

Restaurant

Class I Application

307 E Atlantic Avenue, Delray Beach, FL 33483

M E N I N



González Architects
Commercial

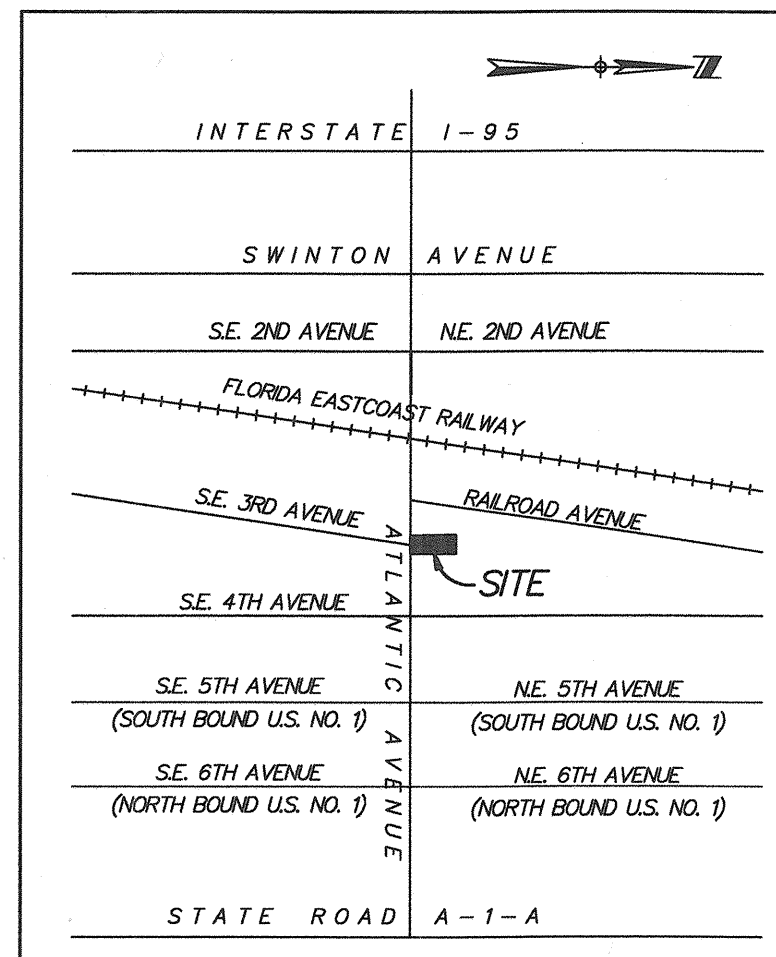
GONZALEZ ARCHITECTS

14 NE 1st Avenue, Suite 507
Miami, FL 33132
305.455.4216

Registration Seal
AA 0002305
AR 0008134



STREET VIEW



LOCATION MAP
NOT TO SCALE

ALTA/NSPS SURVEY

PARCEL CONTROL NO. 12-43-46-16-01-092-0060
SITE ADDRESS: 301 EAST ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33483

FLORIDA EAST COAST RAILWAY
100' RIGHT OF WAY

25' PLATTED RIGHT OF WAY
RAILROAD AVENUE

LOT 7, BLOCK 92
(PLAT BOOK 2, PAGE 21)

1 STORY BUILDING
OWNER: 301 EAST ATLANTIC LLC

1 STORY BUILDING
LOT 6
BLOCK 92
(PLAT BOOK 2, PAGE 20)

1 STORY BUILDING
OWNER: 104 -- 106 DELANCEY REALTY LLC
LOT 5, BLOCK 92
(PLAT BOOK 2, PAGE 21)

LEGEND:

- CL = CENTERLINE
- ND = NAIL & DISK #LB 353
- SSMH = SANTARY SEWER MANHOLE
- C.O. = SANTARY SEWER CLEAN OUT
- BFP = BACKFLOW PREVENTER
- WM = WATER METER
- L.P. = LIGHT POLE
- (HC) = HANDICAP PARKING SPACE (OFF SITE)
- (4) = REGULAR PARKING SPACE (OFF SITE)
- = OVERHEAD UTILITY LINES

FLOOD ZONE: X
COMMUNITY PANEL NO. 125102 0979
SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-II OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER 656309, DATED OCTOBER 24, 2016.

