



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Casuarina

Project Location: 1009-1023 Casuarina Road

Request: Class V Site Plan, Architectural Elevations, Landscape Plans, and Internal Adjustment

Board: Site Plan Review and Appearance Board

Meeting Date: June 12, 2019

Board Action:

Approved with a 5-0 vote on the following request: Class V Site Plan, Architectural Elevations, Landscape Plans and Internal Adjustment for LDR Section 4.6.15(G)(1): Pool Setbacks. (Annie Adkins-Roof and Linda Purdo absent)

Project Description:

The subject property is located on the north side of Casuarina Road midblock between Gleason Street to the east and Venetian Drive to the west. The property is made up of 2 parcels consisting of Lot 6 and Lot 7, Block H, John B. Reid's Village, as recorded in Plat Book 21, Page 95, of the Public Records of Palm Beach County and is approximately 0.66 acres. The parcels are in the Multiple Family Residential (RM) zoning district with a Future Land Use Map (FLUM) designation of MD.

The applicant proposes to construct 6-fee simple townhomes. Each townhouse is three-stories with four-bedrooms, a two-car garage, a pool and an open trellis covered patio on the first floor. There is a proposed wall along the north, east and west property lines of the project site, with privacy walls between units. Access easements have been proposed to ensure rear access to the interior units.

As shown in the attached staff report, the development consists of townhomes that exceed the minimum required square footage and meet parking requirements. The multiple family residential use is consistent with all of the surrounding properties. The proposed density and traffic trips are less than the existing developments. The architectural style of the townhomes will be aesthetically pleasing, a visual asset and is compatible with existing multi-family developments on adjacent properties. The applicable performance standards of Section 4.4.6 have been met. Additionally, the development is consistent with the policies of the Comprehensive Plan and can be found consistent with Chapter 3 of the Land Development Regulations.

Board Comments:

Board comments supportive of the requests.

Public Comments:

The attorney for Brook Haven Condominiums Homeowners Association spoke on behalf of the residents. The applicant, development team, and the HOA president had met on site to discuss construction concerns. The email detailing HOA's interpretation of the meeting has been included in the attachments. Concerns listed on the email were discussed during the

Appealable Item Report

public discussion segment of the presentation. Solutions on how to address the concerns were discussed and agreed upon by both parties.

Associated Actions:

The proposed development is required to be platted.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: June 12, 2019

File No.: 2019-053-SPF-SPR-
CL V

Application Type: Class V Site Plan, Landscape Plan,
Architectural Elevations– Casuarina Delray Townhomes

General Data

Agent: Thomas Carney, Carney Stanton, P.L.

Applicant/Owner: JD Realty Holdings, LLC

Location: 1009-1023 Casuarina Road

PCN: 12434616140080070/12434616140080060

Property Size: 0.66 Acres

FLUM: Medium Density 5-12 du/ac (MD)

Zoning: Multiple Family Residential (RM)

Adjacent Zoning:

- North: RM
- South: RM
- East: RM
- West: RM

Existing Land Use: Multiple Family Residential-13
Units (Apartments)

Proposed Land Use: Multiple Family Residential- 6
fee-simple townhomes

Item before the Board:

The action before the Board is the consideration of a
Class V Site Plan application for **Casuarina Delray
Townhomes** located at 1009-1023 Casuarina Road
pursuant to LDR Section 2.4.5 (F), including the
following:

- ☐ Site Plan
- ☐ Landscape Plan
- ☐ Architectural Elevations
- ☐ Internal Adjustment LDR Section 4.6.15(G)(1): Pool Setbacks



Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class V (2019-053) Site Plan, Landscape Plan, Architectural Elevations and Internal Adjustment for Casuarina Delray Townhomes located at 1009-1023 Casuarina Road, as amended, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in Sections 2.4.5(F)(5), 2.4.5(I)(5), 2.4.7(C)(5), 4.6.18(E), 4.6.16, and Chapter 3 of the Land Development Regulations.
3. Move denial of the Class V (2019-053) Site Plan, Landscape Plan, Architectural Elevations and Internal Adjustment for Casuarina Delray Townhomes located at 1009-1023 Casuarina Road, by finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in Sections 2.4.5(F)(5), 2.4.5(I)(5), 2.4.7(C)(5), 4.6.18(E), 4.6.16, and Chapter 3 of the Land Development Regulations.

Project Planner:

Christine Stivers, Senior Planner;
stiversc@mydelraybeach.com,
561-330-6056

Review Dates:

SPRAB: June 12, 2019

Attachments:

1. Site Plans
2. Elevations
3. Landscape Plan



Notes:

1. Prior to site plan certification, provide a note on the plan stating that an in-lieu sidewalk fee is required at time of building permit.
2. Prior to site plan certification, the existing utility companies must sign off on the utility easements being abandoned by the platting process.
3. Prior to site plan certification, adjust the open space percentage provided on the site plan.
4. Prior to building permit issuance, the development must be platted.
5. Prior to building permit issuance, a Landscape Maintenance Agreement for street trees shall be recorded.
6. Prior to building permit issuance, a Tree Mitigation fee in the amount of \$10,400 must be remitted.

Assessment and Summary:

The property consists of 0.66 acres and is zoned RM (Multiple Family Residential). The development consists six townhomes that exceed the minimum required square footage and meet parking requirements. The multiple family residential use is consistent with all of the surrounding properties. The proposed density and traffic trips are less than the existing developments. The architectural style of the townhomes will be aesthetically pleasing, a visual asset and is compatible with existing multi-family developments on adjacent properties. The applicable performance standards of Section 4.4.6 have been met.

Background:

The subject property is located on the north side of Casuarina Road midblock to Gleason Street to the east and Venetian Drive to the west. The property is made up of 2 parcels consisting of Lot 6 and Lot 7, Block H, John B. Reid's Village, as recorded in Plat Book 21, Page 95, of the Public Records of Palm Beach County and is approximately 0.66 acres.

The subject parcel has two structures that are in the demolition stage. Prior to demolition, 1023 Casuarina Road, Lot 6, had a 4-unit multiple family structure constructed in 1948 approximately 6800 sf in size. A fifth unit was added in 1962 and was eventually combined with another unit which reverted the structure back to 4-units and an existing density of 12 dwelling units/acre (du/ac). 1009 Casuarina Road, Lot 7, had a 9-unit multiple family structure constructed in 1960, approximately 6200 sf in size and an existing density of 27 du/ac. The parcels are in the RM zoning District with a Future Land Use Map (FLUM) designation of MD.

Project Description:

The applicant has submitted a Class V Site Development plan to construct 6-free simple townhomes. Each townhouse is three-stories with four-bedrooms, a two-car garage, a pool and an open trellis covered patio on the first floor. The second and third stories have additional terraces. The end units are 4,650 sf under air with an additional 1,580 sf open air uses that include a front entry and terraces, and the interior four units are 5,230 sf under air with an additional 800 sf open air uses. There is a proposed wall along the north, east and west property lines of the project site, with privacy walls between units. Access easements have been proposed to ensure rear access to the interior units.

Site Plan Analysis:

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

LDR Section 4.4.6 Medium Density Residential (RM) purpose and intent:

The Medium Density Residential (RM) District provides a residential zoning district with flexible densities having a base of six units per acre and a maximum of twelve units per acre for this property. The actual density of a particular RM development is based upon its ability to achieve certain performance standards which are intended to mitigate the impacts of the increased density and ensure that the project is compatible with surrounding land uses.

LDR Section 4.4.6(l) Performance Standards:

The following standards shall apply to all site plans approved subsequent to October 7, 1997, and for modifications to existing developments which involve the creation of additional residential units. In order to increase a project density beyond six units per acre, the approving body must make a finding that the development substantially complies with the performance standards listed in this section. It is acknowledged that some of the referenced standards may not be entirely applicable to small, infill type residential projects. This project is considered a small, infill type of residential project, therefore, the ultimate density should be based upon the attainment of those standards which are applicable, as well as the development's ability to meet or exceed other minimum code requirements.

The following is an analysis of applicable performance standards for the infill parcels:



- a) The traffic circulation system is designed to control speed and reduce volumes on the interior and exterior street network. This can be accomplished through the use of traffic calming devices; street networks consisting of loops and short segments; multiple entrances and exits into the development; and similar measures that are intended to minimize through traffic and keep speeds within the development at or below 20 m.p.h.

Analysis: **Not Applicable**

- b) Buildings are placed throughout the development in a manner that reduces the overall massing and provides a feeling of open space.

Analysis: **Not Applicable**

- c) Where immediately adjacent to residential zoning districts having a lower density, building setbacks and landscape materials along those adjacent property lines are increased beyond the required minimums in order to provide a meaningful buffer to those lower density areas. Building setbacks are increased by at least 25% of the required minimum; at least one tree per 30 linear feet (or fraction thereof) is provided; trees exceed the required height at time of planting by 25% or more; and a hedge, wall or fence is provided as a visual buffer between the properties.

Analysis: **Not Applicable**

- d) The development offers a varied streetscape and building design. For example, setbacks are staggered and offset, with varying roof heights (for multi-family buildings, the planes of the facades are offset to add interest and distinguish individual units). Building elevations incorporate diversity in window and door shapes and locations; features such as balconies, arches, porches, courtyards; and design elements such as shutters, window mullions, quoins, decorative tiles, etc.

Analysis: **The six unit development has a varied façade that is staggered and offset with a recessed third floor. The architecture consists of flat roofs, impact-rated glass garage doors, wood entry doors, wood cladding, eyebrows and balconies which provide diversity in the framework of the building.**

- e) A number of different unit types, sizes and floor plans are available within the development in order to accommodate households of various ages and sizes. Multi-family housing will at a minimum have a mix of one, two- and three-bedroom units with varying floor plans.

Analysis: **Not Applicable**

- f) The development is designed to preserve and enhance existing natural areas and/or water bodies. Where no such areas exist, new areas which provide open space and native habitat are created and incorporated into the project.

Analysis: **Not Applicable**

- g) The project provides a convenient and extensive bicycle/pedestrian network, and access to available transit.

Analysis: **Not Applicable**

As stated previously, the subject parcel consists of two lots which have densities of 12 du/ac and 27 du/ac. The proposed density of the proposed development is 9 du/ac which is substantially lower than the existing densities. Although street trees are not required in the RM Zoning District, the developer is proposing street trees along Casuarina Road to enhance the neighborhood. Based on meeting the intent of Performance Standard d, reducing the existing density of the subject parcel, and exceeding minimum code requirements by providing street trees, a positive finding can be made for a density greater than 6 du/ac.

LDR Section 4.4.6 (H) (Special Regulations - RM zone district):

Recreational areas shall be required for all of owner-occupied developments which have homeowner associations that must care for retention areas, private streets, or common areas.



