



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Delray Oasis Business Park  
**Project Location:** 1201 – 1237 N Federal Hwy  
**Request:** Master Sign Program  
**PCN:** 12-43-46-09-08-001-0060  
**Board:** Site Plan Review and Appearance Board  
**Meeting Date:** April 24, 2019

**Board Action:**

Approved (5-0 Annie Adkins-Roof and Vlad Dumitrescu absent) with conditions:

1. Font on monument be the same
2. Colors of building sign all be white
3. Any deviation from the proposed signs the SPRAB board must approve.

**Project Description:**

The subject property is located on unified lots at addresses 1201, 1203, 1205, 1235, and 1237 N. Federal Hwy. The site is located on Lots 1,2,3,4,5,6 and 7 on Block 1 in the Kenmont subdivision, and Lots 6 and 7 Section 9 of the Harry Seemiller subdivision at the northeast corner of N. Federal Hwy and Bond Way. The subject site has a combined square footage 0.75 acres.

Basic Sign Criteria is as follows: Each tenant is allowed one wall sign; Corner units maybe permitted an additional sign if specified by the landlord and City; Sign is limited to tenant's tradename only; Tenant's customary signage or logo hallmark, insignia, or other trade identification may be permitted at the Landlord's discretion; Nationally registered logos and or color that deviate from the criteria may also be permitted.

Signs shall be sand blasted to match the aesthetics of the building. The color of the sign is a Sherwin Williams SW 6069 French Roast. There is specific placement of the signs for each building which is displayed in the attached building. The tenant has three sizes to choose from being Exhibit "A" through Exhibit "C". The sizes are: 7.4 SF, 12.19 SF and 4.8 SF.

**Board Comments:**

N/A

**Public Comments:**

N/A

**Associated Actions:**

N/A

**Next Action:** The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

## DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

### SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: April 24, 2019

File No.: (2019-146)

Application Type: Master Sign Program

#### General Data:

Agent: Signarama, USA

Owner: Howard Dean Properties

Location: 1201-1237 N Federal Hwy

PCN: 12-43-46-09-08-001-0060

Property Size: 0.75 Acres

FLUM: GC (General Commercial)

Zoning: AC (Automotive Commercial)

#### Adjacent Zoning:

- GC (North)
- GC (East)
- GC (South)
- RL (Multiple Family Residential) (west) and GC

Existing Land Use: Retail, Office, Commercial



#### Item before the Board:

The action before the Board is for the approval of a Master Sign Program for Delray Oasis.

#### Recommendation

Move approval of the Master Sign Program for (2019-146) Delray Oasis located at 1201 N. Federal Hwy, with the condition that any additional signage must be approved through the Site Plan Review and Appearance Board, based upon positive findings to LDR Section 4.6.7(F)(2)(b).

#### Background:

The subject property is located on unified lots at addresses 1201, 1203, 1205, 1235, and 1237 N. Federal Hwy. The site is located on Lots 1,2,3,4,5,6 and 7 on Block 1 in the Kenmont subdivision, and Lots 6 and 7 Section 9 of the Harry Seemiller subdivision at the northeast corner of N. Federal Hwy and Bond Way. The subject site has a combined square footage 0.75 acres.

On May 24, 2017, the Site Plan Review and Appearance Board (SPRAB) approved a Class 1 Site Plan modification for façade improvements associated with buildings 1201, 1203, 1205 and 1235 N. Federal Highway.

On January 22, 2018, the Planning and Zoning Board recommended approval to the City Commission for a Conditional Use request to establish a veterinary clinic at the 1235 N. Federal Highway building. On April 3, 2018, the City Commission approved the Conditional Use with conditions.

At its meeting of January 9, 2019, the Site Plan Review and Appearance Board approved a Class III change of use to several existing buildings, a parking lot expansion, landscape improvements, and related site improvements to the unified development.

Now before the board is a Master sign Program to accommodate signage on all of the buildings.

Attached is the proposed program.

#### Project Planner:

Jennifer Buce, Assistant Planner;  
[buce@mydelraybeach.com](mailto:buce@mydelraybeach.com),  
561-243-7138

#### Review Dates:

April 24, 2019

#### Attachments:

1. Sign Attachments



Basic Sign Criteria is as follows:

- Each tenant is allowed one wall sign.
- Corner units maybe permitted an additional sign if specified by the landlord and City.
- Sign is limited to tenant's tradename only
- Tenant's customary signage or logo hallmark, insignia, or other trade identification may be permitted at the Landlord's discretion.
- Nationally registered logos and or color that deviate from the criteria may also be permitted.

Signs shall be sand blasted to match the aesthetics of the building. The color of the sign is a Sherwin Williams SW 6069 French Roast. There is specific placement of the signs for each building which is displayed in the attached building. The tenant has three sizes to choose from being Exhibit "A" through Exhibit "C". The sizes are: 7.4 SF, 12.19 SF and 4.8 SF. The program also states that additional sizes and colors are permitted at owner's sole discretion. There is also a proposed monument sign. The sign is setback 10' from N. Federal Hwy and is 14 in height. It is an illuminated double-sided tile wood finish, with a black header and a 1" red push though illuminated address letters. There are white acrylic faces proposed with each tenant allowed to have their custom logo in the tenant panel.

### Master Sign Analysis

#### LDR SECTION 4.6.7(F)((2)(b) Master Sign Program

A Master Sign Program is to be used when the development of a project is of such a scale or character that the normal application of the design and/or aesthetic standards of Subsections (D) and (E), respectfully, will not result in an effective sign program and signing more permissive than said standards is necessary. Approval of a Master Sign Program may include the automatic granting of waivers and or adjustments to the provisions of Subsections (D) and (E) provided the intent of the sign code is maintained and the character of the community and neighborhood is not diminished.

