



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Lucky's Market
Project Location: 5030 W. Atlantic Avenue
Request: Class I Site Plan Modification
PCN: 12-42-46-14-24-001-0000
Board: Site Plan Review and Appearance Board
Meeting Date: April 10, 2019

Board Action:

Approved (6-0 Annie Adkins-Roof absent)

Project Description:

The subject property is located on the south west corner of the intersection of Atlantic Avenue and Military Trail within the Four Corners overlay area. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres.

The development proposal consists of the following: Minor façade changes; which includes the vestibule removal and the addition of outdoor seating, the addition of two cart corrals, introduction of new lighting in the rear and front of the building, ramp and railing system and the addition of a bike rack.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

Approve with the following notes: that the photometrics meet the criteria set forth in LDR 4.6.8 prior to certification and that a note is placed on the architectural plans for the front elevation calling out the "Type D" light fixture.

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: April 10, 2019

File No.: 2019-070
SPM-SPR-CL1

Application Type: Class I Site Plan Modification

General Data:

Applicant: Lucky's Market Operating Company, LLC

Owner: Topvalco, Inc, an Ohio Corp.

Location: 5030 W. Atlantic Avenue

PCN: 12-42-46-14-24-001-0000

Property Size: 8.37 Acres

FLUM: GC (General Commercial)

Zoning: PC (Planned Commercial)

Adjacent Zoning:

- PC (North)
- PC (West)
- RM (Multiple Family Residential (South)
- PC (East)

Existing Land Use: Gym

Proposed Land Use: Grocery Store



Item before the Board:

The action before the Board is for the approval of a Class I Site Plan Modification for 5030 W. Atlantic Avenue, pursuant to Land Development Regulations (LDR) Section 2.4.5(G)(1)(a).

Recommendation:

Move approval of the request for Class I Site Plan Modification (2019-070) for 5030 W Atlantic Avenue for Lucky's Market, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations

Notes:

1. That the photometrics meet the criteria set forth in LDR 4.6.8 prior to certification.
2. That a note is placed on the architectural plans for the front elevation calling out the "Type D" light fixture.

Background:

The subject property is located on the south west corner of the intersection of Atlantic Avenue and Military Trail within the Four Corners overlay area. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, egress, and parking and drainage easements, as recorded on June 1, 1999 in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 sf of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 sf bank with drive-thru area and associated parking.

On September 17, 2018, the Planning and Zoning Board approved a Master Development Plan Modification (MDPM) for Delray Commons, as well as a waiver request for the minimum structure size required for the proposed restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

Project Planner:

Jen Buce, Assistant Planner;

buce@mydelraybeach.com,

561-243-7138

Review Dates:

SPRAB Board:

April 10, 2019

Attachments:

1. Site Plans
2. Architectural Elevations



On January 9, 2019, Tract 2 was approved to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking.

Now before the board is a request for the approval of a Class I Site Plan Modification for the Anchor Store which was formally Phar-Mor, Babies are Us and Gold's Gym located on Tract 1. Lucky's Market will now occupy the space.

Project Description:

The development proposal consists of the following:

- Minor façade changes; which includes the vestibule removal and the addition of outdoor seating
- The addition of two cart corrals
- Introduction of new lighting in the rear and front of the building
- Ramp and railing system and the addition of a bike rack.

Site Plan Analysis:

Compliance with The Land Development Regulations (LDR):

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request

Architectural Elevations and Aesthetics

Pursuant to LDR Section 4.6.18(E), **Criteria for Board Action**, the following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- 1) The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal consists of the installation of new parapet wall framing with stucco finish over existing canopy finish, new storefront system auto slider entry doors, roll up overhead door, the removal of 451 SF vestibule replaced with 400 SF outdoor seating. The outdoor seating will be enclosed with a 6 ft. railing system made from aluminum with clear anodized powder coat finish. A ramp, bollards and new flushed concrete are proposed in the front of the store along with a bicycle rack. Two cart corrals are also proposed in the parking lot, which do not involve the removal of existing parking spaces. The rear (south) elevation proposes to remove the man door and replace with an overhead door. A new enclosure that will house the baling system is also proposed in the rear as well as a generator pad. Existing finishes will be cleaned, repaired and stucco to match the new proposed elements. The proposed colors of the building are Brick Dust, Succulent Leaves, Outback, Irresistible and Olive Wood.

The front elevation is introducing lighting under the overhang and two new wall sconces centered between recess accents. Installation of two new rear wall lights and the existing dock canopy lights will remain and be refurbished with new lens and lamps. As a note, prior to certification, the site plan needs to be updated to include the lights under the canopy and the illumination foot candles must be adjusted to reflect the correct foot candles of no greater than 10 and they must be shielded.

The architectural elevation changes will be compatible and harmonious with the surrounding properties and an enhancement to the area. Based upon the above, positive findings can be made to LDR Section 4.6.8(E).

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Alternative Actions:

- A. Continue with direction.
- B. Move approval of the request for Class I Site Plan Modification (2019-070) for **5030 W Atlantic Avenue for Lucky's Market**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 4.6.18(E) of the Land Development Regulations,
- C. Move denial of the request for Class I Site Plan Modification (2019-070), for **5030 W Atlantic Avenue for Lucky's Market** by adopting the findings of fact and law contained in the staff report and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth Section 4.6.18(E) of the Land Development Regulations.