This development will consist of six fee-simple townhomes with individual patios and pool areas. There are not common areas, retention or private streets, therefore there will not be an HOA. Based upon the above, compliance with this code requirement has been achieved.

LDR Section 4.3.3(O) (Townhouse Design Standards):

As described below, the development proposal complies with the design standards for townhouse developments outlined in LDR Sections 4.3.3(O)(4)(a) through (d):

- a) No more than two townhouses may be constructed without providing a front setback of no less than 4' offset front to rear.

The purpose of this requirement is to prevent a long linear appearance. The entry ways of each unit are set back from the garages to address this requirement.

- b) No townhouse row shall consist of more than 8 units or a length of 200'.

The townhouse row consists of 6 units and is 170' in length, thus meeting this code requirement.

- c) Service features, garages, parking areas, and entrances to dwelling units shall, whenever possible, is located on a side of the individual lot having access to the interior street. Walkways should be designed to connect dwelling units with each other and connect each dwelling unit with common open space.

Not Applicable

- d) Not less than 25% of the total area, less water bodies, shall be usable open space, either for recreational or some other suitable purpose, public or private.

The basis for this standard is to assure that larger residential developments provide adequate recreational amenities. With smaller developments, provision of these amenities is not considered financially feasible, and the required contribution of \$500.00 per unit (park impact fee) is considered adequate, therefore \$3000.00 will be required for this development.

LDR Section 4.3.3(O)(2) (Platting):

Each townhouse, or townhouse type development shall be platted. **Prior to building permit issuance, the plat and any maintenance agreements must be recorded.**

LDR Section 4.3.4(K) Development Standards Matrix:

The following table indicates that the proposal complies with LDR Section 4.3.4(K), as it pertains to the RM (Multiple Family Residential – Medium Density) zoning district:

RM Zoning Standards		
Building Setbacks (min.):	Required (1&2/3*)	Proposed (1&2/3*)
Front (Casuarina Road)	25'/30'	25'/30'*
Side Interior Setback (east and west)	15'/30'	15'/30'*
Rear	25'	25'
Maximum Lot Coverage:	40% max.	39.8%
Open Space (non-vehicular)	25% min.	>25%
Building Height (max.)(AE-6 Flood Hazard Area) :	35' from BBE**+ 1'	32'-6"
Minimum Floor Area:		
4BR	1,250 sf	4,646 sf - 5,228 sf
Maximum Density:	12 units/acre	9 units/acre



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Min. Lot Size (sf.)	8,000 sf	29,000 sf
Min. Lot Frontage (ft.)	60 ft.	200 ft.
Min. Lot Width (ft.)	60 ft.	200ft.
Min. Lot Depth (ft.)	100 ft.	145 ft.

* 1&2/3 = 1st and 2nd Story/ 3rd Story.

** Base Building Elevation

LDR Chapter 4.6 Supplementary District Regulations:

LDR Section 4.6.9(C)(2)(c) Vehicle Parking:

Two or more-bedroom dwelling units shall provide two spaces per unit and one-half space per unit for guest parking. The parking requirement for the site is 15 spaces. The development proposes two standard guest spaces in front of the two-car garage for each unit for a total of 24 parking spaces, providing a 9 space parking surplus for the overall site. The parking requirement is met.

LDR Sections 4.6.15(G)(1) Pool Setbacks:

A minimum ten-foot setback is required for swimming pools located in the rear, interior or side street setback areas. Swimming pools shall not extend into the front setback area noted in Section 4.3.4(K). The proposed pools meet the required perimeter setbacks, but do not meet the setbacks within the interior side lot lines of the units. The Applicant has submitted an Internal Adjustment request. Per LDR section 2.4.7(C)(1) Internal Adjustments: An adjustment involves the lessening, or a total waiver, of those development standards which affect the spatial relationship among improvements on the land. An adjustment shall only be considered during the site and development plan review process and shall be only for requirements which do not pertain to, or affect, standards that apply to the perimeter of an overall development proposal (plan). An adjustment may be granted by the body or board which is empowered to approve or deny the site and development plan.

Per LDR Section 2.4.7(C)(5) Findings. Concurrent with granting relief from a development standard or regulation, the granting body must find that such relief does not diminish the practical application of the affected regulation (requirement) and that by granting such relief a superior development product will result.

The applicant has applied for an internal adjustment for the pool setback distance requirement from the interior side lot lines of all units. The maximum relief requested is 7-feet. Staff supports the internal adjustment based on the history of several projects in the past being approved with zero to five-foot setback being applied to similar projects. The LDR section specifically speaks to pool setbacks for the rear, interior or side street setback distances of the development perimeter but does not refer to internal setbacks for interior lot lines of a townhome development. This code section is slated for clarification in the future. Granting this relief from Section 4.6.15(G)(1), pool setbacks; does not diminish the practical application of the affected regulation and by granting such relief a superior development product will result which will allow each unit to have a pool.

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance. A tree disposition plan was included with the landscape plans. Removal, relocation and mitigation has been determined for the existing trees. Mitigation was found to be in compliance requiring a fee for payment in-lieu in the amount of \$10,400. **This fee shall be due prior to building permit issuance.** Street trees located within the right-of-way are proposed along Casuarina Road. **A Landscape Maintenance Agreement for the street trees shall be recorded prior to building permit issuance.**

Architectural Elevations Analysis

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the



local environment or evolving environment to materially depreciate in appearance and value.

3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal consists of six townhomes with two-car garages. The building has a contemporary architectural style with flat roofs, smooth stucco finish, vertical windows with clear glass anodized aluminum (silver color) frames, aluminum terrace handrail, stone wall cladding, glass garage doors, wood front entry, wood cladding and decorative fins. The first floor has a trellis covered rear patio. Roof decks and balconies are on the 2nd and 3rd floors. There are ground level pools with individual courtyards and a stucco masonry wall of varying heights and landscaping.

The proposed architectural elevations present design elements that will contribute to the image of the residential area by introducing a development that will maintain the architectural harmony, compatibility and quality of the neighborhood. It will not cause the nature of the local environment or evolving environment to materially depreciate in appearance and value. Based on the above, positive findings with respect to LDR Section 4.6.18(E) can be made.

Pursuant to **LDR Section 3.1.1 (Required Findings)**, prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following four areas.

FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation.

The subject property has a Future Land Use Map designation of MD (Medium Density Residential) and is zoned RM (Medium Density Residential). Pursuant to LDR Section 4.4.6(B)(3), within the RM zoning district, multiple family structures up to 12 units per acre are allowed as a permitted use, subject to compliance with the performance standards of LDR Section 4.4.6(I). Since compliance with the Performance Standards has been provided, the proposed density increase to 9 units per acre is appropriate.

CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

As described in Appendix A, a positive finding of concurrency can be made as it relates to water, sewer, streets and traffic, parks and recreation, and solid waste.

CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency.

As described in Appendix B, a positive finding of consistency can be made as it relates to Development Standards for Site Plan Actions.

COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

As described in under Site Plan Analysis section of this report, a positive finding of compliance with the LDRs is made.

LDR Section 2.4.5(F) (5) - Compatibility (Site Plan Findings): the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject parcel:



Adjacent Zoning		Adjacent Land Use
North	Multiple Family Residential (RM)	Fee Simple Multiple Family Residential
South	Multiple Family Residential (RM)	Multiple Family Residential
East	Multiple Family Residential (RM)	Multiple Family Residential
West	Multiple Family Residential (RM)	Multiple Family Residential

Compatibility is not a concern, as similar uses exist on the surrounding properties. This townhouse development will be compatible and harmonious with the adjacent and nearby properties and should enhance property values in the area. Therefore, a positive finding can be made for Section 2.4.5(F) (5), that the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

Comprehensive Plan Policies: A review of the goals, objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies were noted.

Future Land Use Element Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

The proposed fee simple townhome development is appropriate and consistent with the surrounding area. There are existing multi-family residential developments on the adjacent properties to the north, south, east and west. Thus, the proposed development can be deemed a compatible and appropriate use for this site.

Housing Element Policy A-12.3: In evaluating proposals for new development or redevelopment, the City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

The development is surrounded on three sides by multiple family residential developments. A privacy wall of varying height, with a maximum 8 feet on the side yards, and landscaping is proposed to negate nuisances such as noise, odors, and dust. Based on the traffic study, Palm Beach County Traffic Division determined that the proposed development generates less trips than the existing development and the trips can be accommodated by the surrounding road network. Thus, the proposal will not negatively impact the stability of the adjacent residential areas.

Review by Others:
The development proposal is not in a geographic area requiring review by the Pineapple Grove Main Street (PGMS), West Atlantic Redevelopment Coalition (WARC), Historic Preservation Board (HPB), Downtown Development Authority (DDA) or the Community Redevelopment Agency (CRA).

Courtesy Notice:
Courtesy notices have been provided to the following homeowner's associations and/or civic groups:

- Beach Property Owners Association
Mr. Bob Victorin
455 NE 5th Ave. Suite D #272
Delray Beach, FL 33483
- Brook Haven Condominium Association, Inc.
Marko L Brakovich
1025 Casuarina Rd Apt 6
Delray Beach, FL 33483-6739



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

Letters of objection or support, if any, will be presented at the Site Plan Review and Appearance Board (SPRAB) meeting.

Staff Report Prepared by: *Christine Stivers, Senior Planner*



APPENDIX "A"-CONCURRENCY FINDINGS:

Pursuant to **LDR Section 3.1.1(B)** Concurrency as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: •

- Water service will be provided by an existing 8" line located within Casuarina Road.
- Sewer service will be provided by an existing 8" line located within Casuarina Road.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Streets and Traffic: A Traffic Statement has been submitted that indicates that the 6 dwelling units will generate 55 new daily trips and -6 new AM Peak Hour trips and -3 new PM Peak Hour trips. The proposed development therefore meets the Traffic Performance Standards of Palm Beach County.

Parks and Recreation Facilities: The proposed units will not have a significant impact with level of service standards for parks and recreation facilities. However, per LDR Section 5.3.2, whenever a development is proposed upon land which is not designated for park purposes in the Comprehensive Plan, an impact fee assessed for the purpose of providing park and recreational facilities shall be imposed. The amount of the fee shall be \$500.00 per dwelling unit, therefore a fee of \$3,000 will be collected prior to building permit issuance.

Solid Waste: Solid waste generated each year by this development will be approximately 0.8 tons per residential unit (6 units) for a total of 4.8 tons per year. The existing development (13 units) generated 10.4 tons per year, therefore the proposed development generates 5.6 less tons of solid waste than the existing development. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2046.

Drainage: Drainage will be accommodated on site. No problems for adjacent properties are anticipated with respect to drainage as it relates to this standard.