DESCRIPTION:

LOT 6 AND THE SOUTH 9.85 FEET OF THE EAST 0.27 FEET OF LOT 7, BLOCK 92, TOWN OF DELRAY, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 21, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

MEWIN DEVELOPMENT, INC., A FLORIDA CORPORATION
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
PATRICK G. KELLEY, P.A.
MCDONALD HOPKINS, LLC

MAP OF BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

O'BRIEN, SUTTER & O'BRIEN, INC.
LAND SURVEYORS

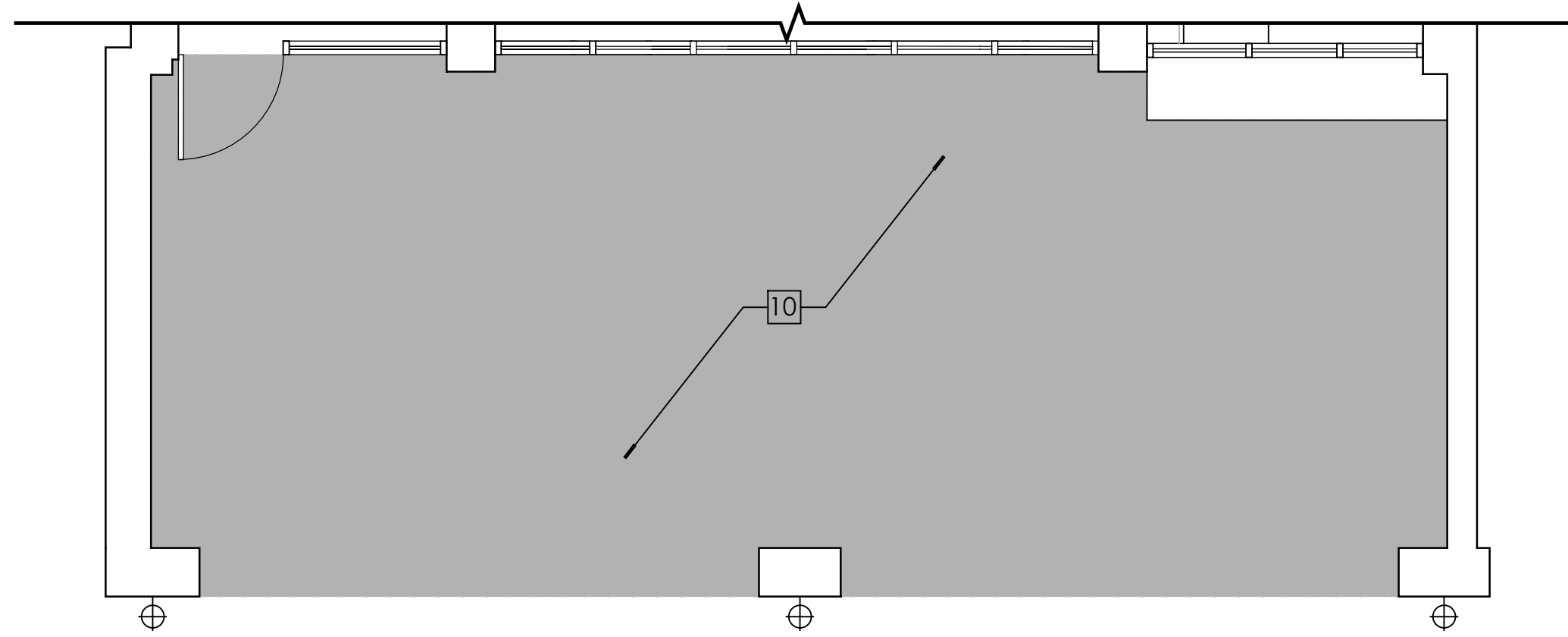
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY
NOVEMBER 6, 2018
FIELD BOOK
D.317