----- Space left intentionally blank (See following appendix)-----



- proposed front elevation -



STUCCO - PAINT
PPG PAINTS
PPG1056-7 "BRICK DUST"



METAL ROOF & TRIM
PPG PAINTS
PPG1131-6 "SUCCULENT LEAVES"



STUCCO - PAINT
PPG PAINTS
PPG1088-5 "OUTBACK"



STUCCO - PAINT
PPG PAINTS
PPG1094-1 "IRRESISTIBLE"



ACCENT DETAILS
PPG PAINTS
PPG1097-7 "OLIVE WOOD"

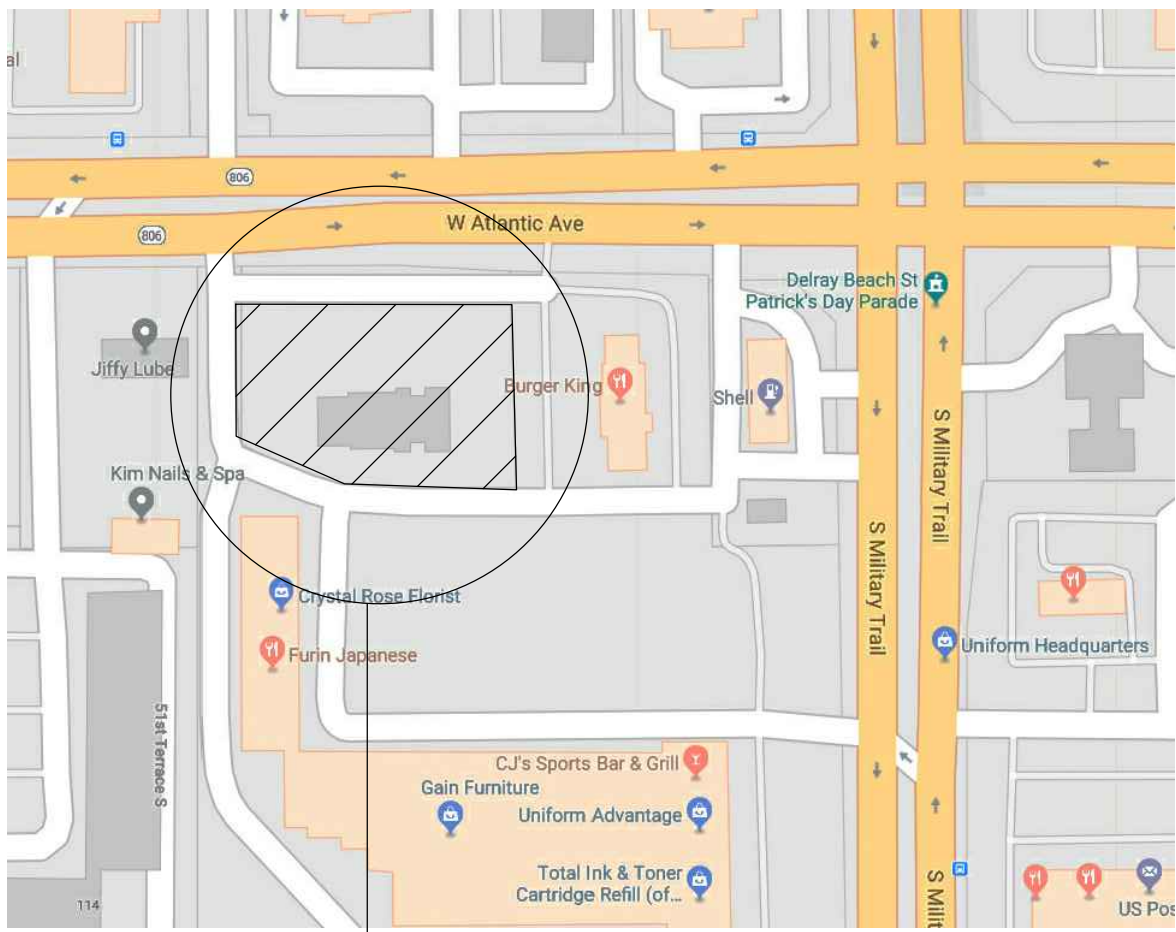
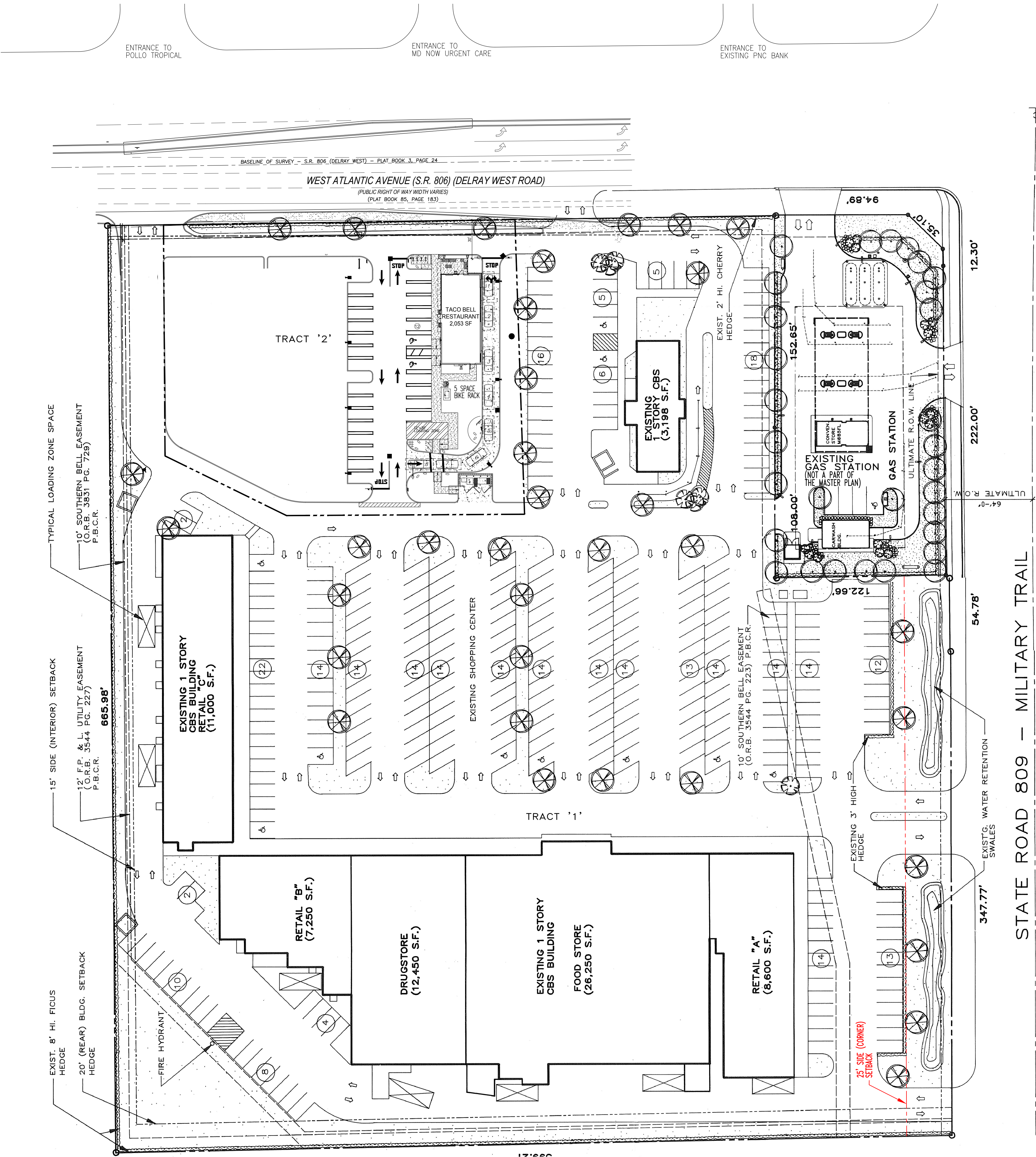
NOTE: BUILDING MATERIALS SHOWN ARE REPRESENTATIONAL ONLY AND DO NOT REFLECT ENVIRONMENTAL VARIABLES.