APPENDIX "B" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent



- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent

A/C BUILDING AREA TABULATION			
UNIT TYPE	# OF UNITS	SQ. FT./UNIT	TOTAL SQ. FT.
UNIT A	2	4,179	8,358
UNIT B	4	4,762	19,048
TOTAL	6		27,406

TOTAL BUILDING AREA TABULATION			
UNIT TYPE	# OF UNITS	SQ. FT./UNIT	TOTAL SQ. FT.
UNIT A	2	4,646 SF	9,292 SF
UNIT B	4	5,228 SF	20,912 SF
TOTAL	6		30,204 SF

BUILDING OPEN AREA TABULATION			
UNIT TYPE	# OF UNITS	SQ. FT./UNIT	TOTAL SQ. FT.
UNIT A	2	1582 SF	3,164 SF
UNIT B	4	805 SF	3,220 SF
TOTAL	6		6,384 SF

NOTES:

1. PER DELRAY BEACH CODE OF ORDINANCES: ALL BUILDINGS OR STRUCTURES REGARDLESS OF THE TYPE OF CONSTRUCTION WHICH ARE 3 OR MORE OCCUPIED STORIES OR HAVE THREE (3) OR MORE UNOCCUPIED STORIES AS DEEMED REQUIRED BY THE AUTHORITY HAVING JURISDICTION, MUST HAVE SPRINKLER PROTECTION.

2. FIRE CODE REFERENCE: FLORIDA FIRE PREVENTION CODE 5TH EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, 2012 EDITION & FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2012 EDITION.

3. ALL PROPOSED UTILITY LINES WILL PLACED UNDERGROUND.

4. SEE WS-4 ON CIVIL DWG'S FOR ALL SITE UTILITIES.

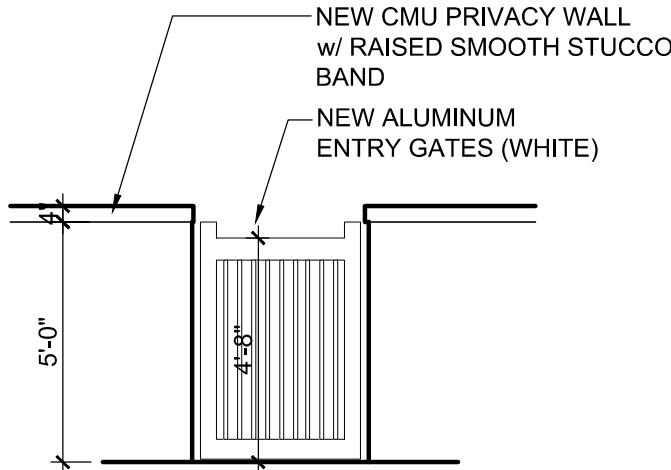
PROJECT DATA		
ZONING: RM		
- BUILDING FOOTPRINT AREA	11,557 S.F.	39.8%
- PARKING	2,866 S.F.	
- WATER BODIES	0 S.F.	
- NO. OF DWELLING UNITS	6 UNITS	
- DWELLING UNIT PER ACRE	9 / ACRE	

SETBACKS	REQUIRED	PROVIDED
	18'2" / 3	18'2" / 3
FRONT	25' / 30'	25' / 30'
SIDE (INTERIOR)	15' / 30'	15' / 30'
REAR	25'	25'

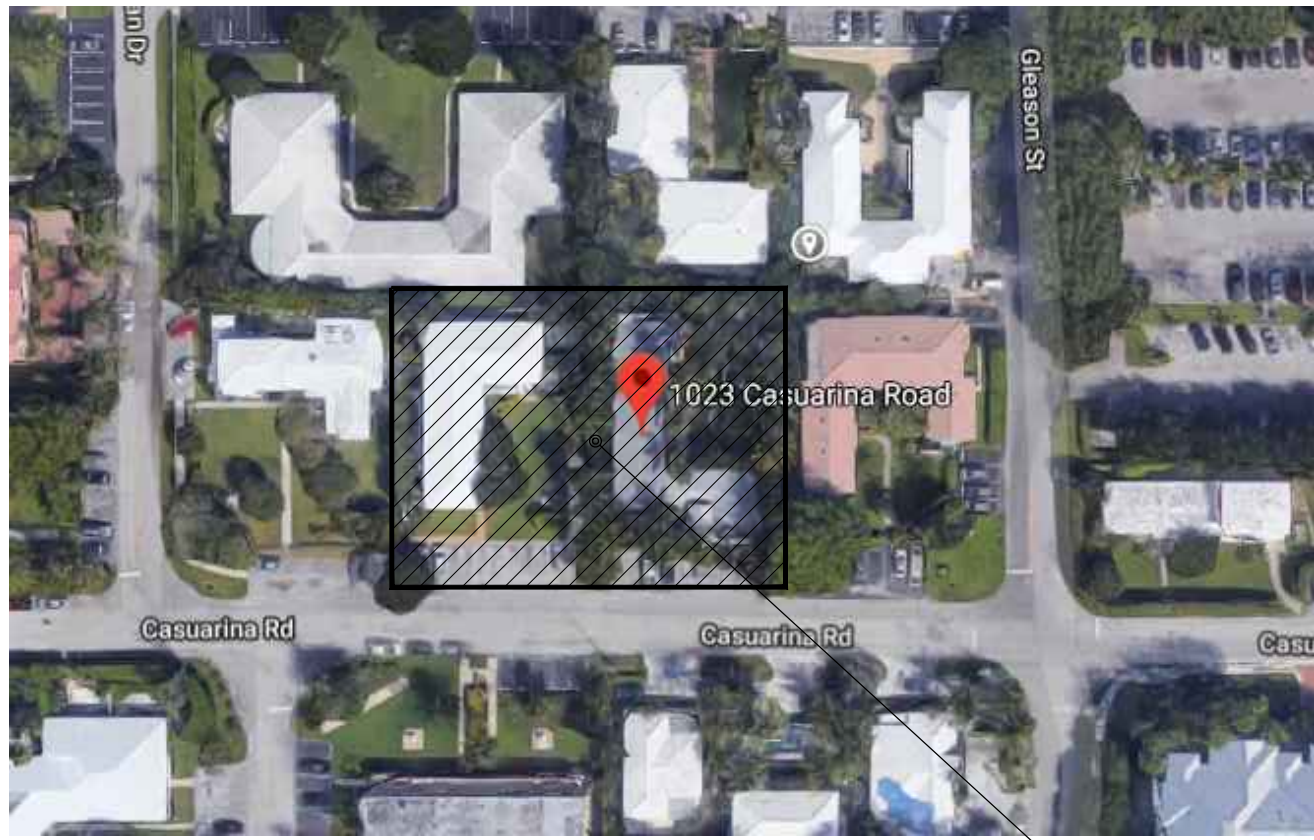
PARKING ANALYSIS	
GARAGE PARKING (UNIT PARKING)	12
DRIVEWAY PARKING (GUEST PARKING)	12
ADDITIONAL PARKING	0
TOTAL PARKING	24
** REQUIRED: 3BR UNIT 2.0 SPACE REQ. PER UNIT 5.0 GUEST SPACE REQ. PER UNIT	

-IMPERVIOUS AREA = 20,473 SF. (70.5%)
-FLOOD ELEV. AE 6.0'
- FEE SIMPLE

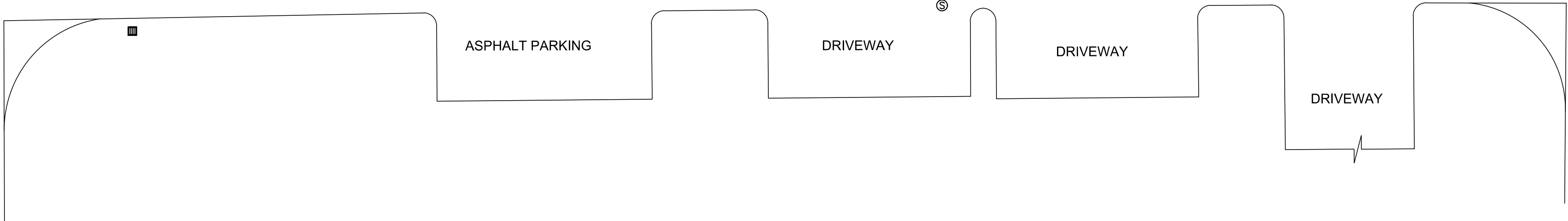
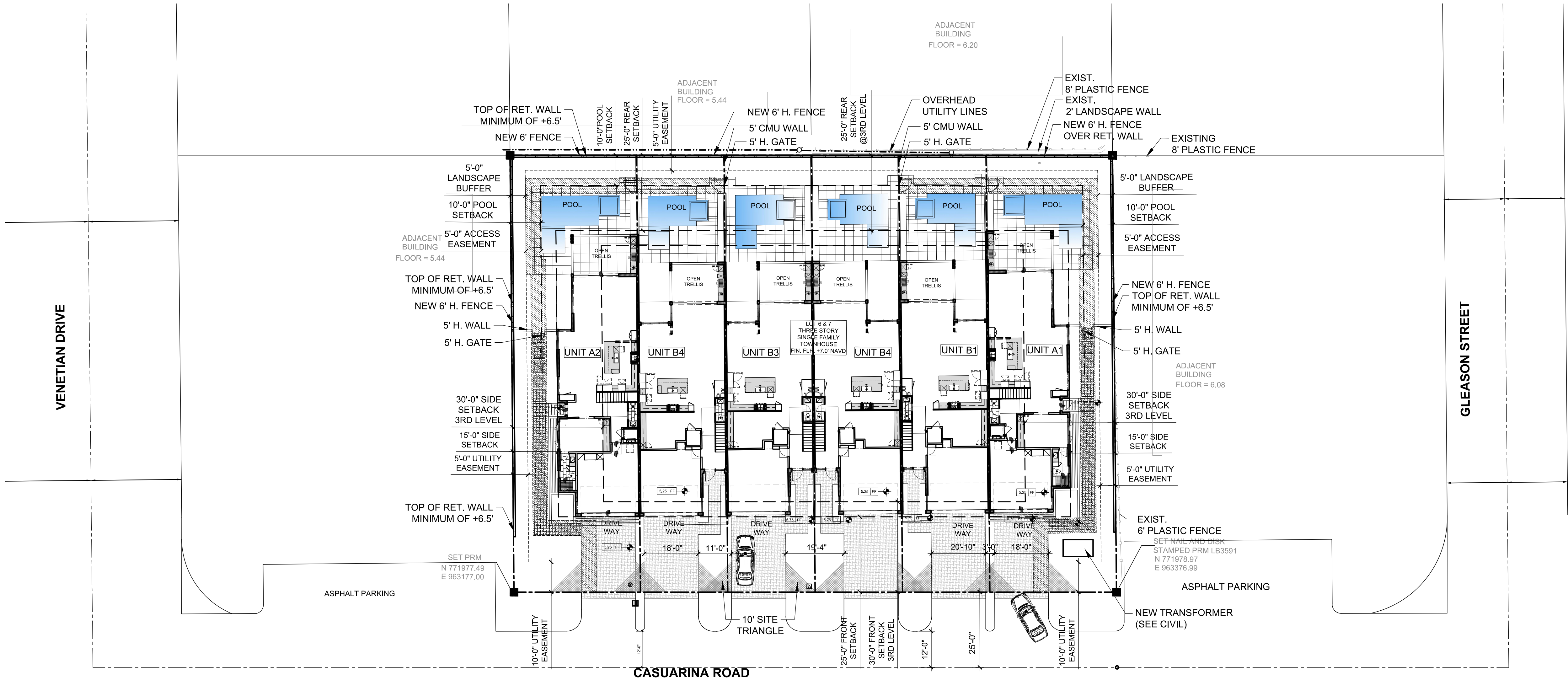
RM	MIN. LOT SIZE (sq. ft)	MIN. LOT WIDTH (ft)	MIN. LOT DEPTH (ft)	MIN. OPEN SPACE (%)	MIN. LOT FRONTAGE (ft)	MAX LOT COVERAGE (%)	MAX BLDG HEIGHT (ft)
MULTI-FAMILY							
REQUIRED	8,000	60	100	25	60	40 (11,600)	35
PROVIDED	29,000	200	145	50 (14,370/29,000)	200	39.8 (11,557/29,000)	34'-8"



