



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 405 South

Project Location: 405 SE 6th Avenue

Request: Class V Site Plan, Architectural Elevations, and Landscape Plans

Board: Site Plan Review and Appearance Board

Meeting Date: April 10, 2019

Board Action:

Approved with a 6-0 vote on each of the following requests: Class V Site Plan, Architectural Elevations and Landscape Plans. (Annie Adkins-Roof absent)

Project Description:

The subject property is located on the east side of SE 6th Avenue at the south east corner of the intersection of SE 6th Avenue and SE 4th Street. The property is made up of 3 parcels. The parcels are joined under a Unity of Title as recorded in ORB 30091, PG 1865, of the records of Palm Beach County. The site is approximately 0.27 acres. The parcel is located within the General Commercial (GC) Zoning District and has a Future Land Use Map designation (FLUM) of General Commercial (GC).

The applicant proposes to construct a mixed use building that contains three residential units and three office units. Pursuant to LDR Section 4.4.9(B)(5) dwelling units can be in the same structure as a commercial use. Both residential and office units will be for lease. The office units occupy the ground floor on the south side of the building. The residential units are three-story with a one-car garage occupying the ground floor on the north side of the building and two additional stories above the garages and office units.

The use is consistent with the Future Land Use designation and uses permitted within the GC zoning district. As shown in the attached staff report, the GC zoning provides regulations for dwelling units in the same structure as a commercial use. The proposed development is consistent with the existing development within the surrounding area. Additionally, the development is consistent with the policies of the Comprehensive Plan and can be found consistent with Chapter 3 of the Land Development Regulations.

Board Comments:

Board comments supportive of the requests.

Public Comments:

One member of the public spoke in support of the project but had construction traffic concerns and followed up with a letter. The letter has been included in the attachments. Follow up email from Staff has been attached.

Appealable Item Report

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: April 10, 2019

File No.: 2018-158-SPM-
SPR-CL 5

Application Type: Class V Site Plan, Landscape Plan,
Architectural Elevations– 405 South

General Data:

Agent/Applicant: Stephen Albanese

Owner: Stephen Albanese

Location: 405 SE 6th Ave

PCN: 12434621010010092

Property Size: 0.27 Acres

FLUM: General Commercial (GC)

Zoning: General Commercial (GC)

Adjacent Zoning:

- North: Central Business District (CBD) Central Core Sub-district (CC)
- South: GC
- East: GC (Single Family Residence)
- West: GC

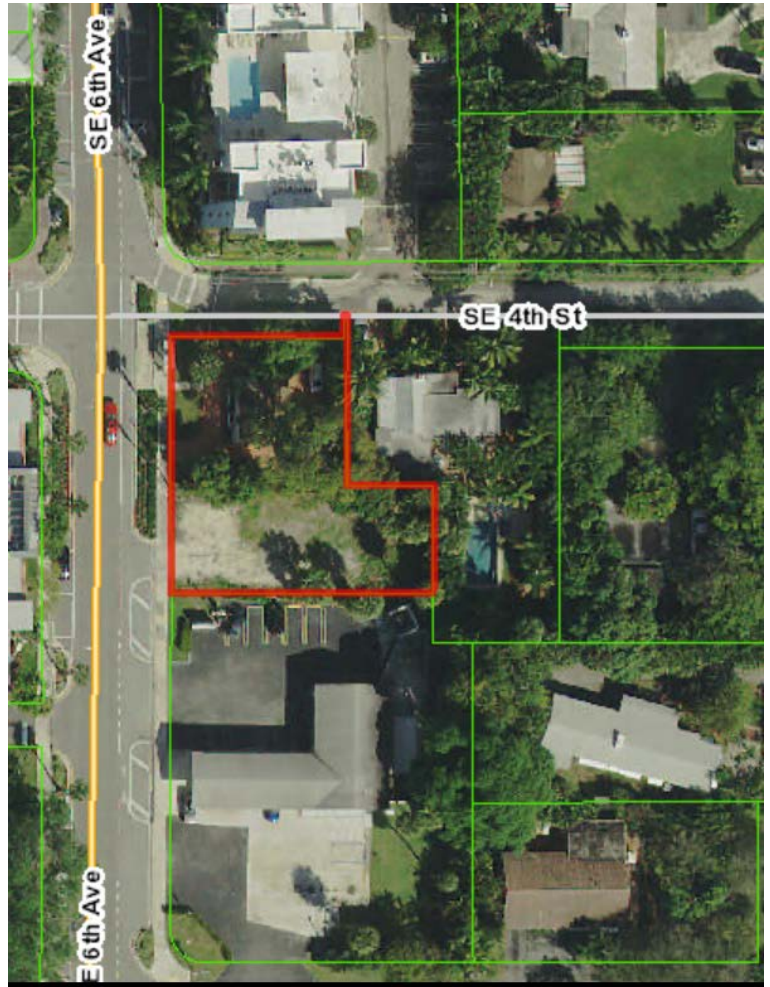
Existing Land Use: Vacant Land

Proposed Land Use: Mixed-use building consisting of 3 residential units and 3 office units.

Item before the Board:

The action before the Board is the consideration of a Class V Site Plan application for the **405 South** located at **405 SE 6th Avenue** pursuant to LDR Section 2.4.5 (F), including the following:

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations



Staff Recommendations

By separate motions:

Site Plan:

Move approval of the Class V Site Plan (2018-158) for **405 South** located at **405 SE 6th Avenue**, by adopting the findings of fact and law contained in the staff report and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Section 2.4.5(F)(5) and Chapter 3 of the Land Development Regulations.

**Note: If the site plan is denied, no further action shall be taken on the landscape plan or architectural elevations due to potential inconsistencies.*

Landscape Plan:

Move approval of the Landscape Plan for **405 South** located at **405 SE 6th Avenue**, by adopting the findings of fact and law

Project Planner:

Christine Stivers, Senior Planner;
stiversc@mydelraybeach.com,
561-330-6056

Review Dates:

Attachments:

1. Site Plans
2. Elevations
3. Landscape Plan



contained in the staff report and finding that the request and approval thereof is consistent with the Comprehensive Plan and meets criteria set forth in LDR Sections 2.4.5(H) and 4.6.16.

Architectural Elevations:

Move approval of the Architectural Elevations for **405 South located at 405 SE 6th Avenue**, by adopting the findings of fact and law contained in the staff report and finding that the request meets criteria set forth in LDR Sections 2.4.5(l)(5) and 4.6.18(E).

Notes:

1. Prior to Site Plan Certification, the note stating Townhouses are fee simple shall be removed from SP-1 (Site Plan) and replaced with a note stating all units will be leased.
2. Prior to issuance of building permit, a Landscape Maintenance Agreement for street trees shall be recorded.

Background:

The subject property is located on the east side of SE 6th Avenue at the south east corner of the intersection of SE 6th Avenue and SE 4th Street, both one-way streets. The property is made up of 3 parcels all consisting of portions of Lot 9, Block 1, Osceola Park, as recorded in Plat Book 3, Page 2, of the Public Records of Palm Beach County. The parcels are joined under a Unity of Title as recorded in ORB 30091, PG 1865, of the records of Palm Beach County. The site is approximately 0.27 acres and has been vacant since 2016.

Prior to demolition, there were two single story residential dwellings on individual parcels that constitute the site. The residences were built in the 1950's with the following addresses; 602 SE 4th Street and 405 SE 6th Avenue. Around 1986, the residence at 405 SE 6th Avenue was converted to commercial office use. The Zoning Map at the time of residential construction may have shown the parcels as a residential zoning district, however, the parcels were zoned as Commercial-2 on the 1970 Zoning Map. The parcels continued to be zoned as some form of Commercial Zoning in subsequent Zoning Maps until the time when the parcels were rezoned to General Commercial (GC) with the Citywide rezoning associated with the approval of the Land Development Regulations in 1990. The property has a Future Land Use Map (FLUM) designation of General Commercial (GC).

Around 1960, the Florida Department of Transportation (FDOT) undertook a Right-of-Way (ROW) taking at the southeast corner of SE 6th Avenue and SE 4th Street. In June of 2018, a Quit Claim Deed from FDOT to the Owner of the subject parcel was recorded reverting a portion of the initial ROW taking for SE 4th Street to the Owner. Currently, a 35-foot ROW has been established on SE 4th Street along the subject parcel. In 2016, the adjoining property owner to the east of the subject parcel requested to purchase a 15-foot wide portion of SE 4th Street ROW the length of their property. Resolution 25-16 was approved to permit the sale with the conditions that an access easement (ORB 28547/PG 1408) and hold harmless agreement (ORB 28547/PG1412) were granted to the City for utility maintenance and access. Therefore, the ROW width of SE 4th Street along the adjoiner's property is 25-feet wide.

Project Description:

The applicant has submitted a Class V Site Development plan to construct a mixed use building that contains three residential units and three office units. Pursuant to LDR Section 4.4.9(B)(5) dwelling units can be in the same structure as a commercial use. Both residential and office units will be for lease. The office units occupy the ground floor on the south side of the building. The residential units are three-story with a one-car garage occupying the ground floor on the north side of the building and two additional stories above the garages and office units. There are 2 two-bedroom residential units and 1 one-bedroom residential unit. Square footage under air for the residential units and the offices are as follows:

- Unit A: Two bedroom: 2,631 sf
- Unit B: One bedroom: 2,013 sf
- Unit C: Two bedroom: 2,210 sf
- Office 1: 809 sf
- Office 2: 591 sf
- Office 3: 646 sf

Three one-car garages, driveways, and nine spaces on the south side of the building provide the 16 required parking spaces. A bike rack has been included to address Transportation Element - Policy D-2.2 in which bicycle parking and facilities shall be required on all new development and redevelopment. Solid waste for the residential units will be housed in the garages, Solid waste totes will be utilized for the office units.

**Site Plan Analysis:**

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

The subject property is within the GC Zoning District. The following table illustrates the required standards for the GC zoning district for this parcel.

