

SLOAN RESIDENCE :: PHASE 2
KITCHEN & MEDIA RM. ADDITION
106 SE Seventh Avenue,
Delray Beach, Florida 33483

STRUCTURAL ENGINEER:

McCarthy and Associates, A Division of Pennoni
ENGINEERS
Robert Selinsky, PE, SI, Project Mgr.
601 N. Congress Ave., Unit 106A
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(561) 265-6864
email: rselinsky@pennoni.com
PE #49952

ARCHITECT:

**SLOAN & SLOAN, INC.-
ARCHITECTS & INT. DESIGNERS**
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INTERIOR DESIGNER:

SLOAN & SLOAN, INC.-
ARCHITECTS & INT. DESIGNERS
Donna Sloan, Project Mgr.
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ID 0002527

OCCUPANCY CLASSIFICATION:

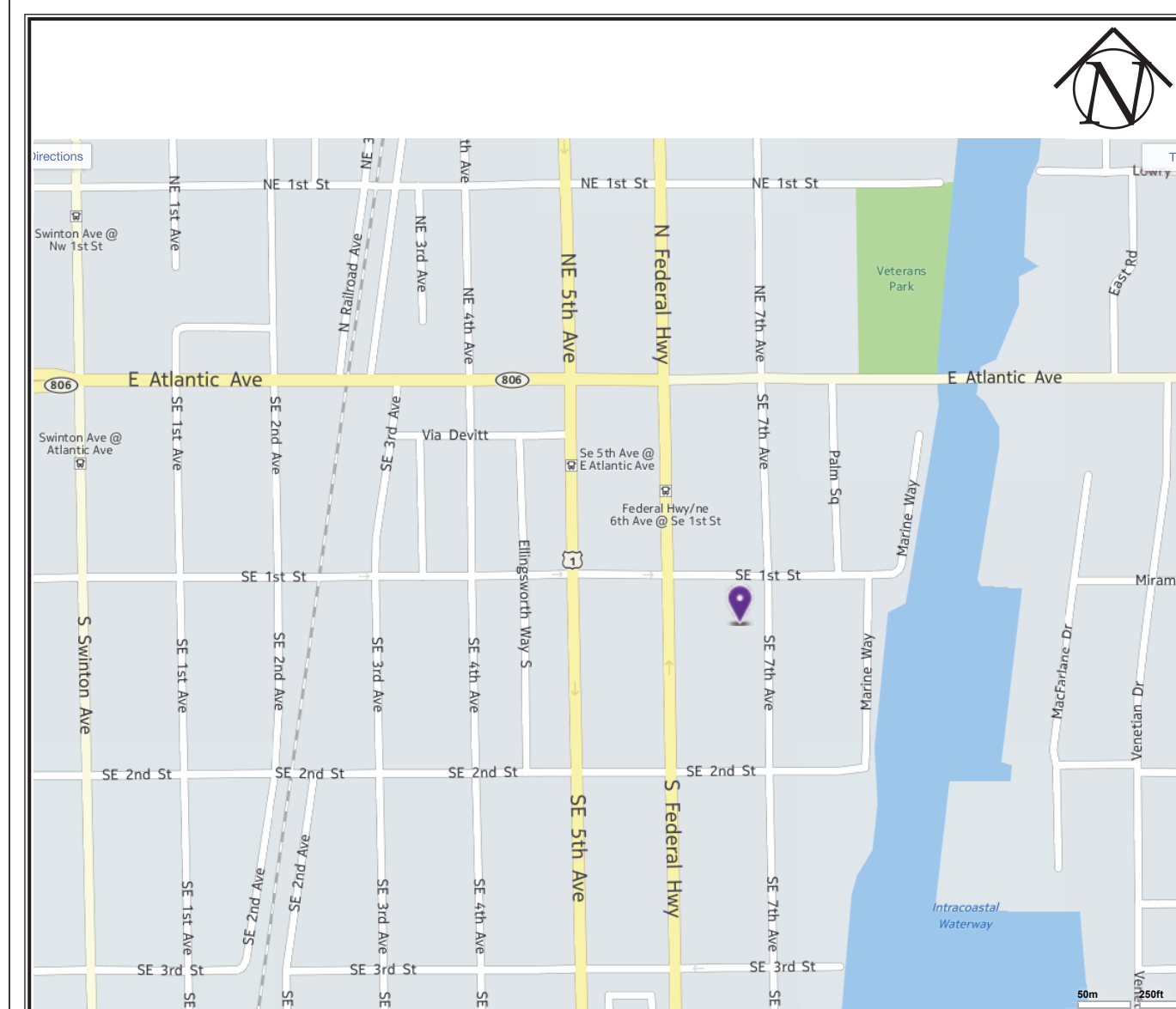
GROUP RM- MEDIUM DENSITY MULTI FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION:

TYPE V -Unprotected/Unsprinkled
(Existing 1 Single Family Residential Structure
to become 2 Story Structure)

APPLICABLE CODES:

2017 FLORIDA BUILDING CODE
2017 FLORIDA MECHANICAL CODE
2017 FLORIDA ELECTRICAL CODE
2017 FLORIDA PLUMBING CODE
2017 FLORIDA BUILDING CODE
2014 ICC 600- STD. FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS



LOCATION MAP: 106 SE 7th Avenue, Delray Bch., FL.

Scale: Not To Scale

#	ITEM		
1	OCCUPANCY: (Single Family, Multifamily, Commercial, Industrial, Institutional)	Single Family	<input checked="" type="checkbox"/> SEC. R301.2.1.4.3 2017 FLORIDA RESIDENTIAL CODE
2	EXPOSURE CONDITION:	B	
3	MEAN ROOF HEIGHT: (Kitchen-Media Rm Additn) (23'-6" above Reference FFL of Main Rs.)	23'	(above grade at this structure)
4	BUILDING HEIGHT: (If < or = 60' may use FBC 2017 Low Rise Provisions. If > 60' use ASCE7-10)		<input checked="" type="checkbox"/> < or = 60' Height <input type="checkbox"/> > 60' Height <input type="checkbox"/> Partly enclosed <input checked="" type="checkbox"/> Enclosed <input type="checkbox"/> Open <input type="checkbox"/> Tested (Wind Tunnel)
5	BUILDING DESIGNED AS:		
6	IMPORTANCE FACTOR: (Determined by Building Use /Occupancy. Refer to FBC 2017 or ASCE 7-10)	1.0	
7	BASIC WIND VELOCITY PRESURES: FBC 2017. VERIFY APPROPRIATE POSITIVE/VEGATIVE PRESSURE COEFFICIENTS HAVE BEEN APPLIED TO MAIN WIND FORCE RESISTING SYSTEM, OR BUILDING ENVELOPE COMPONENTS & CLADDING AS APPLICABLE.		
	FBC 2017 WIND SPEED:	132	(Wind Speed in mph)
	FBC 2017 BASIC WIND PRESSURE:	32	IN PSF
	ASCE 7-10 WIND SPEED:	170	(Ultimate Wind Speed in mph)
	ASCE 7-10 BASIC WIND PRESSURE:	n/a	IN PSF
	NOTE: Actual Design Pressures for All Exterior Windows, Doors, Garage Doors, and Similar Envelope Elements Must Be Indicated on Construction Plans.		
8	ROOF DEAD LOAD (Actual Dead Load of Materials Used for Determining Net Uplift Reactions.	15	LBS
9	SOIL BEARING CAPACITY: (Supported by Soils Report from Geotechnical Engineer)	2500	PSF
10	REVIEWED FOR SHEARWALL REQUIREMENTS:	<input checked="" type="checkbox"/> Yes No, (if no Explain why)	

NOTE: Geotechnical Report Supporting 2500PSF soil bearing capacity is ON FILE with 1996 Delray Building Permit Application /drawing package for 106 SE 7th Ave.

