



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 307 E. Atlantic Avenue
Project Location: 307 E. Atlantic Avenue
Request: Class I Site Plan Modification
PCN: 12-43-46-16-01-092-0060
Board: Site Plan Review and Appearance Board
Meeting Date: June 12, 2019

Board Action:

Approved (5-0 Annie Adkins-Roof and Linda Purdo absent)

Project Description:

The subject property is located on the north side of East Atlantic Avenue at SE 3rd Avenue within the Central Business District (CBD) and consists of Town of Delray Lt 6 & S 9.85 ft of E .27 ft of Lt 7 blk 92. The Main Street Vernacular style structure property contains a single-story commercial building originally constructed in 1955. Its current use is a restaurant.

The Class I Site Plan Modification consists of minor façade changes. The front elevation includes the installation of new reclaimed wood cladding while the cornice and decorative molding will remain. New storefront door and a new over the counter window are being proposed while the existing wood doors will be refinished. A new bar rail at 3'8" high with wood top is being introduced in front of the counter window. The brick cladding will be painted a whitewash and all others to receive fresh paint.

Board Comments:

N/A

Public Comments:

N/A

Associated Actions:

N/A

Next Action: The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: June 12, 2019

File No.: 2019-188 SPF-SPR-
CLI

Application Type: Class I Site Plan Modification

General Data:

Owner: Gonzalez Architects

Location: 307 E. Atlantic Avenue

PCN: 12-43-46-16-01-092-0060

Property Size: 0.12 Acres

FLUM: CC (Commercial Core)

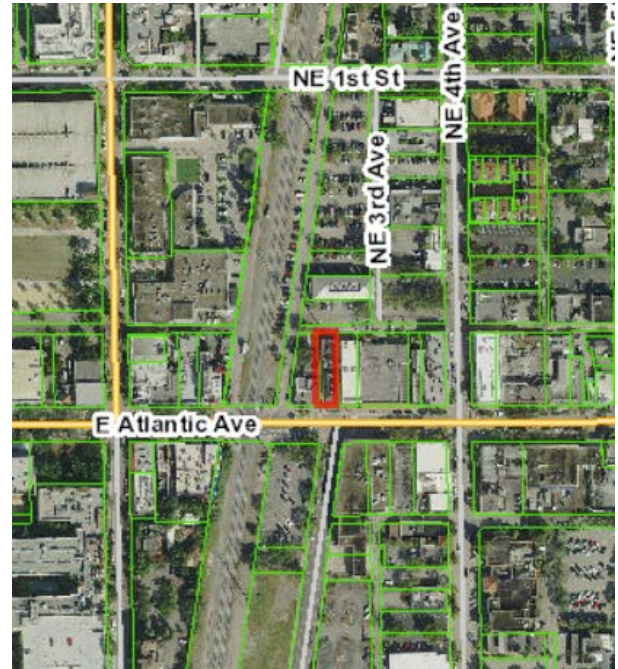
Zoning: CBD (Central Business District)

Adjacent Zoning:

- North: CBD
- South: CBD
- East: CBD
- West: CBD

Existing Land Use: Restaurant

Proposed Land Use: Restaurant



Item before the Board:

The action before the Board is for the consideration of a Class I Site Plan Modification for **307 E. Atlantic Ave** pursuant to LDR Section 2.4.5 (G), including:

- ☐ Architectural Elevations
- ☐ Photometrics

Optional Board Motions for Action Items:

1. Move to continue with direction.
2. Move approval of the Class I (2019-188) Site Plan Modification, and Architectural Elevations for **307 E. Atlantic Avenue**, as amended, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(G)(5), 2.4.5(I)(5), 4.6.18(E), and Chapter 3 of the Land Development Regulations.
3. Move denial of the Class I (2019-188) Site Plan Modification, and Architectural Elevations for **307 E. Atlantic Avenue**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(G)(5), 2.4.5(I)(5), 4.6.16, 4.6.18(E), and Chapter 3 of the Land Development Regulations.

Project Planner:
Jennifer Buce
buce@mydelraybeach.com
561-243-7138

Review Dates:
June 12, 2019

Attachments:
1. Building Elevations



Assessment and Summary:

The property consists of 0.12 acres and is currently zoned CBD (Central Business District). The project consists of minor architectural elevation changes to the façade of the existing building which include the introduction of reclaimed wood cladding to the upper façade, replacement of the existing storefront and the over the counter window, bar rail with wood top and metal base which will be placed in front of the over the counter window, light fixtures and the brick cladding to receive whitewash finish. The proposed changes meet all applicable Land Development Regulations which include dimensional requirements and storefront glazing.