The Master Sign Program allows for the automatic granting of waivers and or adjustments to the provisions of Subsection (D) an (E) provided the intent of the sign code is maintained and the character of the community and neighborhood is not diminished. Delray Beach Oasis is a unique set up of retail, office and commercial space nestled off North Federal Highway. Not all signs proposed face a dedicated street frontage, but as stated above the Master Sign Program allows for the automatic granting of waivers for this provision. All the proposed signs meet the code for size and are in harmony with the surrounding neighborhood. The program does include a statement that additional sizes and colors may be permitted at owner's sole discretion. Staff recommends that the program not include any other additional signs and only allow the three sizes that are shown in the program, any additional signage that is proposed must come back through the board as an amendment to the program. The proposed program is a clean program for the architecture of the building and additional signage to the building may distract from the simplicity of the building style.

Please note: The City granted Dr. Q an administrative approval in February of 2019.

Given the review provided above, staff recommends approval of the Master Sign Program for Delray Beach Oasis with the condition that any additional signage must be approved through the Site Plan Review and Appearance Board.

### Alternative Actions

- A. Continue with direction
- B. Move approval of the Master Sign Program (2019-146) for **1201 N. Federal Hwy** with the condition that any additional signage must be approved through the Site Plan Review and Appearance Board based upon positive findings to LDR Section 4.6.7(F)(2)(b).
- C. Move denial of the Master Sign Program (2019-146) for **1201 N. Federal Hwy** based upon failure to make positive finding to LDR Section 4.6.7(F)(2)(b).

3/4/2019

**MASTER SIGNAGE PLAN**  
**The Delray Oasis Business Park, LLC**  
**1201-1237 N Federal Highway**  
**Delray Beach, FL 33483**

**“CENTER”:** DELRAY OASIS BUSINESS PARK, LLC  
DNA Properties Group at Berkshire Hathaway  
1201-1237 N Federal Highway  
Delray Beach, FL 33483

**“LANDLORD”:** **Howard Dean**  
Howard Dean, P.C.  
H. Dean Properties, LLC  
<http://HDEANPROPERTIES.com>  
150 White Plains Road, Suite 300  
Tarrytown, New York 10591  
tel. (914) 631-3000 / cell (914) 419-7166 / fax (914) 631-0363  
[riverogue@msn.com](mailto:riverogue@msn.com)

**“CITY”:** CITY OF DELRAY BEACH, FL





## **GENERAL REQUIREMENTS & RESTRICTIONS**

This Master Signage Program has been established for the purpose of ensuring a uniform signage program. Conformity will be strictly enforced for all new signage.

The purpose of this Master Signage Plan is to define and specify criteria for all exterior signage for all shops in the Center. These guidelines will ensure identification of the signage while producing a coordinated, complementary image for the entire Center.

All signs, including additional symbols or logos, must be submitted to Landlord and the City for approval prior to fabrication and installation. Tenant risks removal of the signage if the signage is installed without both Landlord's and City's written approval.

All signs shall be designed, constructed and located in accordance with the following "design criteria"; and shall be subject to the written approval of Landlord and/or Property Manager and the City of Delray Beach.

Each Tenant is allowed one (1) wall sign ("Sign"). Corner units may be permitted an additional sign if specifically authorized by Landlord and the City. The Tenant is to arrange for the design and fabrication of its Sign, in conformance with the restrictions listed herein and the City signage code.

The Sign content shall be limited to the Tenant's trade name only. Tenant's customary signage or logo, hallmark, insignia, or other trade identification may be permitted at Landlord's sole discretion. Nationally registered logos and/or colors that deviate from the criteria set forth may also be permitted at the Landlord's sole discretion and must comply with the City DESIGNER SIGN clause where applicable.

Each tenant shall contract with a sign company ("Company") that is fully licensed and qualified to do business in the City. The Company must have insurance coverage as required by Landlord, naming Landlord as Additional Insured, prior to or in conjunction with the submittal of drawings and specifications to Landlord. Landlord will not approve any signage without first having appropriate insurance coverage in place. Tenant shall be responsible for the operations of the sign Company.

Tenant is responsible to provide a site plan of the plaza, elevations of the façade, set back information from the property line and measurements of the right of way as required by the City. Architectural Elevations to scale, sign drawings and specifications submitted to Landlord, by the Tenant's Company, shall be *professionally drawn*, and shall indicate the location on the building, sizes and layout of all components and design elements, structure and installation method proposed, and colors of all exposed components, including all lettering and graphics, (the "Submittal").

The cost of design, engineering, the Submittal, approvals, permits, fabrication, installation and any remedial work required, of each Sign, shall be the sole responsibility of the Tenant.

The Tenant is solely responsible for maintaining the Sign in a proper working order.

## ELEVATION KEY

### SIGN MOUNTING LOCATIONS (EXHIBIT A, B AND C) AND SIGN STANDARDS:

Each tenant has a unique frontage at Delray Oasis Business Park and are required to use "SIGN LOCATION" indicated on each picture as shown in Master Sign Program.  
Sign height standards shall fit within each area as indicated.

Signs shall be sandblasted to match aesthetics of the building and color to be used on background of signs is: Sherwin Williams - SW 6069 French Roast. Each tenant can use their custom Logo's as approved by the Landlord.

Construction: All signage must confirm to City and South Florida building codes.  
All signage must be UL Listed.