WDPARTNERS.COM
7007 DISCOVERY BLVD.
DUBLIN, OHIO 43017

LUCKY'S MARKET
5030 W. ATLANTIC AVE. - DELRAY BEACH, FL
copyright wdpartners LKYUF0017 10.22.2018





LOCATION SKETCH
NOT TO SCALE

DELRAY COMMONS OVERALL SITE DATA CHART

	TOTAL	TRACT 1	TRACT 2
TOTAL PARCEL AREA (MASTER DEVELOPMENT PLAN TOTAL AREA)	367,898.00 SF / 8.446 Ac.	316,410.00SF / 7.263 Ac.	51,488 SF / 1.182 Ac.
TOTAL BUILDING AREA (LOT COVERAGE)	72,141.58 SF / 1.656 Ac. (19.61%)	70,088.58 SF (22.15%)	2,053 SF (3.99%)
TOTAL LANDSCAPE (OPEN SPACE)	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
TOTAL PAVED AREA & WALKS	206,260.83SF / 4.735 Ac. (56.06%)	186,947.91 SF (59.08%)	19,312.92 SF (37.51%)
PREVIOUS AREA	89,496.20 SF / 2.055 Ac. (24.33%)	59,374.12 SF (18.76%)	30,122.08 SF (58.50%)
IMPERVIOUS AREA	278,402.50 SF / 6.391Ac. (75.67%)	257,036.58 SF (81.24%)	21,365.92 SF (41.50%)

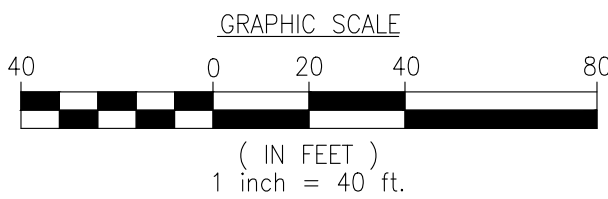
PERIMETER BUFFER

	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	21 FT.	10 FT. (PLUS ACCESS ROAD, NON-COMPLIANT)
EAST SIDE - MILITARY TRAIL	10 FT.	16.47 FT.
SOUTH SIDE - REAR	10 FT.	22.59 FT.
WEST SIDE - SIDE	10 FT.	128.38 FT.

SETBACKS

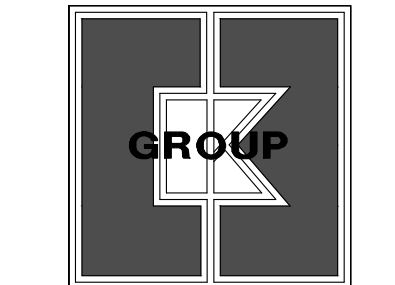
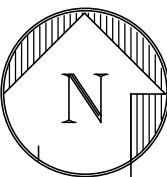
	REQUIRED	PROVIDED
NORTH SIDE - WEST ATLANTIC BLVD.	30 FT.	30.00 FT.
* EAST SIDE - MILITARY TRAIL	25 FT.	112.98 FT.
* SOUTH SIDE - REAR	20 FT.	42.83 FT.
* WEST SIDE - SIDE	15 FT.	37.29 FT.