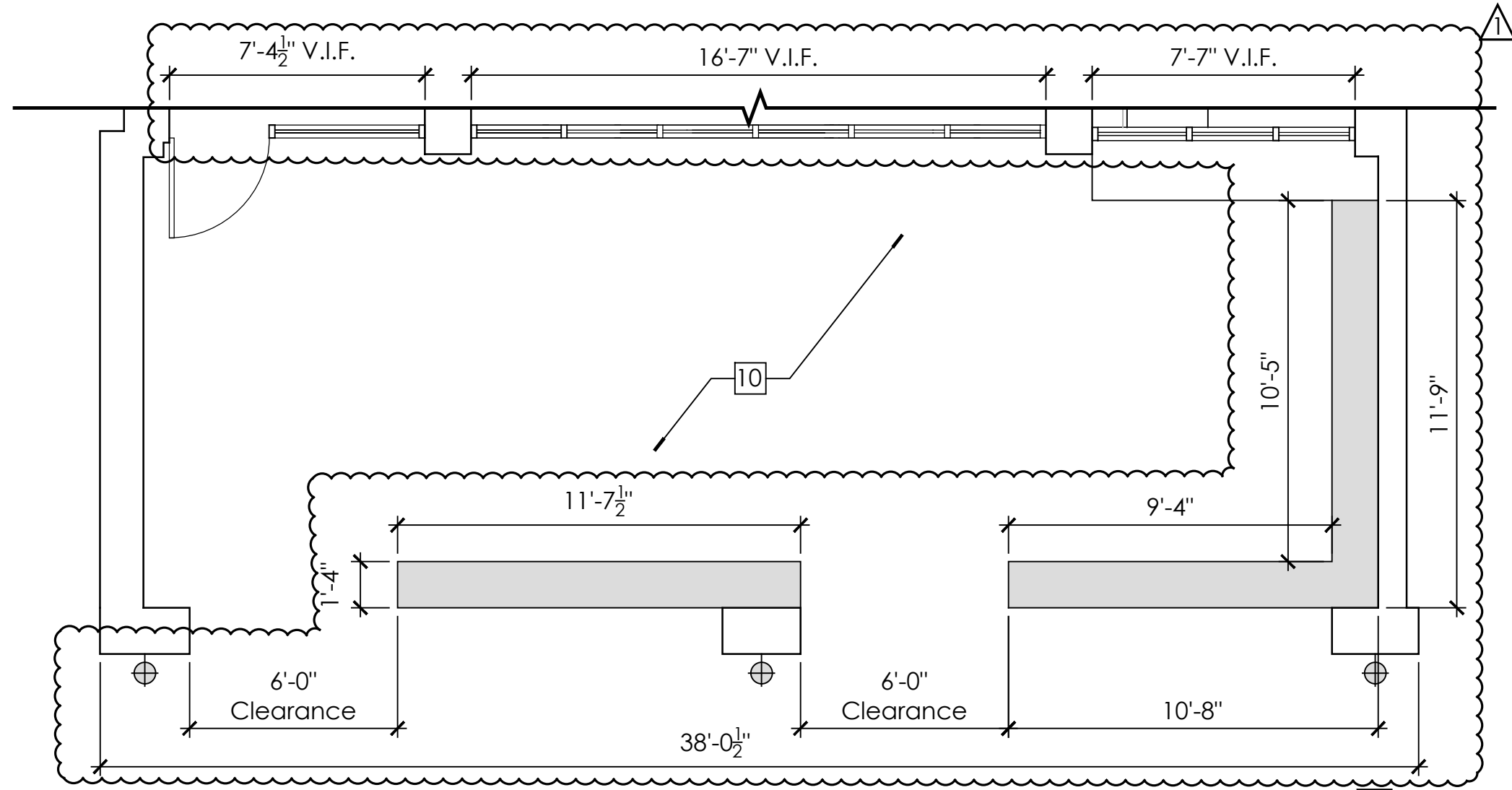
PAGE NO.
55

SCALE: 1" = 10'
ORDER NO.: 18-61kb

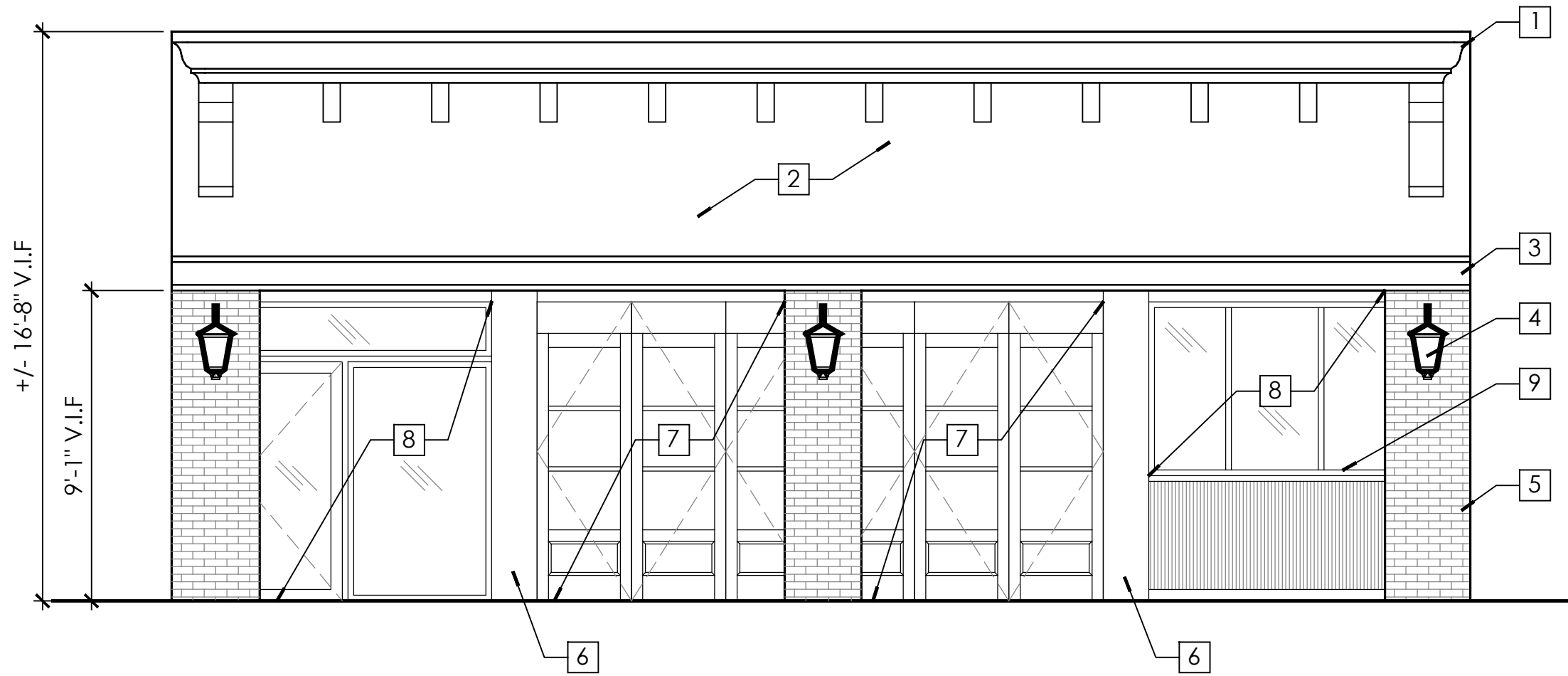
Not For Construction



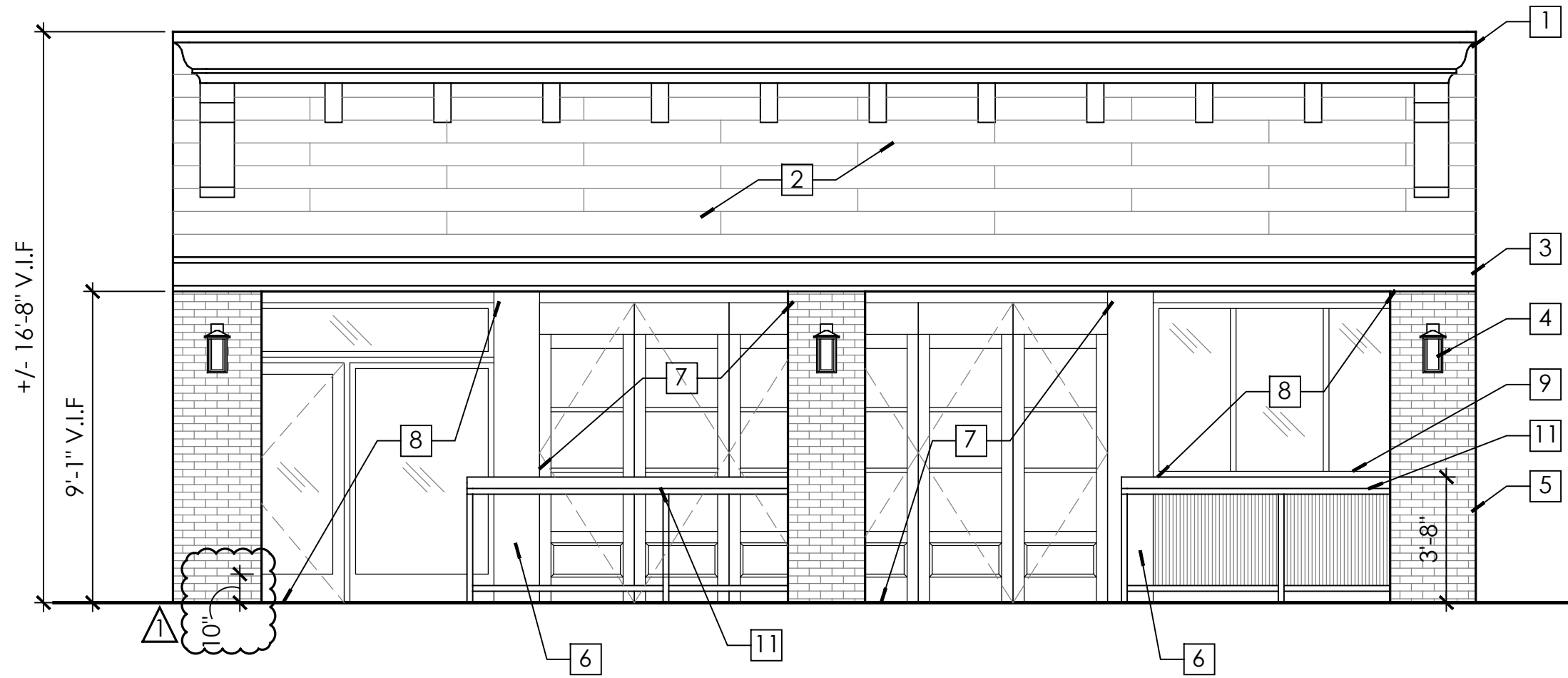
1 Existing Floor Plan
1/4"=1'-0"



2 Proposed Floor Plan
1/4"=1'-0"



3 Existing Elevation
1/4"=1'-0"



4 Proposed Elevation
1/4"=1'-0"

Legend

- 1 Existing cornice and decorative molding to remain and receive new paint finish.
- 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
- 3 Existing wood trim to remain and receive new paint finish.
- 4 Existing exterior light fixtures to be replaced with new light fixtures.
- 5 Existing Brick cladding to receive white wash finish.
- 6 Existing stucco wall to receive new paint finish.
- 7 Existing wood doors to remain and be refinish.
- 8 Existing Storefront to be replaced with new exit compliant storefront.
- 9 Existing counter bar to remain and be protected during construction.
- 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.

5 Existing Notes

Legend

- 1 Existing cornice and decorative molding to remain and receive new paint finish.
- 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
- 3 Existing wood trim to remain and receive new paint finish.
- 4 New light fixtures.
- 5 Existing Brick cladding to receive white wash finish.
- 6 Existing stucco wall to receive new paint finish.
- 7 Existing wood doors to remain and be refinish.
- 8 New Exit compliant Storefront and over-the-counter window.
- 9 Existing counter bar to remain and be protected during construction.
- 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.
- 11 New bar rail with wood top and metal base.