	Required	Provided
GC Zoning District, Development Standards(4.3.4.K)		
Lot Size	0-ft	11,871 sf
Lot Depth	0-ft	122.64-ft
Lot Width(SE 6 th Ave)	0-ft	119.45-ft
Lot Frontage (SE 6 th Ave)	0-ft	119.45-ft
Max Lot Coverage	75%	27.20%
Min Open Space	25%	26.75%
Floor Area (Minimum square feet)		
• Office	No minimum per office space (see below for minimum total commercial use required)	591-809 sf
• Two Bedroom Residential (4.3.4(K)(1))	900 sf	2,210-2,631 sf
• One Bedroom Residential (4.3.4(K)(1))	600 sf	2,013 sf
Front Setback (SE 6 th Ave)	10-ft	10-ft
Rear Setback (Eastern Property Lines)	10-ft	10-ft 9-in
Side Street (SE 4 th Street)	10-ft	10-ft
Side Interior (northern prop line, south of adjoining single family residence)	10-ft	10-ft
Side Interior (Southern prop line, north of Chevron gas station)	10-ft	51-ft
Maximum Height	48-ft	41-ft
Special Landscape Setback- (4.3.4(H)(6)(b)(2))	10-ft (SE 6 th Ave/S. Federal Highway)	10-ft

Dwelling Units in same structure as Commercial:

LDR Section 4.4.9 (B)(5) provides parameters for the mixed use of residential and commercial uses in the same structure:

Standard	Required	Provided
Commercial Use Location	Must be located on Ground Floor	Located on Ground Floor
Minimum Square Footage of Commercial Use: 25% or greater of total structure(minus vehicular use)	≥25% of 6854 sf: 1712 sf	2046 sf
Residential Use Location	Not permitted on Ground Floor	Second and third floor(Garage on ground floor/no residential habitable area permitted on Ground Floor)
Density not to exceed 12 DU/AC	11,871 sf/43,560 sf/AC =0.27AC x 12 DU/AC = 3.27 DU	3.0 DU
Residential and commercial use access location	Use access must be separated	Residential access provided on north side of structure, Commercial access provided on south side of structure

Section 4.6.4(2), Special District Boundary Treatment:

Section 4.6.4(2), Special District Boundary Treatment, requires where the rear or side of commercially zoned property directly abuts residentially zoned property without any division or separation between them, such as a street, alley, railroad, waterway, park, or other public open space, the commercially zoned property shall provide a ten-foot building setback from the property line located adjacent to the residentially zoned property. In addition, either a solid finished masonry wall six feet in height, or a continuous hedge



at least four and one-half feet in height at the time of installation, shall be located inside and adjacent to the portion of the boundary line of the commercially zoned property which directly abuts the residentially zoned property. If a wall is used, it shall have only those openings as required by other city codes to meet hurricane or severe storm construction standards. No walkways or other pedestrian ways shall be located through the wall or hedge. The adjoining property to the east is zoned GC, but the Use is single family residential, therefore, the Applicant has provided a continuous hedge a minimum of 54" in height along the adjoining property line of the residential use. A 5 foot fence is proposed for additional screening and privacy. A positive finding can be made.

Lighting:

Regarding the commercial aspect of the site, 22 foot high pole mounted lighting within the parking lot is proposed. Maximum permitted height is 25-ft. Proposed foot candle values are within the permitted minimum and maximum ranges, which comply with the requirements of LDR Section 4.6.8(B)(3), Illumination Standards. Although the values are near the minimum illumination values, the residential use on the upper floors of the structure must be considered. The Crime Prevention through Environmental Design (CPTED) notes that LED lighting is used and is the highest recommended light source and provides the best visibility with the least distortion. A positive finding can be made.

Minimum Parking Requirements:

Per LDR Section 4.6.9(C)(8), when a building on a unified site contains a mix of uses, the minimum total number of required parking spaces are determined by utilizing the shared parking table. Two bedroom dwelling units require 2.0 spaces per unit (4 spaces). One bedroom dwelling unit requires 1.5 spaces per unit (2 spaces). The residential units will utilize one-car garages, driveways and one guest space on the northern side of the structure accounting for 7 spaces. The offices will not be sharing the 7 designated spaces, therefore those spaces are categorized as reserve or "other" per the LDR requirements (having a 100% usage value). Guest spaces are 0.5 spaces per dwelling unit, therefore, 1.5 spaces will be added into the residential category (not having a full 100% usage value). Business and professional offices require 4 sp/1000 sf net floor area or 8.18 spaces for entry under the office category (multiple percentage usage values). Once all required values were entered into the shared parking table, it was determined that 16 spaces are needed to serve the development. The applicant has provided 16 spaces, 3 of which are compact and one handicap accessible space. The 9 spaces located at the south side of the building will be utilized for office and guest parking.

Refuse Enclosure:

Per LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public rights-of-way. As stated previously, the residential solid waste will be housed within the garages of the residential units. Solid WasteTotes shall be utilized for the office/commercial units. The refuse area is located on the eastern wall of the structure, enclosed on 3 sides. The area is further screened from the adjoining parcel with the 54" continuous hedge and 5-foot high fence.

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. A tree disposition plan was included with the landscape plans. Removal, relocation and mitigation has been determined for the existing trees. Mitigation was found to be in compliance. Street trees located within the right-of-way are proposed along SE 4th Street. A Landscape Maintenance Agreement for the street trees has been prepared and will be recorded prior to issuance of building permit. Air conditioning units are screened from the public right-of-way by a 42" high podocarpus hedge.

Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the



Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The elevations are in good taste and good design and will not materially depreciate the surrounding environment. The contemporary design integrates well with the development to the north of SE 4th Street contributing to the image of beauty and harmony. The development to the north consists of four stories and the proposed structure consists of three stories. The three-story structure with the commercial use on the ground floor will aid in bringing the street façade into a more human scale as the commercial development to the south of the subject parcel is only one story.

The materials chosen; sand-rubbed white stucco finish, gray linear tile finish, recessed building façade areas and linear banding will not cause the nature of the local environment to materially depreciate in appearance and value. The proposed structure and project provide for the transition from residential located to the north and commercial located to the south by providing residential units on the north and commercial office space to the south, therefore, is in harmony with the developments in the general area. Therefore, positive findings can be made with regard to the criteria listed in LDR Section 4.6.18(E).

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned General Commercial (GC). The GC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Pursuant to LDR Section 4.4.9(B)(5), dwelling units can be in the same structure as a commercial use in the GC zoning district when certain standards are met. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, streets and traffic, parks and recreation, open space and solid waste.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

As described in Appendix B, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described in under Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject parcel:



Adjacent Zoning		Adjacent Land Use
North	Central Business District (CBD)	Residential Condominiums (Meridian Condo Delray)
South	General Commercial (GC)	Chevron Gas Station
East	General Commercial (GC)	Single Family Residential
West	General Commercial (GC)	Medical Office Building

The subject parcel is located along a FDOT thoroughfare right-of-way between CBD zoning to the north and GC zoning to the south, east and west. The subject parcel abuts a residential property to the east. The applicant has provided the buffer as required by Section 4.6.4(2), Special District Boundary Treatment along the eastern property line to aid in mitigation of any negative impacts to the residential property. The proposed mixed uses of residential and office are compatible and harmonious with adjacent and nearby properties. Therefore, a positive finding can be made for Section 2.4.5(F) (5), that the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Comprehensive Plan Policies: A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The property was previously developed as single family residences. The zoning has been Commercial in nature since at 1970. Given the development of the SE 6th Avenue corridor which includes a mix of multi-family residential as well as commercial uses, the proposed mixed-use building is consistent with and complementary to the adjacent land use needs. There are not special physical or environmental characteristics of the land that would be negatively impacted by the development.

Transportation Element - Policy A-6.2: The approval of a modification to an existing site development plan and/or conditional use shall be conditioned upon the upgrading of its points of access to meet adopted standards.

Pursuant to LDR Section 6.1.4(C)(1-2), the minimum width of a two way driveway is 24 feet. Where there are no points of conflict in the immediate vicinity of the driveway and internal circulation, the width may be approved at 20. This plan has a driveway width of 22-feet and a stacking distance of 18-feet which provides enough distance for a vehicle to be stopped in the drive area and not encroach onto the public sidewalk. The access is consistent with the Transportation Element of the Comprehensive Plan and associated policies.

Transportation Element - Policy D-2.2: Bicycle parking and facilities shall be required on all new development and redevelopment.

As mentioned in the project description, the site plan includes the installation of a bicycle rack. The provision of a bicycle rack is consistent with the Transportation Element of the Comprehensive Plan and associated policies.

Review by Others:
The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA).

Courtesy Notice:
Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- Barton Apartments
Ms. Carolyn Farnham
904 SE 5th Ave.



Delray Beach, FL 33483

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

Assessment and Conclusion:

The proposed development is consistent with the existing development within the area of the subject parcel. Additionally, the development is consistent with the policies of the Comprehensive Plan and can be found consistent with Chapter 3 of the Land Development Regulations. Also, a positive finding can be made with respect to LDR Section 2.4.5(F)(5), Findings, regarding compatibility of the propose development with the surrounding properties.

Alternative Actions:

- A. Continue with direction.
- B. Move approval of the Class V Site Plan (2018-158), Landscape Plan, and Architectural Elevations for **405 South located at 405 SE 6th Avenue**, as amended, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 2.4.5(H)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E) and Chapter 3, Performance Standards, of the Land Development regulations.
- C. Move denial of the Class V Site Plan (2018-158), Landscape Plan, and Architectural Elevations for **405 South located at 405 SE 6th Avenue**, by adopting the findings of fact and law contained in the staff report, and finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in 2.4.5(F)(5), 2.4.5(H)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E), and Chapter 3, Performance Standards, of the Land Development regulations.

Staff Report Prepared by: *Christine Stivers, Senior Planner*



APPENDIX "A"-CONCURRENCY FINDINGS:

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: •

- Water service will be provided by an existing 12" line located within SE 4th Street.
- Sewer service will be provided by an existing 8" line located within SE 4th Street.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic: A Traffic Statement has been submitted that indicates that the office and 3 dwelling units will generate 49 new daily trips and 7 new AM Peak Hour trips and 5 new PM Peak Hour trips. The proposed development is within the Coastal Residential Exception Area (CREA), therefore meets the Traffic Performance Standards of Palm Beach County.

Parks and Recreation Facilities: The proposed units will not have a significant impact with level of service standards for parks and recreation facilities. However, per LDR Section 5.3.2, whenever a development is proposed upon land which is not designated for park purposes in the Comprehensive Plan, an impact fee assessed for the purpose of providing park and recreational facilities shall be imposed. The amount of the fee shall be \$500.00 per dwelling unit, therefore a fee of \$1,500 will be collected prior to building permit issuance.

Solid Waste: Solid waste generated each year by this development will be approximately 0.8 tons per residential unit (3 units) for a total of 2.4 tons per year. Solid waste generated by the 2,046 sf of office will be 5.4 pounds per square foot, therefore, 5.52 tons per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

Drainage: Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.