Background:

The subject property is located on the north side of East Atlantic Avenue at SE 3rd Avenue within the Central Business District (CBD) and consists of Town of Delray Lt 6 & S 9.85 ft of E .27 ft of Lt 7 blk 92. The Main Street Vernacular style structure property contains a single-story commercial building originally constructed in 1955 that has been expanded upon and remodeled on several occasions. The building is approximately 4,600 square feet and was formerly occupied by various tenants including Aspen Jack's, McDougall's Neighborhood Bar, Loco's Only Bar, A-Train Blues & Jazz Café, Nacho Mama, Paddy McGee's and most recently Luige's Cold Fire Pizza.

At its meeting of May 27, 2009, the SPRAB approved an architectural elevation change which included the modification of the entrance and re-location of the existing storefront (approximately 10 feet back) to create a sidewalk café area while maintaining the existing roof structure, and installation of a new storefront system with new door, transom window, and a glazed folding partition for Nacho Mama's. Note: Nacho Mama never occupied the space.

On March 2, 2010, a Class I Site Plan Modification was submitted for architectural changes to the storefront for Paddy McGee's which included folding French doors and windows to be utilized as a service window for outdoor dining.

Now before the board is a Class I Site Plan Modification which includes minor changes to the façade.

Project Description:

The subject request includes minor changes to the façade which will not create any new openings to the storefront of the existing restaurant. The applicant is also updating the light fixtures along the pathway of the sidewalk area.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

LDR Section 4.4.13(D) – Dimensional Requirements by CBD Sub District

The following table indicates that the development proposal meets the requirement as they pertain to the Central Core sub-district of the CBD District. Pursuant to Table 4.4.13(C), the following dimensional requirements are applicable, East Atlantic Avenue is classified as a Primary Street.

	East Atlantic Avenue	
	Front Requirement	Provided
Setbacks	10' min./ 15' max.	13.8'
Building Frontage Required on Primary Streets	75% min./ 100%max	100%

**Storefront and Glazing Area:**

Pursuant to LDR Section 4.4.13(E)(4)(e) the storefront is a frontage type along the sidewalk level of the ground story, typically associated with commercial uses. Storefront Dimensions Table 4.4.13(l) provides the dimensional requirements for all elements contained in a storefront as indicated in the chart below:

Commercial Storefronts	Dimensional Requirements		Proposed
	Minimum	Maximum	East Atlantic Avenue
Building Setback	10 ft.	15 ft.	13.8'
Storefront Width	N/A	75'	37.93'
Storefront Base	9"	3'	10"
Glazing Height**	8 ft.	---	8'9"
Required Openings	80%	---	82%
Awning Projection	5'	-	N/A

Lighting:

Pursuant to LDR Section 4.6.8, whenever new lights are introduced on-site a photometric plan must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The photometric plan meets the minimum and maximum foot candle allowances of 0.5 to 5.0 for accent pathways, thus meeting this requirement.

Architectural Elevations Analysis:

Pursuant to LDR Section 4.4.13(F), the CBD has seven permitted architectural styles, which are described and illustrated in the Central Business District Architectural Design Guidelines. Pursuant to LDR Section 4.6.18(E), the following criteria shall be considered by the Site Plan Review and Appearance Board in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The proposed minor façade changes to the 1955 Main Street Vernacular Style building are in conformity with good taste and design and will contribute to the image of East Atlantic Avenue and will bring a brightness and a new welcoming look to the existing restaurant in a highly trafficked area of the busy downtown area. The surrounding area, which includes Johnnie Browns and Wings, will continue to benefit from the streetscape which will not be disrupted as only minor facades are being proposed.

The front elevation includes the installation of new reclaimed wood cladding while the cornice and decorative molding will remain. New storefront door and a new over the counter window are being proposed while the existing wood doors will be refinished. A new bar rail at 3'8" high with wood top is being introduced in front of the counter window. The brick cladding will be painted a whitewash and all others to receive fresh paint.

Given the analysis above, a positive finding can be made of the architectural elevations.

Review by Others:

- At the meeting of June 10, 2019, the DDA (Downtown Development Authority) reviewed the development proposal.