6 Proposed Notes

| Frontage Type: Storefront | | | |
|--|---------|---------|---------------------|
| LDR Table 4.4.13(i) - Dimensional Requirements for Storefronts | | | |
| Description | Minimum | Maximum | Provided |
| A Building Setback | 10 ft. | 15ft. | ETR |
| B Storefront Width | N/A | N/A | ETR (Refer to Plan) |
| C Storefront Base | 9 in. | 3ft. | 10" |
| D Glazing Height | 8 ft. | - | ETR (8'-9" V.I.F.) |
| E Required Openings | 80% | - | ETR (82%) |
| Maximum Allowable Encroachment of Elements in All Districts | | | |
| F Awning Projection | 3ft. | - | N/A |
| G Projecting Sign | N/A | 3ft. | N/A |

Following the Central Business District Guidelines, the existing building with the proposed changes falls under the Main Street Vernacular Style.

MENIN

RESTAURANT

307 E Atlantic Avenue
Delray Beach, FL 33483



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Address
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T +1 (305) 455 4216

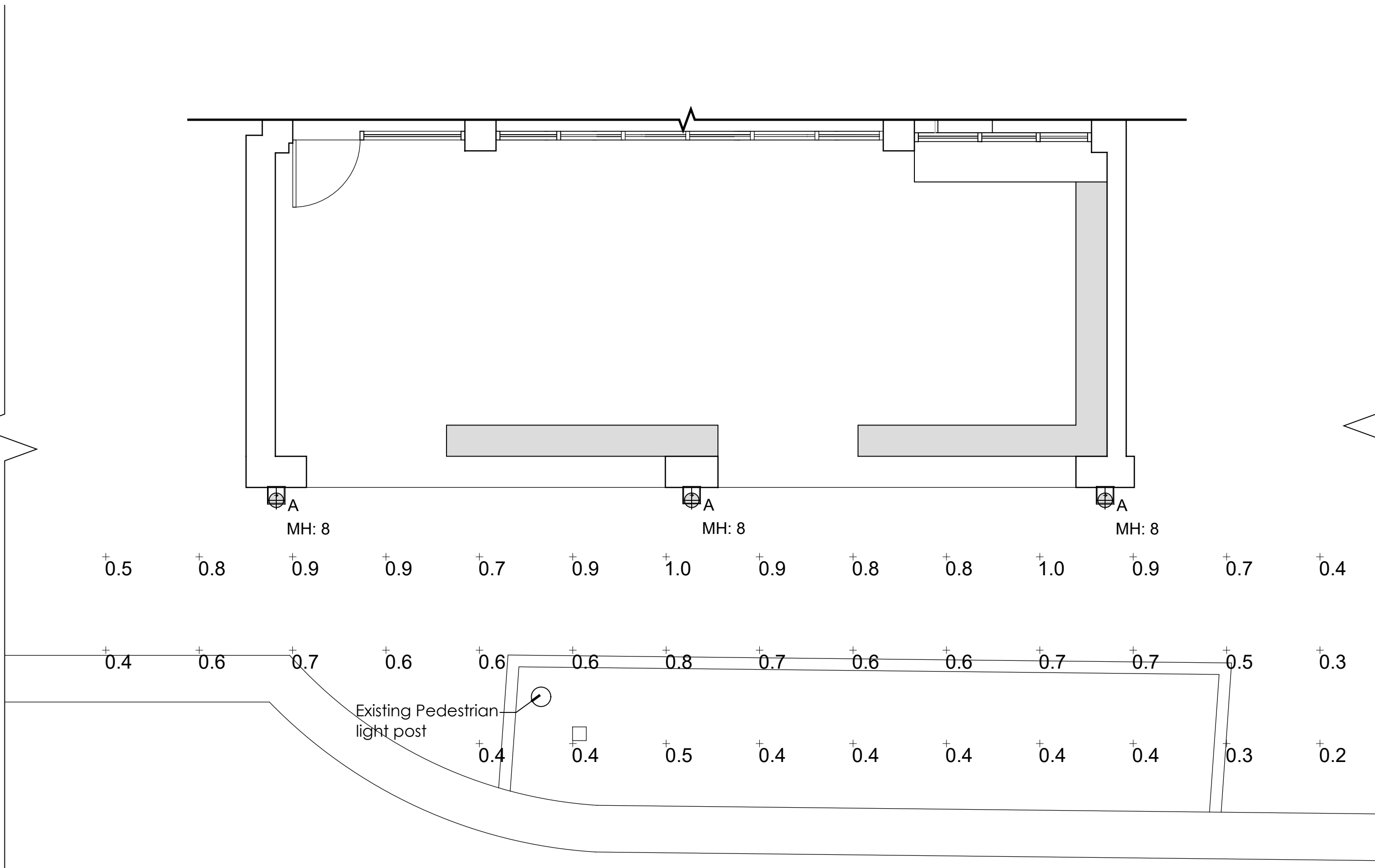
Issued/Revised
No Date Description
A 05-28-2019 Class I Application - Revision 1