LIST OF DRAWINGS		
Sloan Residence: New Kitchen/Media Rm. 2nd Floor Addition (710 Gross SF +66SF Bridge=776 SF Total)		
106 SE 7th Avenue, Delray Beach, FL		
Revised: 4/14/19 By Dan Sloan		
#	Title	Includes
A0	Cover Sheet	W/ Consultant List, Location Map, Drawing List
SP.1	Site Plan: Entire Sloan Hammock Land Condo	Showing Overall Context
A1.01	Site Plan	Showing Setbacks, Driveway, Pool Deck Areas with General Notes
A2.02	New First Floor Plan	With Door & Window Schedules
A2.03	NEW 2nd Floor Plan: Kitchen/Media Rm. Addtn	Showing New Ceiling w/ Coffers, Crown Mldgs, etc.
A2.04	NEW 2nd Floor Reflected Ceiling Plan	Showing Roofing Materials, Gutters, etc.
A2.05	Roof Plan: Kitchen/Media Rm. Addtn	
A3.01	EXISTING North & South Elevations	Showing Extg. Windows, Doors, & Exterior Elements of Extg. Main Residence + Garage Building
A3.02	EXISTING East & West Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.03	New North & South Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.04	New East & West Elevations	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A3.05	New Notated South Elevation	of Proposed New 2nd Floor Kitchen-Media Rm. Addition
A4.01	New Building Section "1"- @ Kitchn/Media Rm. Addtn	Showing New Construction Elements- Section "1"
A4.02	New Building Section "2"- @ Kitchn/Media Rm. Addtn	Showing New Construction Elements- Section "2"
S1.01	Existing + New Foundation Plan	Showing New & Existing Foundations
S2.02	New Second Floor Floor Framing Plan	w/ New Floor Joists over Old Roof + New Roof Trusses
S2.04	New Second Floor Floor Framing Details	
S2.05	New Second Floor Roof Framing Details	
S2.06	Wind Pressures & Bridge Section/Detail	Including Wind Pressures on Doors/Windows
S8.01	Structural Notes and Details	
M1.02	New 2nd Fl. HVAC Plan: Kitchen/Media Rm.	incl. Mechanical Notes, Details, & Schedule(s) utilizing 16 SEER Lennox Equipment(s)
E1.02	New 1st Fl. ELECTRICAL Plan: Kitchen/Media Rm.	Showing Only ADDED Outlets & Devices-
E1.03	New 2nd Fl. ELECTRICAL Plan:Kitchen/Media Rm.	Showing All Outlets & Devices- W/ Symbol Key, Electrical Notes
E2.01	New 2nd Fl. LIGHTING/RCP Plan: Kitchen/Media Rm.	Showing Lightings, Fans, Switches (New Subpanel for 2nd Floor Fed from Extg. 1st Floor panel)
PL.02	New Second Floor PLUMBING Plan	Showing Plumbing Fixtures & Notes & Schedule

Cover Sheet
A0.00

CAD File Name
Sloan Res_PH2_Kitchen-Media Rm.vwx

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).




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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		
		<p>Daniel Sloan, AR95577</p> <p>Date: _____</p>

Design Firm **Sloan & Sloan- Architecture + I.D.**
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Delray Bch, FL 33483
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Consultant	
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Project Title

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title	COVER SHEET
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Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
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Drawn By D. Sloan	Scale As Noted
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Reviewed By D. Sloan	Drawing No. A000
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Date 4/14/2019 AO.00
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No.	Date	Appr	Revision Notes
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**Sloan Residence
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2nd Floor
Kitchen-Media Rm.
Addition**

No.	Date	Issue Notes
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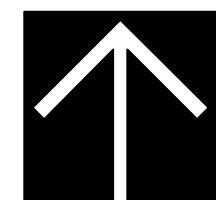
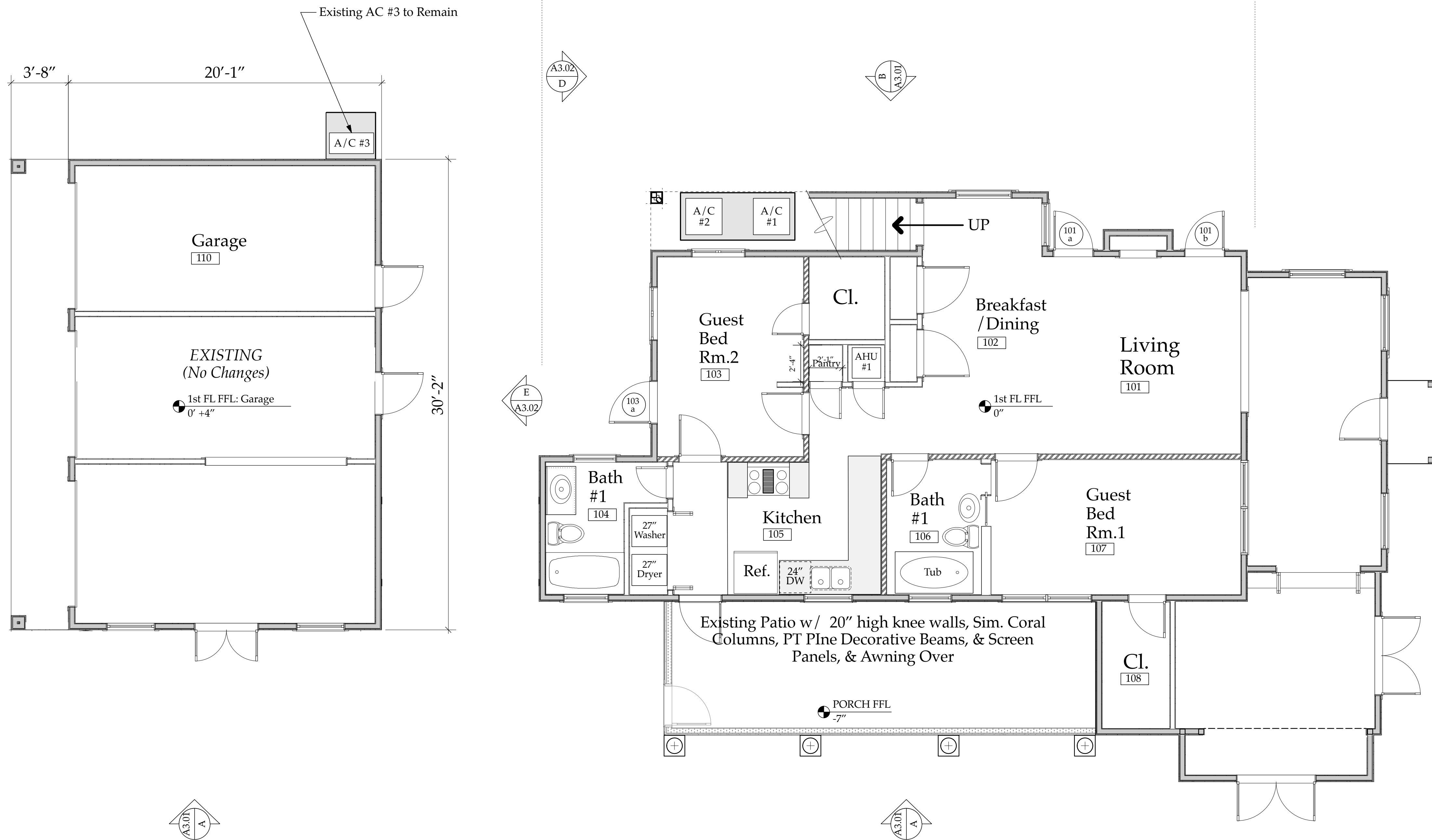
Consultant

Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING FIRST FLOOR PLAN
Showing Existing Configuration

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.01
Date 4/14/2019	_____ of _____
CAD File Name Sloan_Res_PH2_Kitchen-Media Rm.vwx	

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



FIRST FLOOR PLAN- EXISTING

Scale: 1/4" = 1'-0"