* NEW DEVELOPMENT IN THESE AREAS WILL ADHERE TO FOUR CORNERS SETBACK REQUIREMENTS.



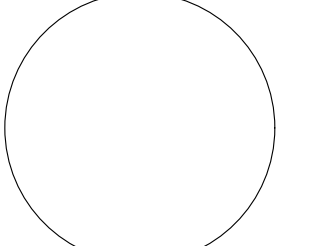
MASTER DEVELOPMENT
PLAN OF DELRAY
COMMONS

1"=40'-0"



CKE GROUP
INCORPORATED
engineering • architecture • planning

15500 NEW BARN ROAD
SUITE 106
MIAMI LAKES, FLORIDA 33014
PHONE: (305) 558-4124
FAX: (305) 826-0619
EB#0004432



SEAL
EDUARDO L. CARCACHE
CIVIL ENGINEER-PE 31914
ANA A. GONZALEZ VALDEZ
ARCHITECT-AR 97769

NO.	DATE	DESCRIPTION
△	03-02-18	
△	07-24-18	(NEW SHEET)
△	09-05-18	
△		
△		
△		
△		
△		

CONTRACT DATE: _____
BUILDING TYPE: CUSTOM
PLAN VERSION: 1
SITE NUMBER: 309797
STORE NUMBER: 420630

TACO BELL

5070 W. Atlantic, Blvd.
Delray Bch., FL



T-40
OPEN KITCHEN
DELRAY BEACH SOL

C-0.2

MASTER DEVELOPMENT PLAN
POST CONSTRUCTION

PLOT DATE: 09-05-2018

REVISIONS

☒ Bid Rev #1 01/25/2019
☒ P&Z Rev #2 03/11/2019

PERMIT ISSUE
DECEMBER 21, 2018
BID ISSUE.
STORE NUMBER
xx

WD PROJECT NUMBER
LKYUF0017

A2.1

EXTERIOR ELEVATIONS

GENERAL NOTES

- A. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SOLID BLOCKING FOR ALL EXTERIOR LIGHTING FIXTURES, AWNINGS, AND SIGNS. BLOCKING TO INCLUDE HORIZONTAL 2x FRAMING BETWEEN STUDS & MIN. 2 S.F. OF 5/8" PLYWOOD SHEATHING AT ALL JUNCTION BOXES. ALL BLOCKING IN EXTERIOR WALLS SHALL BE FRPT LUMBER/PLYWOOD.
- B. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL REQUIRED WALL BLOCKING REQUIRED FOR SIGN ANCHORS & IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRIC TO SIGNS AS REQUIRED.
NO EXTERIOR LUCKY'S IDENTIFICATION SIGNS ARE PART OF THIS PROJECT PLAN SUBMISSION OR APPROVAL. PRIOR TO INSTALLING OR ERECTING A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSION SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL, AND ISSUANCE OF A SIGN PERMIT THE SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL AND INSTALLATION OF ALL SIGNS ON THIS PROJECT.
- C. IF THE INSTALLATION OF THE LUCKY'S SIGNAGE REQUIRES THE PENETRATION OF THE ROOFING MEMBRANE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REPAIR OF THESE PENETRATIONS. ONE PENETRATION PER LETTER FOR ELECTRICAL CONDUIT ONLY. NO MOUNTING PENETRATIONS ALLOWED. MUST NOT VOID WARRANTY.
- D. GC SHALL BE RESPONSIBLE TO CLEAN AND PAINT ALL NEW EXTERIOR FINISHES & MATERIALS AS REQUIRED FOR FINISHED APPEARANCE.
- E. SEE FINISH SCHEDULE FOR EXTERIOR FINISHES AND SPECIFICATIONS.
- F. GC SHALL BE RESPONSIBLE TO INSTALL ALL WEATHER-STRIPPING, SWEEPS AND THRESHOLDS ON ALL EXTERIOR DOORS (INCLUDING AUTOMATIC DOORS.)
- G. SEE DOOR SCHEDULE AND WINDOW SCHEDULE.
- H. FIELD VERIFY ALL DIMENSIONS.

CRITICAL DEMOLITION NOTE:

EXTERIOR FINISH MATERIAL IS ASSUMED TO BE CEMENTITIOUS STUCCO FINISH ON CONCRETE MASONRY WALL; OR AT THE MAIN ENTRY METAL STUD FRAMED WALL WITH EXTERIOR PLYWOOD SHEATHING.

THE BASE BID SHALL BE PATCH AND REPAIR THE EXISTING STUCCO AT ANY/ALL EXISTING DAMAGED AREAS, INCLUDING CRACKS AND ANY UN-SOUND AREAS. CAREFULLY SAWCUT AND REMOVE STUCCO ONLY AS NECESSARY FOR NEW CONSTRUCTION.

IF CONDITIONS ARE NOT AS ASSUMED THE GENERAL CONTRACTOR SHALL NOTIFY THE LUCKY'S CONSTRUCTION MANAGER AND THE DESIGN PROFESSIONAL OF RECORD (ARCHITECT) IMMEDIATELY.

