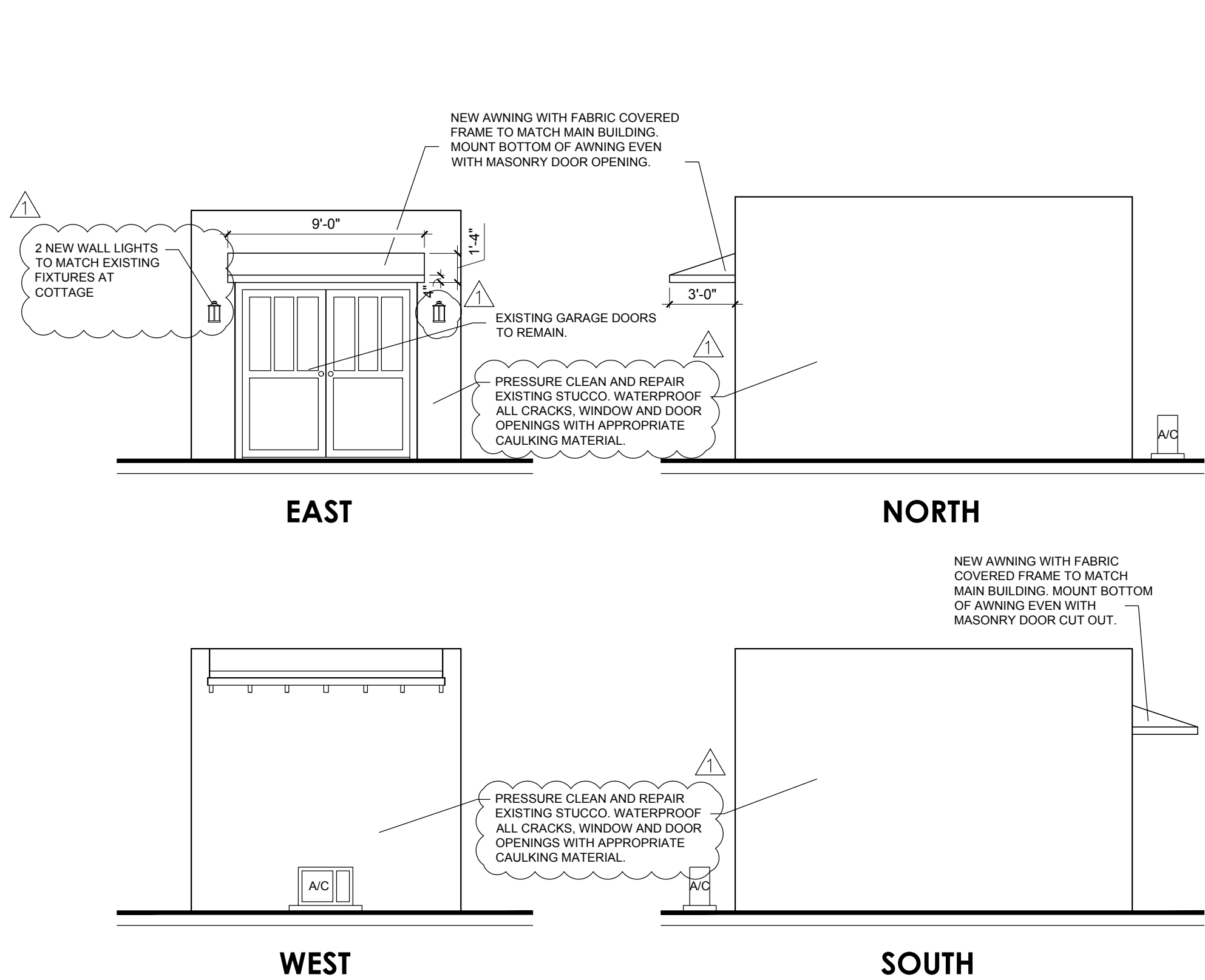
PROJ. NO.	FILE NAME
LP-1	AGT/JRA/BDB
DATE	REV.
2-14-19	