Restaurant

Class I Application

307 E Atlantic Avenue, Delray Beach, FL 33483

M E N I N



González Architects
Commercial

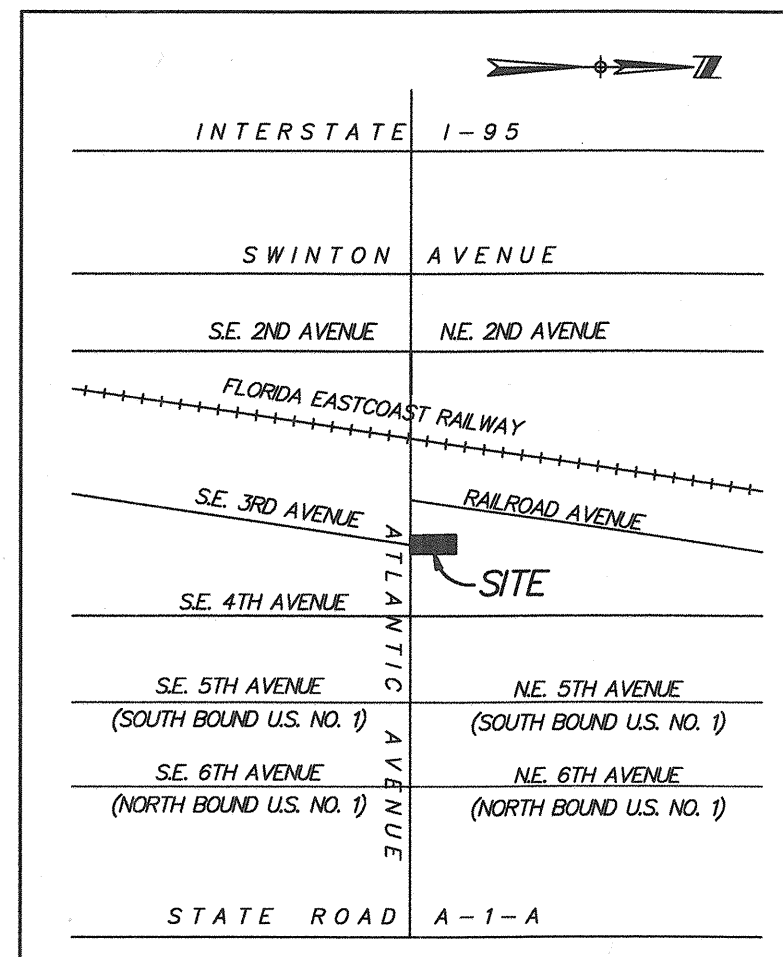
GONZALEZ ARCHITECTS

14 NE 1st Avenue, Suite 507
Miami, FL 33132
305.455.4216

Registration Seal
AA 0002305
AR 0008134



STREET VIEW



LOCATION MAP
NOT TO SCALE

ALTA/NSPS SURVEY
PARCEL CONTROL NO. 12-43-46-16-01-092-0060
SITE ADDRESS: 301 EAST ATLANTIC AVENUE
DELRAY BEACH, FLORIDA 33483

FLORIDA EAST COAST RAILWAY
100' RIGHT OF WAY

25' PLATTED RIGHT OF WAY
RAILROAD AVENUE

LOT 7, BLOCK 92
(PLAT BOOK 2, PAGE 21)

1 STORY BUILDING
OWNER: 301 EAST ATLANTIC LLC

1 STORY BUILDING
LOT 6
BLOCK 92
(PLAT BOOK 2, PAGE 20)

1 STORY BUILDING
OWNER: 104 -- 106 DELANCEY REALTY LLC
LOT 5, BLOCK 92
(PLAT BOOK 2, PAGE 21)

LEGEND:

- CL = CENTERLINE
ND = NAIL & DISK #LB 353
SSMH = SANTARY SEWER MANHOLE
C.O. = SANTARY SEWER CLEAN OUT
BFP = BACKFLOW PREVENTER
W.M. = WATER METER
L.P. = LIGHT POLE
(H) = HANDICAP PARKING SPACE (OFF SITE)
(4) = REGULAR PARKING SPACE (OFF SITE)
--- = OVERHEAD UTILITY LINES

FLOOD ZONE: X
COMMUNITY PANEL NO. 125102 0979
SUFFIX: F
EFFECTIVE DATE: OCTOBER 5, 2017

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-II OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER 656309, DATED OCTOBER 24, 2016.

DESCRIPTION:

LOT 6 AND THE SOUTH 9.85 FEET OF THE EAST 0.27 FEET OF LOT 7, BLOCK 92, TOWN OF DELRAY, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 21, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

MEWIN DEVELOPMENT, INC., A FLORIDA CORPORATION
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
PATRICK G. KELLEY, P.A.
MCDONALD HOPKINS, LLC

MAP OF BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
PAUL D. ENGLE
SURVEYOR & MAPPER #5708