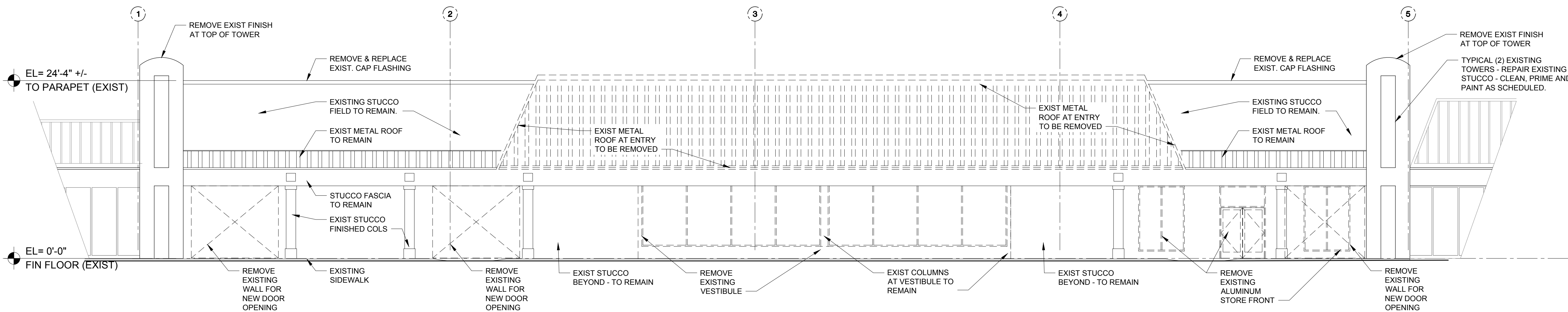
PROVIDE A SEPARATE LINE ITEM FOR THE REMOVAL OF THESE EXTERIOR MATERIALS.

CEMENT STUCCO INSTALLATION:

APPLY BROWN COAT CEMENT PLASTER ON PAPER BACKED WIRE LATH INSTALLED OVER WEATHER BARRIER ON WALL SHEATHING. FINISH COAT TO HAVE INTEGRAL COLOR AND TEXTURE AS SCHEDULED. ALL ACCENT BANDS AND SHAPES TO BE FULL THICKNESS OF STUCCO APPLICATION INSTALLED OVER FOAM BACKING CUT TO SHAPE. CONTRACTOR TO PROVIDE AND INSTALL ALL ZINC COATED METAL SCREDS, GROUNDS, WEEPS, AND CONTROL JOINTS AS REQUIRED PER INDUSTRY STANDARDS. IN ADDITION INSTALL VERTICAL CONTROL JOINTS AT ALL MASONRY CONTROL JOINT LOCATIONS.
AS NOTED IN MATERIAL SCHEDULE AN EIFS SYSTEM IS AN ACCEPTABLE ALTERNATE TO CEMENT PLASTER. IF THE CONTRACTOR CHOOSES TO USE AN EIFS SYSTEM THEY SHALL BE RESPONSIBLE FOR PROVIDING FLORIDA PRODUCT APPROVAL DOCUMENTATION TO THE LOCAL AUTHORITY HAVING JURISDICTION AND RECEIVE LOCAL ACCEPTANCE OF THE PRODUCT PRIOR TO BEGINNING ANY APPLICATION.