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LP-1A

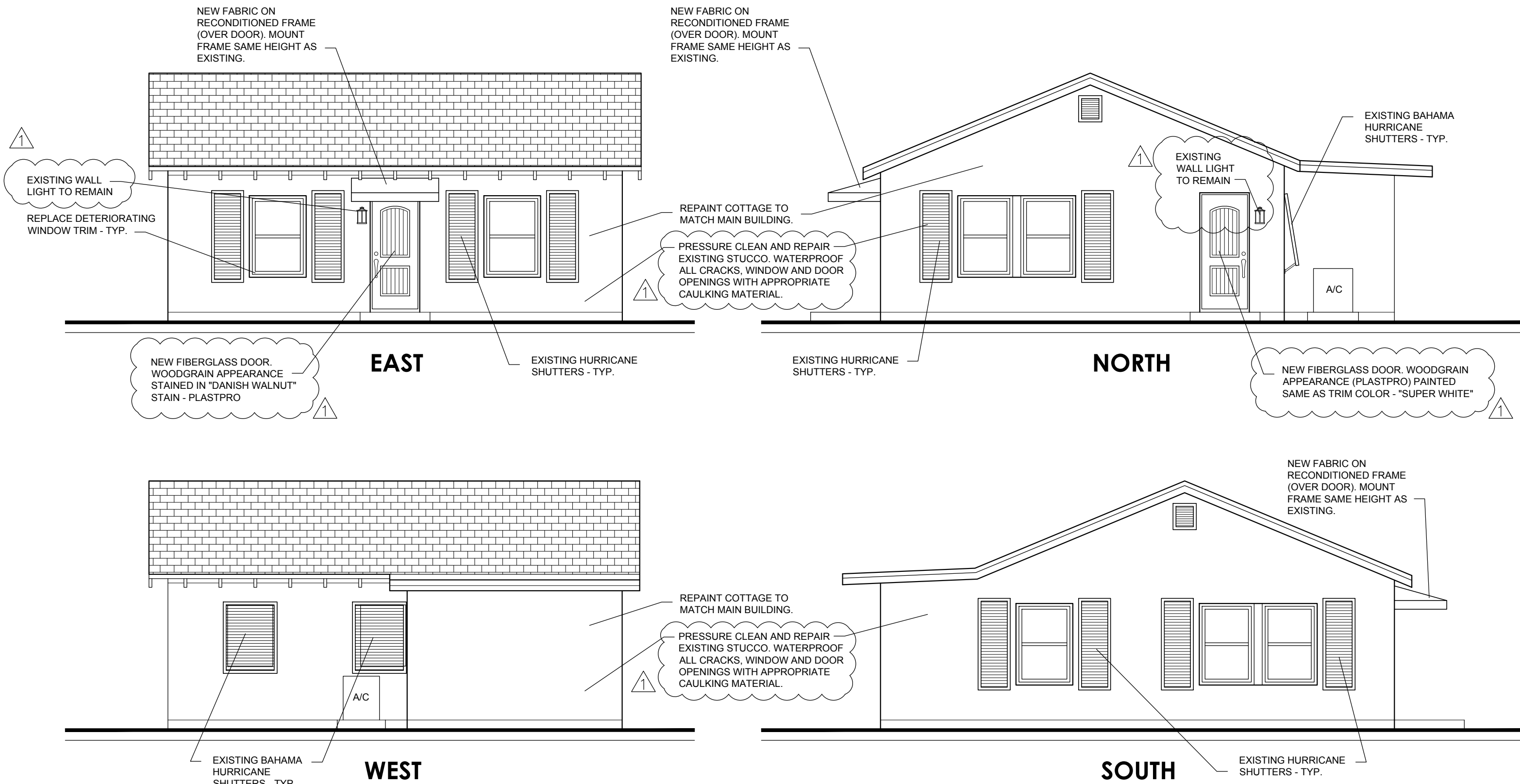


MAIN BUILDING

SCALE: 3/16"=1'-0"