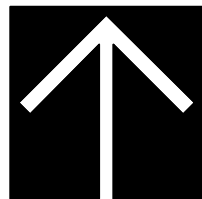
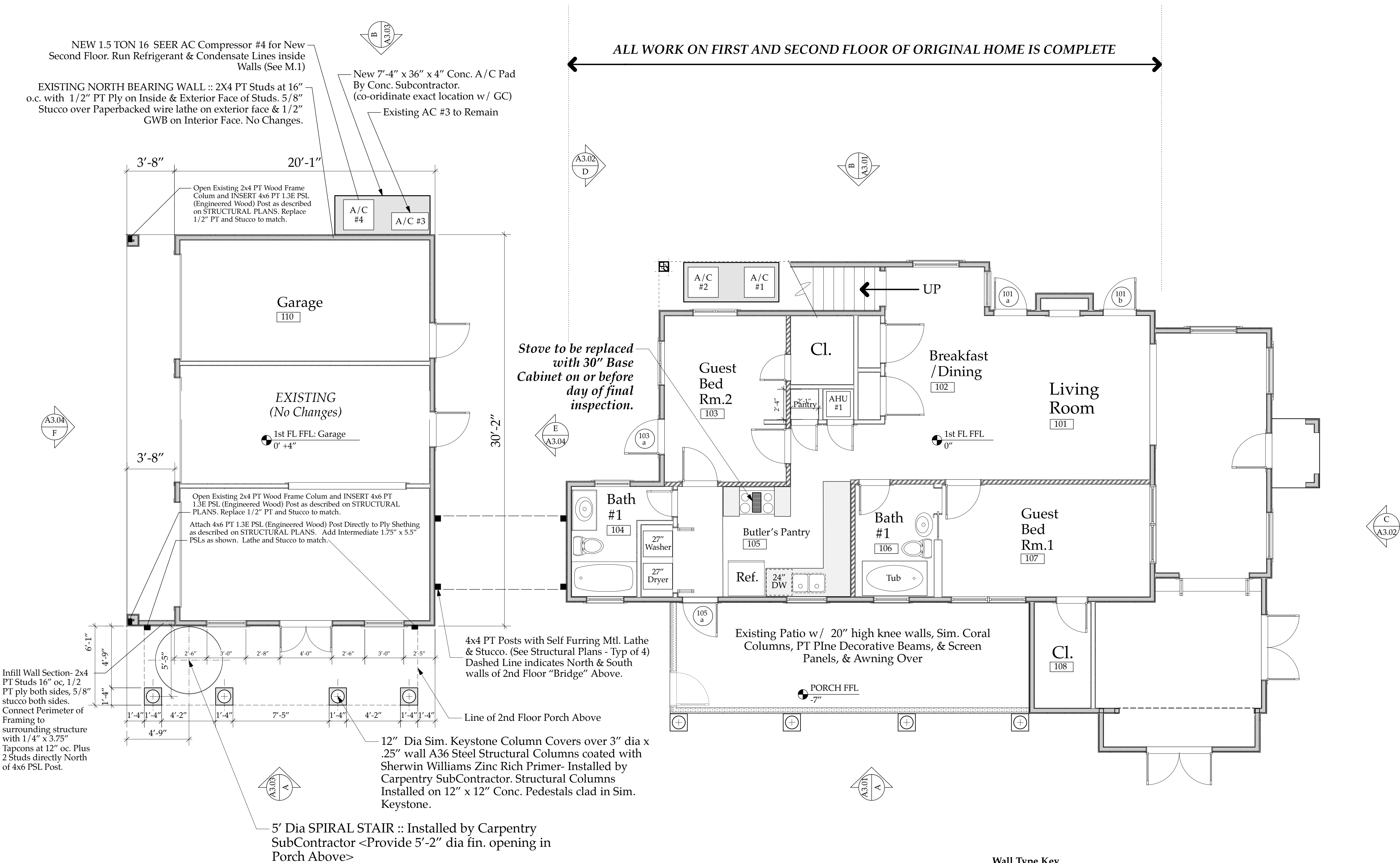
Wall Type Key

Exterior Bearing Wall
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

Non Bearing Interior Wall
w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

Interior Bearing Wall
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.

Existing First
Floor Plan
A2.01



FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New Columns & Pads to support 2nd Floor Porch & Spiral Stair.

Wall Type Key

Exterior Bearing Wall
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, R13 Spray Foam Insulation, and 1/2" GWB inside, 5/8 Stucco Outside over Tyvek "Stuccowrap" vapor barrier.

Non Bearing Interior Wall
w/ 3.625" Mtl. Stud at 24" oc., 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side.

Interior Bearing Wall
w/ 2x4 PT Studs at 16" oc., 2x4 PT sole plate dbl. top plate, Sound Batts, and 1/2" GWB each Side.

NEW First Floor Plan w/ New Porch Support Columns
A2.02

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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Sloan Residence Renovations
2nd Floor
Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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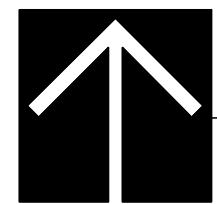
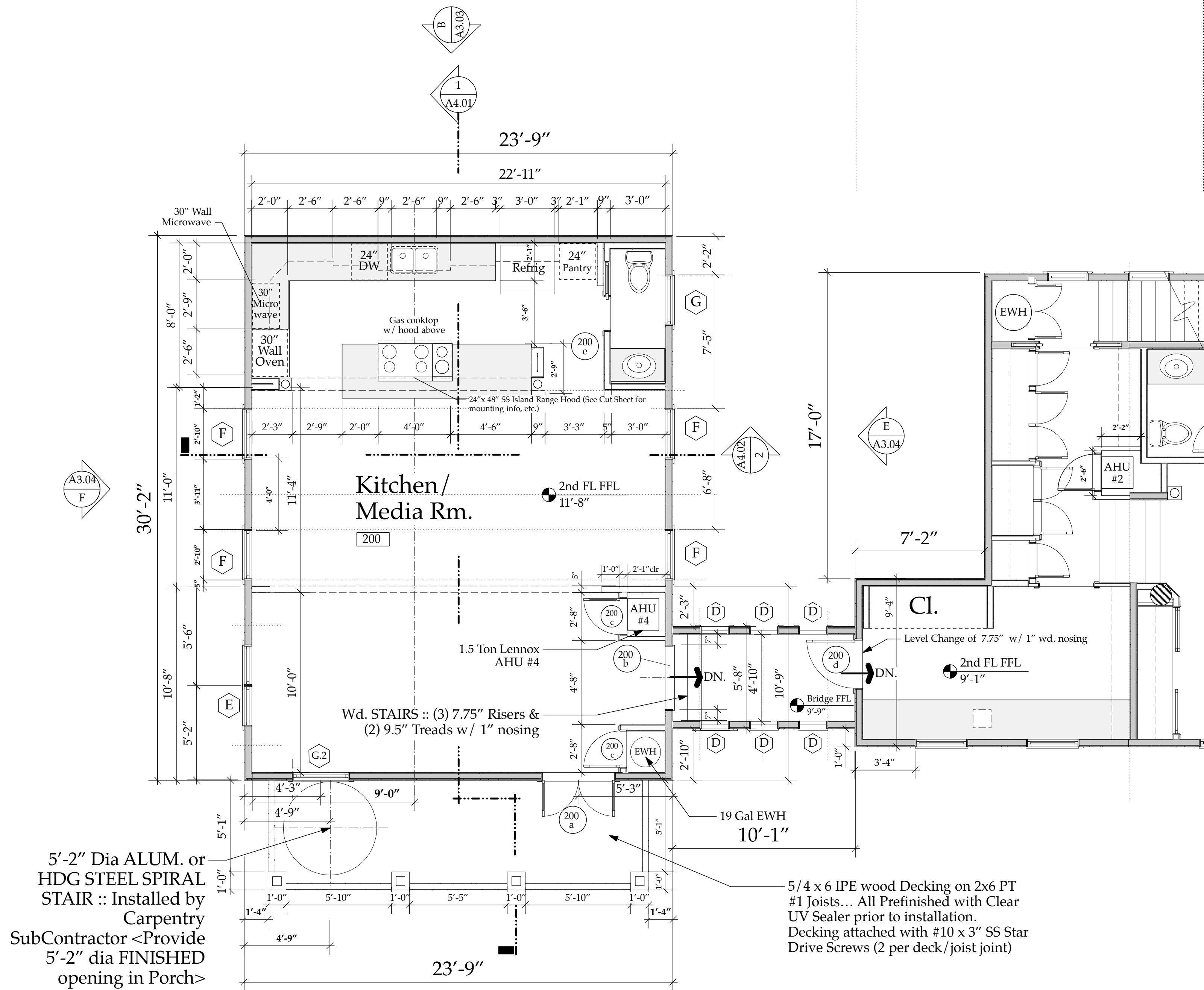
Consultant

Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
New FIRST FLOOR PLAN
Showing New 2nd Floor Porch Support Columns

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A2.02
Date 4/14/2019	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



SECOND FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

1/8/19 WINDOW Schedule_SloanResPH2_2018.xls 10:21 AM

PGT WINDOW SCHEDULE: Aluminium Windows: Phase 2 :: Kitchen-Media Rm.