KEYED NOTES

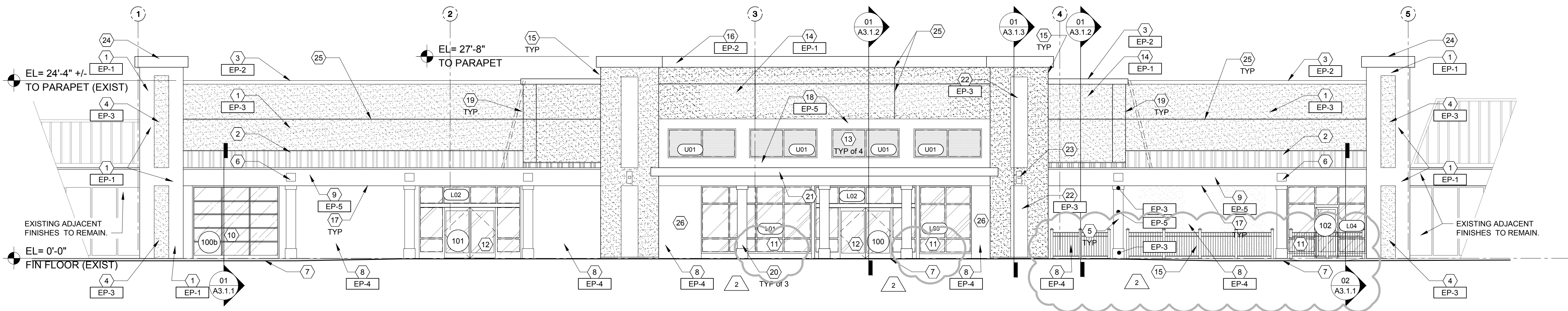
- (1) EXISTING STUCCO FINISH TO REMAIN. CONTRACTOR TO PATCH AND REPAIR ANY DAMAGED AREAS TO MATCH EXISTING TEXTURE. THOROUGHLY CLEAN, PRIME AND PAINT STUCCO AS NOTED.
- (2) EXISTING STANDING SEAM ROOF TO REMAIN. REPAIR ANY FLASHING, TRIM, OR AREAS IN NEED OF REPAIR. THOROUGHLY CLEAN. PRIME AND PAINT (EP-2).
- (3) INSTALL NEW PARAPET CAP FLASHING, COPING, OR FASCIA WITH NEW ROOF SYSTEM. PARAPET CAP TO BE EP-2.
- (4) INSTALL NEW CEMENT BOARD OVER EXISTING TILE FINISHES IN RECESS, AND COVER WITH NEW STUCCO TO MATCH EXISTING. PAINT AS NOTED ON ELEVATION.
- (5) EXISTING COLUMNS TO BE REPAIRED, CLEANED, AND PAINTED AS SHOWN.
- (6) EXISTING ACCENT MEDALLION TO REMAIN AS-IS.
- (7) APPROXIMATE FINISHED GRADE. SEE SITE GRADING PLAN.
- (8) TYPICAL EXISTING STUCCO WALL FINISH (BEYOND) UNDER SOFFIT. PATCH AND REPAIR, CLEAN AND PRIME AND PAINT (EP-4) AS NOTED. INFILL ALL PREVIOUS OPENINGS AS REQUIRED.
- (9) TYPICAL AT EXISTING STUCCO FASCIA - PATCH/REPAIR EXISTING STUCCO AS REQUIRED. CLEAN, PRIME AND PAINT (EP-4) AS SHOWN.
- (10) PROPOSED ROLL-UP OVERHEAD DOOR. REFER TO DIMENSIONED FLOOR PLAN AND DOOR SCHEDULE, SHEET A6.1.
- (11) PROPOSED NEW STOREFRONT FRAMING SYSTEM AT THIS LOCATION WITH 6" HIGH BASE SET IN RECEIVER AND SEAL WEATHER TIGHT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SEE SHEET A6.1.1.
- (12) AUTO SLIDER ENTRY DOORS w/ EMERGENCY BREAK AWAY PANELS. REFER TO DIMENSIONED FLOOR PLAN AND DOOR SCHEDULE, SHEET A6.1.
- (13) PROPOSED NEW VENEER STOREFRONT FRAMING SYSTEM w/ OPAQUE SPANDREL GLAZING AT THIS LOCATION. SEE SHEET A6.1.1.
- (14) CONTRACTOR TO INSTALL NEW PARAPET WALL FRAMING WITH STUCCO FINISH OVER EXISTING CANOPY FRAMING - SEE STRUCTURAL AND WALL SECTIONS FOR ADDITIONAL NOTES.
- (15) WRAP FINISHES COMPLETELY AROUND ALL SIDES OF HIGH WALL AT CHANGE OF PARAPET HEIGHTS.
- (16) INSTALL BRAKE METAL FINISH OVER SHEATHING ON FRAMED PARAPET, SEE SECTION.
- (17) EXISTING SOFFIT (CEILING) TO REMAIN. PAINT UNDER SIDE OF SOFFIT EP-4.
- (18) HARDI-TRIM ACCENT AROUND CLERESTORY WINDOWS. PAINT AS NOTED.
- (19) PROVIDE STUCCO EXPANSION JOINT BETWEEN NEW CONSTRUCTION AND EXISTING STUCCO FINISH.
- (20) INSTALL (3) NEW STUCCO ACCENT COLUMNS TO MATCH EXISTING. PAINT AS SHOWN (TYP.).
- (21) BRAKE METAL WRAP OVER FRAMING. SEE WALL SECTION. METAL COLOR TO BE BLACK.
- (22) RECESSED ACCENT AREAS. SEE WALL SECTION FOR FRAMING DETAIL.
- (23) INSTALL (2) NEW WALL SCONCE LIGHT FIXTURES (LT-2) J-BOX AT 11'-0" AFF. LOCATED CENTERED BETWEEN RECESS ACCENTS. SEE LIGHTING PLAN FOR FIXTURE TYPE.
- (24) REMOVE EXISTING STUCCO OF ARCH TOP DOWN TO SHEATHING AND FRAME NEW PARAPET CAP SIMILAR TO NEW WALL AT ENTRY. WRAP ALL SIDES WITH BRAKE METAL TO MATCH NEW PARAPET WALL (EP-2).
- (25) SAW CUT EXISTING STUCCO AND/OR INSTALL IN NEW- 1" WIDE "V" GROOVE ACCENT IN STUCCO (HORIZ. AND VERTICAL) AS SHOWN.
- (26) INSTALL NEW STUCCO FINISH TO MATCH EXISTING AT ALL AREAS ADJACENT TO NEW ENTRY DOORS AND ADJACENT EXTERIOR FIELDS.
- (27) PROPOSED NEW EXTERIOR RAILING - SEE DETAILS AT LEFT.



NOTE
SEE DEMOLITION PLANS, SHEETS D1.0 AND D1.1 FOR GENERAL DEMOLITION REQUIREMENTS.