3 GATE DETAIL
1/4"=1'-0"



2 LOCATION MAP
N.T.S.



1 OVERALL SITE PLAN
1"=20'-0"

REVISIONS	BY	DATE
△ PRE SITE PLAN SUBMIS.	CML/CB	09.14.18
△ SITE PLAN SUBMIS.	CML/CB	11.09.18
△ FLOOR PLAN REVISIONS	CML/CB	12.20.18
△ FLOOR PLAN REVISIONS	CML/CB	01.11.19
△ SITE PLAN RE-SUBMIS.	CML/CB	03.11.19
△ BIT SET	CML/CB	04.12.19
△ SITE PLAN RE-SUBMIS.	CML/CB	04.30.19

CASUARINA DELRAY
TOWNHOMES
CASUARINA ROAD
DELRAY BEACH, FLORIDA

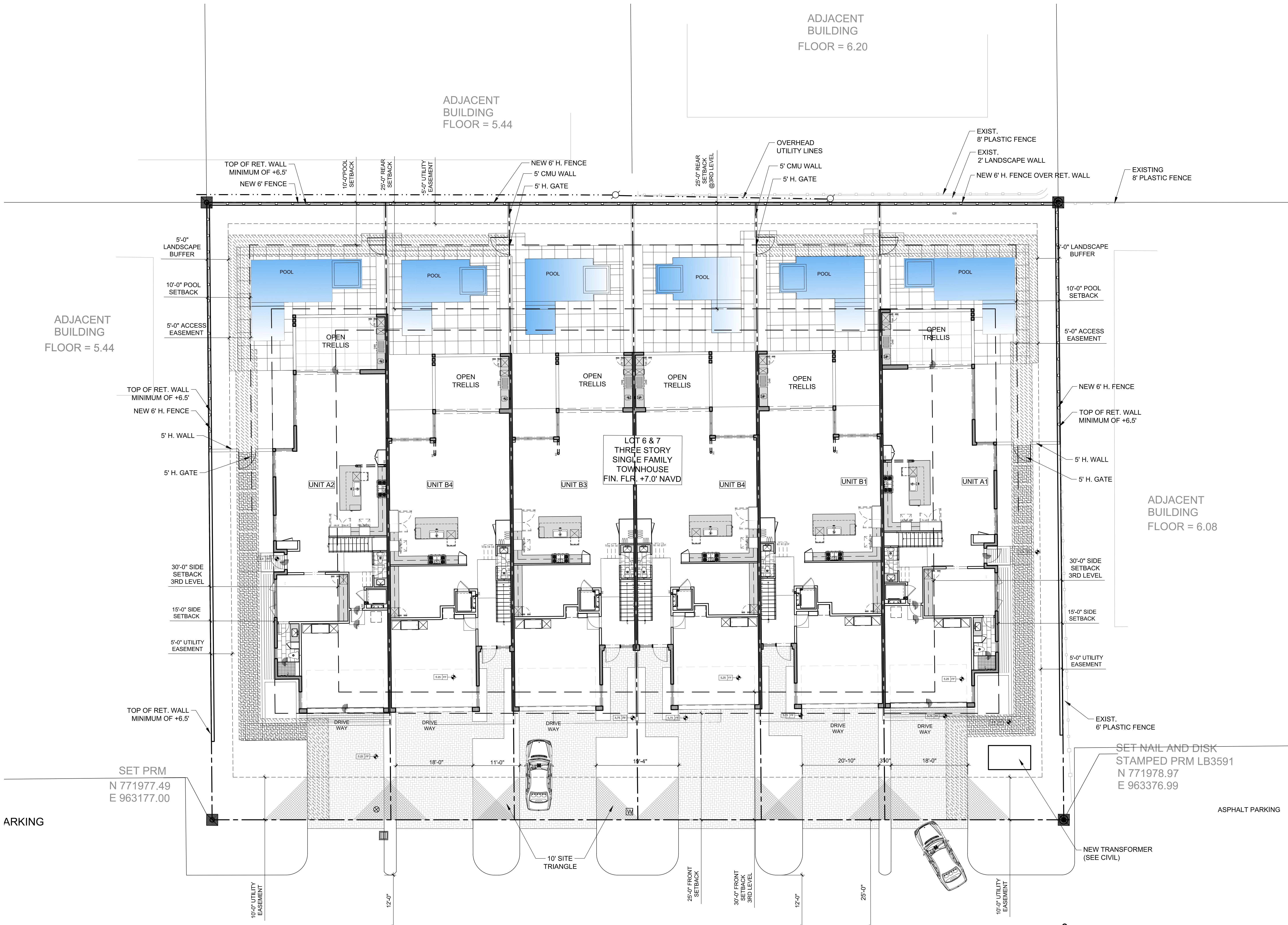
RANDALL STOFFT
ARCHITECTS
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JUL 18 2019 1806074

FL-0011105 FIRM-AA003379

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A101



REVISIONS	BY	DATE
△ PRE SITE PLAN SUBMIS.	CML/CB	09.14.18
△ SITE PLAN SUBMIS.	CML/CB	11.09.18
△ FLOOR PLAN REVISIONS	CML/CB	12.20.18
△ FLOOR PLAN REVISIONS	CML/CB	01.11.19
△ SITE PLAN RE-SUBMIS.	CML/CB	03.11.19
△ BIT SET	CML/CB	04.12.19
△ SITE PLAN RE-SUBMIS.	CML/CB	04.30.19

SITE PLAN RESUBMISSION 04.30.19

CASUARINA DELRAY
TOWNHOMES
CASUARINA ROAD
DELAY BEACH, FLORIDA



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1806074

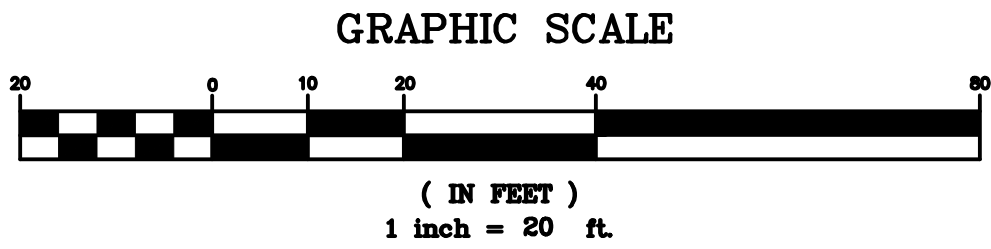
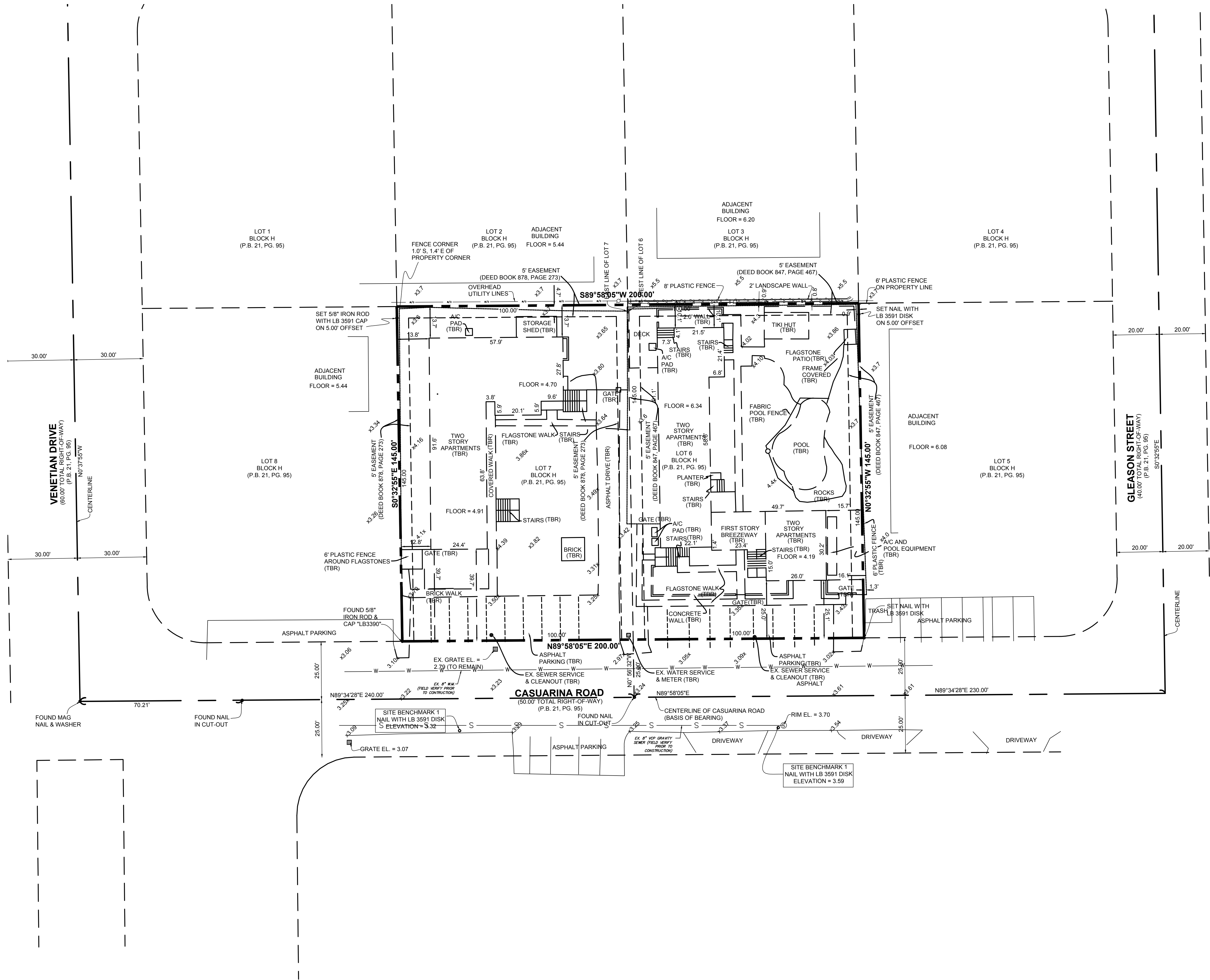
FL-0011105 FIRM-AA003379