O'BRIEN, SUTTER & O'BRIEN, INC.
LAND SURVEYORS

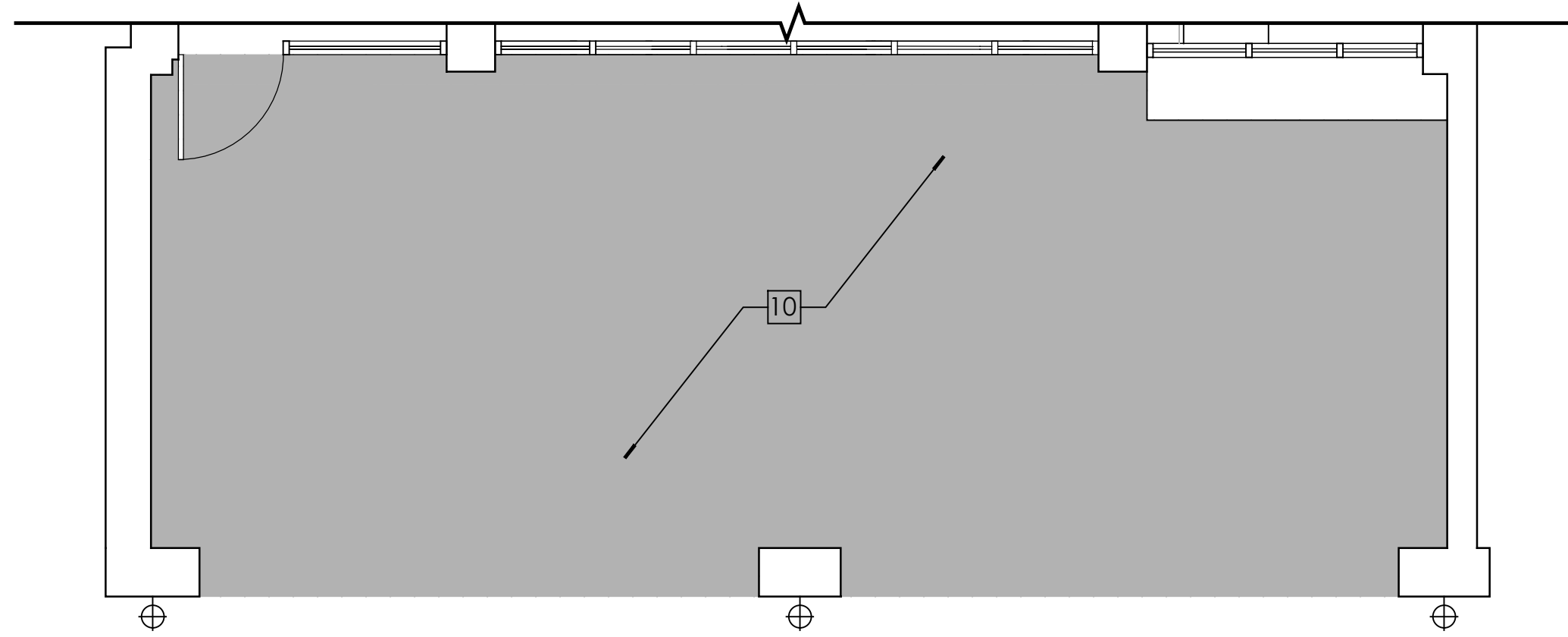
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY
NOVEMBER 6, 2018
FIELD BOOK
D.317