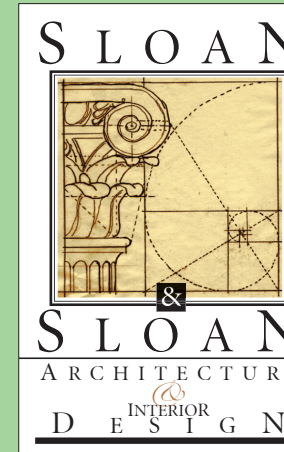
WINDOW #	MULL PATTERN	Quantity of this type	DESCRIPTION	GLASS TYPE	Exterior FRAME FINISH	Exterior SASH FINISH	MANUF.	MODEL #	WOOD FRAME R. Opening Width (in)	WOOD FRAME R. Opening Height (in)	Remarks	Head Ht. above FFL of that Room
First Floor Windows												
K	4/1	0	Wood Clad Double Hung Window		**EXISTING WINDOW TO REMAIN**		Weathershield	28x16	2'-9 13/16"	3'-5 1/8"	Existing	Existing
Second Floor Windows:												
A	5/1	0	Alum. Single Hung Window: SH700 Series		**EXISTING WINDOW TO REMAIN**		PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"
B (Egress)	4/1	0	Alum. SH Window: SH700 (2 milled together)		**EXISTING WINDOW TO REMAIN**		PGT Windguard	25	36.25"	62.25"	Low E glass	7'-6"
C	4/1	0	Alum. Single Hung Window: SH700 Series		**EXISTING WINDOW TO REMAIN**		PGT Windguard	24	36.25"	49.875"	Low E glass	7'-6"
D	1 vert.	6	Alum. Fixed Glass Window: PW720 Series	Note #1	Eterna-Dk Walnut	Eterna-Dk Walnut	PGT Windguard	Fixed Gl.	18"	18"	Low E glass	6'-6"
E	3/1	2	Alum. SH Window: SH700 (2 milled together)	Note #1	Bronze	Bronze	PGT Windguard	H35	26"	62.5"	Low E glass	8'-0"
F	4/1	4	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	2853	31.5"	62.5"	Low E glass	8'-0"
G	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	2843	31.5"	50.125"	Low E glass	8'-0"
G.2	4/1	1	Alum. Single Hung Window: SH700 Series	Note #1	Bronze	Bronze	PGT Windguard	24	36.25"	49.875"	Low E glass	6'-10"
H	4/1	0	Alum. Single Hung Window: SH700 Series		**EXISTING WINDOW TO REMAIN**		PGT Windguard	H34	25.75"	49.875"	Low E glass	7'-6 1/2"-8"
I	5/1	0	Alum. Single Hung Window: SH700 Series		**EXISTING WINDOW TO REMAIN**		PGT Windguard	3853	43.25"	62.25"	Low E glass	7'-6"
J	4/1	0	Alum. Single Hung Window: SH700 Series		**EXISTING WINDOW TO REMAIN**		PGT Windguard	25	36.25"	62.25"	Low E glass	7'-6"
Note #1: All windows IMPACT RESISTANT, Fla. Bldg. Code Approved (Palm Beach Co.), CLEAR glass.												
Use High Performance Impact Rated "Low E" Glass-(Impact Resistant Laminated "Energy Star Max")												
Note #2: All windows poplar 1x Jamb Extensions/ wood sills & to be Cased out by TRIM CARPENTER (to match all other Windows).												
Outside to have 2" x 1.25" Solid Composite Fla. Brickmold to match 1st Floor Windows. If Sill is 24" or less provide ASTM F2090 Window Guard(s)												
All Simulated Divided Lights to have 3/4" Dimensional Grilles INSIDE & OUT												
Note #3: Must Comply with all Local Codes for Strength & Installation techniques. Also Window Installer to follow manufacturers installation and flashing directions. Window Installer to Flash w/ WR Grace VYCOR PLUS "peel & stick" system. Also provide tempered glass units where code required.												
Note #4: Verify all Wood & Masonry Openings with Window Manufacturer PRIOR to Framing.												
Note #5: ALL Windows to have screens, color to match sash. Where mulls are specified use 3/4" colonial outside/low profile colonial inside; match interior/exterior finish.												
Note #6: PGT SH Windows are Bronze Finish, PGT Doors & Fixed Glass Units to have Eterna Finish in "Dark Walnut" Color.												

11/24/18 DOOR Schedule_SloanResPH2_2018.xls 1:40 PM

DOOR SCHEDULE: 2nd Fl. KITCHEN-MEDIA RM. ADDITION

DOOR #	DOOR SIZE/TYPE	DOOR MANF.	CONST.	FINISH	FRAME MATERIAL	Hardware TYPE	Hardware Style & Finish	HINGES	REMARKS
200a	4068 Dbl. French Door	Weathershield	1 7/8" Wood-Pine	Ext = "Adobe" color cladding	5/4 Composite Jambes x 5.25"	Deadbolt & Lockset	Bright Brass 4x4 Bright Brass	Ball Bearing	Clear Glass
	Full View, Vinyl Clad Wood OUTSWING, LH (Alternate PGT)	Legacy/Lifeguard Series	Alum. Clad Exterior	w/ matching stain inside faces to match existing	Fla. Brickmold	+ Dummies (lifetime fin.)	(lifetime fin.)	(lifetime fin.)	IMPACT RATED Insulated Low E Glass (20-e-shield glass)
200b	3668 Cased Opening		3/4 wood	painted	3/4 wood	--	--	--	Case out to match Windows & Doors in all other areas (typ).
200c	2068 S/C 1 3/8" Prehung	Timberland SSS 3100 Stick Series	Three Square Panels	painted	3/4 wood	Passage	Omnia 904PA US14 Lever Set	Pol. Nickel US 14	Case out to match **PROVIDE GASKETED JAMB & THRESHOLD**
200d	3068 French Door: outswing RH (replace temp door)	Commodity Pine or Clr. Fir	1 3/8" Pine	1 3/8" Pine (price option)	Stained "Red Mahogany" to match other French Doors & 2 coats satin poly	Cased Out	Privacy Set	Omnia 904PA US14 Lever Set	Pol. Nickel US 14
200e	2068 S/C 1 3/8" Pocket Door	Timberland SSS 3100 Stick Series	Three Square Panels	painted	3/4 wood	Privacy	US14 Privacy	Pol. Nickel US 14	Case out to match
NOTE #1: Weathershield Doors & Windows to have White Clad exterior frame, Western Adobe Color (with Timberlake as price option) Sashes or Door Slabs, clear pine interior surfaces. Bright Brass PVD door & window hardware. Alternate at Owners Option: PGT Winguard F0750 Impact rated Alum. French Door with "Eterna Dk. Walnut Finish"									
PAINTER to Stain interiors "Red Mahogany" & then 2 coats satin Poly. Exteriors to be Fair Finished to Match 1st Floor units.									
NOTE #2: Entry Sets to have Lifetime Finish. All locks keyed alike, all Thresholds are Aluminum with Oak Overlay. Entry Doors to have Solid Brass Dome Shape Floor mounted door stops (stop									
NOTE #3: All interior and exterior hardware to have lifetime finish factory applied. Double French Doors to have flush bolts top and bottom & Dummy set on inactive Leaf.									
NOTE #4: All interior Doors to have Casing Profiles to Match Windows & Ives Artisan Series screw on Door Stops in US14. All bi-fold doors to be in casj out with Jamb & matching casing.									

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Project Title
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KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
SECOND FLOOR PLAN
of Kitchen-Media Rm.

Project Manager
D. Sloan
Project ID
Sloan Res Kit-Media Rm Addition

Drawn By
D. Sloan
Scale
As Noted

Reviewed By
D. Sloan
Drawing No.
A2.03

Date
4/14/2019
CAD File Name
Sloan Res_PH2_Kitchen-Media Rm.vwx

New Second
Floor Plan
A2.03

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106 SE 7th Avenue

Drawing Title
SECOND FLOOR PLAN
of Kitchen-Media Rm.