*Additional Sizes, colors may be permitted, at owner's sole discretion, and must comply with the City code and DESIGNER SIGN CODE requirements where applicable.*



Dr. Q's Pet Vet at 1235 N Federal Highway has been approved by the City of Delray Beach and has set the sign standards.

# Dr. Q Pet Vet

64 in

16 in

Existing

### INSTALLATION DETAIL

8" Flat aluminum brackets. Top of bracket screwed into wood soffit, bottom of bracket screwed into rear of sign- Sealed with locktight.

wood soffit

Dr. Q's PET VET

16 in.

64 in

Proposed

**STRUCTURAL NOTES:**

GOVERNING CODE: THE STRUCTURAL CALCULATIONS COMPLY WITH THE PROVISIONS OF SECTION 1609.1.1 OF THE 6th EDITION (2017) OF THE FLORIDA BUILDING CODE, AND IN ACCORDANCE WITH CHAPTERS 26-30 OF ASCE 7-10 (2010 EDITION), USING THE ULTIMATE WIND SPEED OF 175 MPH FOR PALM BEACH COUNTY (170 FOR BROWARD AND 175 FOR DADE COUNTIES), AND WHERE THE WIND MAP VALUES ARE CONVERTED TO THE ASD FORMAT USING  $V_{asd} = V_{ult}(\text{Sq. Root of } .6)$ .

ELECTRICAL INFORMATION PROVIDED AS REFERENCE ONLY AND IS TO BE INSTALLED BY A LICENSED CONTRACTOR. NO ENGINEERING CERTIFICATION IS OFFERED WITH ANY ELECTRICAL INFORMATION CONTAINED HEREIN.

ALL STRUCTURAL ALUMINUM IS TO BE T6 OR BETTER.

**ANCHORS:** TO BE ITW BUILDDEX, ELCO TAPCON, POWERS, RAWL, OR MFR, RATED EQUAL. 10x ANCHOR DIAMETER SPACING IS REQUIRED BETWEEN ANCHORS AND EDGE OF CONC. MIN. IF UNSPECIFIED, A 24" MAX O.C. SPACING OF ANCHORS SHALL BE USED + EACH CORNER.

WOOD ANCHORS TO BE NON-CORROSIVE GRADE 2 OR GRADE 5 LAG BOLTS OR EQ,  $\frac{3}{4}$ " MIN. ED. #2 SOUTHERN YELLOW PINE MINIMUM USED IN ALL WOOD CALCULATIONS.

THROUGHBOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.N.O.

MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO, FINISHES, OR SHIM SPACING.

STRUCTURAL BOLTS TO BE A-325, GRADE 5, A 2" MAX EXPOSED SHANK IS TO BE USED U.N.O.

HOST STRUCTURE IS BY OTHERS AND SHALL BE DESIGNED TO CARRY LOADS BY PROPOSED SIGN

THIS ENGINEER HAS NOT VISITED THE JOBSITE, DESIGN IS BASED ON CONTRACTOR SUPPLIED DATA. IF ANY FIELD CONDITIONS THEN SPECIFIED HEREIN, THIS ENGINEER SHALL BE NOTIFIED

**ASSEMBLY PER NEC 600-3**

### WALL AREA CALCULATIONS

Frontage = 24'

ALLOWABLE SIGNAGE =  $24 \times 12 \times 15\% = 43\text{sq ft}$

PROPOSED SIGNAGE =  $64 \times 16 = 7.1\text{sq ft}$

### NON ELECTRICAL SIGN

2905 S. Congress Ave. Bay E  
Delray Beach, FL 33445  
(561) 278-7448  
www.signarama.com

STATE CERTIFIED  
GENERAL CONTRACTOR  
• CGC1515894 •

HOMAYOON AMIR ABTAHI  
2649 NW 28TH TERRACE  
BOCA RATON, FL 33434  
FLORIDA P.E. #35453

VALID FOR (1) JOB ONLY  
ALSO NOT WITH REISSUED PERMITS

Dr.Q Pet Vet



There will be two signs allowed at 1201 N Federal Highway as there are two separate street frontages.

## 1201 N FEDERAL HWY

ALLOWED SIGNAGE: EXHIBIT A OR EXHIBIT B

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**

DELRAY OASIS BUSINESS PARK LLC

**Property detail**

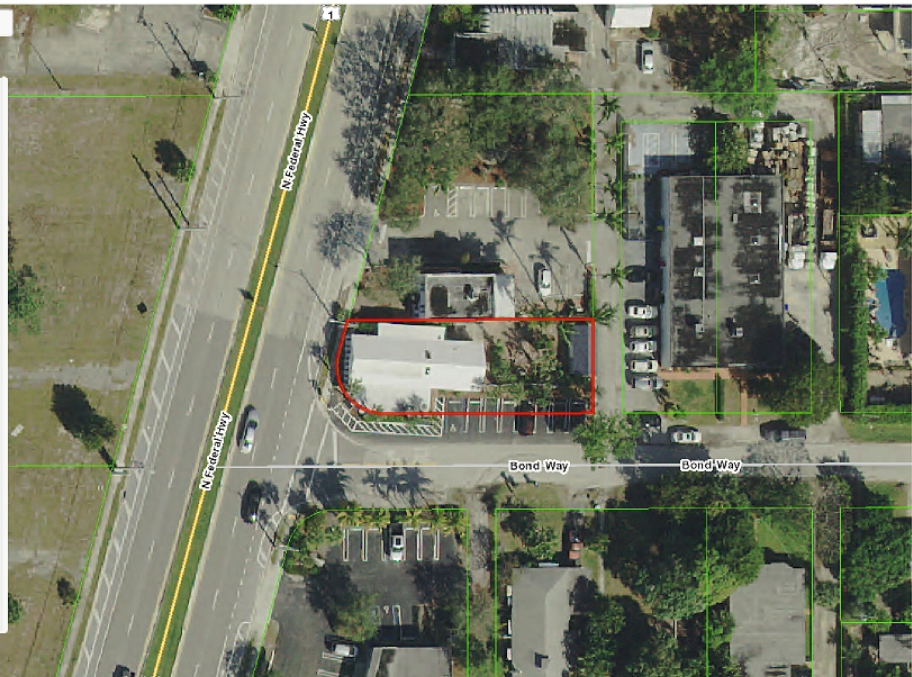
Location 1201 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434609080010050  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 2641