Drawing Title

Existing vs. Proposed
Plan & Elevation

Scale As Noted
Date May 14, 2019
Drawn By FTJQ.MQ
Project No. 19014
Drawing No.

A1.01



| Photometrics Calculation Software Generated Luminaire Schedule | | | | | | | | | |
|--|-----|-------|-------------|-------------|------------------|-------|------------|------------|--|
| Symbol | Qty | Label | Arrangement | Lum. Lumens | Arr. Lum. Lumens | LLF | Lum. Watts | Arr. Watts | |
| ⬢ | 3 | A | SINGLE | 862 | 862 | 0.900 | 8.33 | 8.33 | |

| Calculation Summary | | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|--|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | |
| CalcPts_1 | Illuminance | Fc | 0.62 | 1.0 | 0.2 | 3.10 | 5.00 | |

General Notes

- Spot photometric only reflects the Fc of the new wall fixture. Existing pedestrian light post in from on site was not included in the photometric calculations.

PRODUCT SPECIFICATION SHEET

ITEM #: 87134/1

UPC 748119136097

Description Solitude 1-Light Sconce in Matte Black with Clear Glass

Finish Matte Black

Materials Aluminum, Glass

Brand ELK Lighting

Collection Solitude

Category Outdoor Lighting

Type Sconce

ITEM DIMENSIONS

Width 9 inches

Depth 10 inches

Height 17 inches

Weight 6 pounds

Backplate / Canopy 4.5x8 HCWO 2.5 inches

Min. Extension N/A

Max. Extension N/A

OVERALL HEIGHT

Min. N/A

Max. N/A

EXTENSION ROD(S)

N/A

RATINGS & SPECIFICATIONS

Safety Rating ETL

ADA Compliant N/A

Certification Wet locations

Voltage 120

BULBS / SOCKETS

Quantity 1

Wattage 60 watts

Included No

Type A19 (E26 Medium Base)

Other N/A

CHAIN / CORD INFORMATION

Chain N/A

Cord 8 inches

SHADE / GLASS DETAILS

Shade/Glass Description Clear glass

Width 4.25 inches

Height 12.4 inches

Width at Top N/A

Width at Bottom N/A

9"[228mm]

10"[254mm]

17" [432mm]

4 1/2"x8" [120x203mm]

ELK Lighting is a division of [ELK Group International](#)

Sales: 1 (800) 613-3261

Sales@ELKGroupInternational.com

Rev. 5/13/2019



Not For Construction



1 Existing Facade Conditions
NTS



2 Proposed Facade Conditions
NTS

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| Issued/Revised | | |
|----------------|------|-------------|
| No | Date | Description |
| | | |
| | | |
| | | |

Drawing Title

Existing vs. Proposed
Conditions

| | |
|-------------|--------------|
| Scale | As Noted |
| Date | May 14, 2019 |
| Drawn By | FTJO/MQ |
| Project No. | 19014 |
| Drawing No. | |

A2.01