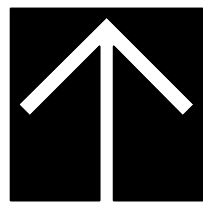
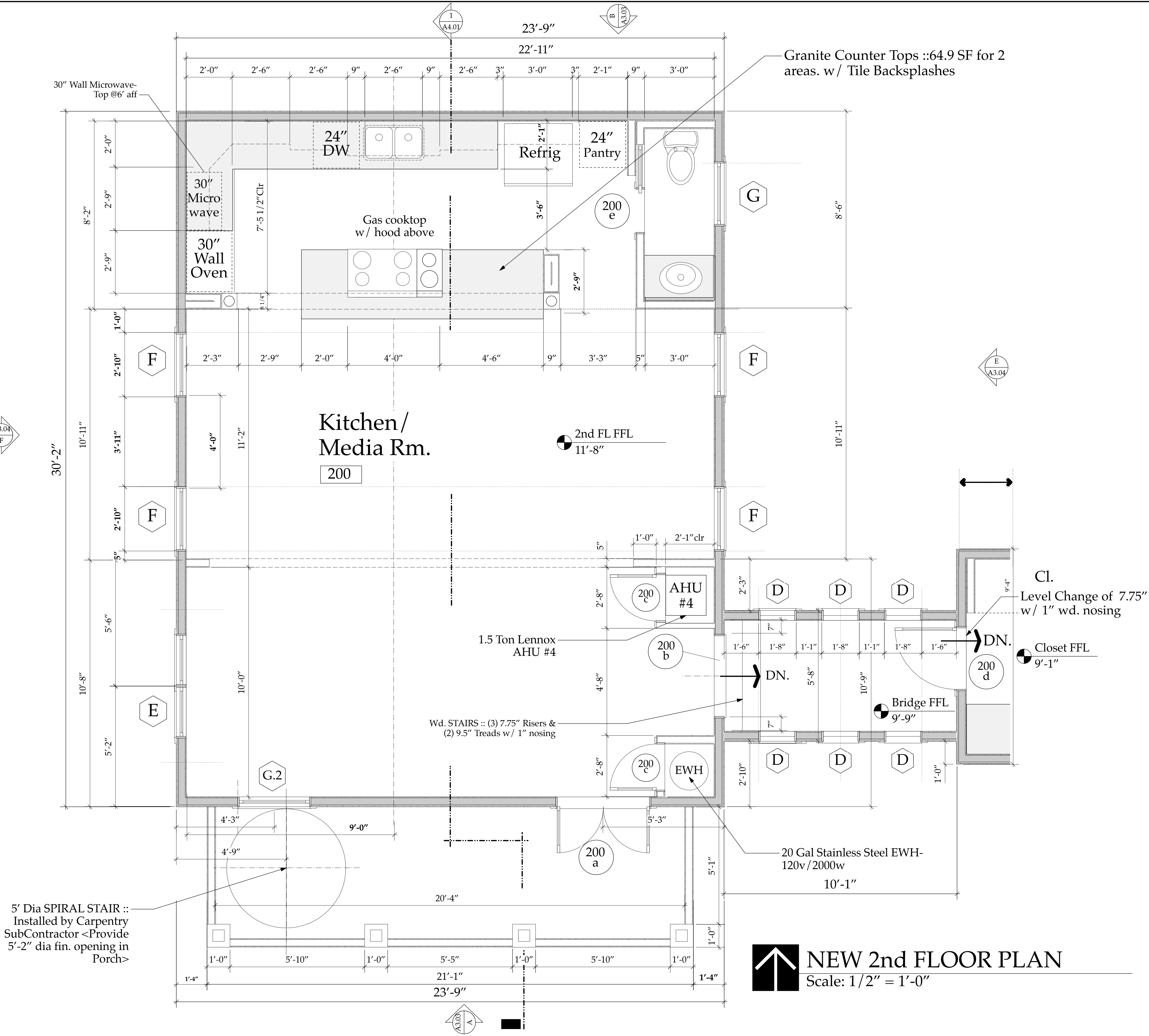
Project Manager
D. Sloan
Project ID
Sloan Res Kit-Media Rm Addition

Drawn By
D. Sloan
Scale
As Noted

Reviewed By
D. Sloan
Drawing No.
A2.03b

Date
4/14/2019
of

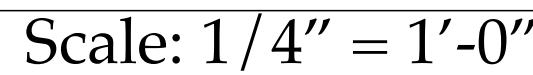
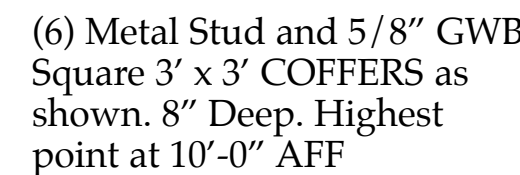
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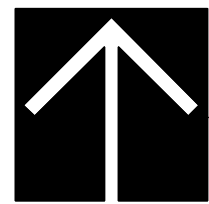
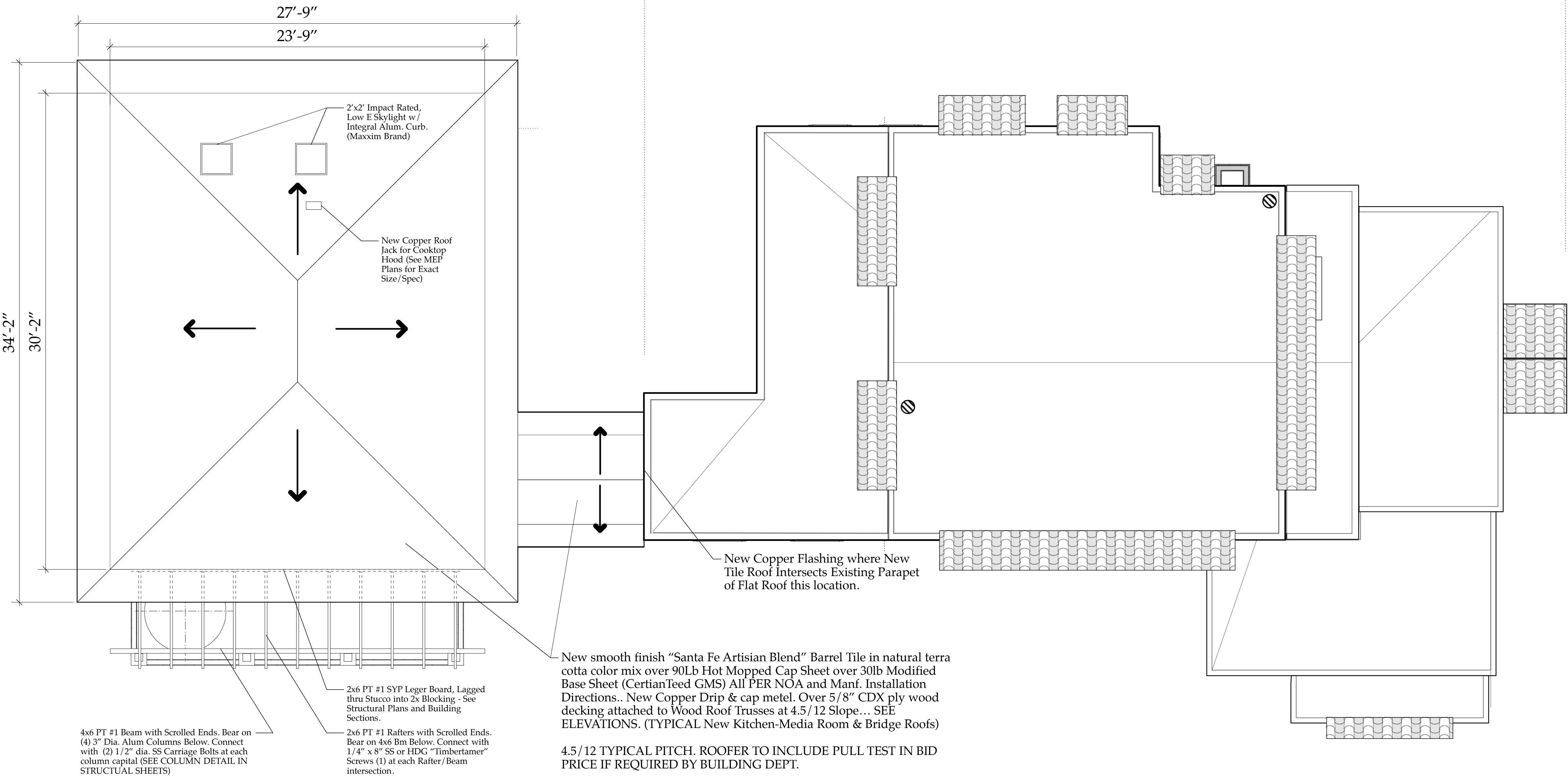
NEW 2nd FLOOR PLAN