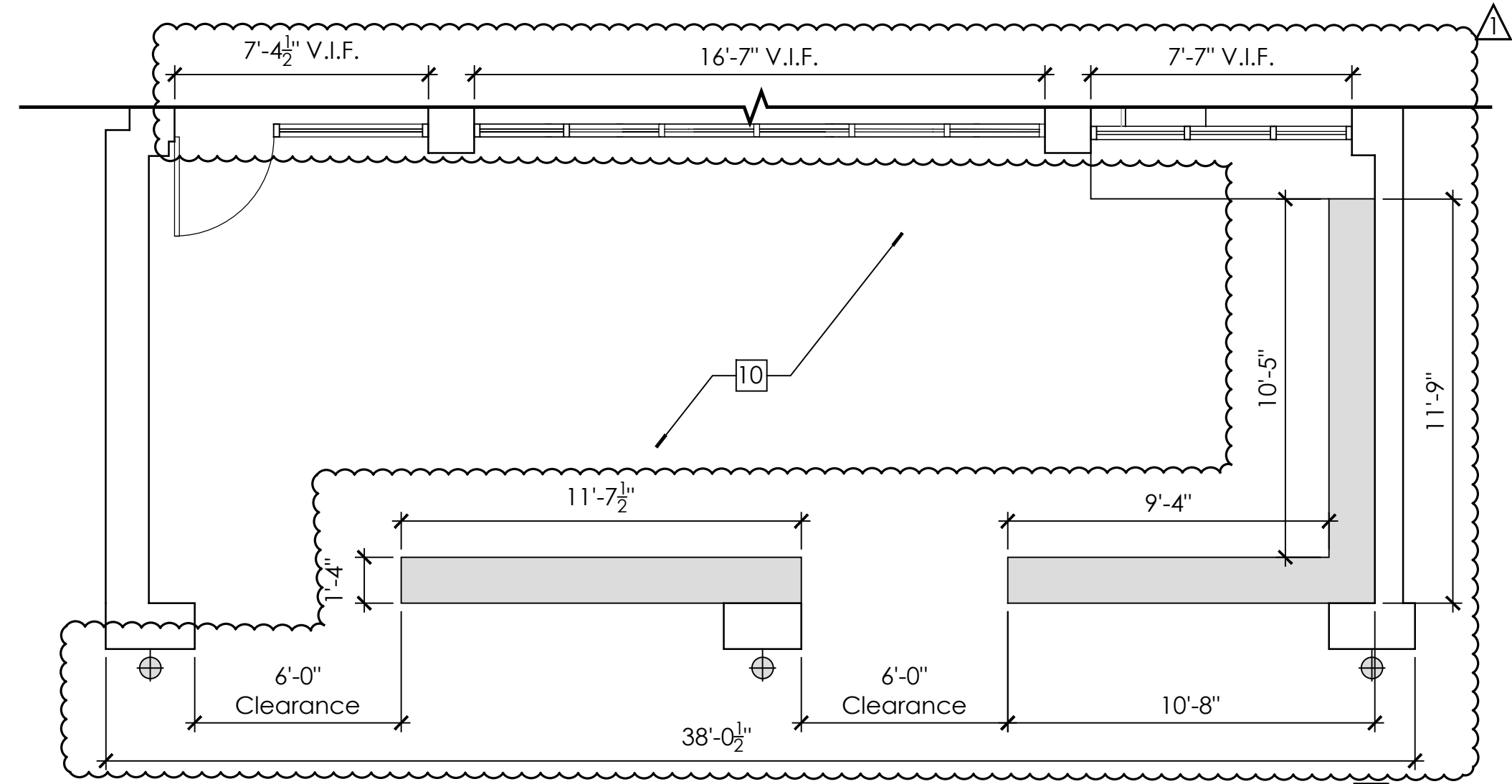
PAGE NO.
55

SCALE: 1" = 10'
ORDER NO.: 18-61kb

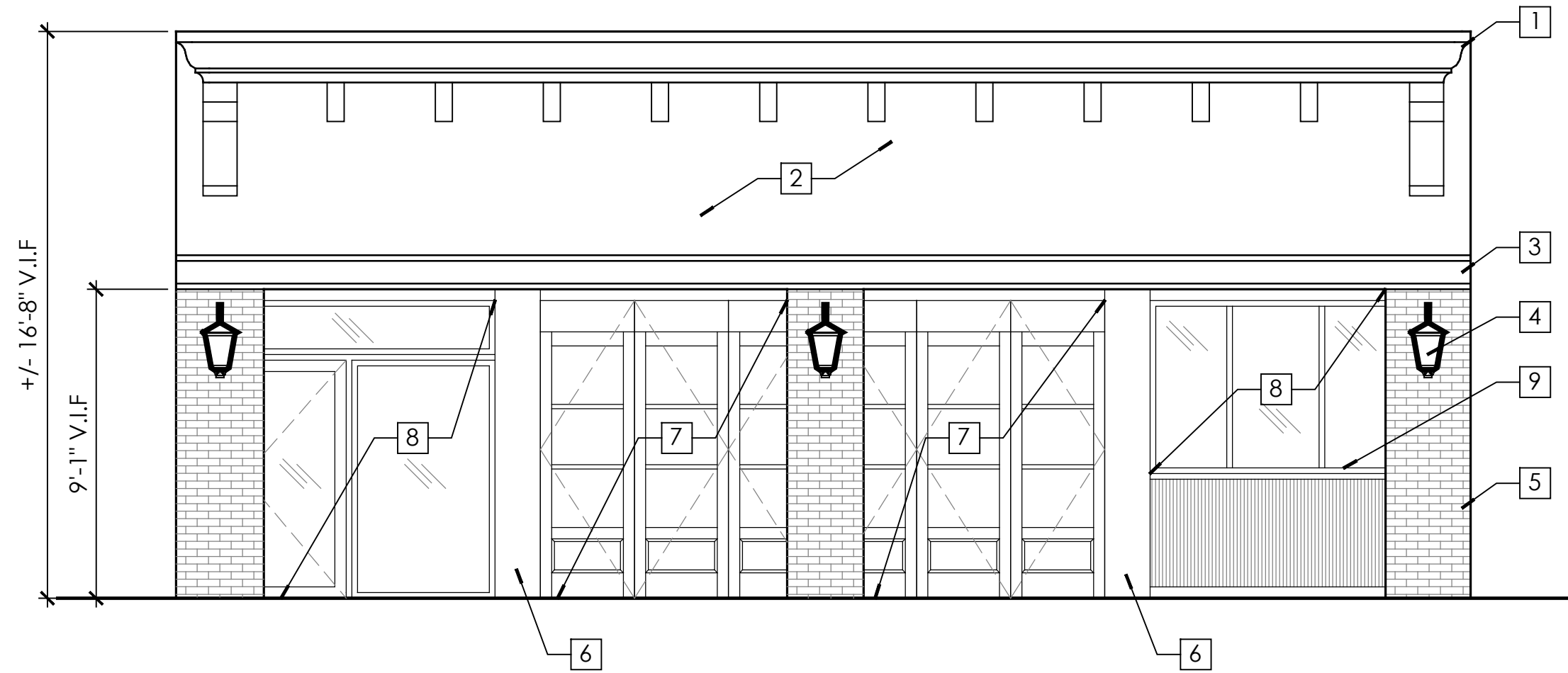