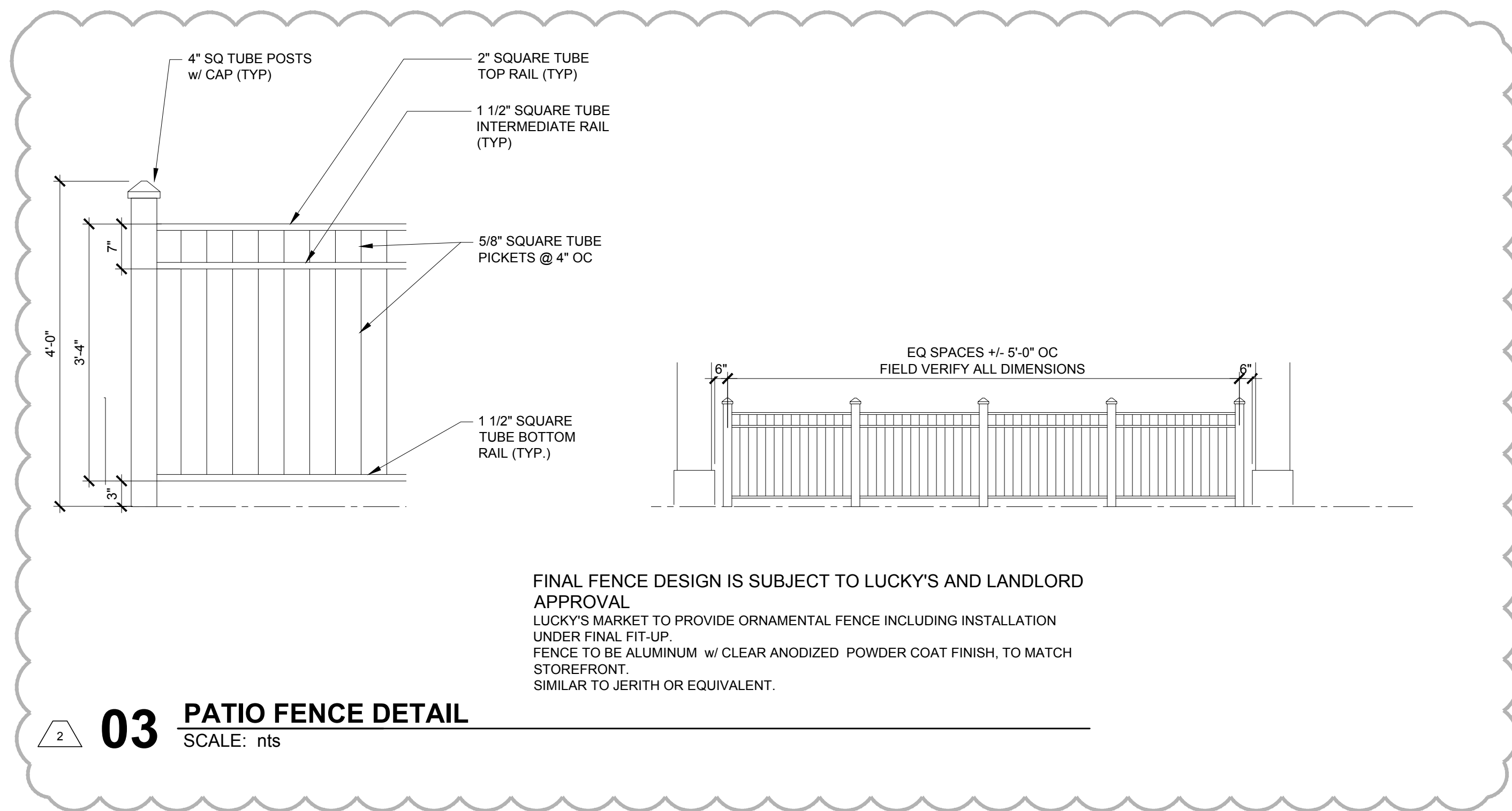
01 FRONT ELEVATION - DEMOLITION (existing conditions)

SCALE: 1/8" = 1'-0"



02 PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



03 PATIO FENCE DETAIL

SCALE: nts

EXTERIOR FINISH MATERIALS

MARK	MATERIAL	MFR	COLOR	NOTES
EP-1	PAINT	PPG	PPG432-7 BRICK DUST	NEW ENTRY STUCCO AS NOTED
EP-2	PAINT	PPG	PPG1131-6 SUCCULENT LEAVES	NEW/EXISTING TRIM FINISHES
EP-3	PAINT	PPG	PPG1088-5 OUTBACK	EXISTING STUCCO FIELD AS NOTED
EP-4	PAINT	PPG	PPG1094-1 "IRRESISTIBLE"	EXISTING STUCCO
EP-5	PAINT	PPG	PPG1097-7 "OLIVE WOOD"	EXISTING FASCIA AND COLUMNS
ST-1	CEMENT STUCCO	PER SPECIFICATIONS	STUCCO TO BE PRE-COLORED OR PAINTED TO MATCH PAINT EP-1	EIFS SYSTEM BY DRYVIT IS AN ACCEPTABLE ALTERNATIVE TO PORTLAND CEMENT STUCCO SPECIFIED. GC SHALL PROVIDE SUBMITTAL FOR REVIEW & APPROVAL PRIOR TO INSTALLATION



- A. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SOLID BLOCKING FOR ALL EXTERIOR LIGHTING FIXTURES, AWNINGS, AND SIGNS. BLOCKING TO INCLUDE 2x4 OR 2x6 TRIMMED TO FINISH. BLOCKING SHALL BE INSTALLED WITH AN SHEATHING AT ALL JUNCTION BOXES. ALL BLOCKING IN EXTERIOR WALLS SHALL BE FR LUMBER/PLYWOOD.
- B. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL REQUIRED WALL BLOCKING AND SIGNAWALLS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRIC TO SIGNS AS REQUIRED.
NO EXTERIOR LUCKY'S IDENTIFICATION SIGNS ARE PART OF THIS PROJECT PLAN. SIGNAGE FOR IDENTIFICATION OF THE PROJECT OR ANY OTHER IDENTIFICATION SIGN, AN APPLICATION AND APPROPRIATE SUBMISSION SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL, AND ISSUANCE OF A SIGN PERMIT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL AND INSTALLATION OF ALL SIGNS ON THIS PROJECT.
- C. IF THE INSTALLATION OF THE LUCKY'S SIGNAGE REQUIRES THE PENETRATION OF THE ROOFING MEMBRANE, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE ROOFING MEMBRANE AND PROVIDING ALL PENETRATIONS PER LETTER FOR ELECTRICAL CONDUIT ONLY. NO MOUNTING PENETRATIONS ALLOWED. MUST NOT VOID WARRANTY.
- D. THE GENERAL CONTRACTOR SHALL REMOVE AND PAINT ALL NEW EXTERIOR FINISHES & MATERIALS AS REQUIRED FOR FINISHED APPEARANCE.
- E. SEE FINISH SCHEDULE FOR EXTERIOR FINISHES AND SPECIFICATIONS.
- F. GC SHALL BE RESPONSIBLE TO INSTALL ALL WEATHER-STRIPPING, SWEEPS AND THRESHOLDS ON ALL EXTERIOR DOORS (INCLUDING AUTOMATIC DOORS).
- G. SEE DOOR SCHEDULE AND WINDOW SCHEDULE.
- H. FIELD VERIFY ALL DIMENSIONS.