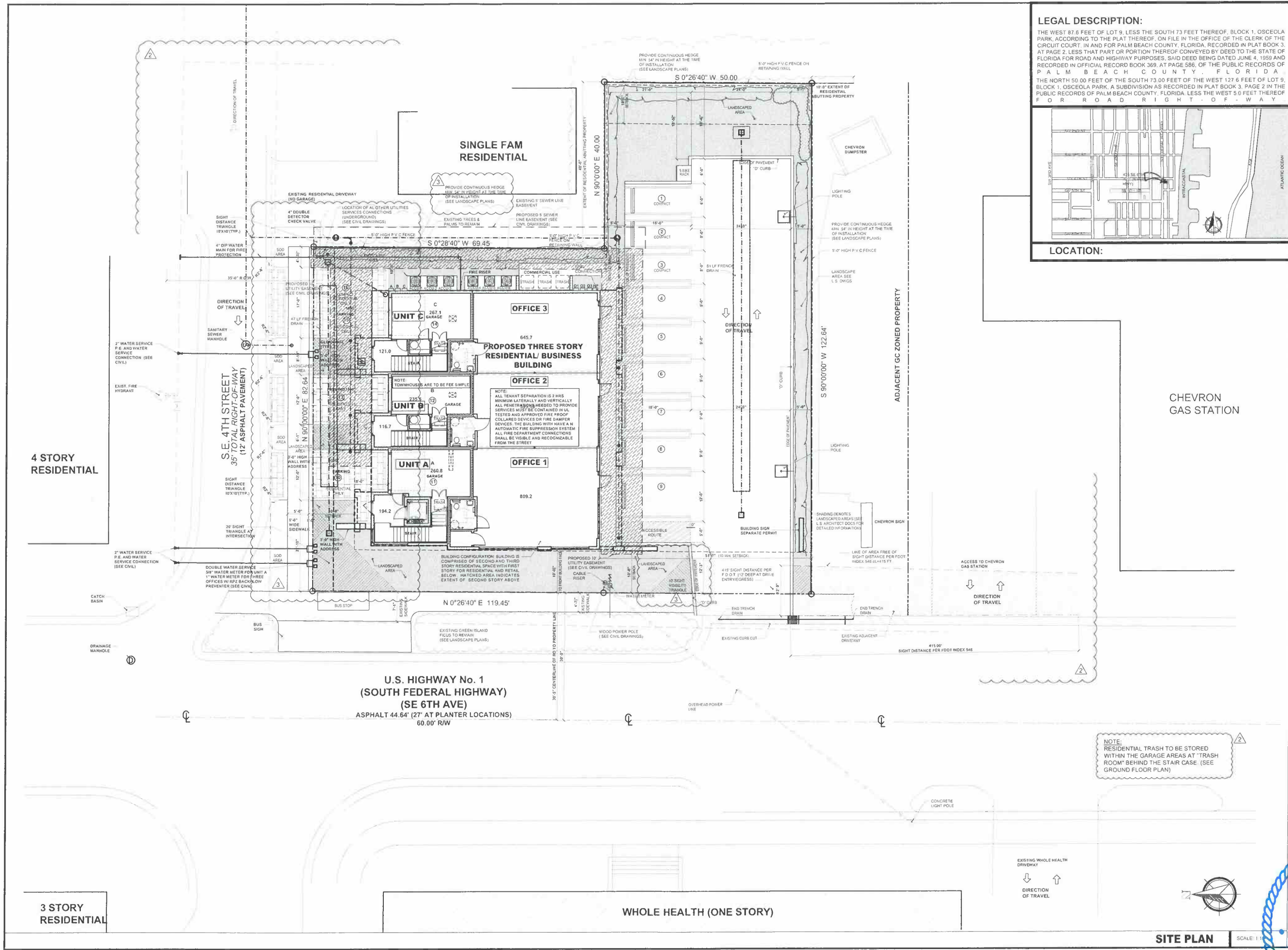


APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

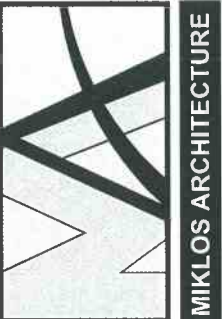
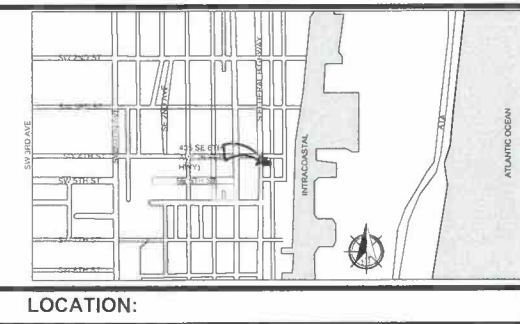
- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent



- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent



LEGAL DESCRIPTION:
THE WEST 87.6 FEET OF LOT 9, LESS THE SOUTH 73 FEET THEREOF, BLOCK 1, OSCEOLA PARK, ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 3, AT PAGE 2, LESS THAT PART OR PORTION THEREOF CONVEYED BY DEED TO THE STATE OF FLORIDA FOR ROAD AND HIGHWAY PURPOSES, SAID DEED BEING DATED JUNE 4, 1959 AND RECORDED IN OFFICIAL RECORD BOOK 369, AT PAGE 586, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
THE NORTH 50.00 FEET OF THE SOUTH 73.00 FEET OF THE WEST 127.6 FEET OF LOT 9, BLOCK 1, OSCEOLA PARK, A SUBDIVISION AS RECORDED IN PLAT BOOK 3, PAGE 2 IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THE WEST 5.0 FEET THEREOF FOR ROAD RIGHT-OF-WAY.



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PROJECT
PROPOSED NEW MIXED USE BUILDING
405 SOUTH
405 S.E. 6TH ST DELRAY BEACH FLORIDA
MIKLOS ARCHITECTURE
ARCHITECTS/PLANNERS
2263 N.W. BOCA RATON BLVD., SUITE 112, BOCA RATON, FL 33431
PH. (561) 392-6762 E-MAIL: MAIL@MIKLOSARCHITECTURE.COM
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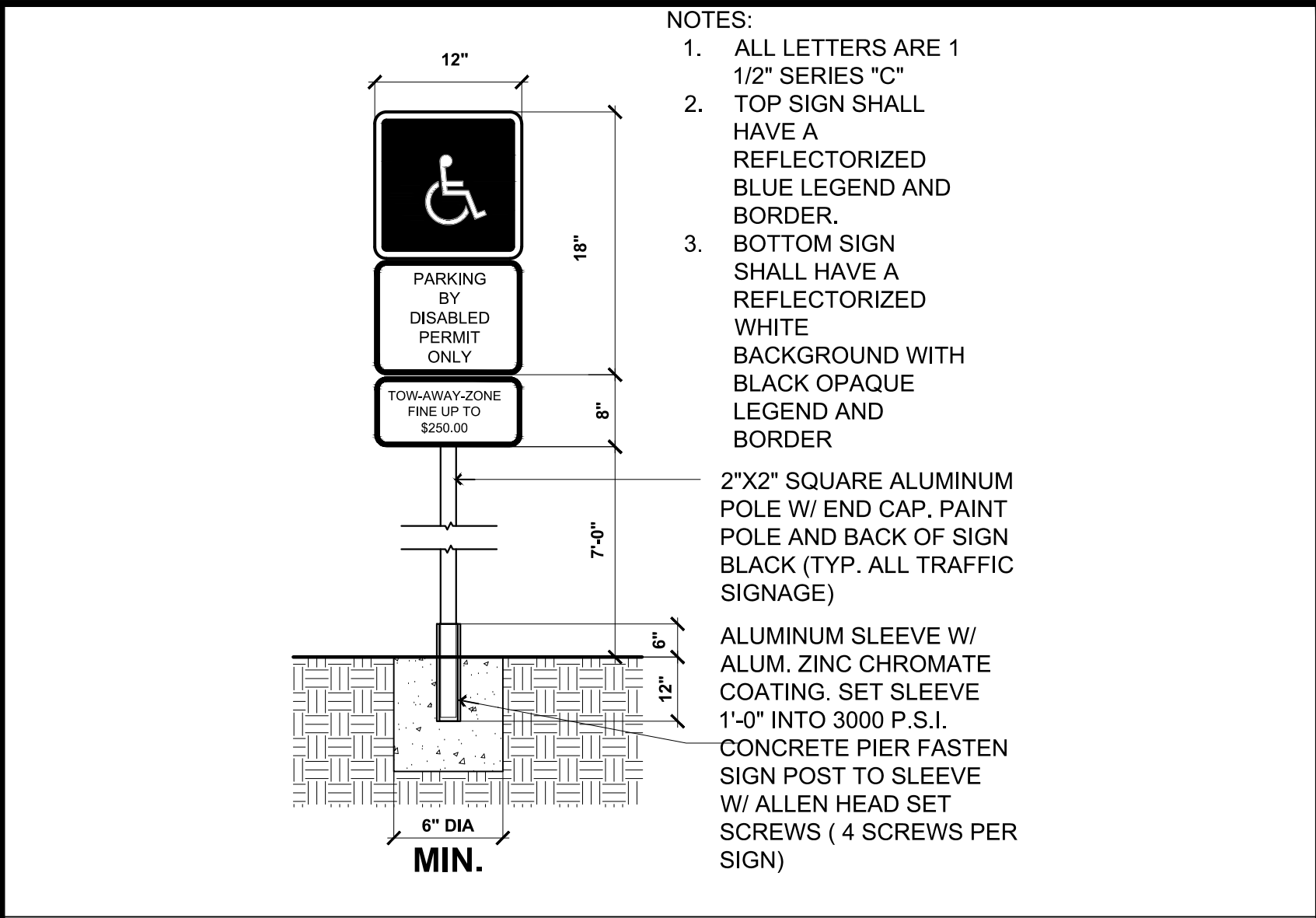
JOB	14916
DATE	SEPT 2018
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CHKD	QM