Not For Construction



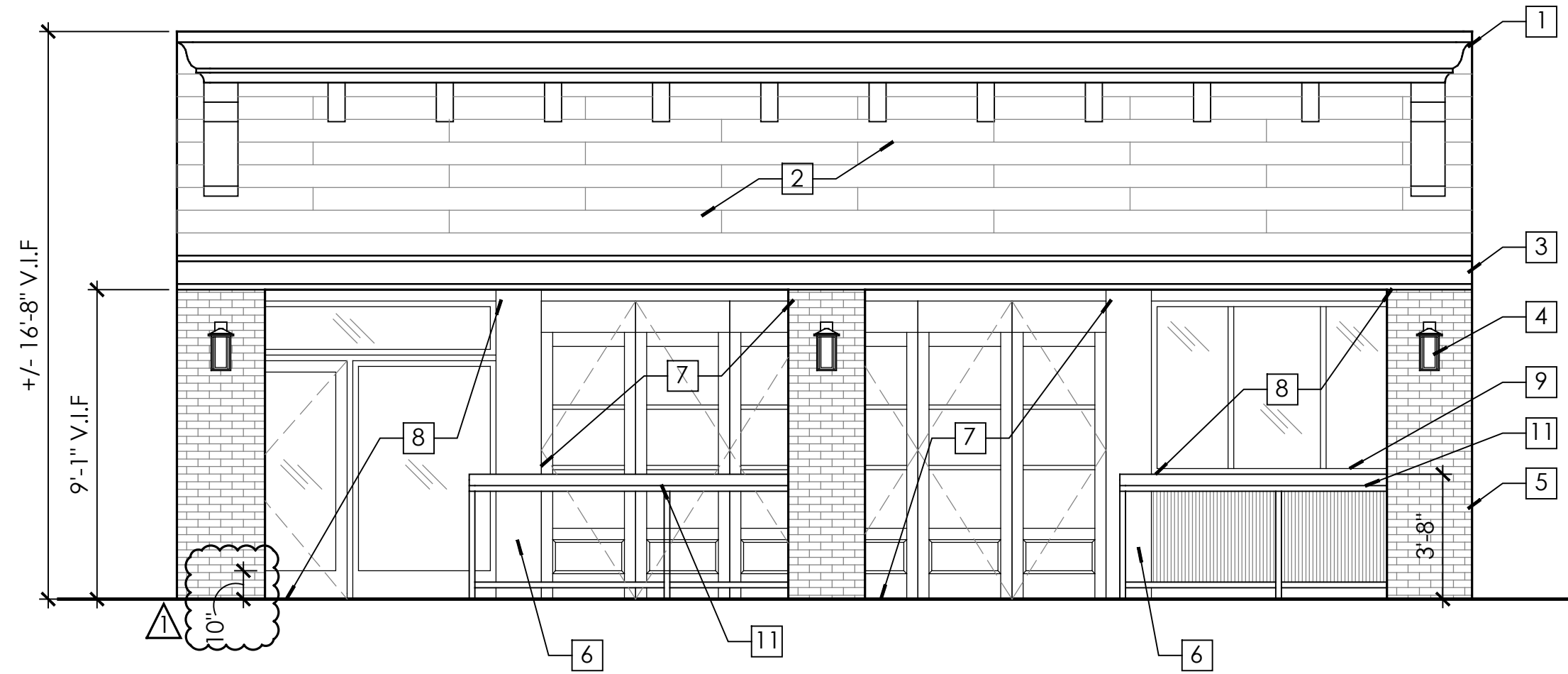
1 Existing Floor Plan
1/4"=1'-0"