APPLY BROWN COAT CEMENT PLASTER ON PAPER BACKED WIRE LATH INSTALLED OVER WEATHER BARRIER ON WALL SHEATHING. FINISH COAT TO HAVE INTEGRAL COLOR AND TEXTURE AS SCHEDULED. ALL ACCENT BANDS AND SHAPES TO BE THE FULL THICKNESS OF THE COAT. COAT TO BE CUT TO THE FINISHED SURFACE. CUT SHAPE. CONTRACTOR TO PROVIDE AND INSTALL ALL ZINC COATED METAL SCREENS, GROUNDS, WIRE, AND CONTROL JOINTS AS REQUIRED PER INDUSTRY STANDARDS. IN ADDITION INSTALL VERTICAL CONTROL JOINTS AT ALL MASONRY CONTROL JOINT LOCATIONS.

AS NOTED IN MATERIAL SCHEDULE AN EFIS SYSTEM IS AN ACCEPTABLE ALTERNATE TO CEMENT PLASTER. IF THE CONTRACTOR CHOOSES TO USE AN EFIS SYSTEM THEY SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY INFORMATION AND SUBMITTALS TO THE LOCAL AUTHORITY HAVING JURISDICTION AND RECEIVE LOCAL CREDIT FOR THE PRODUCE PRIOR TO BEGINNING ANY APPLICATION.

- 1 TYPICAL - EXISTING MASONRY WALL TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE
NO NEW PAINT ON REASOR MASONRY IS REQUIRED.
- 2 TYPICAL EXISTING METAL PARAPET CAP FLASHING TO REMAIN. REPLACE ANY/ALL DAMAGED
CAP FLASHING WITH MATCHING MATERIAL AND PAINT TO MATCH EXISTING.
- 3 REMOVE EXISTING MAIN DOOR. SAW CUT MASONRY FOR INSTALLATION OF PROPOSED NEW
OVERHEAD DOOR W/ STEEL CHANNEL FRAME. SEE DOOR SCHEDULE SHEET **A6.1**
- 4 EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. G.C. TO REFURBISH AND/OR REPAIR AS
NEEDED TO "LIKE-NEW" CONDITION.
- 5 EXISTING DOOR TO REMAIN. G.C. TO REFURBISH AND/OR REPAIR AS NEEDED TO "LIKE-NEW"
CONDITION. FIELD VERIFY WITH LUCKY'S MARKET CONSTRUCTION MANAGER CONDITION OF
EXISTING DOOR AND EXTENT OF WORK.
- 6 APPROXIMATE FINISHED GRADE.
- 7 EXISTING PAIR OF DOORS TO REMAIN. FIELD VERIFY AND TACK WELD SHUT. PROVIDE
ADDITIONAL WEATHER STRIPPING, FLASHING, OR SEALS AS REQUIRED TO MAKE DOOR
WEATHER TIGHT.
- 8 EXISTING DOOR LIFT AND PIPE BOLLARDS TO REMAIN. G.C. TO REFURBISH AND/OR REPAIR AS
AS NEEDED TO "LIKE-NEW" WORKING CONDITION. COORDINATE ON-SITE WITH LUCKY'S
MARKET CONSTRUCTION MANAGER.
- 9 INSTALL NEW AREA LIGHTING ON REAR WALL AT 16'-0" AFF. SEE LIGHTING PLAN FOR
ADDITIONAL INFORMATION.
- 10 EXISTING DOOR CANOPIES TO REMAIN. REPAIR, CLEAN, PRIME AND PAINT ANY DAMAGED
AREAS VERIFY EXTANT OF WORK WITH LUCKY'S MARKET CONSTRUCTION MANAGER.
- 11 ALL EXISTING UTILITIES TO REMAIN AT REAR OF BUILDING UNLESS SPECIFICALLY NOTED
OTHERWISE ON MEP PLANS.
- 12 APPROXIMATE SIZE AND LOCATION OF PROPOSED PALE STORAGE FENCING. FIELD
COORDINATE WITH LUCKY'S MARKET CONSTRUCTION MANAGER ON EXISTING CONDITIONS. SEE TYPICAL
DETAILS SHEET **A4.2**
- 13 SAW CUT MASONRY AND INSTALL NEW TRASH COMPACTOR DOOR. SEE DOOR SCHEDULE
SHEET **A6.1.1**
- 14 EXISTING DOOR CANOPY LIGHTS TO REMAIN, REFURBISH WITH NEW LENS AND LAMPS TO
MAKE "LIKE-NEW".
- 15 INSTALL 6'-0" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS TOP AT 4'-0" A.F.G. AS SHOWN ON
FLOOR PLAN.
- 16 INSTALL NEW EGRESS LIGHT FIXTURES, 3 BOX AT 8'-0" AFF.

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LUCKY'S MARKET
DELRAY COMMONS
5030 W. ATLANTIC AVENUE
DELRAY BEACH, FL

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REVISIONS

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EXTERIOR ELEVATIONS