REVISIONS
2.8.2019 BLDG. DEPT. COMMENTS
3.15.2019 BLDG. DEPT. COMMENTS

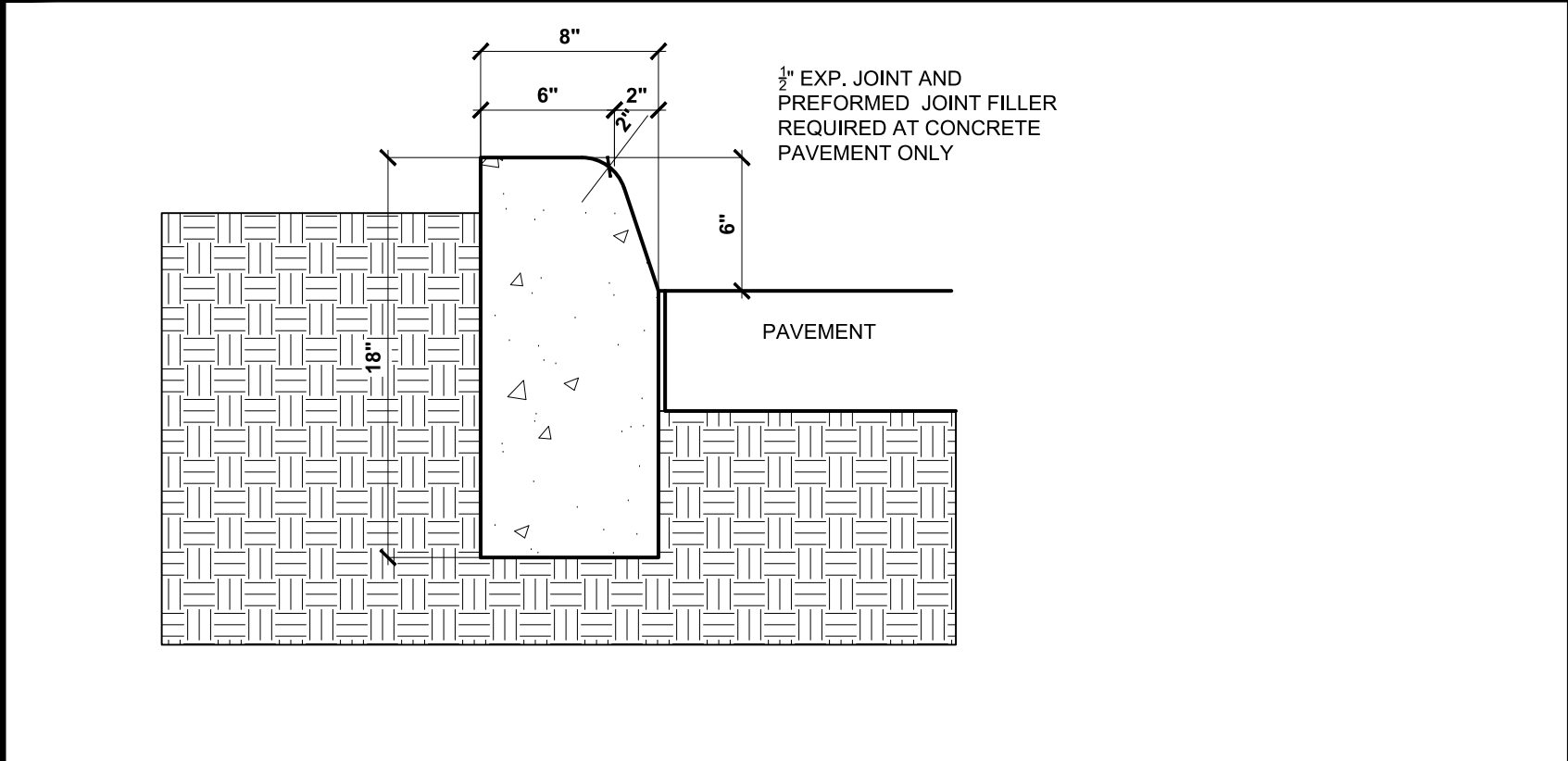
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SP-1
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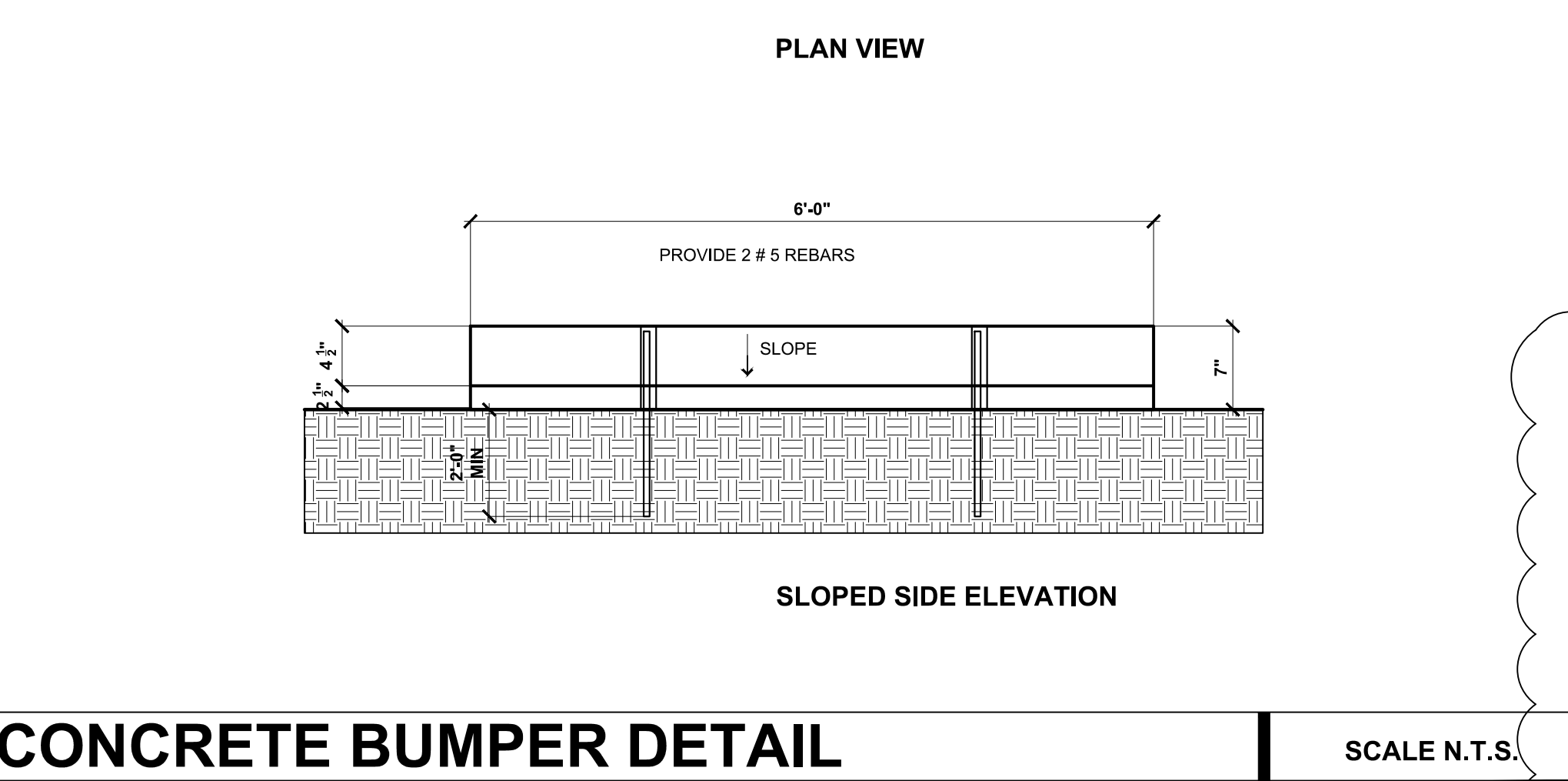
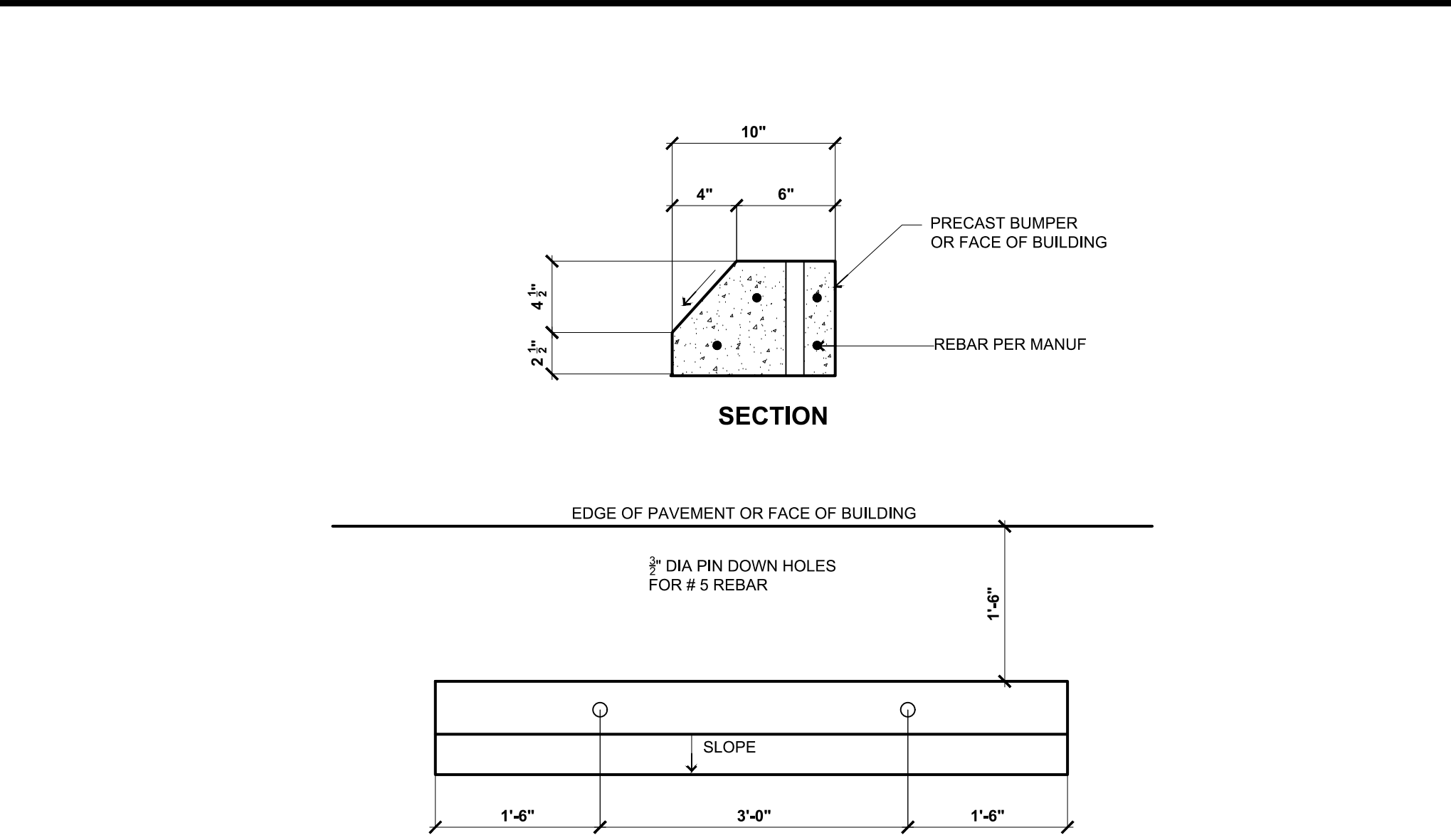
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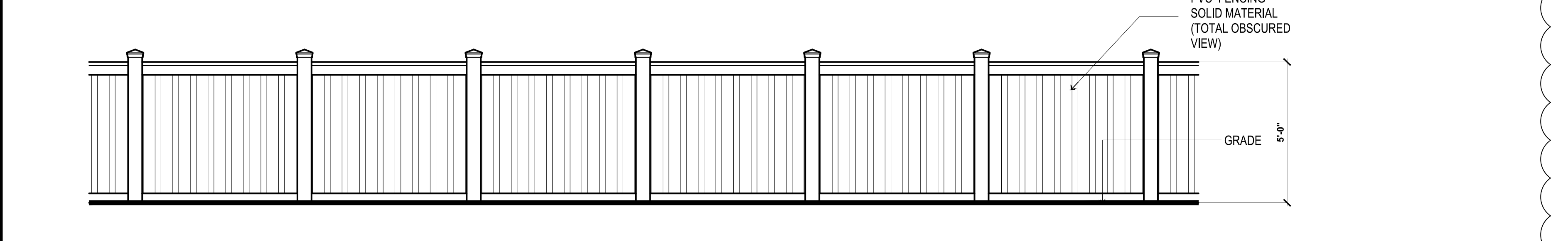
H.C. SIGNAGE AT STALL