2 Proposed Floor Plan
1/4"=1'-0"



3 Existing Elevation
1/4"=1'-0"



4 Proposed Elevation
1/4"=1'-0"

Legend

- 1 Existing cornice and decorative molding to remain and receive new paint finish.
- 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
- 3 Existing wood trim to remain and receive new paint finish.
- 4 Existing exterior light fixtures to be replaced with new light fixtures.
- 5 Existing Brick cladding to receive white wash finish.
- 6 Existing stucco wall to receive new paint finish.
- 7 Existing wood doors to remain and be refinish.
- 8 Existing Storefront to be replaced with new exit compliant storefront.
- 9 Existing counter bar to remain and be protected during construction.
- 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.

5 Existing Notes

Legend

- 1 Existing cornice and decorative molding to remain and receive new paint finish.
- 2 Existing upper facade wall to remain and receive new reclaimed wood cladding.
- 3 Existing wood trim to remain and receive new paint finish.
- 4 New light fixtures.
- 5 Existing Brick cladding to receive white wash finish.
- 6 Existing stucco wall to receive new paint finish.
- 7 Existing wood doors to remain and be refinish.
- 8 New Exit compliant Storefront and over-the-counter window.
- 9 Existing counter bar to remain and be protected during construction.
- 10 Existing flooring to be removed. Existing slab to be exposed. Repair floor surface where required.
- 11 New bar rail with wood top and metal base.

6 Proposed Notes

Frontage Type: Storefront			
LDR Table 4.4.13(i) - Dimensional Requirements for Storefronts			
Description	Minimum	Maximum	Provided
A Building Setback	10 ft.	15ft.	ETR
B Storefront Width	N/A	N/A	ETR (Refer to Plan)
C Storefront Base	9 in.	3ft.	10"
D Glazing Height	8 ft.	-	ETR (8'-9" V.I.F.)
E Required Openings	80%	-	ETR (82%)
Maximum Allowable Encroachment of Elements in All Districts			
F Awning Projection	3ft.	-	N/A
G Projecting Sign	N/A	3ft.	N/A

Following the Central Business District Guidelines, the existing building with the proposed changes falls under the Main Street Vernacular Style.

MENIN

RESTAURANT

307 E Atlantic Avenue
Delray Beach, FL 33483



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AR 0008134

Address
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T +1 (305) 455 4216

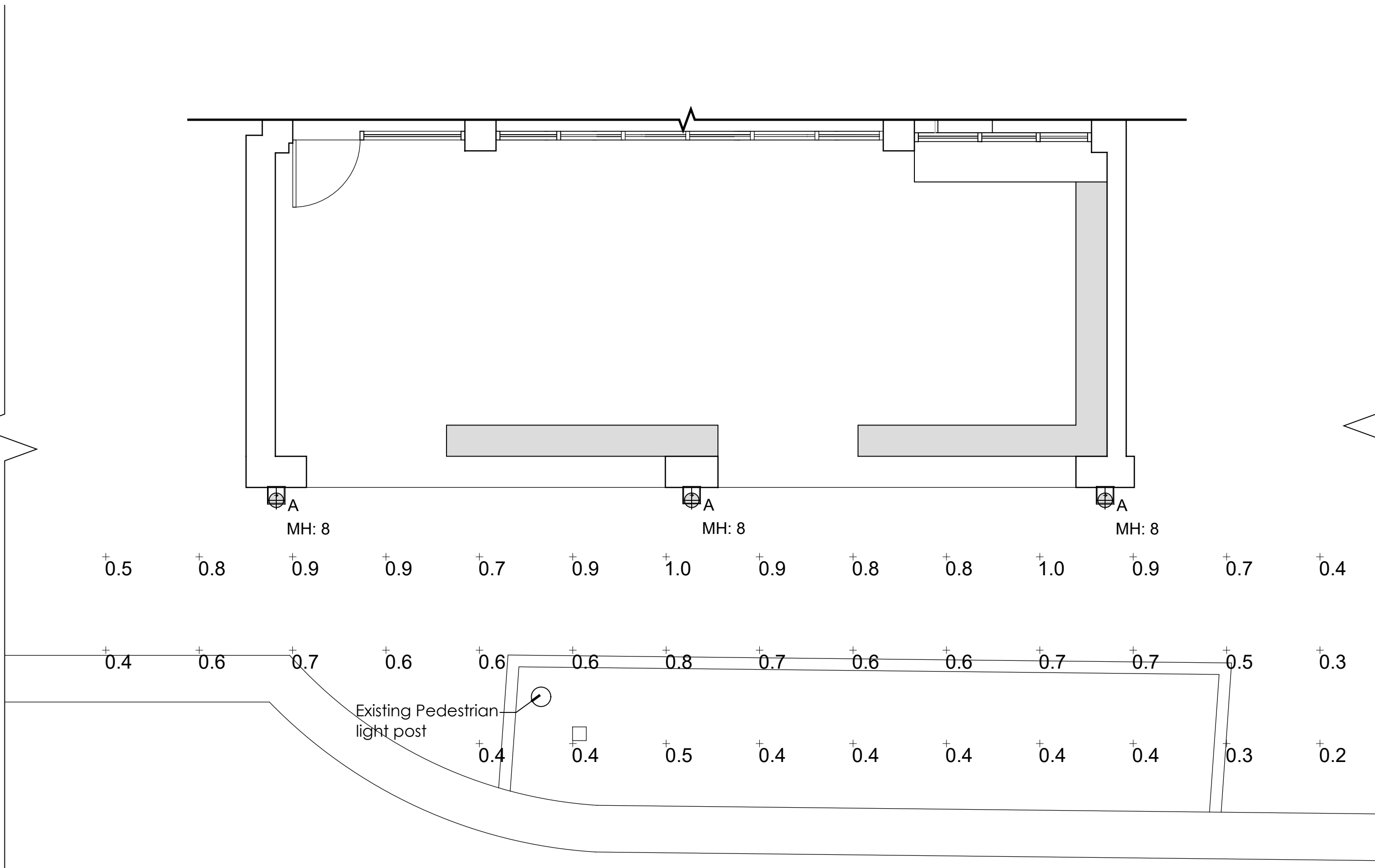
Issued/Revised
No Date Description
A 05-28-2019 Class I Application - Revision 1