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A102

1 DETAILED SITE PLAN
1"=10'-0"

NOTE:
ELEVATION ARE SHOWN IN NAVD
CONVERSION NGVD-1.54 = NAVD



LEGEND

- PROPERTY/ROW LINE
- PROPOSED PIPE AND CATCH BASIN
- PROPOSED GRADE
- DIRECTION OF FLOW
- EXISTING PIPE AND INLET
- EXISTING GRADE
- W --- PROPOSED WATER LINE
- W --- EXISTING WATER LINE
- S --- PROPOSED SANITARY SEWER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- PROPOSED ELECTRIC LINE
- T --- PROPOSED TELEPHONE/CABLE LINE
- TBR TO BE REMOVED

NOTE:
ALL EXISTING FEATURES WITHIN
PROJECT SITE ARE TO BE
REMOVED UNLESS OTHERWISE
NOTED

REV. PER CITY COMMENTS	04/25/19	MVK	BY
REV. PER CITY COMMENTS	03/12/19	MVK	DATE
REVISIONS	DATE		
FILE NAME	8338_RNC.dwg		

CAULFIELD 8 WHEELER, INC.
CIVIL ENGINEERING - LAND SURVEYING
LANDSCAPE ARCHITECTURE
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE (561) 392-1991 / FAX (561) 750-1452

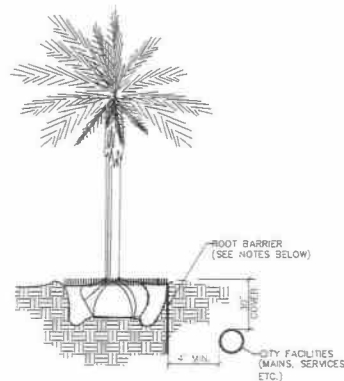
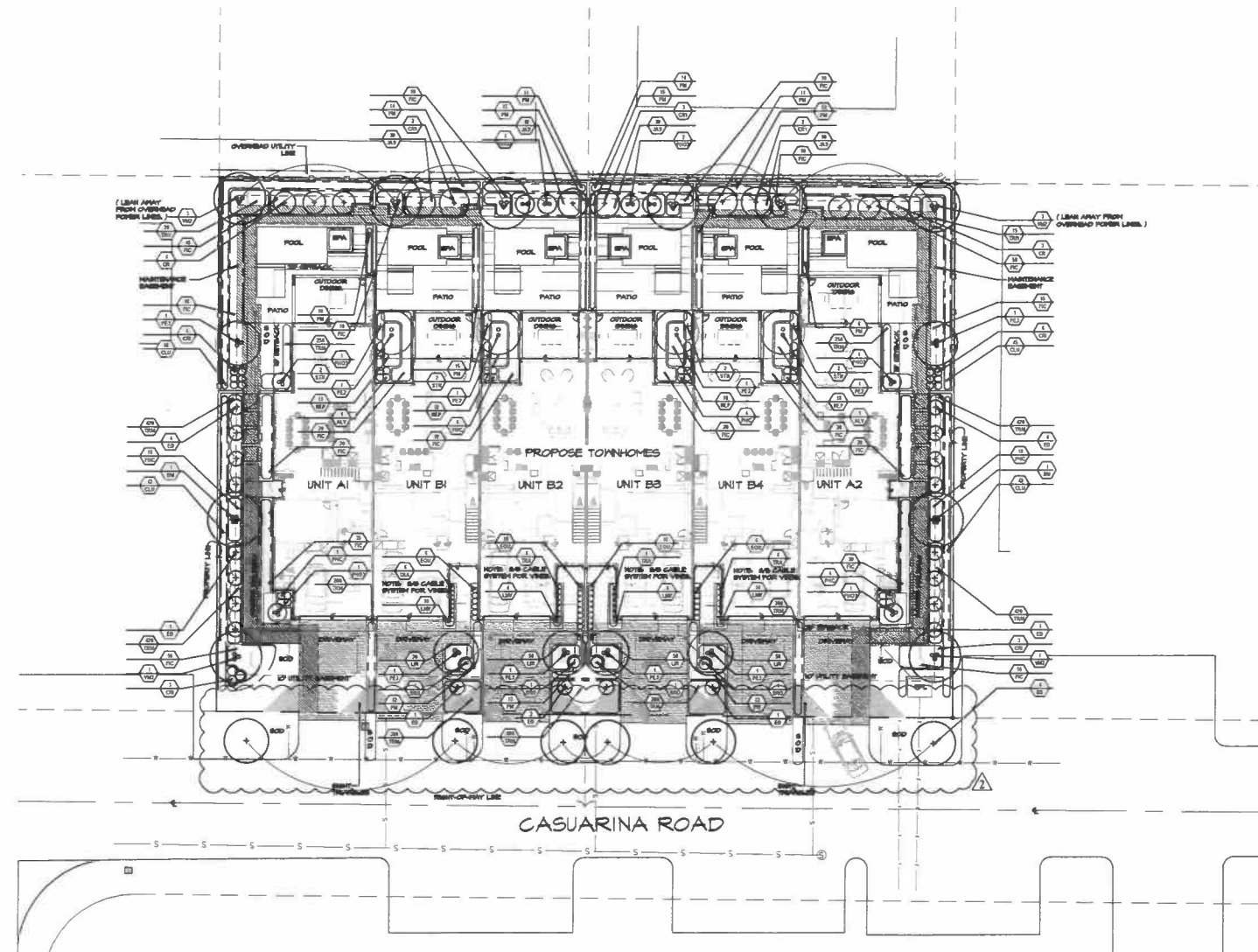
CASUARINA DELRAY
DEMOLITION PLAN
DELRAY BEACH, FLORIDA

DATE	09/14/18
DRAWN BY	MVK
F.B./ PG.	----
SCALE	1" = 20'

MATTHEW V. KAHN
PROFESSIONAL ENGINEER
LICENSE NO. 82227
STATE OF FLORIDA
- FOR THE FIRM -
DATE

JOB # 8338
SHT. NO.
PD-1A
OF 13 SHEETS

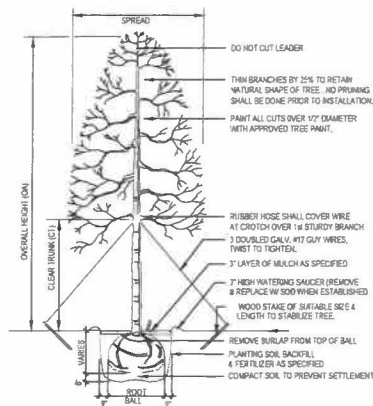




NOTES:

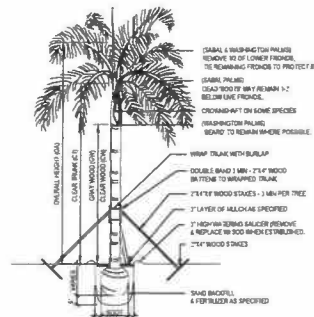
- ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL CITY FACILITIES.
- THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
- ROOT BARRIERS SHALL BE MINIMUM 36" DEEP APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
- ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

TYPICAL TREE WITH ROOT BARRIER



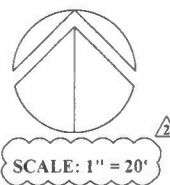
TYPICAL TREE PLANTING DETAIL

N.T.S.



TYPICAL PALM PLANTING DETAIL

N.T.S.



TYPICAL SHRUB PLANTING DETAIL

N.T.S.

PLANT LIST LP-1			3/11/2019					
TREES AND PALMS								
KEY	QTY. TOTAL	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK.	SPA.	REMARKS	
BM	2	Bambusa nuda Tasile Bamboo	18-22'	6'-7'			Full to base.	
ED	20	Elaeagnus Deciduous Japanese Blueberry	6-7'	4'			Full to base, 1 1/2" Cal. Cone shape	
CR*	8	Citrus Rose Fitch Apple	10'	6"	5'-6"		Full canopy, 1 1/2" Cal. Single trunk	
CR1*	8	Citrus Rose Fitch Apple	10-12'	7-8"	5'-6"		Full canopy, 2" Cal. Multi-trunk	
PE2	4	Psychosperma elegans Alexander Palm	18-18'				Full canopy Double trunk	
PE3	6	Psychosperma elegans Alexander Palm	18-18'				Full canopy Triple trunk	
PM	185	Podocarpus Macrophylla 'Column' Japanese Yew Column	8'	24"	full to base		Full cont.	
BS*	6	Bursera Simaruba Gumbo Limbo	14-16'	7-8"	5'-6"		Full canopy, 4" Cal. Multi-trunk	
W12	8	Welchia montgomeryana Welchia Palm	18-20' o.a.				Double Trunk, full heads	
W13	2	Welchia montgomeryana Welchia Palm	18-20' o.a.				Triple Trunk, full heads	
SHRUBS AND GROUNDCOVERS								
KEY	QTY.	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	CLEAR TRK.	SPA.	REMARKS	
ALV	8	Alpinia z. 'Variegata' Variegated Shell Ginger	2'	2'		2' o.c.	Full clump	
CLU*	177	Citrus Guibifera Small leaf Citrus	4'	20-22"	full to base	2' o.c.	Full cont.	
CR1	18	Criminum Asiaticum Criminum Lily	30"	30"			Full clump	
BR0	4	Bromeliad Spp. 'Impatiens' Bromeliad	24"	24"			7 Gallon full cont.	
EQ1	32	Equisetum Hyemale Horsetail Grass	18"	12"			Full clump	
FC	535	Ficus microcarpa 'Green Island' Green Island Ficus	18"	18"		2' o.c.	Full cont.	
JAS	120	Jasminum volubilis Waxleaf Jasmine	18"	18"		2' o.c.	Full cont.	
LIR	200	Liriodendron 'Evergreen Giant' Giant Lilyturf	12"	12"		12"	Full clump	
LMV	36	Liriodendron 'Variegata' Variegated Lilyturf	12"	12"		12"	Full clump	
NEP	72	Nephrolepis b. 'Furcata' Fishtail Fern	18"	18"		2' o.c.	Full Cont.	
PHC	52	Philodendron 'Rejo Congo' Rejo Congo	18"	18"		2' o.c.	Full cont.	
PHO2	4	Phoenix roebelinii 'Triple' Pygmy Date Palm		5'-6"	3'-5" c.l.		Double trunk, full heads	
PHO3	4	Phoenix roebelinii 'Triple' Pygmy Date Palm		5'-6"	3'-5" c.l.		Triple trunk, full heads	
STN	8	Stenotaphrum Nicolae White Bird of Paradise	6-10'	5'-6"			Multi-stem	
TRA	26	Trachelospermum Jasminoides Confederate Jasmine Vine		4-6" long runners		12" o.c.	3 Gal. Trained on Cable System	
TRI1*	32	Triplaris dactyloides Dwarf Fakahatchee Grass	18"	18"		24" o.c.	Full clump	
TRM	3,580	Trachelospermum asiaticum 'Mimosa' Jasmine Mimosa	2"	2"		6" o.c.	Full cont.	