Scale: 1/2" = 1'-0"

New Second
Floor Plan
A2.03b
ENLARGED



CAD File Name
Sloan Res_PH2_Kitchen-Media Rm.vwx



NEW ROOF PLAN- w/ NEW SECOND FLOOR

Scale: 1/4" = 1'-0"

- NOTES:**
- 1. Approx. Roof Areas: 1078 SF or 11 square of barrel tile roofing (1015sf Kitchen-Media Rm & 63sf Bridge Roof)**
 - 2. Provide Price Option for 1/2 round Copper Gutter and 3" dia round Downspouts on either South End (opt 1) or Entire New Roof Perimeter (opt 2)**

New Roof Plan::
Kitchen-Media
Room Addition
A2.05

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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ID 0002725 & AR95577
AA2600208



No.	Date	Appr	Revision Notes
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Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition		
No.	Date	Issue Notes

Daniel Sloan, AR95577 Date: _____	

Design Firm	Sloan & Sloan- Architecture + I.D. 106 SE 7th Avenue, Ste. B Delray Bch, FL 33483 (561) 243-8755
-------------	---

Consultant	
------------	--

Project Title	Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION 106 SE 7th Avenue
---------------	--

Drawing Title	NEW ROOF PLAN of Kitchen/Media Room
---------------	--

Project Manager	D. Sloan	Project ID	Sloan Res Kit-Media Rm Addition
Drawn By	D. Sloan	Scale	As Noted
Reviewed By	D. Sloan	Drawing No.	A2.05
Date	4/14/2019		_____ of _____
CAD File Name	Sloan Res_PH2_Kitchen-Media Rm.vwx		

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**Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition**

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
106 SE 7th Avenue, Ste. B
Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence & Garage

Project Manager
D. Sloan

Project ID
Sloan Res Kit-Media Rm Addition

Drawn By
D. Sloan

Scale
1/4" = 1'-0"