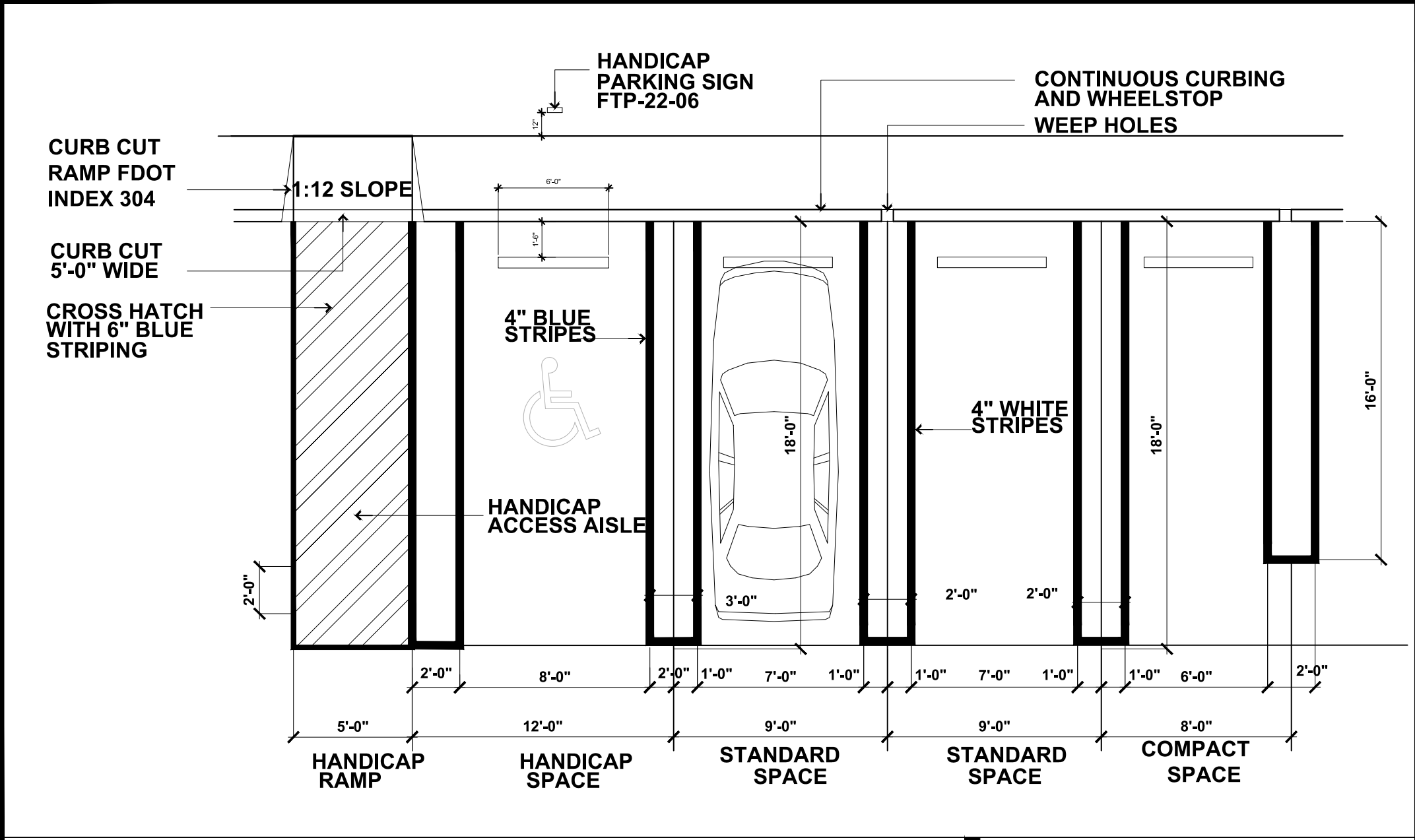
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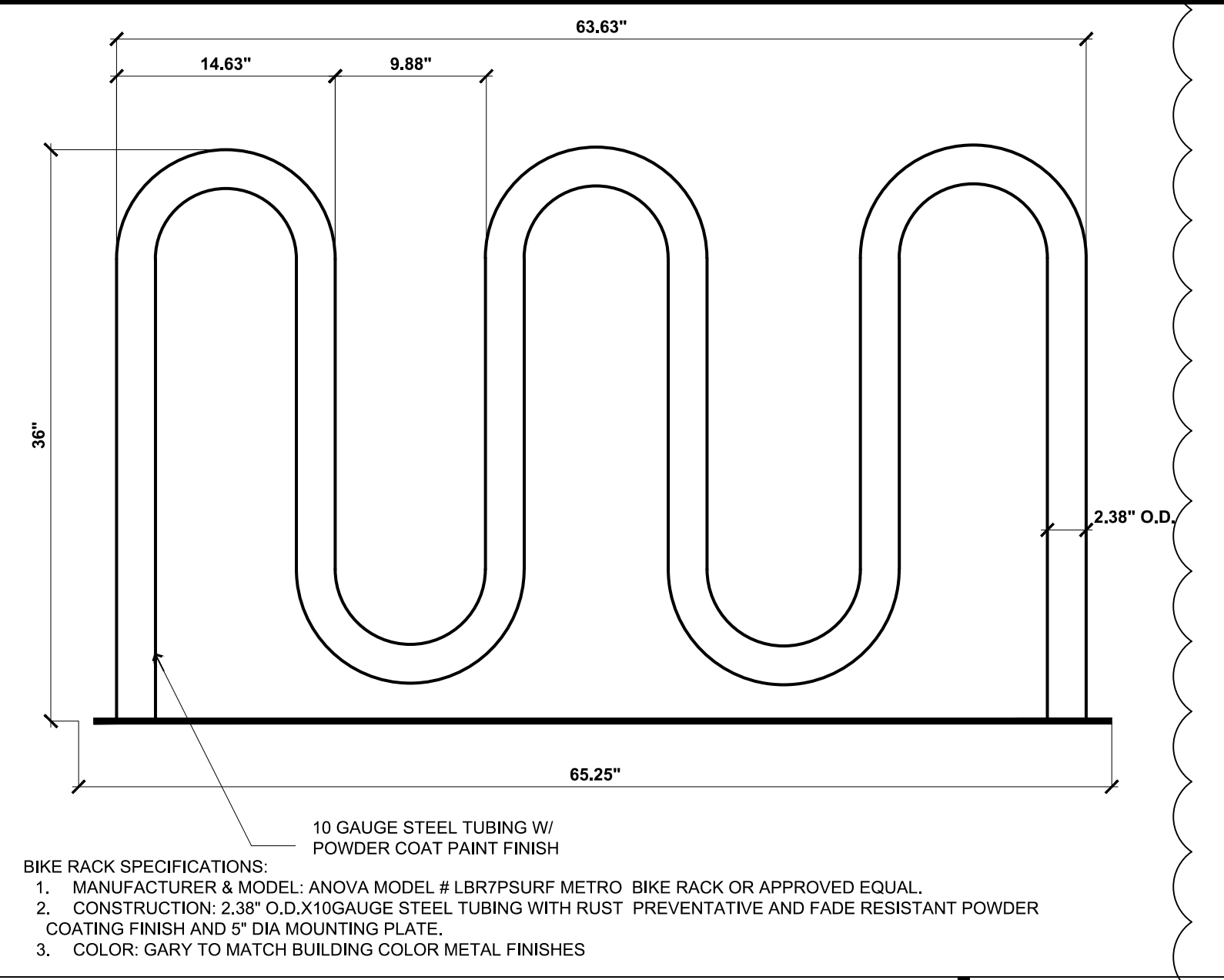
CONCRETE BUMPER DETAIL SCALE N.T.S.



FENCE ELEVATION SCALE 1:4



PARKING STALL DETAIL SCALE N.T.S.



BIKE RACK DETAIL SCALE N.T.S.

SITE AND PROJECT DATA:			
TOTAL SITE AREA:	11,871.00 S.F.		
REQUIRED LANDSCAPED AREA:			
MIN. 25% LANDSCAPED AREA REQUIREMENT:	2,967.70 S.F.		
PROVIDED LANDSCAPED AREA:	3,059.00 S.F.		
% OF LANDSCAPED AREA TO SITE:	25.76 % OF LOT AREA		
GROUND FLOOR AREA FOOTPRINT	3,235.7 S.F.	27.20%	
PROVIDED LANDSCAPED AREA:	3,059.0 S.F.	26.75%	
TOTAL PAVED AREA	5,576.3 S.F.	46.05 %	
	11,871.00 S.F.		

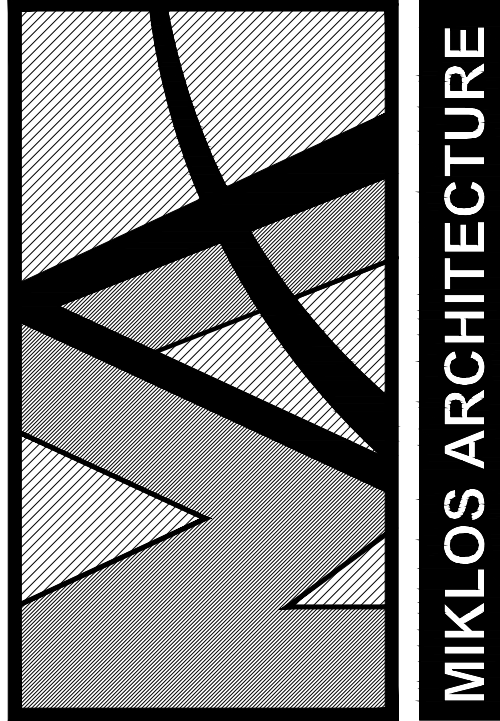
ZONING: GC (GENERAL COMMERCIAL)			
RESIDENTIAL CALCULATIONS			
DENSITY CALCULATIONS:			
ALLOWABLE DENSITY 12 UNITS PER ACRE			
1 ACRE (43560 S.F.)/12= 3630 S.F.			
SITE AREA (11871 S.F.)/3630= 3.2 UNITS ALLOWABLE			
RESIDENTIAL UNITS PROVIDED 3			
RESIDENTIAL PARKING			
2-BEDROOM UNITS @ 2.5 CARS/UNIT	5 CARS		
1-1BEDROOM UNIT @ 1.5 CARS/UNIT	2 CARS		
CARS REQUIRED	7 CARS		
CARS PROVIDED	7 CARS		
COMPACT	1 CAR		
STANDARD	6 CARS		

	UNIT A	UNIT B	UNIT C
GROUND FLOOR	GARAGE 193.8 S.F. A/C AREA 261.5 S.F.	GARAGE 235.0 S.F. A/C AREA 116.7 S.F.	GARAGE 267.1 S.F. A/C AREA 120.7 S.F.
SECOND FLOOR	A/C AREA 1,376.7 S.F. BALC. 35.4 S.F.	A/C AREA 1,049.4 S.F. BALC. 35.4 S.F.	A/C AREA 1,142.1 S.F. BALC. 35.4 S.F.
THIRD FLOOR	A/C AREA 1,204.4 S.F. BALC. 50.0 S.F.	A/C AREA 931.8 S.F. BALC. 68.0 S.F.	A/C AREA 1,027.7 S.F. BALC. 64.0 S.F.
A/C AREA TOTAL FLOOR	A/C AREA 2,774.9 S.F.	A/C AREA 2,097.9 S.F.	A/C AREA 2,290.5 S.F.
BALCONY TOTAL	BALC. 85.4 S.F.	BALC. 103.4 S.F.	BALC. 99.4 S.F.
GRAND TOTAL	2860.3 S.F.	2201.3S.F.	2389.9 S.F.