**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	760250
JUN-2004	1250000
APR-1995	100

**Appraisals**

Tax Year	2018
Improvement Value	\$296,573
Land Value	\$169,470



## EXISTING



## PROPOSED SIGN LOCATION





# 1201 FRONT N FEDERAL HWY ALLOWED SIGNAGE: EXHIBIT A OR EXHIBIT B

Search by Owner, Address or Parcel

[View Property Record](#)

Owners

DELRAY OASIS BUSINESS PARK LLC

Property detail

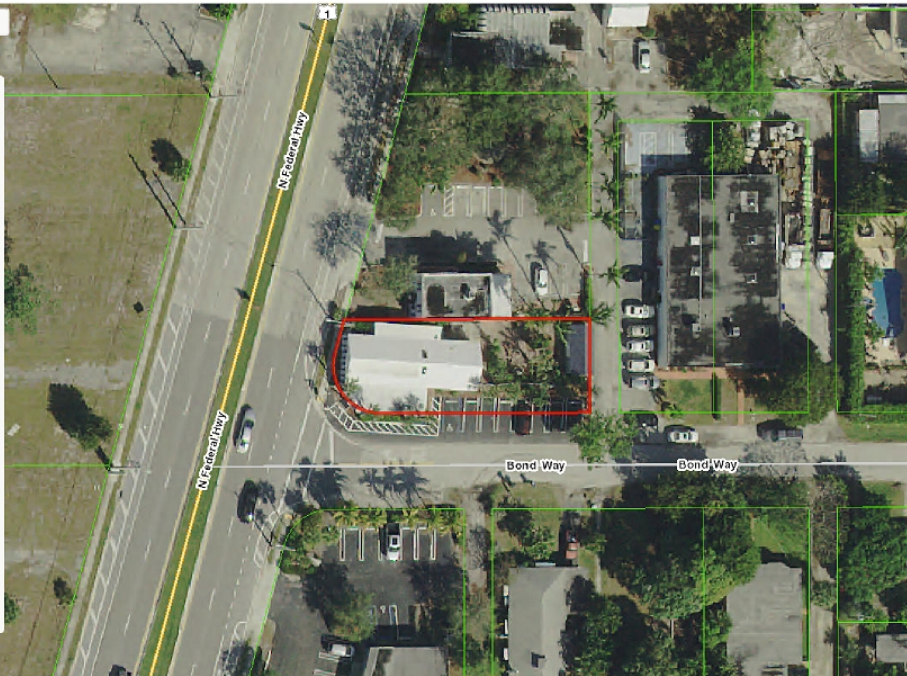
Location 1201 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434809080010060  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 2641

Sales Information

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
APR-1995	100

Appraisals

Tax Year	2018
Improvement Value	\$296,573
Land Value	\$169,470



## EXISTING



## PROPOSED SIGN LOCATION





# 1203 N FEDERAL HWY

ALLOWED SIGNAGE: EXHIBIT A OR EXHIBIT B

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**  
DELRAY OASIS BUSINESS PARK LLC

**Property detail**  
Location 1201 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434609080010060  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 2641

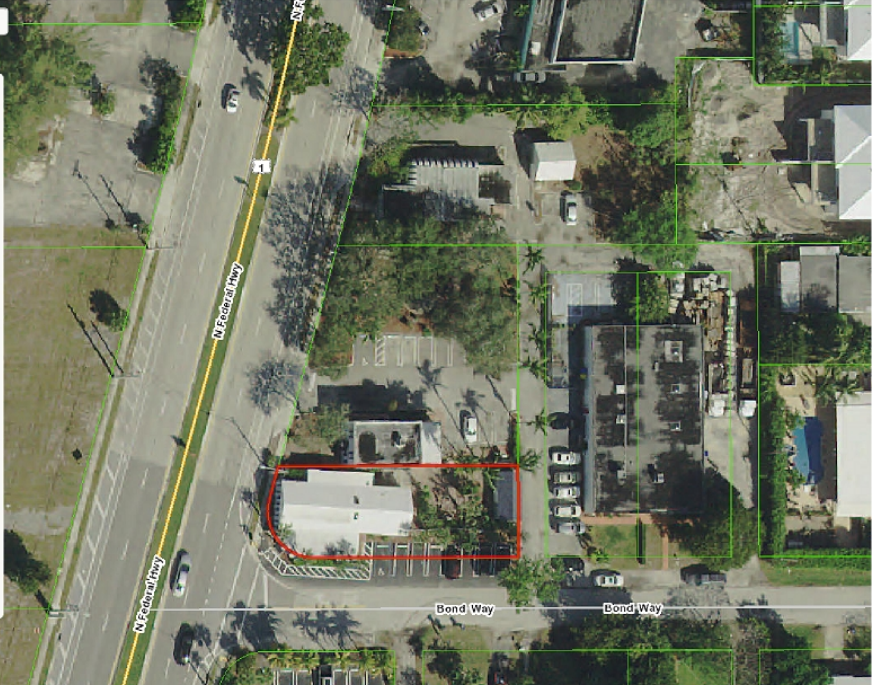
**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
APR-1995	100