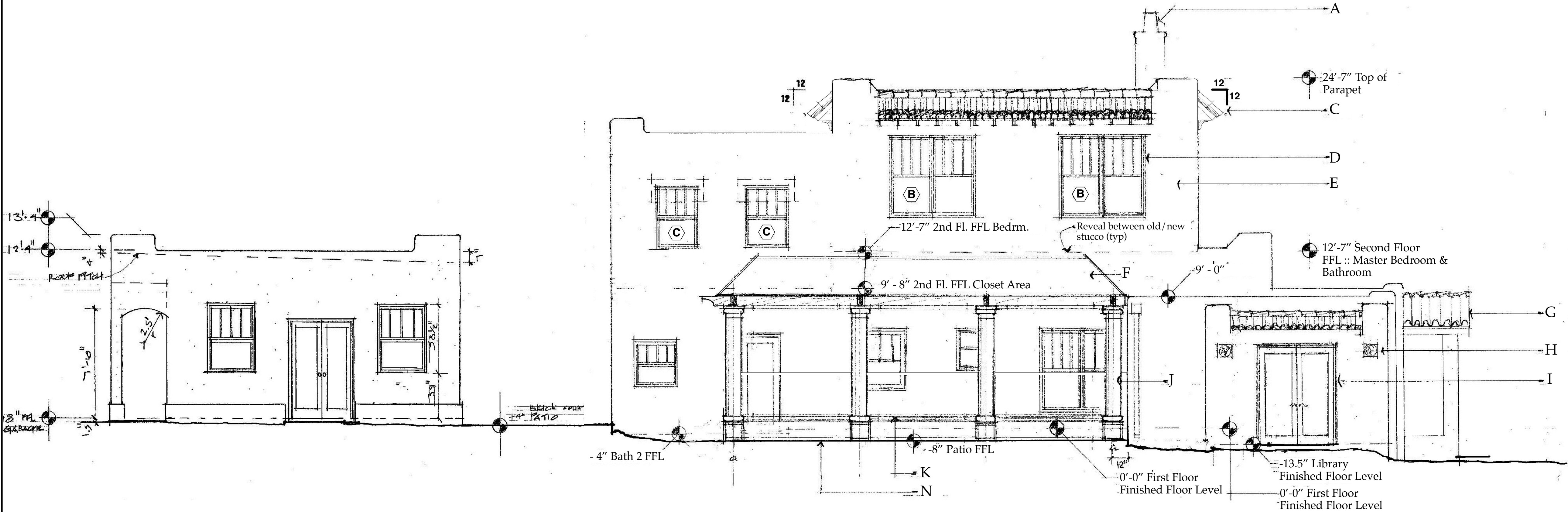
Reviewed By
D. Sloan

Drawing No.
A3.01

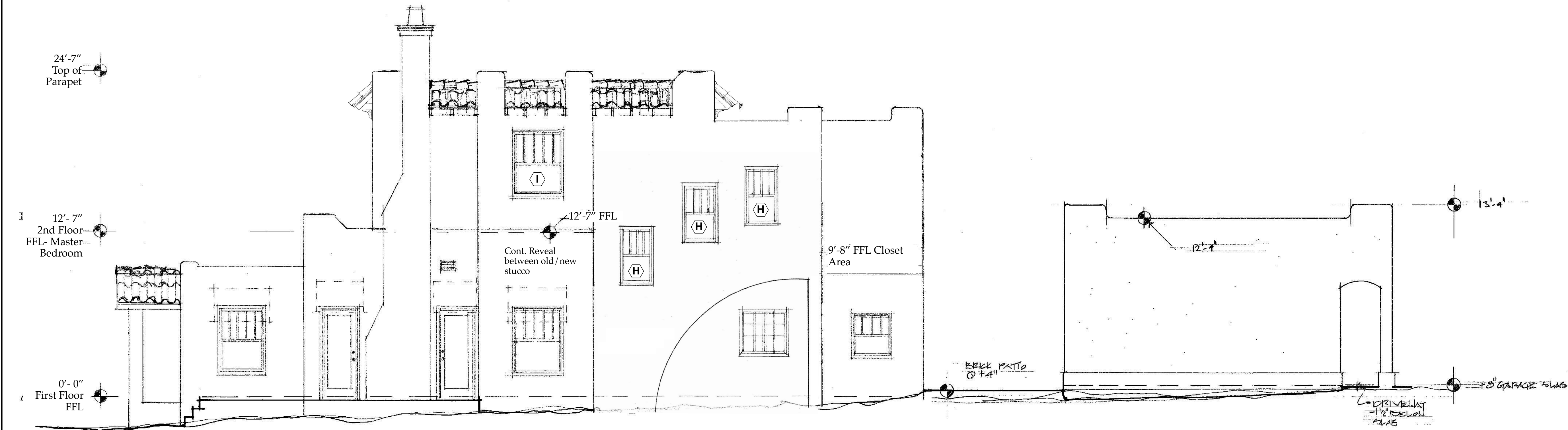
Date
11/11/2018

of

CAD File Name
Sloan Res_PH2_Kitchen-Media Rm.vwx

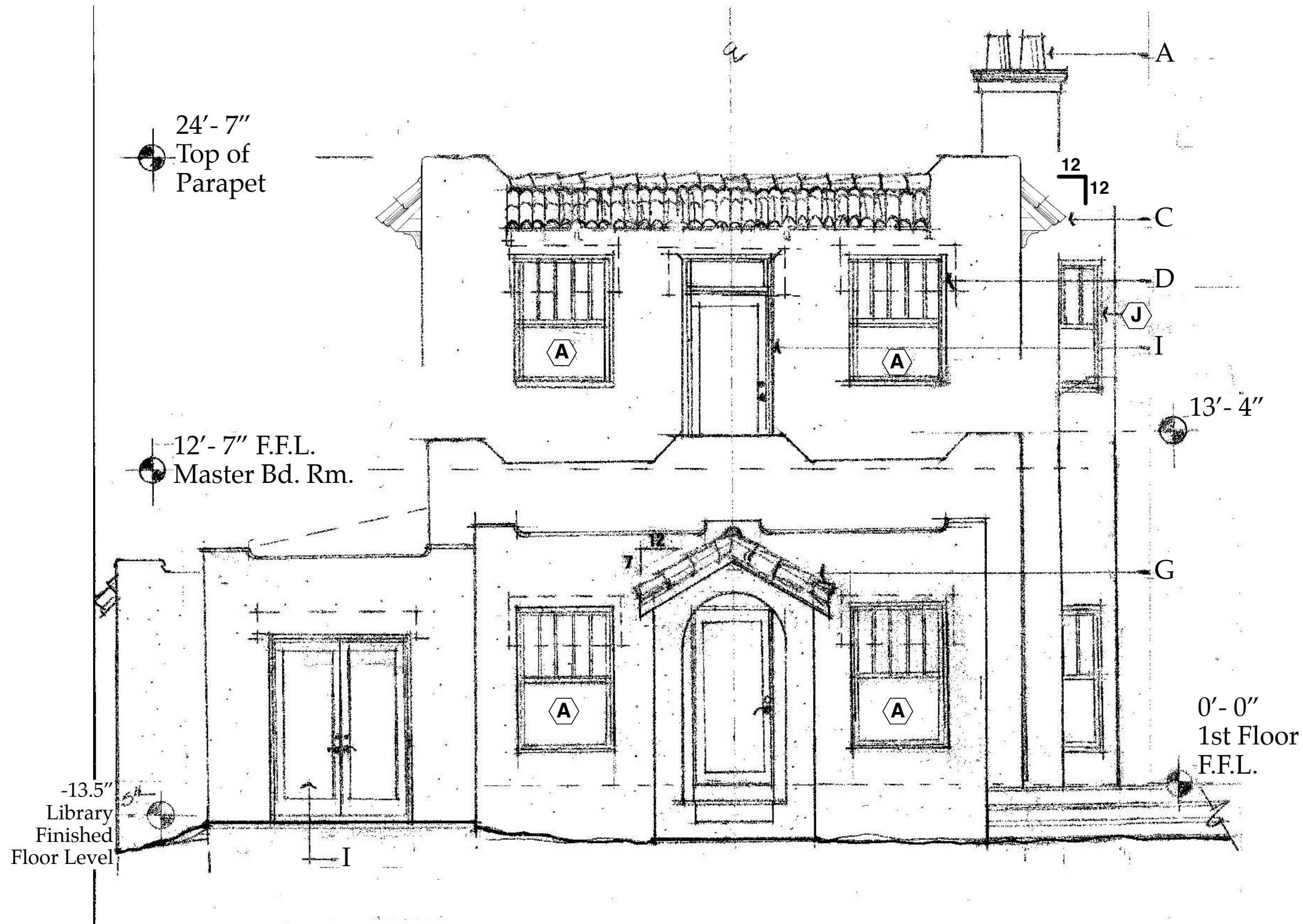


Existing South Elevation: Main Residence & Garage "A-A3.01"
Scale: 1/4" = 1'-0"

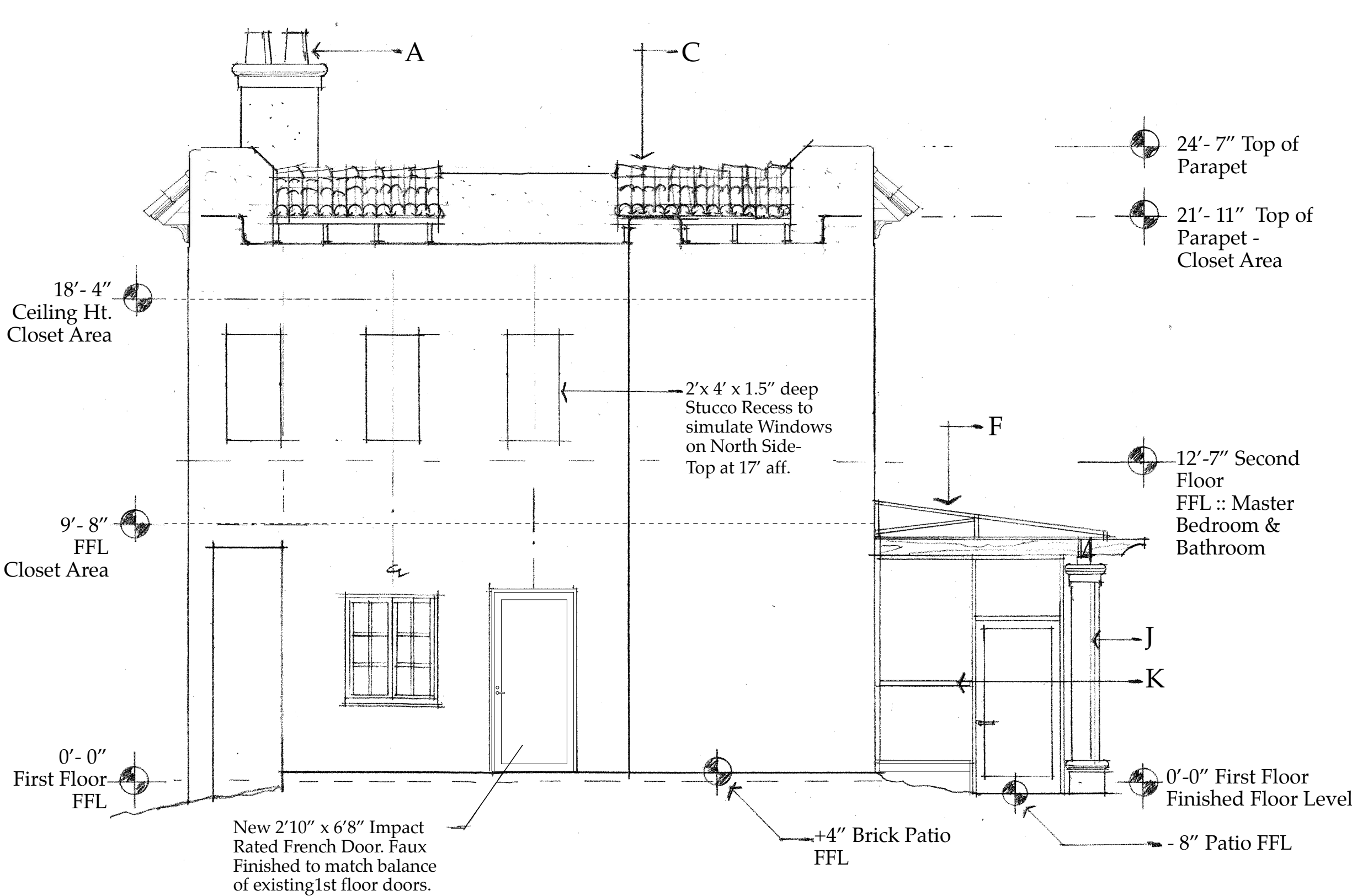


Existing North Elevation: Main Residence & Garage "B-A3.01"
Scale: 1/4" = 1'-0"