OCCUPANT LOAD AS PER FBC 2017 TABLE 1004.1.2	
BUSINESS OCCUPANCY 100 S.F. GROSS AREA PER OCCUPANT:	
TOTAL BUSINESS BUILDING GROSS AREA:	2046.0
TOTAL OCCUPANT LOAD FOR BUSINESS OCCUPANCY	21 OCCUPANTS

SHARED PARKING CALCULATIONS TABLE											
USE	REQUIRED	WEEKDAY				WEEKEND					
		NIGHT MIDNIGHT TO 6 AM	DAY 9 AM TO 4 PM	EVENING 6 PM TO MIDNIGHT		DAY 9 AM TO 4 PM	EVENING 6 PM TO MIDNIGHT				
RESIDENTIAL	1.5	100 %	1.5	60 %	0.9	90 %	1.35	80 %	1.2	90 %	1.35
OFFICE	8.18	5 %	0.409	100 %	8.18	10 %	0.818	10 %	0.818	5 %	0.409
COMMERCIAL/ RETAIL		5 %	0	70 %	0	90 %	0	100 %	0	70 %	0
HOTEL		80 %	0	80 %	0	100 %	0	80 %	0	100 %	0
RESTAURANT		10 %	0	50 %	0	100 %	0	50 %	0	100 %	0
ENTERTAINMENT /REC		10 %	0	40 %	0	100 %	0	80 %	0	100 %	0
RESERVED PARKING		100 %	0	100 %	0	100 %	0	100 %	0	100 %	0
OTHER	7	100 %	7	100 %	7	100 %	7	100 %	7	100 %	7
TOTAL	17		9		16		9		9		9

ACCORDING TO LDR SECTION 4.3.4-DEVELOPMENT STANDARDS MATRIX FOR NON-RESIDENTIAL ZONING DISTRICTS. THE FOLLOWING APPLY TO GC (GENERAL COMMERCIAL) ZONING DISTRICTS:											
GC	MIN LOT SIZE (ACRES)	MIN. LOT WIDTH (FT.)	MIN. LOT DEPTH (FT.)	MIN. LOT FRONTAGE (FT.)	MIN OPEN SPACE (%)	MIN FRONT SETBACK (FT.)	MIN SIDE INTERIOR SETBACK (FT.)-N	MIN SIDE INTERIOR SETBACK (FT.)-S	MIN REAR SETBACK (FT.)	MAX. BLDG HEIGHT (FT.)	MIN.** US-1 LANDSCAPE BUFFER (FT.)
REQUIRED	0	0	0	0	25	10	10	10	10	48	10
PROVIDED	0.27	119.45	122.64	119.45	26.75	10	10	10	10	41	10
GC ZONING TABULATION											



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2.8.2019 BLDG. DEPT. COMMENTS

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SP-2

OF

2

SEAL

QUINN I. MIKLOS AR 01602 CORP. CERT. NO. AA0002282

MATERIAL SCHEDULE:

Qty.	Key	Botanical / common name	Size
5	Cet*	Conocarpus erectus / Green Buttonwood Tree	16 x 7', 7' c.t., matching
8	Cest*	Conocarpus E. Serecius / Silver Buttonwood Tree	14' x 6', 7' c.t.
6	Sp-R*	Sabal Palm - Relocated	16'-20' o.a.
1	Bst-16	Bursera Simaruba / Gumbo Limbo Tree	16' x 8', 7' c.t.
4	Lit-S	Lysiloma Latisia, / Sabicu Tree	12' x 8', 6' c.t.
1	Pep-S	Phycosperma elegans / Alexander Palm	18" o.a., single trunk, matching
8	Rep-28*	Roystonea elata / Florida Royal Palm	10' gray wood, heavy calip., matching specimen
4	Fxtp-18	Woodyetti bifurcata / Fox Tail Palm	18" o.a., heavy calip., matching
9	Vmp-20	Veitchia Montgomeryana / Montgomery Palm	20' o.a., heavy calip., matching
6	Mlt*	Myrcianthes fragrans / Simpson stopper tree	8-10' o.a.
24	Pm-7	Podocarpus makii / Yew	40"-42" ea. 7g. full to base
113	Glt*	Ficus microcarpa / Green Island Ficus	18" 3g. @ 15" o.c.
60	Cg-4*	Clusia guttifera / Small Leaf Clusia	42"-48" x 24" @ 4-1/2 ft. o.c.
25	Cg-7*	Clusia guttifera / Small Leaf Clusia	54" 3g. @ 4-1/2 ft. o.c.
30	D-Bf	Dianella tasmanica / Blue Flax Lily	15"-18" 3g. @ 18" o.c.
30	Hp-D*	Hamelia patens, dwf./ Dwf. Firebush	24" 3g. @ 24" o.c.
59	Jc-Bp	Juniperus chinensis / Blue Pacific	15" 3g. @ 18" o.c.
15	Mg*	Muhlenbergia capillaris / Muhly grass	15" 3g. @ 15" o.c.
4	B-I	Bromeliad Imperialis	24" x 24"
cu. yd.	BRG	Brown River Gravel on tytar filter fabric	
5.5 cu. yd.	BMR	Black Mexican Rock on tytar filter fabric	

Planting soils, see notes & specs.

Mulch, see notes & specs.

Sod, Floratam

* - Denotes native, or highly drought tolerant plant materials, per SFWMD, "Xeriscape Manual".

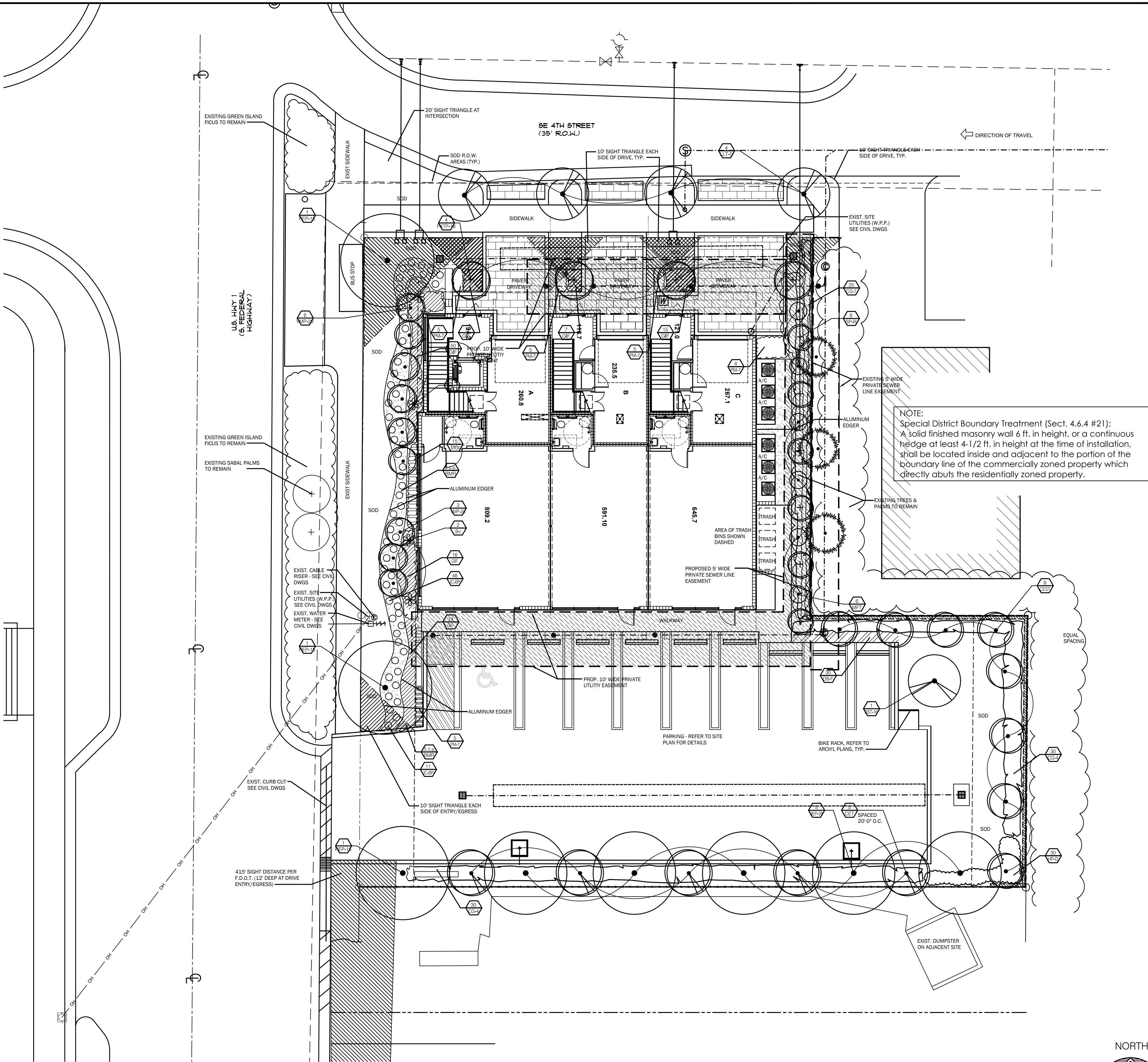
LANDSCAPE CALCULATION TABLE:

SITE DATA

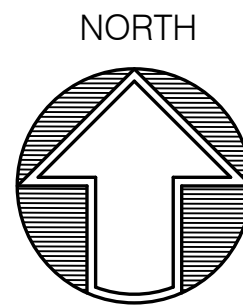
A. TOTAL LOT AREA	11,871.0 SQ.FT.
B. TOTAL PAVED IMPERVIOUS AREA	6,404.82 SQ.FT.
C. REQ'D INTERIOR GREENSPACE (10% TOTAL PAVED AREA)	640.48 SQ.FT.
D. INTERIOR GREENSPACE PROVIDED	3,031.40 SQ.FT.
E. TOTAL # OF TREES REQ'D (1 PER 125 SQ.FT. OF REQ'D GREENSPACE)	24 TREES
F. NUMBER OF INTERIOR TREES PROVIDED	25 TREES
G. PERIMETER GREENSPACE REQ'D (DEPTH OF BUFFER X LENGTH)	1,990.85 SQ.FT.
H. NUMBER OF PERIMETER TREES REQ'D (1 PER 30 LIN. FT.)	13 TREES
I. NUMBER OF PERIMETER TREES PROVIDED	27 TREES

XERISCAPE CALCULATIONS

A. REQ'D SHRUBS & GROUND COVERS (30% OF REQ'D INTERIOR & PERIMETER GREENSPACE)	789.39 SQ.FT.
B. SHRUBS & GROUND COVER PROVIDED	985.60 SQ.FT.
C. REQ'D NATIVE PLANT MATERIALS (25% OF REQ'D SHRUBS & GROUND COVERS)	197.00 SQ.FT.
D. NATIVE PLANT MATERIALS PROVIDED	985.60 SQ.FT.
E. NUMBER OF NATIVE TREES REQ'D (50% OF REQ'D TREES)	19 TREES
F. NUMBER OF NATIVE TREES PROVIDED	27 TREES



NOTE:
Special District Boundary Treatment (Sect. 4.6.4 #21):
A solid finished masonry wall 6 ft. in height, or a continuous
hedge at least 4-1/2 ft. in height at the time of installation,
shall be located inside and adjacent to the portion of the
boundary line of the commercially zoned property which
directly abuts the residentially zoned property.



Landscape Plan

DESIGNED BY:
CARTER & ASSOCIATES
LANDSCAPE ARCHITECTS INC.
74 N.E. 5th Ave. Delray Beach, FL 33483
561-272-9621 dhclainc@bellsouth.net LA. 831

Landscape & Irrigation Plans for:
405 South
405 SE 6th Avenue
Delray Beach, Florida

REVISIONS	BY
10/9/18 Revised per Arch'l Site Plan	TE
12/15/18 Revised per Arch'l Site Plan	TE
3/13/19 Revised per Site Plan-Sight Triangle	TE
3/19/19 Revised per Site Plan-Sight Triangle	SP

DRAWN TE
CHECKED D.H.C.
DATE 04.28.17
SCALE 1" = 10'-0"
JOB NO. 41717
SHEET L-2 4 OF 4 SHEETS

IRRIGATION LEGEND

- ● Rain bird 6 & 12 Pop-up 1800 Series w/PCP pattern as shown
- ▲ Irritrol Valve
- Rain bird Controller ESP Series/ Mini Click Rain Sensor
Water Source: Existing City Water Meter (contractor to field verify size and location)

NOTE: Main Line (Typ.) & valve locations are shown for graphic clarity only.
All Main Line (Typ.)s & valves are to be located within landscape area's on-site.