12

**Appraisals**

Tax Year	2018
Improvement Value	\$296,573
Land Value	\$169,470



## EXISTING



## PROPOSED SIGN LOCATION





# 1205 N FEDERAL HWY

## ALLOWED SIGNAGE: EXHIBIT A

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**

DELRAY OASIS BUSINESS PARK LLC

**Property detail**

Location 1205 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434609080010010  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 1920

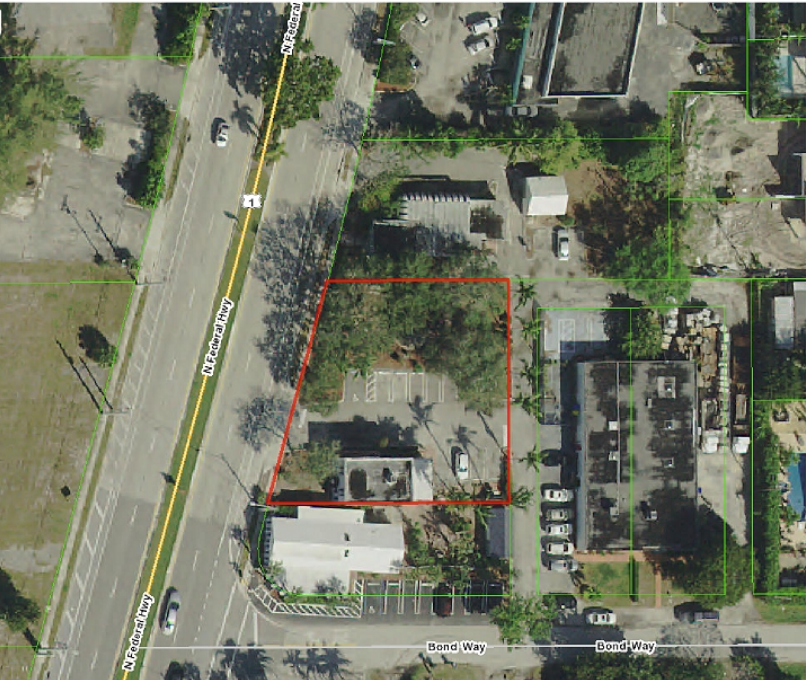
**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
JUN-2003	10

1 2

**Appraisals**

Tax Year	2018
Improvement Value	\$205,717
Land Value	\$352,485



## EXISTING



## PROPOSED SIGN LOCATION





# 1205 N FEDERAL HWY SUITE 200 ALLOWED SIGNAGE: EXHIBIT A OR EXHIBIT B

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**

DELRAY OASIS BUSINESS PARK LLC

**Property detail**

Location 1205 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434609080010010  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 1920

**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
JUN-2003	10

1 2

**Appraisals**

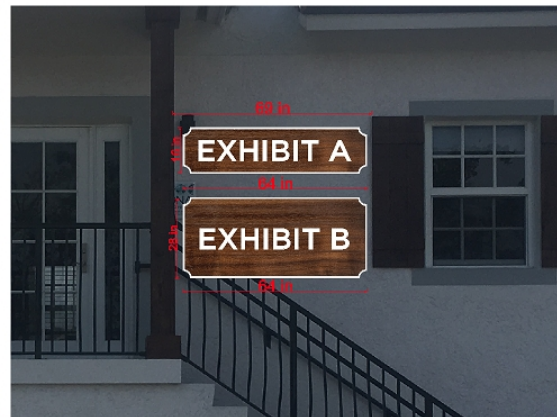
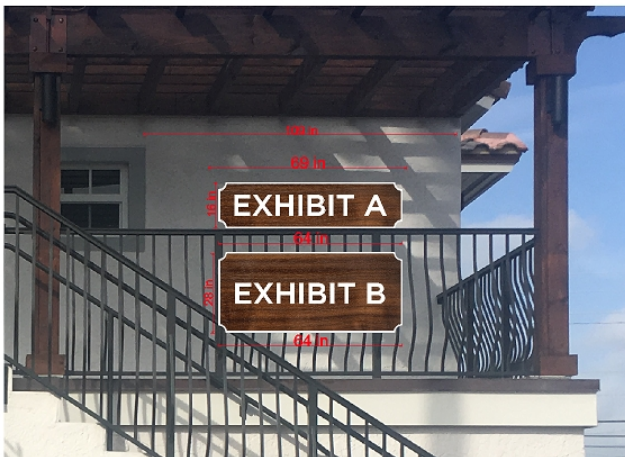
Tax Year	2018
Improvement Value	\$205,717
Land Value	\$352,485



## EXISTING



## PROPOSED SIGN LOCATION OPTIONS





# 1235 N FEDERAL HWY

ALLOWED SIGNAGE: EXHIBIT A OR EXHIBIT B

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**  
DELRAY OASIS BUSINESS PARK LLC