Drawing Title

Existing vs. Proposed
Plan & Elevation

Scale As Noted
Date May 14, 2019
Drawn By FTJQ.MQ
Project No. 19014
Drawing No.

A1.01



Photometrics Calculation Software Generated Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
⬢	3	A	SINGLE	862	862	0.900	8.33	8.33

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
CalcPts_1	Illuminance	Fc	0.62	1.0	0.2	3.10	5.00	

General Notes

- Spot photometric only reflects the Fc of the new wall fixture. Existing pedestrian light post in from on site was not included in the photometric calculations.

PRODUCT SPECIFICATION SHEET

ITEM #: 87134/1

UPC 748119136097

Description Solitude 1-Light Sconce in Matte Black with Clear Glass

Finish Matte Black

Materials Aluminum, Glass

Brand ELK Lighting

Collection Solitude

Category Outdoor Lighting

Type Sconce

ITEM DIMENSIONS		RATINGS & SPECIFICATIONS	
Width	9 inches	Safety Rating	ETL
Depth	10 inches	ADA Compliant	N/A
Height	17 inches	Certification	Wet locations
Weight	6 pounds	Quantity	1
ADDITIONAL DIMENSIONS		Included	No
Backplate / Canopy	4.5x8	Wattage	60 watts
HCWO	2.5 inches	Type	A19 (E26 Medium Base)
Min. Extension	N/A	BULBS / SOCKETS	
Max. Extension	N/A	CHAIN / CORD INFORMATION	
OVERALL HEIGHT		Chain	N/A
Min.	N/A	Cord	8 inches
Max.	N/A	SHADE / GLASS DETAILS	
EXTENSION ROD(S)		Shade/Glass Description	Clear glass
N/A		Width	4.25 inches
		Height	12.4 inches
		Width at Top	N/A
		Width at Bottom	N/A

Rev. 5/13/2019

ELK Lighting is a division of [ELK Group International](#)

Sales: 1 (800) 613-3261

Sales@ELKGroupInternational.com



M E N I N

RESTAURANT

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Delray Beach, FL 33483



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Address

No	Date	Description
⚠	05-28-2019	Class I Application - Revision 1

Drawing Title

Phometrics of Proposed
Exterior Sconce and
Light Specifications

Scale	As Noted
Date	May 14, 2019
Drawn By	FTJO/MQ
Project No.	19014
Drawing No.	

A1.02

Not For Construction



1 Existing Facade Conditions
NTS



2 Proposed Facade Conditions
NTS

M E N I N

RESTAURANT

307 E Atlantic Avenue
Delray Beach, FL 33483



Registration Seal
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Issued/Revised		
No	Date	Description

Drawing Title

Existing vs. Proposed
Conditions

Scale	As Noted
Date	May 14, 2019
Drawn By	FTJO/MQ
Project No.	19014
Drawing No.	

A2.01