IRRIGATION NOTES:

Notes:
Automatic Irrigation System
Water demand/ zone
Pressure required (refer to plan)

GENERAL

System shall be installed in accordance with a Federal, State, and local codes, Contract drawings and Contract Specifications.
Irrigation design is based on "Planting Plan" dated 3/19/19
Contractor shall refer to this plan to coordinate sprinkler locations and pipe routing with plant locations.
The water source for this system shall be the Existing City Water Meter.
The master shut-off valve shall be activated via the automatic controller, and shall be used to depressurize the zone lines when the system is not operational.
Contractor shall adjust the irrigation, where noted on the plans for actual field conditions, and shall install the system in accordance with South Florida Irrigation Society Standards and specifications.

To insure proper operation of this system, pump size, pressure required, pipe and wire sizes, sprinkler spacing, installation details, and specifications shall be followed as shown on the drawings and in the specifications.

Irrigation system shall provide 100% coverage, with a 50% overlap minimum, utilizing "rust-free" water source. If a well & pump system is to be utilized, the contractor shall provide a "chemical injection system" to inhibit rust stains, if water sample testing indicates that there will be "rust" staining from the well water.

PIPING

Pipe routing is schematic only, and shall be field adjusted for on-site conditions.
All pipe shall be installed in accordance with local codes, and per manufactures recommendations.
Pipe routed under paver surfaces, and through planter walls shall be sleeved in SCH 40 PVC. Sleeves shall be of adequate size to allow for 1/2" clearance for pipe & wire. Contractor shall verify the location, depth & size of all existing sleeves, as required.
Pipe installed above grade for the backflow preventer shall be SCH 40 Galvanized pipe. All other piping shall be PVC. The Main Line (Typ.) shall be SCH 40 PVC, laterals sized from 1" to 2" shall be SDR 26, Class 160, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe.
Pipe Shall be installed so the backfill depths are maintained at 18", for Main Line (Typ.)s and all lateral lines routed beneath pavement, and at 12" for all other lines. The depths from 1" to 2" shall be SDR 26, Class 160, and laterals sized from 1" to 3/4" shall be SDR 21, Class 200 PVC pipe, are to be taken from finished grades.
Backfill material shall be suitable material, free of rocks, stones, or other debris that could damage components of the irrigation system.

SPRINKLERS

Sprinkler locations are schematic only, and shall be adjusted for wind, landscape materials, hardscape elements, etc., to provide 100% coverage with a no overthrow onto paved surfaces, or building facades.
Pop-up spray heads shall be Toro series 6", and 12" type, which are to be installed on flexible swing joints of Toro thick-walled poly pipe with 1/2" insert elbows. THERE SHALL BE NO 4" POP-UP HEADS UTILIZED FOR THE PROJECT.
Shrub heads shall be installed at a uniform height of 6" above the plantings, and are to be located within planting masses so as to be concealed from view.
Shrub type spray heads shall be Toro 570 series, and are to be installed on a 1/2" SCH 40 PVC risers.
Bubblers are to be installed on a SCH 40 PVC risers at the base of the plant material, for low-level watering.
All SCH 40 PVC risers are to be painted "Forest green", or Brown, to be less conspicuous.
Toro 12" pop-up sprinklers shall be installed in ground-cover areas at the parking-lot islands, and at other critical locations, as determined in the field by the Landscape Architect.

Sprinklers located adjacent to pavement, sidewalks, decks, patios, buildings, etc., shall be installed 8" from the edge. Unless other-wise noted on the plans, pop-up sprinklers shall be installed 6" from the edge, and shrub sprinklers shall be installed 18" from the edge. Shrub risers are not to be installed at walk-way intersections, or where-ever a "trip & fall" hazard may occur.
Adjustment feature of sprinklers specified shall be utilized to insure proper coverage, while minimizing undesirable overthrow.
Contractor shall use precaution in locating, and setting sprinkler heads in planting areas adjacent to parking spaces to minimize the damage to sprinklers be overhanging car bumpers.

Pop-up sprinklers with "low angle" nozzles shall be installed amid masses of tall shrubs, for low level watering. Contractor shall install sprinklers at optimum locations for the most effective coverage.

CONTROL SYSTEM

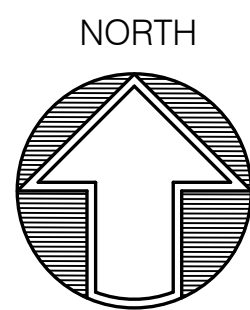
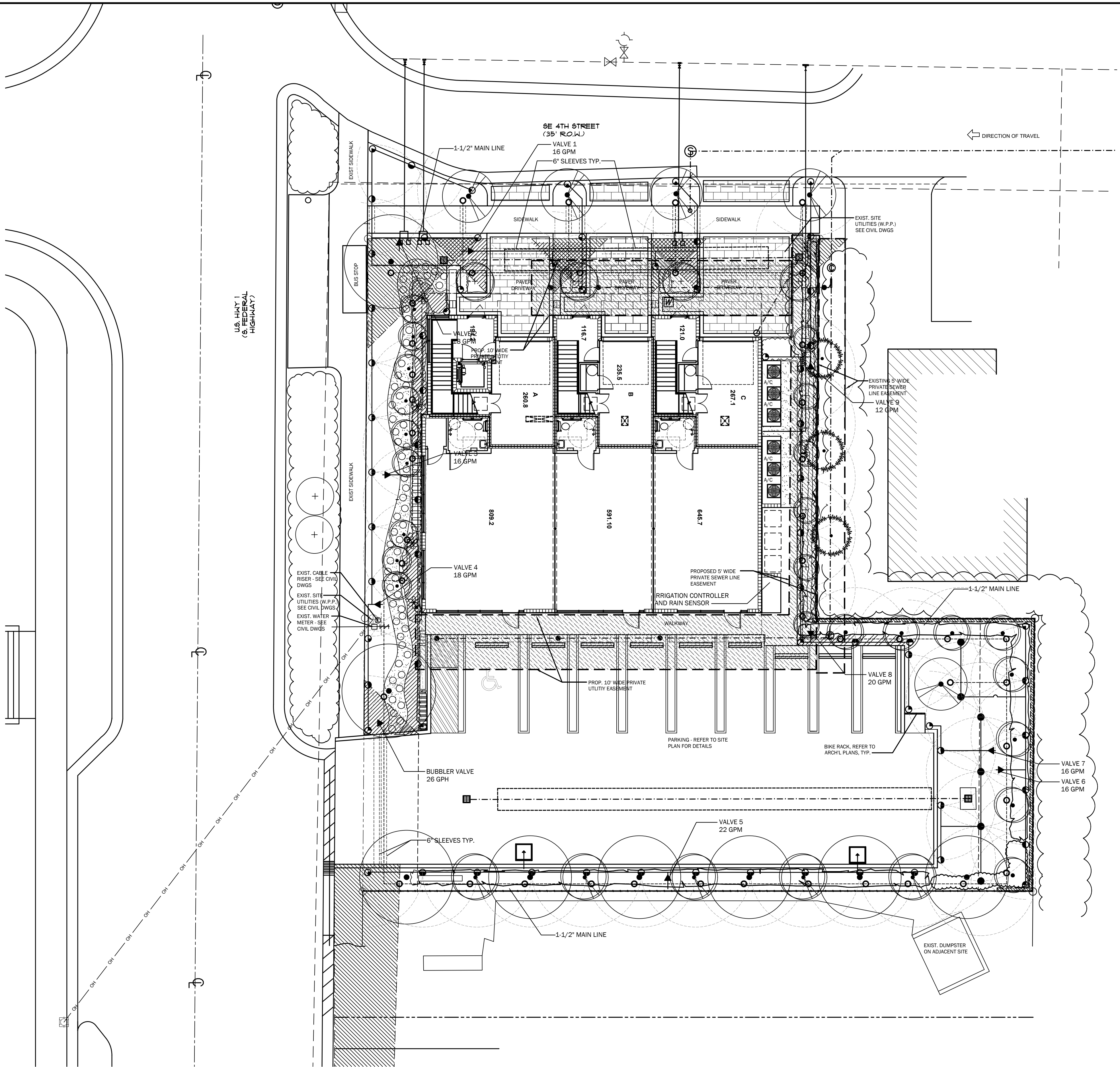
Rainbird control system shall be installed, per manufactures recommendations, to activate in-line valves, and the master shut-off valve.
Proper grounding equipment shall be installed, for the controller.
Controller location shall be approved by the Landscape Architect, and project supervisor.
The irrigation contractor shall supply the controller, however the physical installation there-of, and the electrical hook-up shall be by others.

VALVES

IRRITROL, or approved equal, electric valves shall be installed per manufactures recommendations, and as per details. All valves are to be installed in a 10" Ametex valve box, see details.

RAIN SENSOR

Mini-click" rain sensor shall be installed, per manufactures recommendations. Rain sensor location shall be approved by the Landscape Architect.