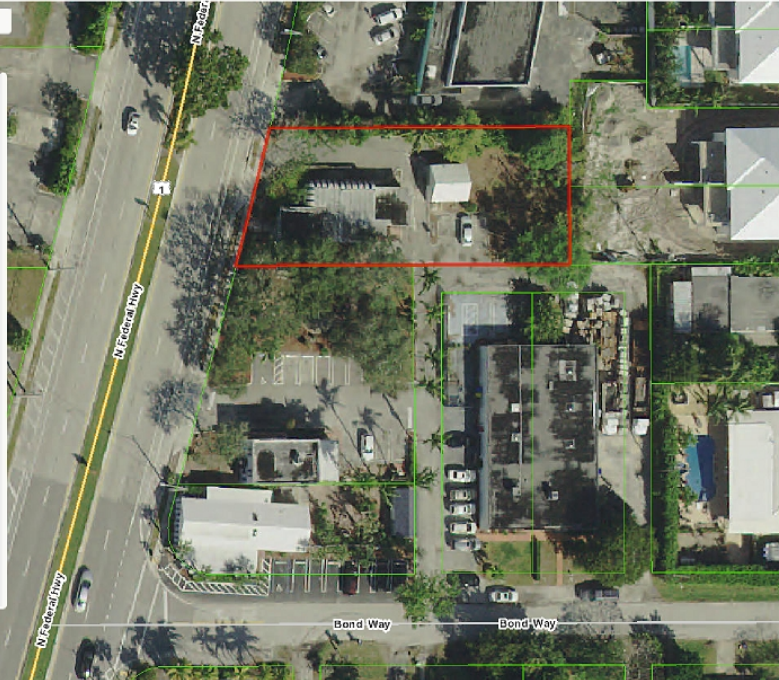
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Location 1235 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 124346091 20000051  
Subdivision HARRY SEEMILLER SUB  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 1666