* Indicates plant material native to Florida

MISCELLANEOUS

Sod to be St. Augustine sod.
Planting soil - 1/2 cu. yd. per tree and 4" depth at all hedges and mass planting beds.
Sand - Palms to be planted in clean sand; 1/2 cu. yd. per palm.
Mulch - 2" depth of shredded mulch or pine straw at all hedges and mass planting beds.

GENERAL NOTES

- * Indicates plant material native to Florida
- All sod to be Stenotaphrum secundatum 'Floratam', St. Augustine solid sod.
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 2nd Edition, February 1998, State of Florida Department of Agriculture, Tallahassee, or thereto.
- All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
- The planting soil for all planting areas shall be composed of a minimum of 30% mulch or horticulturally acceptable organic material. The minimum soil depth shall be four inches in all hedges and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
- Two inches minimum of shredded mulch or pine straw shall be installed around each tree and palm and throughout mass planting beds.
- Irrigation system to provide 100% coverage to landscaped areas with 50% overlap. Irrigation to be an automatic system with a rain gauge/moisture sensor shut-off.
- In case of discrepancies, planting plan takes precedence over plant list.
- Landscape contractor is responsible for his own quantity take-offs.

LANDSCAPE REQUIREMENTS

A. NET LOT AREA:	17,496 SF	29,000	S.F.
B. STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.:		20,473	S.F.
C. TOTAL PERVIOUS LOT AREA:		$C = (A - B) = 8,527$	S.F.
D. AREA OF SHRUBS AND GROUND COVERS REQUIRED		$D = (C \times .30) = 2,558$	S.F.
E. AREA OF SHRUBS AND GROUND COVERS PROVIDED		7,000	S.F.
F. NATIVE VEGETATION REQUIRED		$F = (D \times .25) = 640$	S.F.
G. NATIVE VEGETATION PROVIDED		746	S.F.
H. TOTAL PAVED VEHICULAR USE AREA		2,866	S.F.
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED		$I = (H \times .10) = 287$	S.F.
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED		7,000	S.F.
K. TOTAL INTERIOR SHADE TREES REQUIRED		$K = (I / 125 S.F.) = 2$	TREES
L. TOTAL INTERIOR SHADE TREES PROVIDED		2	TREES
M. TOTAL UNPAVED FEET SURROUNDING PARKING OR VEHICULAR USE AREAS*		290	S.F.
N. TOTAL NUMBER OF PERIMETER TREES REQUIRED		$N = (M / 25) = 11$	TREES
O. TOTAL NUMBER OF PERIMETER TREES PROVIDED		25	TREES
P. TOTAL NUMBER OF EXISTING TREES TO BE SAVED OF SITE		NONE	TREES
Q. TOTAL NUMBER OF NATIVE TREES REQUIRED		$Q = (K + N) \times .50 = 1$	TREES
R. TOTAL NUMBER OF NATIVE TREES PROVIDED		18	TREES
S. TOTAL NUMBER OF TREES ON PLAN PROVIDED		58	TREES



DSBOCA
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email: landscaper@dsboca.com

CASUARINA DELRAY TOWNHOMES
CASUARINA ROAD, DELRAY BEACH - FLORIDA
PERMIT PLANTING PLAN, PLANT LIST AND DETAILS

REVISIONS:
12-03-2018 City Comments
03-21-2019 City Comments

NOVEMBER 12, 2018

DATE
G.C.
DRAWN BY:
M.J.J.
APPROVED BY:

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SHEET

LP-1

SITE PLAN
APPROVAL

GENERAL PLANTING SPECIFICATIONS:

1. Scope:

The work includes furnishing all plants, materials, equipment and labor necessary for planting of plant materials indicated on the drawings and in these specifications. A list of plants is attached to these specifications.

2. Plant Materials & Protection:

- A. All plant materials shall be nursery grown unless otherwise noted.
- **Spread (or Spc.)**: Indicates average spread to midpoint of current season's growth.
 - **Height (or Hgt.)**: Indicates overall height from top of ball to midpoint of current season's growth.
 - **C.T.**: Indicates clear trunk measurement from top of ball to first branching (see tree & Palm Planting Diagrams).
 - **Meier of Wood (or Meier of Hard Grey Wood)**: Indicates measurement of Palms from top of ball to top of solid trunk before start of frond stalks or greenboots. (See Palm Planting Diagram).
- B. **Quantities**: All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Architect/Landscape Architect is to be notified for clarification prior to the submission of bids.
- C. **Quality and Sizes**: Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured with branches in normal position. Pruning (Section IV-C) should not reduce acceptable size and shape of tree, and should be done after acceptance of Architect/Landscape Architect. Requirements for measurements, branching, grading, quality, baling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard for Nursery Stock. Plant materials shall be graded Fancy No. 1 or better as outlined under U.A.E. Grades & Standards for nursery plants. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plant material to be healthy, pest and disease free.
- D. **Substitution**: Plant substitution requests by the Contractor will be considered by the Architect/Landscape Architect only upon submission of proof that any plant is not obtainable in the type or size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the Owner.
- E. **Protection of Plants**:

1. Root Protection

A. Balled and Burlapped Plants (B & B) shall be dug with natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be balled and burlapped.

B. Container Grown Plants: Plants grown in containers will be accepted as B & B, providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the plans, and shall not be governed by container sizes. Minimum root balls or container grown material shall be no more than 25% less proportionately in size than that stated in "Grades & Standards" for nursery plants. These plants shall have been grown in the container for a maximum of two years prior to installation and shall exhibit a fully developed root system when removed from the container.

2. Protection During Transporting:

All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage to plants.

3. Protection After Delivery:

Plants which cannot be planted immediately upon delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until accepted. Storage period shall not exceed seventy-two (72) hours.

4. Protection of Palms:

Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. Clear trunk (C.T.) shall be as specified after the minimum of fronds have been removed. Coconut palms shall be "hard" trees grown in marl or sand. Cabbage palm buds shall be tied with a biodegradable cord to be left in place until the tree is well established in its new location. All palms shall be triple braced and staked with new, clean lumber at least 6" in length to resist tree displacement.

5. Protection During Planting:

Trees moved by winch or crane shall be thoroughly protected from chain marks, girding or bark slippage by means of other approved methods.

3. Materials:

- A. **Commercial Fertilizer**: Commercial fertilizer shall be organic fertilizer containing nitrogen, phosphoric acid and potash in equal percentages, 6-6-6 with micro nutrients.

Nitrogen shall be not less than 50 % from organic source. Inorganic chemical nitrogen shall not be derived from the sodium form of nitrate. Fertilizers shall be delivered to the site in unopened original containers, each bearing the manufacturer's guaranteed analysis. Any fertilizer that becomes caked or otherwise damaged shall not be acceptable.

The following shall be sterilized, certified and free of seed:

- B. **Peat**: Peat shall be horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition, free from lumps.

- C. **Planting Soil**: Planting soil for all plantings shall be sandy loam and shall contain a 25% minimum amount of decomposed organic matter. There must be a slight acid reaction to the soil with no excess of calcium carbonate. Planting soil shall be free from clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth and shall be delivered in a loose friable condition and applied in accordance with the planting specifications and details.

- D. **Mulch**: Mulch material to be shredded cypress mulch B grade or better, moistened at time of installation to prevent wind displacement. Alternate mulch material may be noted elsewhere in these drawings.

- E. **Drainage Stone (when applicable)**: Drainage stone shall be gravel or crushed stone reasonably free of sharp edges - $\frac{1}{2}$ "-1 $\frac{1}{2}$ " in diameter - as required in the bottom of raised planters.

- F. **Filter Fabric (when applicable)**: Filter fabric, as required between gravel and soil in planters to be Denit "Filter-fabric" (800)880-1666 or equal.

4. Planting Operations:

A. Soil Preparation:

All existing soil and new fill/berms shall be treated with an approved weed killer such as "Round Up" according to manufacturer's specifications.

B. Layout:

Location for plants and outlines of areas to be planted are indicated on the drawings. All plant locations shall be staked in the field by the Contractor, to the satisfaction of the Architect/Landscape Architect. Where construction or utilities below ground or overhead are encountered or where changes have been made in the construction, necessary adjustments will be approved by the Architect/Landscape Architect.

C. Excavation for Planting:

Excavation of holes shall extend to the required sub-grades as specified hereunder. Plant pits shall be circular in outline and shall have a profile which conforms to the Typical Tree & Palm Planting Details (attached). The minimum depth of plant pits specified below shall be measured from the finishing grade. Shrub planting beds shall be "bed-prepared" and not "pit-prepared".

D. Balled and Burlapped Plants:

After final setting, loosen wrappings of balled and burlapped plants and roll wrappings back from top of ball, leaving ball unbroken. Cut off excessive amounts of burlap and remove in sufficient quantity to eliminate creation of voids upon decomposition.

E. Container Grown Plants:

Container grown plants shall, when delivered, have sufficient root growth to hold earth intact when removed from container. They shall not be root bound. Containers shall be removed to prevent damage to plant or root system according to diagrams (attached). Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls.

F. Pit Sizes:

Minimum diameter (width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

- Diameter-Trees: 18" greater than diameter of ball or spread of roots.
- Diameter-Shrubs: 6" greater than diameter of ball or spread of roots.
- Depth-Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the root ball. (Large, heavy trees and shrubs shall sit directly on excavated pit bottom to prevent settlement)
- Depth-Vines and Ground Covers: Pits shall be large enough for adequate planting.