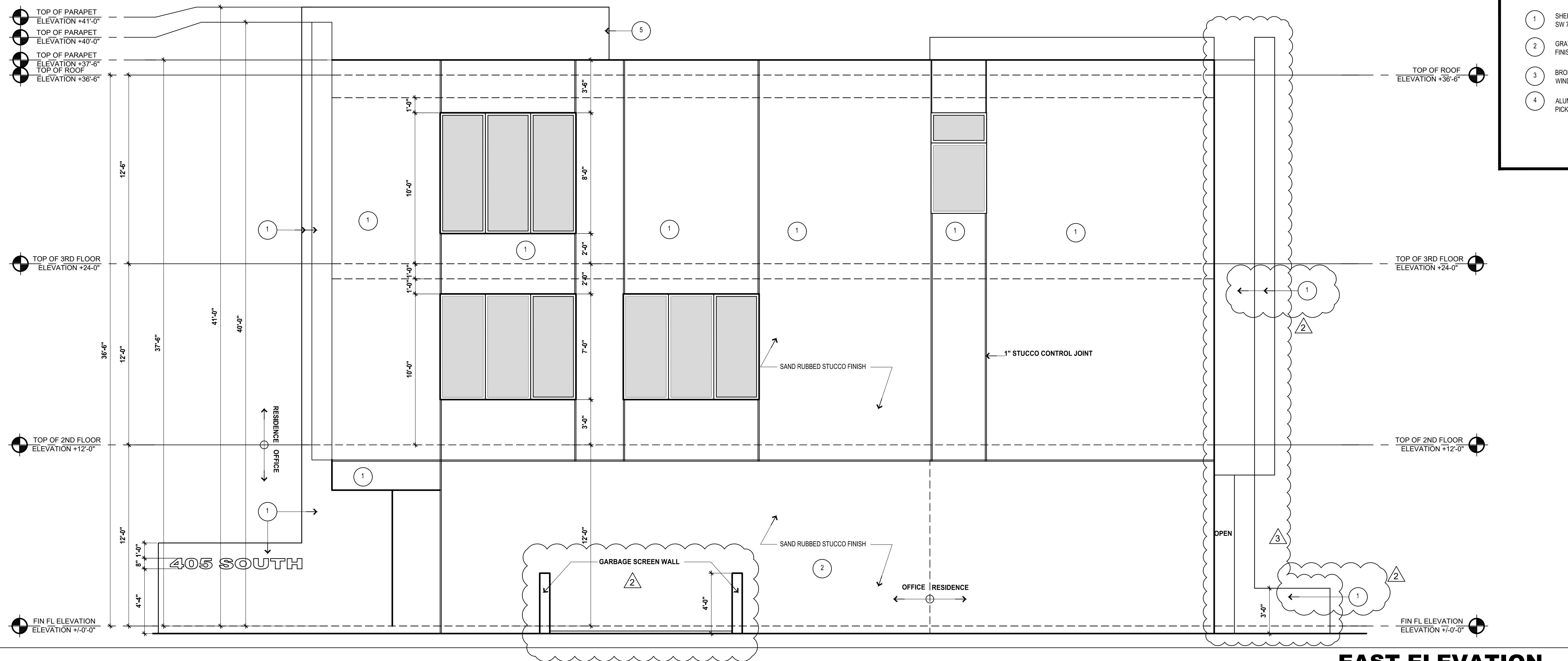
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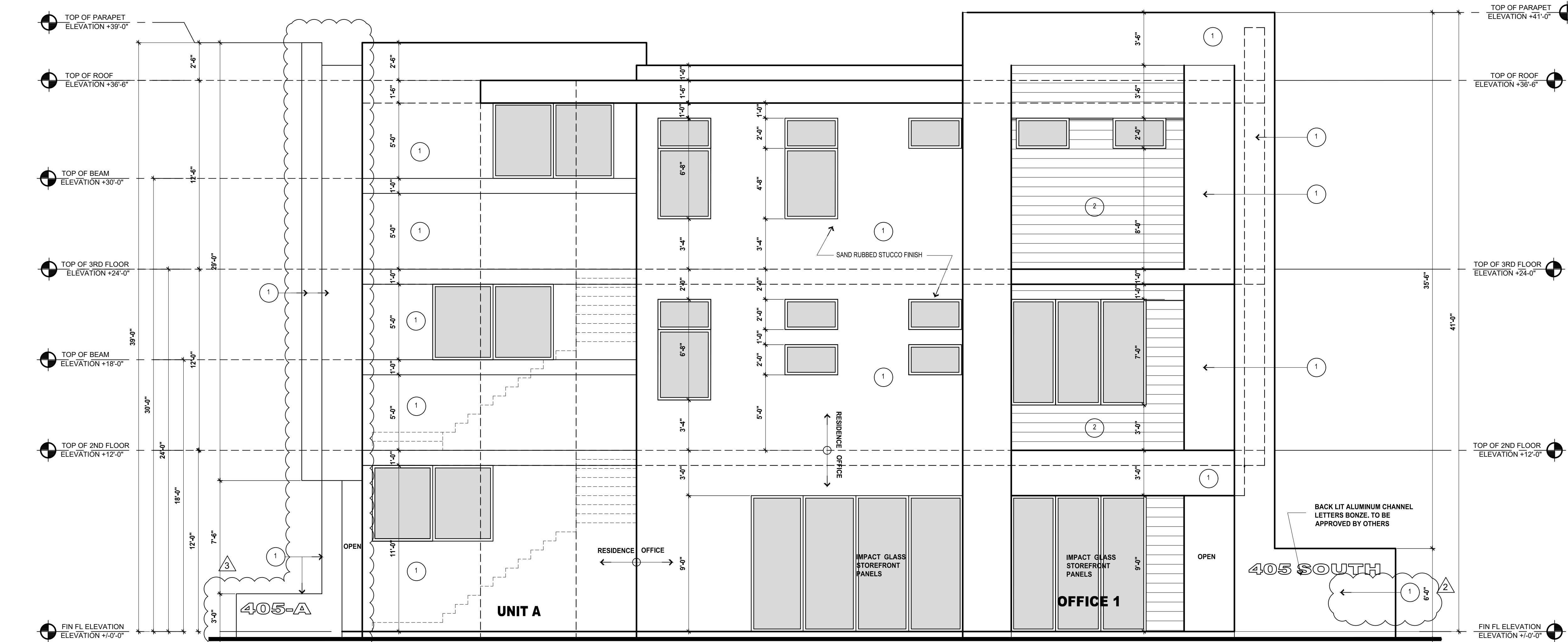
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L-4
OF 4 SHEETS



EAST ELEVATION

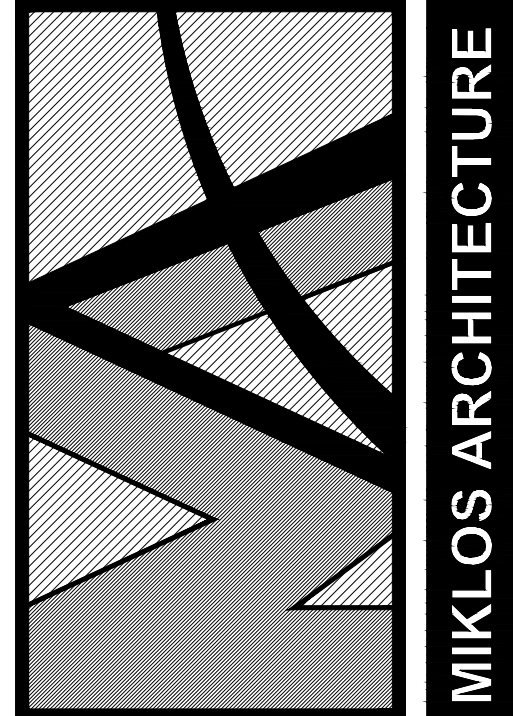
SCALE 1/4"=1'-0"



WEST ELEVATION (FED HWY)

SCALE 1/4"=1'-0"

- 1 SHERWIN WILLIAMS PURE WHITE SW 7005
- 2 GRAY LINEAR PATTERN PORCELAIN TILE FINISH
- 3 BRONZE ALUMINUM FRAME IMPACT WINDOWS
- 4 ALUMINUM RAILING WITH HORIZONTAL PICKETS



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SHEET CONTENTS
ELEVATIONS

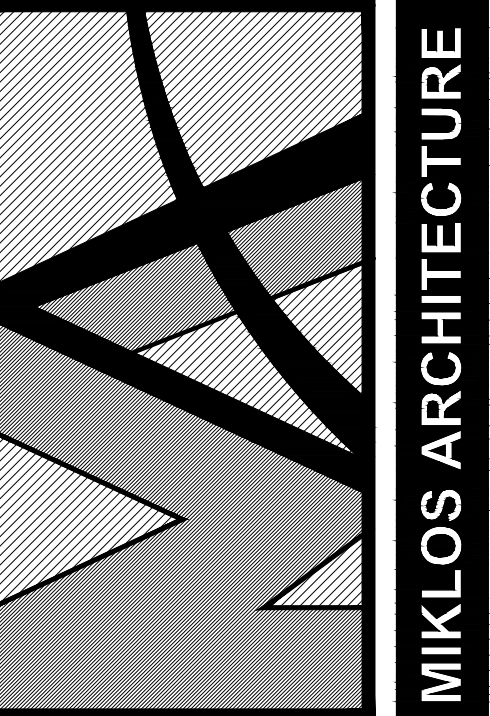
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SHEET
A-5
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Meridian Delray Condominium Association
c/o Bruce Leish, President
335 SE 6th Avenue, Unit N302
Delray Beach, FL 33483
April 22, 2019

Ms. Christine Stivers
Mr. Scott Pape
City Of Delray Beach
Development Services Department
RE: 405 South; File # 2018-158-SPM-SPR-CLV

Dear Ms. Stivers and Mr. Pape:

I am writing to you in my capacity as President of the Meridian Condominium (located at 335 and 365 SE 6th Ave.).

I understand that the construction project referred to as 405 South located at the corner of 4th Street and Federal Highway (just to the south of the Meridian) was approved by SPRAB on April 10.

First, please know that I am delighted with the project itself. As a registered landscape architect in Massachusetts and Rhode Island, and a professional City Planner, I feel comfortable that the project appears to be well thought out, well engineered and perfect for the transitional nature of the site.

As was expressed at the SPRAB meeting however, I am concerned that if 4th Street were to be used by construction vehicles entering and exiting the project site, the result would be an unsafe road condition - impacting most directly - the Meridian's occupants, the neighborhood to the Meridian's east and the bus stop at the corner of 4th and Federal. As you are aware, 4th Street is a one way street, at best 12 feet wide and has a somewhat unique curve to it as it empties onto Federal Highway. The comings and goings of construction vehicles on 4th street would turn this quiet narrow street into an unsafe choke point. And to utilize 4th Street, construction vehicles would have to go north on 7th Avenue, via 5th Street, or south on 7th Avenue or cut through the Meridian parking lot, all of which are unacceptable.

Accordingly, on behalf of the Meridian Condominium, I am requesting that construction vehicles' going to and coming from the 405 South project be directed to use Federal Highway and that they be prohibited from entering or exiting the project site via 4th Street. Also, we would appreciate if they could be directed not to utilize the Meridian driveway/parking lot as access or egress to the construction site, nor use the Meridian brick driveway as a turnaround.

I understand that issues of this type are appropriately addressed at the pre-construction meetings for this project and that this email may be somewhat premature. Nonetheless, I wanted to pass along the Meridian's concern. I don't know if these conditions can be added to the site plan approval permit at this point, but I trust that you'll advise the contractor accordingly.

I would be more than happy to meet with you if you have any questions.
We look forward to having a successful project as our neighbor.

Best Regards,

A handwritten signature in dark ink, appearing to read 'Bruce Leish', with a stylized flourish at the end.

Bruce Leish

From: [Stivers, Christine](#)
To: ["Bruce Leish"; Pape, Scott](#)
Cc: [Evan & Karen Widlitz; Tobias, Steve](#)
Subject: RE: 405 South Followup Comment Letter
Date: Wednesday, April 24, 2019 12:59:00 PM

Mr. Leish,

Thank you for the follow up. I have forwarded your letter to the Building Department as well as the Developer. As soon as the developer submits for building permit, we will be able to make notes in the file regarding your concerns. My discussion with Mr. Albanese indicated that he is very willing to accommodate your request.

Thank you again and have a great day!

Christine

Christine Stivers

Senior Planner, Planning and Zoning Division
Development Services Department
100 NW 1st Avenue / Delray Beach, Florida 33444
561.330. 6056
stiversc@mydelraybeach.com
www.mydelraybeach.com alwaysdelray.com

Please see the Department's [Latest News & Updates](#) page for current policies, procedures, etc.

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From: Bruce Leish <bruceleish@gmail.com>
Sent: Monday, April 22, 2019 7:30 PM
To: Stivers, Christine <StiversC@mydelraybeach.com>; Pape, Scott <Pape@mydelraybeach.com>
Cc: Evan & Karen Widlitz <kssfm@aol.com>
Subject: Re: 405 South Followup Comment Letter

Please pardon the formatting in my prior email attachment.

This PDF should be correct.

Thank you
Bruce

On Mon, Apr 22, 2019 at 7:23 PM Bruce Leish <bruceleish@gmail.com> wrote:

Dear Christine and Scott,

Please find attached a letter regarding the construction phase of the 405 South Project.

I also hand delivered hard copies today.

Sincerely,
Bruce Leish
Meridian Delray Condo President

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