**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
JUN-2003	10

**Appraisals**

Tax Year	2018
Improvement Value	\$189,708
Land Value	\$341,591



## EXISTING

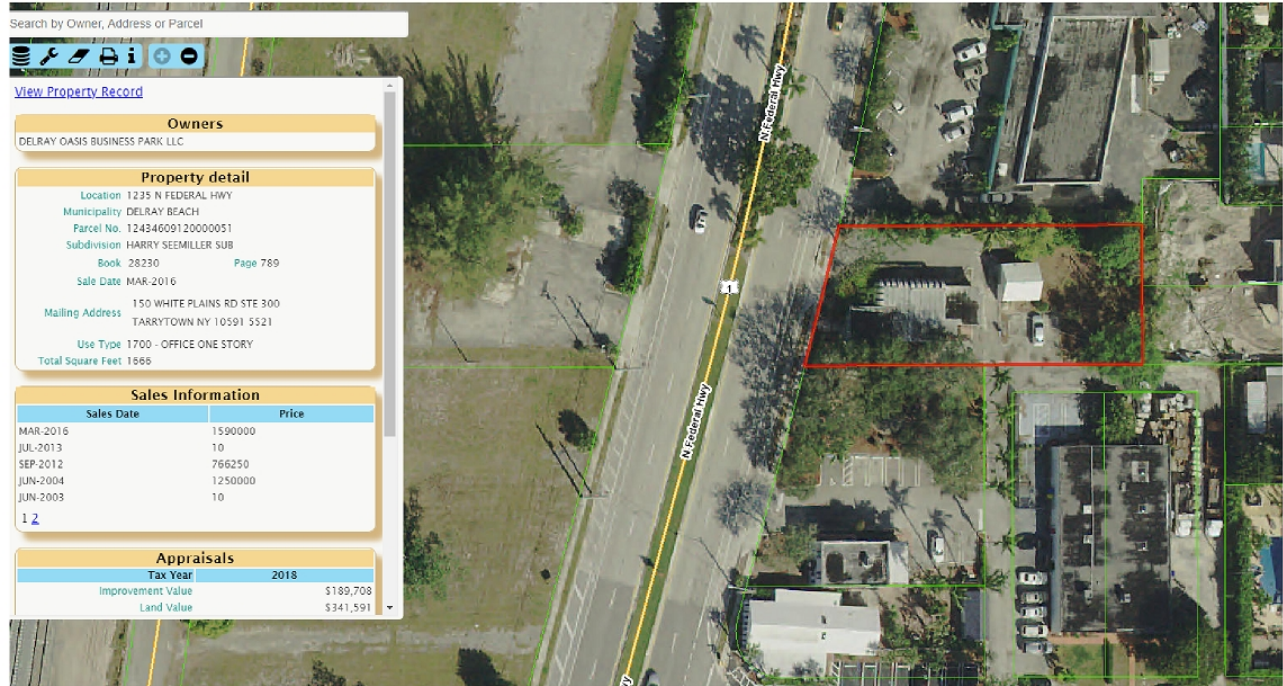


## PROPOSED SIGN LOCATION

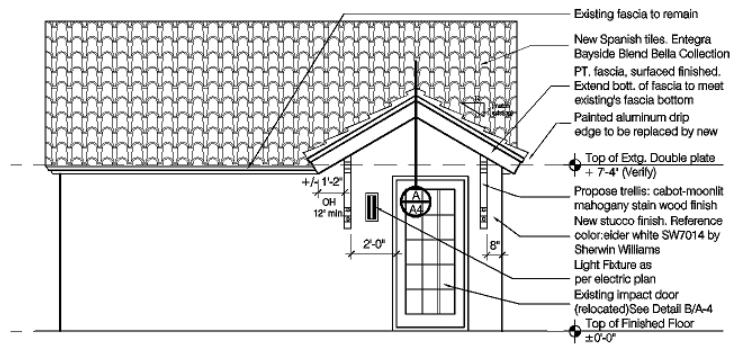


# 1237 N FEDERAL HWY

ALLOWED SIGNAGE: EXHIBIT A, EXHIBIT B, OR EXHIBIT C



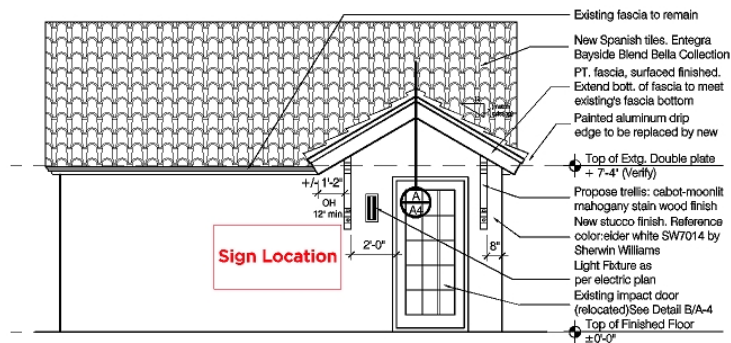
## PROPOSED CONSTRUCTION



South Elevation

1/4" = 1' Scale

## PROPOSED SIGN LOCATION



South Elevation

1/4" = 1' Scale



## **ELEVATION KEY FOR MONUMENT**

### **SIGN MOUNTING LOCATION (EXHIBIT D) AND SIGN STANDARDS:**

There is a unique frontage at Delray Oasis Business Park and the monument sign will be in the "SIGN LOCATION" indicated on the picture as shown in Master Sign Program.

### **DESCRIPTION OF DOUBLE SIDED MONUMENT SIGN:**

Illuminated double sided aluminum monument with a tile wood look finish. The header will be black with 1" red push through illuminated letters and address numbers. The white acrylic faces will be illuminated and have individual horizontal faces with a retainer frame around each row and if additional dividers are required, this can be done with vinyl.

The setback will be the minimum 10' standard. Sign height standards shall be 14' maximum and the vinyl will be applied to each face and fit within each area as indicated.

Cabinet of sign shall match aesthetics of the building and the tile wood look finish color to be used on cabinet will be close to the building signs color of: Sherwin Williams - SW 6069 French Roast. Each tenant can use their custom Logo's as approved by the Landlord.

Construction: All signage must confirm to City and South Florida building codes.  
All signage must be UL Listed.

*Additional Sizes, colors may be permitted, at owner's sole discretion, and must comply with the City code and DESIGNER SIGN CODE requirements where applicable.*

# 1205 N FEDERAL HWY

## ALLOWED SIGNAGE: MONUMENT

Search by Owner, Address or Parcel

[View Property Record](#)

**Owners**

DELRAY OASIS BUSINESS PARK LLC

**Property detail**

Location 1205 N FEDERAL HWY  
Municipality DELRAY BEACH  
Parcel No. 12434609080010010  
Subdivision KENMONT IN  
Book 28230 Page 789  
Sale Date MAR-2016  
Mailing Address 150 WHITE PLAINS RD STE 300  
TARRYTOWN NY 10591 5521  
Use Type 1700 - OFFICE ONE STORY  
Total Square Feet 1920

**Sales Information**

Sales Date	Price
MAR-2016	1590000
JUL-2013	10
SEP-2012	766250
JUN-2004	1250000
JUN-2003	10

1 2

**Appraisals**

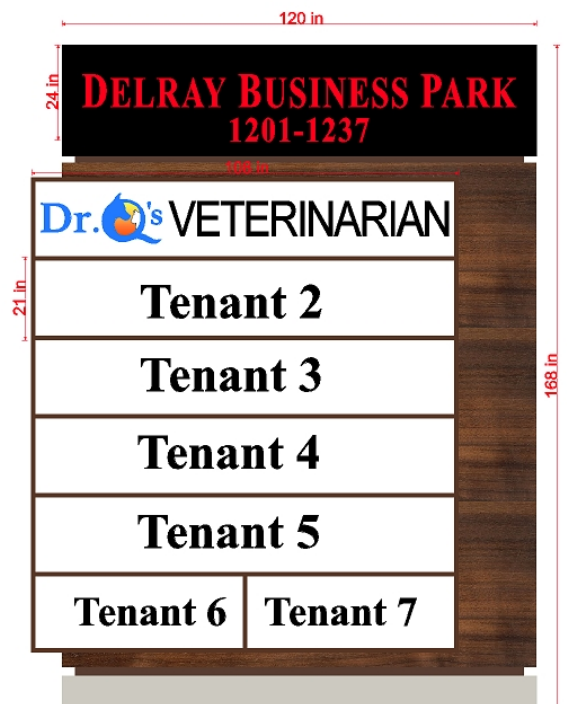
Tax Year	2018
Improvement Value	\$205,717
Land Value	\$352,485



## EXISTING



## PROPOSED SIGN LOCATION



**South Elevation**





***South Elevation***

## **CONSTRUCTION / INSTALLATION REQUIREMENTS**

Installation must be performed in accordance with all architecturally accepted methods and meet wind load requirements as designated by code and certified by a State of Florida engineer.

The Contractors shall install the Sign in strict accordance with the approved Submittal.

The contractors shall immediately repair any damage caused by its work within five (5) days of occurrence and shall be financially responsible for any damage caused by its work. If, within five (5) days the Contractor or Tenant has not made the necessary repairs to Landlord's satisfaction, landlord will repair the damage and Tenant shall reimburse Landlord for all expenses incurred. Contractor shall use Landlord's roofing contractor for any roof repairs.