STORAGE BUILDING



COTTAGE

PROJECT

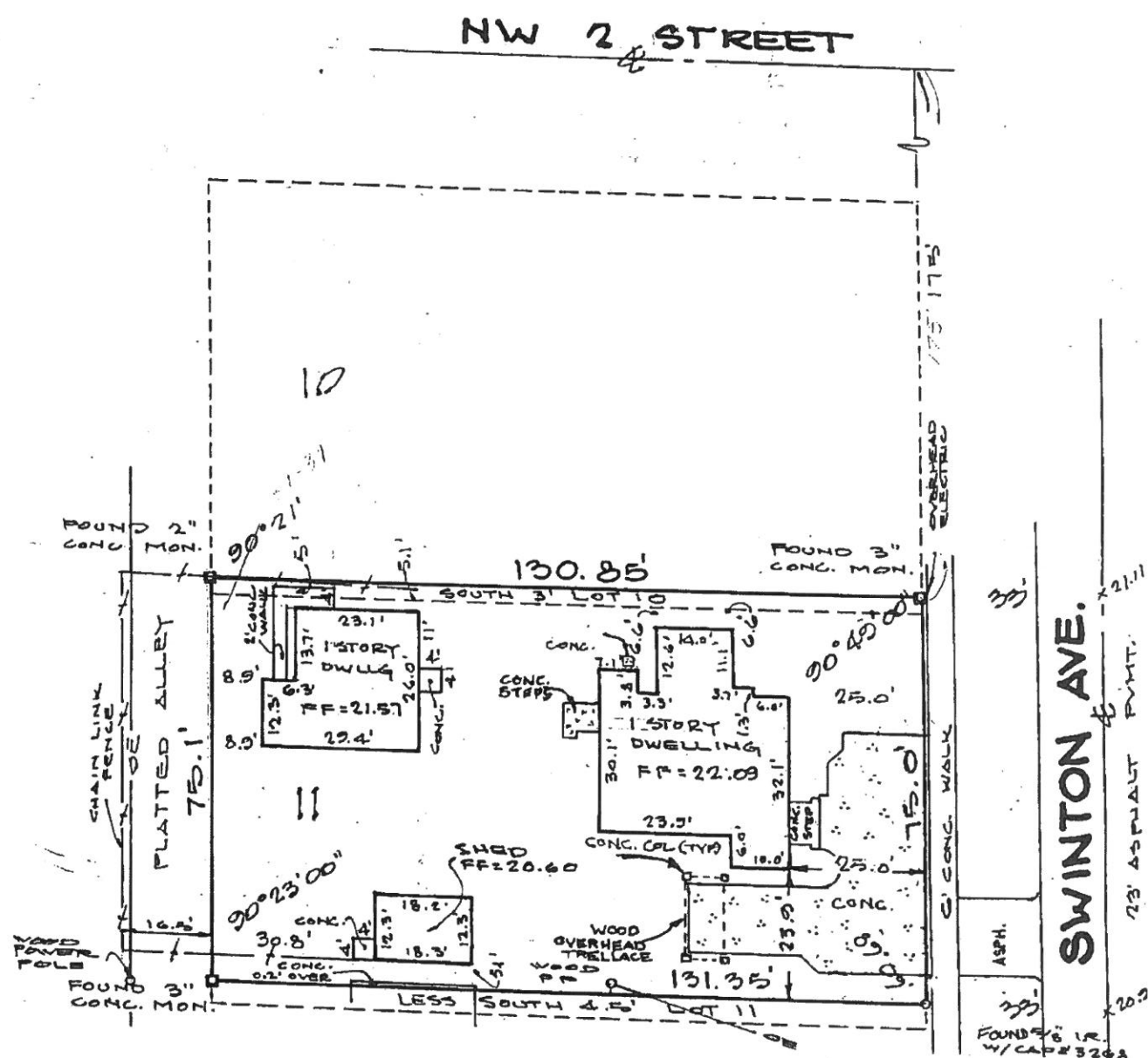
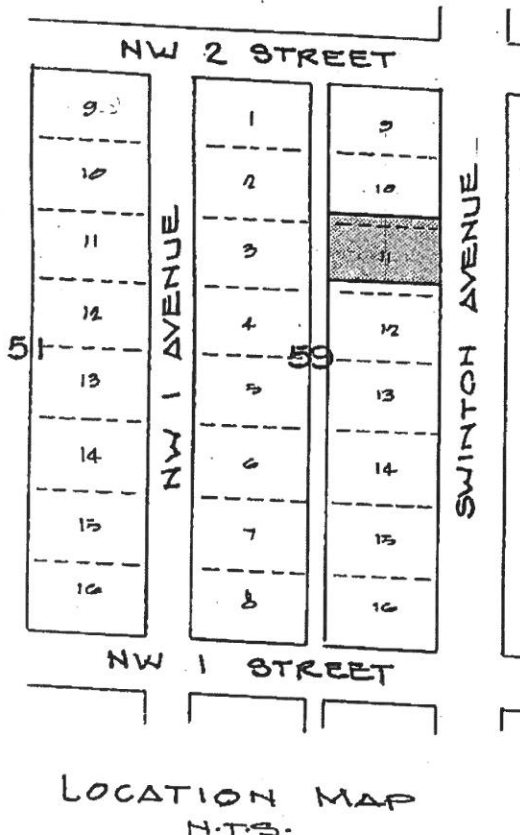
132 N. SWINTON AVENUE
DELRAY BEACH, FL

TITLE

ELEVATIONS

PROJ. NO.	
x FILE NAME	
JRA DRAWN	
4-9-19 DATE	
REV.	
4/9/19 HPB SUBMISSION	

SHEET
LP-2
OF



1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown hereon is based on the instrument of record.
4. No underground improvements were located.
5. Angles and distances shown hereon are in accord with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted.
6. The property described hereon lies within Flood Zone X, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Number 12099C0979F, Community Panel Number 125102 0979 F, dated 10/05/2017.
7. Elevations shown hereon are in feet and based on the National Geodetic Vertical Datum of 1929 (NGVD 1929).
8. Benchmark Description: Number D-33, Elevation = 20.769 (NGVD 1929).
9. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
10. This map is intended to be displayed at a scale of 1"=30' (1:360).
11. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
12. Abbreviation Legend: CL = Centerline; CONC = Concrete; F.F. = Finished Floor; DWLLG = Dwelling; P.P. = Power Pole; (TYP) = Typical; COL = Column; LB = Licensed Business; P.L.S. = Professional Land Surveyor; MON = Monument; PVMT = Pavement; W/ = With; NGVD = National Geodetic Vertical Datum.

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			SCALE: 1" = 30'
			DATE: 02/08/2019
			BY: KSB
			CHECKED: M.D.A.
			F.B. 1963 PG. 10
	SHEET: 1 OF 1		