G. Backfilling:

When pit has been excavated as specified in Paragraph III, A, B, C, D, and IV, B and shown in the Typical Tree and Shrub diagrams (attached).

H. Setting Trees and Shrubs:

Unless otherwise specified, all trees and shrubs shall be planted in pits, centered and set on four inches (4") of compacted topsoil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire and surplus binding from top and sides of the balls shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in, to the level of the finished grade, allowing for two inches (2") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.

I. Setting Palms:

All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top-dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.

J. Pruning - New Plant Material:

Remove dead and broken branches from all plant material. Prune to retain typical growth habit of individual plants with as much height and spread as is practicable. Make all cuts with sharp instrument flush with trunk or adjacent branch, in such a manner as to insure elimination of stubs, "headback" cuts at right angles to line of growth will not be permitted. Trees shall not be poled or topped. Remove trimmings from site.

K. Guying Trees:

(See "Typical Tree Planting Diagram" included herein) Guy all trees 1 1/2 inches in caliper and greater, in three directions with two strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place gus net (at least 1/3 of the height of tree above finished grade and above substantial limbs (one inch (1") in diameter or more), if possible. All hoses shall be interlocked around tree trunk. Place anchors so that gus are equally spaced and at 45 degree angles to horizon. Keep gus tight until project completion.

L. Mulching:

All trees and shrub beds shall be mulched immediately after planting to a two inch (2") depth. Prevent wind displacement of mulch by thoroughly netting down.

M. Excess Excavated Soil:

Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner, at Owner's discretion.

N. Relocated Material (when applicable):

Existing material shown on the plan to be relocated shall be root-pruned as far ahead of time as necessary to move them safely, and shall be protected and treated as new material, as previously specified. Planting shall be in accord with these specifications.

O. Disposition of Existing Material:

All existing plant material not shown as remaining or relocated shall be removed from the site at no additional cost to the Owner, at Owner's discretion.

5. Sod

A. Soil:

The Landscape Contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1"), to all areas receiving sod. (The use of this one inch (1") of soil shall be at the discretion of the Architect/Landscape Architect after evaluation of the existing soil on the site.)

B. Grades:

It shall be the responsibility of the Landscape Contractor to finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Architect/Landscape Architect.

- C. The sod shall be as called for on the landscape plans. Sod shall be of firm tough texture, having a compact growth of grass with good root development, and shall contain no weeds or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.

- D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

- E. Solid sod shall be laid with closely abutting joints with a tamped or rolled, even surface. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas. If in the opinion of the Architect/Landscape Architect, top-dressing is necessary after rolling, clean sand will be evenly applied over the entire surface and thoroughly washed in.

6. Clean-up:

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly, keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site or disposed of as directed by the Architect/Landscape Architect.

7. Maintenance:

- A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance by the Owner. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright position and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas and existing plant materials shall be provided and any damage resulting from planting operations shall be repaired promptly.

- B. The Contractor shall deep-water all trees and shrubs for a period of ninety (90) days after planting. In the event an irrigation system is operable, Contractor shall see that adequate water is supplied for that period.

8. Inspection and Acceptance:

A. Inspection:

Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and/or Landscape Architect at the conclusion of all planting and at the written request of the Contractor.

B. Acceptance:

After inspection, the Contractor will be notified by the Owner of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

9. Guarantee and Replacement:

A. Guarantee:

The Contractor shall furnish a written guarantee warranting all materials, workmanship and plant materials, for a period specified in the General Conditions of Project Specifications. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of guarantee period, where vandalism is agreed by the Architect/Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the guarantee after final acceptance. See General Conditions of Project Specifications for additional guarantee information.

B. Replacement:

During guarantee period, any plant required under this contract that is dead or not in satisfactory condition, as determined by the Architect/Landscape Architect, shall be replaced within two weeks of notification by the Architect/Landscape Architect. The Contractor shall be responsible for the full replacement cost of plant materials.

C. Material and Operations:

All replacements shall be plants of the same kind and size as specified in the plant list. They shall be furnished and planted as specified herein.

10. Care and Maintenance Schedule:

- A. The Contractor shall furnish the Owner's Maintenance staff with a written and detailed description for the care and maintenance of all plant materials and irrigation systems at the time of final inspection. Contractor will also provide a one year Landscape Maintenance Contract, to take effect after Substantial Completion of the project. It will be in the Owner's discretion to accept or reject this contract.

11. Permits and Regulations:

- A. The Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of this work as drawn and specified.

12. Protection of Work and Property:

- A. The Contractor shall continuously maintain adequate protection of all his work from damage and theft and shall protect the Owner's property from injury and loss arising in connection with this contract, making good any such loss or injury or damage except where caused by Owner or his agents. He shall adequately provide and maintain passageways, guard fences, lights and other protections required by public authority according to State, Federal and local ordinances.

- B. The Contractor shall provide protection for existing trees and other plant materials as designated by drawings, by Owner's representative or by local authorities. Such protection shall consist of fencing or such devices as will prevent harm to material from excavation, breakage, chemical or other types of damage.

- C. A competent superintendent, foreman or workman capable of reading drawings and acting on behalf of the Contractor shall be kept on the work during its progress.

13. Changes in The Work:

- A. The Contractor shall conduct a soil survey of the site to determine the need for any additives to overcome severe conditions not met by normal planting soil requirements. A report of any problems shall be submitted to the Owner and the Architect/Landscape Architect for approval prior to installation, along with a cost break-down of additional services needed.

- B. The Contractor shall advise the Owner and Landscape Architect of any special site conditions (high water table, light or soil conditions, etc.) that might require change of plant material or adjustment to finish elevation shown. The Owner will approve any changes thus determined.

14. Landscape Architect:

- A. The Landscape Architect is the author of the design and agents for its execution. When his services are used by the Owner for supervision, he shall act impartially between the Owner and Contractor and shall have authority to reject all work and materials which do not conform to the contract. All decisions of the Landscape Architect shall be final.

The Contractor shall remove from the site all materials considered not up to specifications by the Landscape Architect and replace with suitable materials.

15. Obstructions:

- A. The Contractor shall acquaint himself with the existence and location of all surface and subsurface structures, utilities and installations before commencing any work, and shall avoid any disturbance or damage to them throughout the course of the work. Repairs to any utilities, subsurface structures and installations and surface obstructions damaged by the Contractor shall be at the Contractor's own time and expense.



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landscape architects
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CASUARINA DELRAY TOWNHOMES
CASUARINA ROAD, DELRAY BEACH - FLORIDA
PERMIT PLANTING SPECIFICATIONS

REVISIONS:
12-03-2018 City Comments
03-21-2019 City Comments

NOVEMBER 12, 2018

DATE
G.C.
DRAWN BY:
M.J.
APPROVED BY:

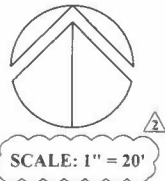
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SHEET