# AERIAL VIEW



## PROPERTY INFORMATION

LOCATION ADDRESS:  
16516 N FEDERAL HWY  
DELMAR BEACH, FL 33683  
PROPERTY OWNER:  
DELTA OAKS BUSINESS PARK, LLC  
PRINCIPAL CONTACT NAME:  
TJ - 407-467-0910  
ZONING DISTRICT:  
GC - GENERAL COMMERCIAL

## DESCRIPTION OF WORK

This is a Class III Modification Site Plan, we are providing additional parking and new landscaping

## DRAWING LIST

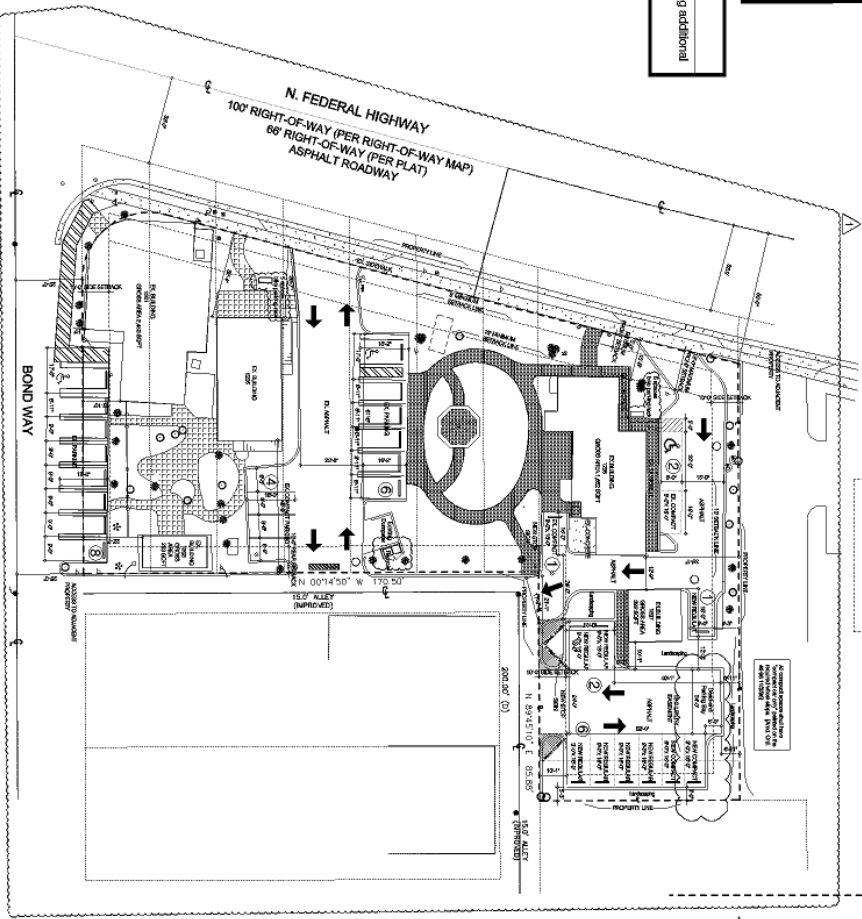
SPI Site Plan Location Plan, Notes & Aerial View  
SP1 Site Plan Demolition  
SP2 EXISTING TYPICAL PHASE  
SP4 Life Safety Plan  
PHOTOGRAPHIC Building 1201-1203 Photometric Plan

## EXISTING & PROPOSED USES

1201 Building: No change in use. The existing 2,450 sq. ft. building is approved for commercial uses.  
1203 Building: Change of use of a 285 sq. ft. storage unit to a commercial use.  
1205 Building: First floor: No change in use. The existing 1,111 sq. ft. One-story portion of the building is approved for commercial space.  
1205 Building: Second floor: Change of use of a 872 sq. ft. two-bedroom residential unit to a commercial use.  
1225 Building: No change of use in the front portion of the building; it is approved for commercial uses. Change of use of a 425 sq. ft. residential unit (rear portion of the building) to a veterinary clinic.  
1227 Building: Change of use of a 392 sq. ft. accessory garage to a business office.

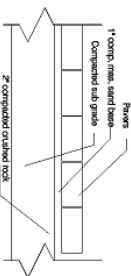
## PARKING REQUIREMENT

Building	Use/ Occupancy	Parking requirement:	Gross Area, SQFT	Parking spaces required
Building 1201	Van/Commercial Use	4.5 spaces per 1,000 SF	2,450	11
Building 1203	Message/Commercial Use	4.5 spaces per 1,000 SF	283	1.2
Building 1205 First Floor	HR safety/Commercial Use	4.5 spaces per 1,000 SF	1,111	4.9
Building 1205 Second Floor	Vacant/ Commercial Use	4.5 spaces per 1,000 SF	873	3.9
Building 1225	Veterinary Clinic/ Commercial Use	4.5 spaces per 1,000 SF	1,653	7.4
Building 1227	Professional office	4.0 spaces per 1,000 SF	392	1.6
Total Required Parking Spaces				30 = 30
Parking	Handicap (2 between 26 & 50)	Regular	Compact (25%)	Total
Building	3	12	6	21
Proposed	0	7	2	9
Total	3	19	8	30

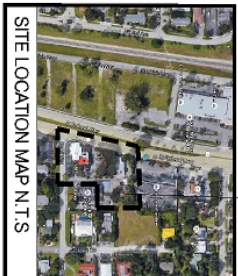


Proposed Site Plan 1 = 20" Sc.

TYPICAL PAVEMENT DETAIL



SITE LOCATION MAP N.T.S.



LEVEL 2 ALTERATION  
REWORKING FOR  
DELAWARE BUSINESS PARK  
DELAWARE BEACH, FL 33683  
DELAWARE BEACH, FL

JOHN SHERMAN REED  
ARCHITECT  
FL LICENSURE #0587

JSR DESIGN GROUP, INC.  
1 WEST CAMINO REAL, SUITE 101  
BOCA RATON, FL 33432  
PH: 561-987-7203  
FAX: 561-987-0033

16516  
SPI