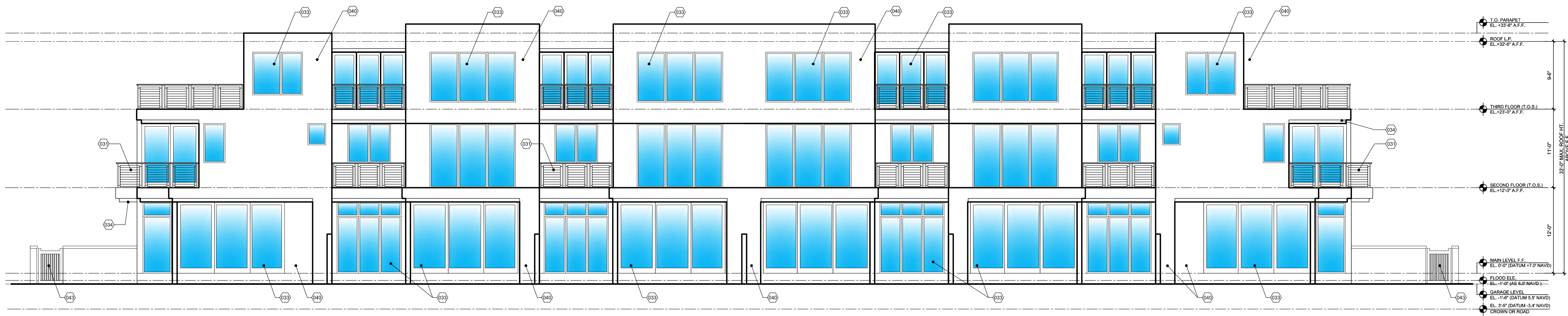
LP-2

SITE PLAN
APPROVAL

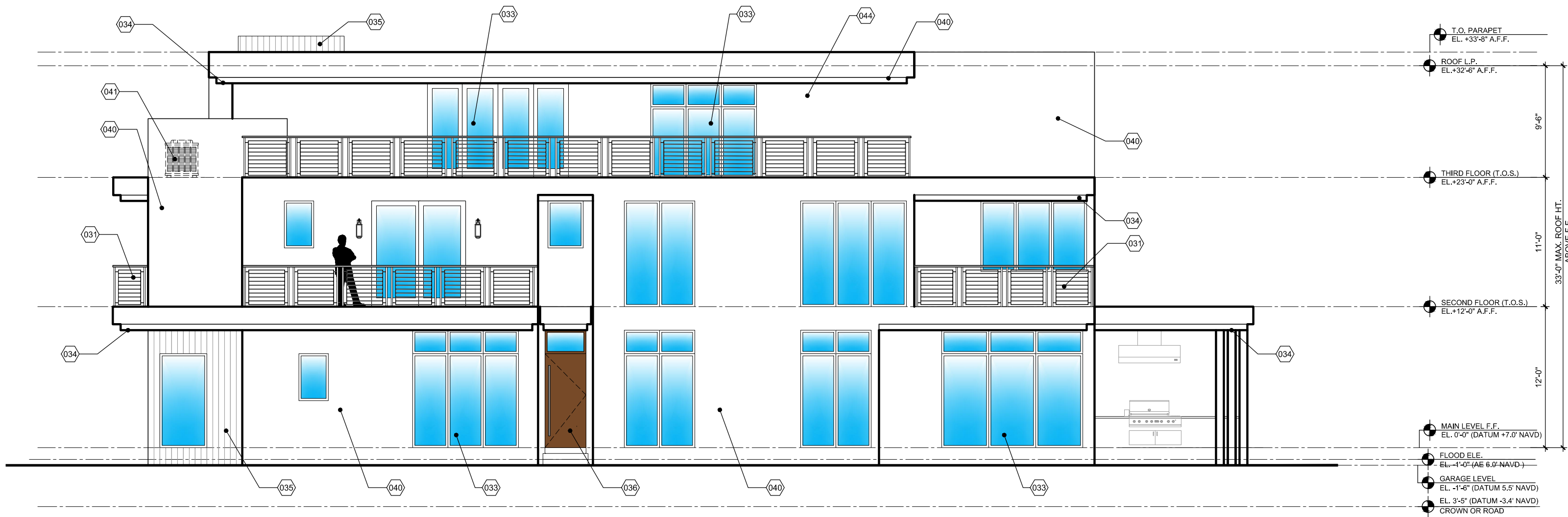
1 MITIGATION REQUIREMENT: TREES	
TREES TO BE REMOVED OVER 50% CONDITION RATING (FULL MITIGATION):	
TREE #24	18" DBH (MAHOGANY) (60% CONDITION RATING)
TREES TO BE REMOVED BETWEEN 25 - 50% CONDITION RATING (1/2 MITIGATION):	
TREE #9	13" DBH (AVOCADO) (30 % CONDITION RATING)
TREE #10	9" DBH (STOPPERS) (30 % CONDITION RATING)
	22" DBH (1/2 MITIGATION) =
	11" DBH
TREES TO BE REMOVED UNDER 50% CONDITION RATING (NO MITIGATION REQUIRED):	
TREE #3	50" DBH (WIPING FIG) (15% CONDITION RATING)
TREE #13	8" DBH (STOPPERS) (15% CONDITION RATING)
TREE #35	9" DBH (GUMBO LIMBO) (10% CONDITION RATING)
TOTAL:	18" + 11" = 29" DBH
PROPOSED TREES COUNTED TOWARDS MITIGATION:	
20 JAMAICAN BLUEBERRY	1 1/2" CAL = 30"
6 PITCH APPLE	1 1/2" CAL = 6"
6 PITCH APPLE	2" CAL = 12"
6 GUMBO LIMBO	4" CAL = 24"
TOTAL:	75" CAL
2 MITIGATION REQUIREMENT: PALMS	
PALMS TO BE REMOVED:	
	3 ROYAL PALMS (30', 35', 40' o.a.)
	16 ARECA PALMS (16 - 20' o.a.)
	19 COCONUT PALMS (30 - 40' o.a.)
	9 ALEXANDER PALMS (15 - 22' o.a.)
	4 SENECA ISLAND DATE (22' o.a.)
	10 CHRISTMAS PALMS (14 - 25' o.a.)
TOTAL:	65 PALMS
PROPOSED PALMS COUNTED TOWARDS MITIGATION:	
4 ALEXANDER PALM DOUBLE	16 - 18 o.a.
6 ALEXANDER PALM TRIPLE	16 - 18 o.a.
6 VEIT CHAPALM DOUBLE	18 - 20 o.a.
2 VEIT CHAPALM TRIPLE	18 - 20 o.a.
TOTAL:	18 PALMS
PALMS TO BE MITIGATED: 47	
21 PALMS WILL BE MITIGATED USING 84 EXTRACALIPER (DBH) FROM TREES (3" CALIPER PER PALM)	
26 PALMS WILL BE MITIGATED WITH AN IN-LIEU FEE OF \$ 400 PER ALEXANDER PALM	
TOTAL \$	10,400







1 REAR ELEVATION (NORTH)
1/8"=1'-0"



2 RIGHT ELEVATION (EAST)
1/8"=1'-0"

MATERIALS & PROFILES	
1 - 29	RESERVED FOR PROFILES & DETAILS
30	PAINTED WATERPROOFING OVER CONCRETE SLAB
31	42" HIGH ALUMINUM GUARD RAIL TO REJECT A 4" DIA. SHERE
32	PRIVACY WALL
33	ALUMINUM IMPACT RATED DOORS AND WINDOWS (SEE SCHEDULE)
34	1X8 TONGUE & GROOVE V-JOINT T&G CEILING
35	WOOD CLADDING
36	IMPACT RATED WOOD FRONT ENTRY
37	IMPACT RATED GLASS GARAGE DOOR
38	DECORATIVE WALL MOUNTED LIGHT SCNCE
39	STONE WALL CLADDING
40	SMOOTH STUCCO FINISH
41	A/C COMPRESSORS (SEE FLOOR PLAN)
42	TRELLIS
43	GATE
44	DECORATIVE FINS

SITE PLAN RESUBMISSION 04.30.19

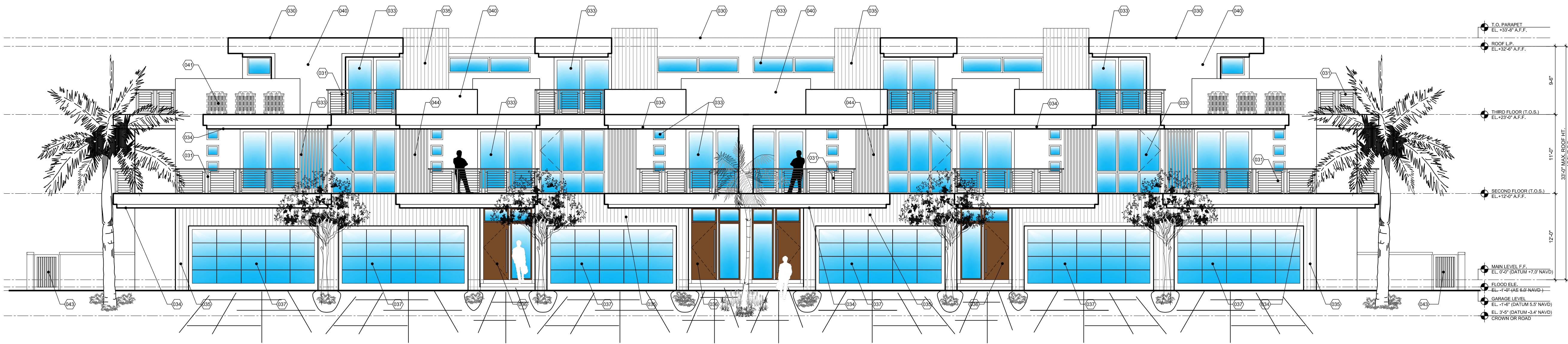
REVISIONS	BY	DATE
△ PRE SITE PLAN SUBMS.	CML/CB	09.14.18
△ SITE PLAN SUBMS.	CML/CB	11.09.18
△ FLOOR PLAN REVISIONS	CML/CB	12.20.18
△ FLOOR PLAN REVISIONS	CML/CB	01.11.19
△ SITE PLAN RE-SUBMS.	CML/CB	03.11.19
△ BIT SET	CML/CB	04.12.19
△ SITE PLAN RE-SUBMS.	CML/CB	04.30.19
△ SITE PLAN RE-SUBMS.	CML/CB	05.22.19

CASUARINA DELRAY
TOWNHOMES
CASUARINA ROAD
DELRAY BEACH, FLORIDA

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FL-001105 FIRM-AA003379
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A302



1 FRONT ELEVATION (SOUTH)

1/8"=1'-0"



2 LEFT ELEVATION (WEST)

1/8"=1'-0"

MATERIALS & PROFILES	
1 - 29	RESERVED FOR PROFILES & DETAILS
30	PAINTED WATERPROOFING OVER CONCRETE SLAB
31	42" HIGH ALUMINUM GUARD RAIL TO REJECT A 4" DIA. SPHERE
32	PRIVACY WALL
33	ALUMINUM IMPACT RATED DOORS AND WINDOWS (SEE SCHEDULE)
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40	SMOOTH STUCCO FINISH
41	A/C COMPRESSORS (SEE FLOOR PLAN)
42	TRELLIS
43	GATE
44	DECORATIVE FINS

SITE PLAN RESUBMISSION 04.30.19

REVISIONS	BY	DATE
△ PRE SITE PLAN SUBMS.	CM/CB	09.14.18
△ SITE PLAN SUBMS.	CM/CB	11.09.18
△ FLOOR PLAN REVISIONS	CM/CB	12.20.18
△ FLOOR PLAN REVISIONS	CM/CB	01.11.19
△ SITE PLAN RE-SUBMS.	CM/CB	03.11.19
△ BIT SET	CM/CB	04.12.19
△ SITE PLAN RE-SUBMS.	CM/CB	04.30.19
△ SITE PLAN RE-SUBMS.	CM/CB	05.22.19

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TOWNHOMES
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A301

Stivers, Christine

From: Mark Brakovich <mbrakovich@altmancos.com>
Sent: Thursday, June 6, 2019 3:13 PM
To: Stivers, Christine
Cc: Seth M. Amkraut, Esq.; Peggy Van Dorp
Subject: RE: [EXTERNAL] RE: [*EXTERNAL*] RE: Brook Haven Condos - Adjoining Properties (1009 and 1023 Casuarina Rd)

Good afternoon Chris and I hope all is well with you ! Please accept my apology once again for not providing you with a more timely response to your below email. We did meet onsite with the Applicant's Attorney, Civil Engineer, Landscape Architect and the Architect of Record for this new development project and had a very productive meeting. With this said, I believe all of us were in agreement on the following items;

1. The existing white vinyl fence and trees that are still remaining at the Brook Haven Condos property boundary are the Applicant's responsibility for removal and disposal
2. "The Wall" will be both a structural retaining and screening wall and constructed of reinforced masonry block to the full height of 6' when viewing it from Brook Haven Condos property
3. The finishes for this wall will be smooth stucco with the Brook Haven Condos side being primed and painted two finish coats and the color as selected by the Association. The wall will have a precast cap on the top.
4. The Association requested that this wall be constructed and finished as one of the initial site development activities once building permits are issued.
5. Also, prior to the construction of the new wall, the Developer and Contractor shall install a temporary fence with a screening material or some other type of barrier as a temporary privacy wall
6. The Applicant shall be responsible for any and all repairs and/or replacement of the concrete pavers that currently exist adjacent to this proposed new wall
7. At the northwest corner of the Applicant's property, it was discussed and agreed upon that much taller landscaping materials (trees) would be installed to provide a screening for the two story building section of Brook Haven Condos. The Association's preference would be the planting of 16' to 18' tall Royal Palms in this location with the quantity being sufficient to provide a complete screening of the two story building.
8. The Developer and Contractor shall contain on its property dust, dirt and debris and all other items that are generated during the construction of the townhomes

Thank you for working with the Association on addressing our concerns relative to this new development project.

MARKO L. BRAKOVICH

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From: Stivers, Christine [mailto:StiversC@mydelraybeach.com]
Sent: Wednesday, May 29, 2019 9:44 AM
To: Mark Brakovich
Subject: RE: [EXTERNAL] RE: [*EXTERNAL*] RE: Brook Haven Condos - Adjoining Properties (1009 and 1023 Casuarina Rd)

Hi Mark,