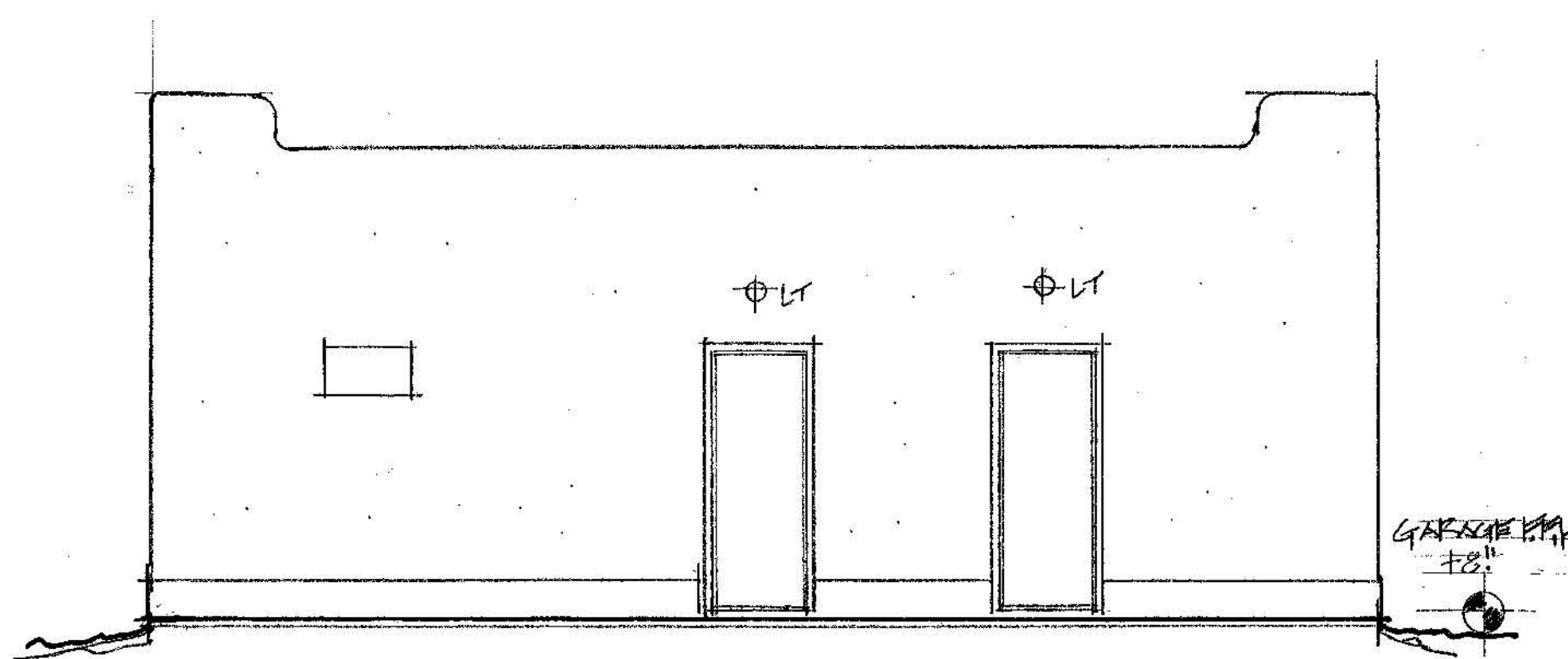
Existing Elevations
A3.01



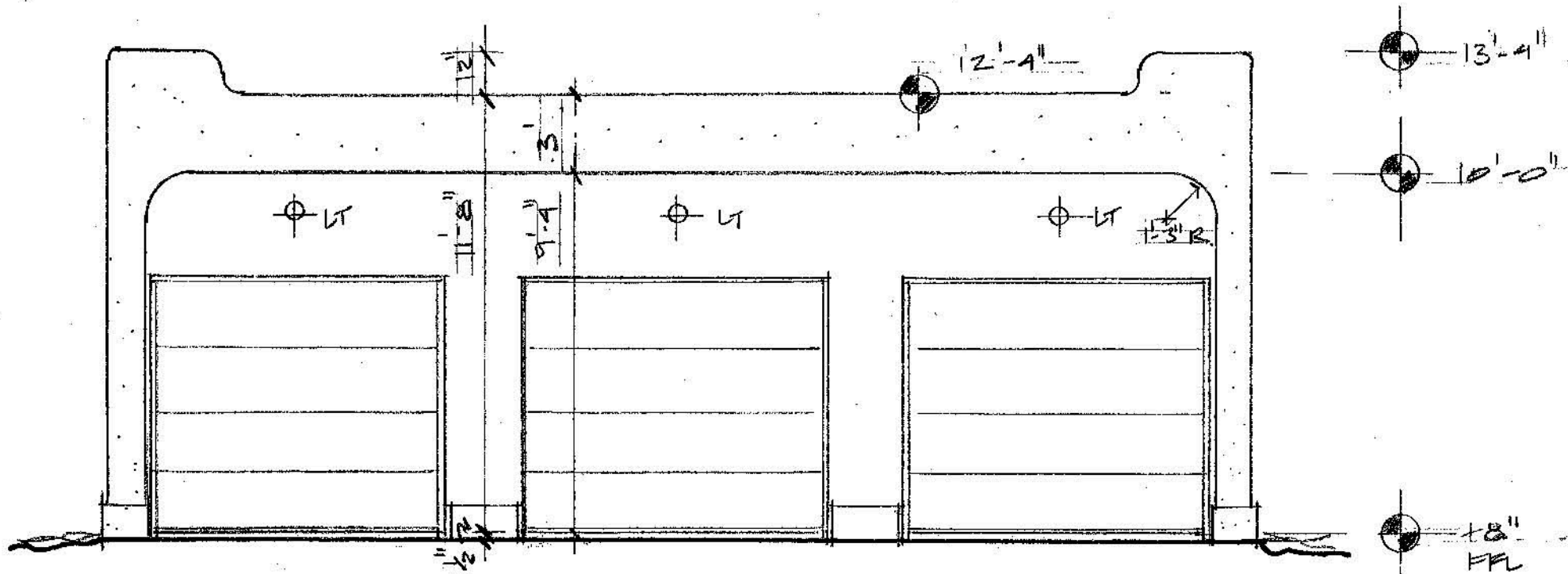
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Scale: 1/4" = 1'-0"



Existing West Elevation: Main Residence "D-A3.02"
Scale: 1/4" = 1'-0"



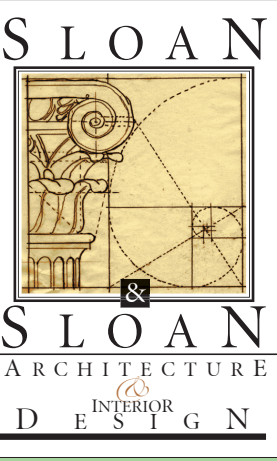
Existing East Elevation: 1 Story Garage "E-A3.02"
Scale: 1/4" = 1'-0"



Existing West Elevation: 1 Story Garage "F-A3.02"
Scale: 1/4" = 1'-0"

Existing Elevations
A3.02

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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

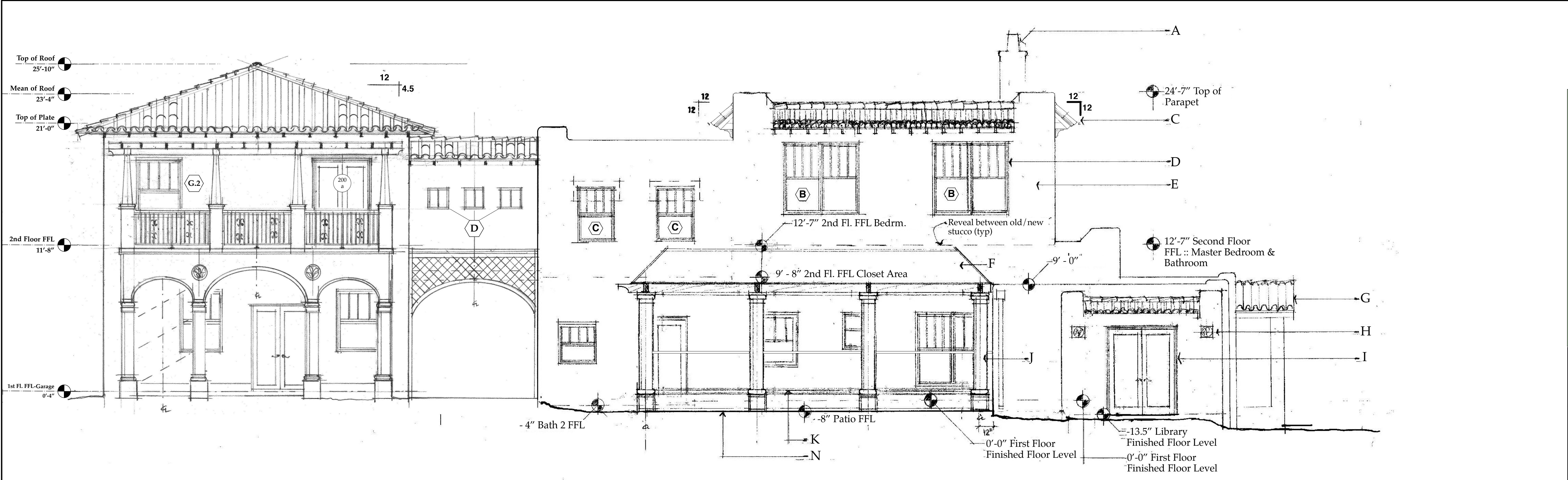
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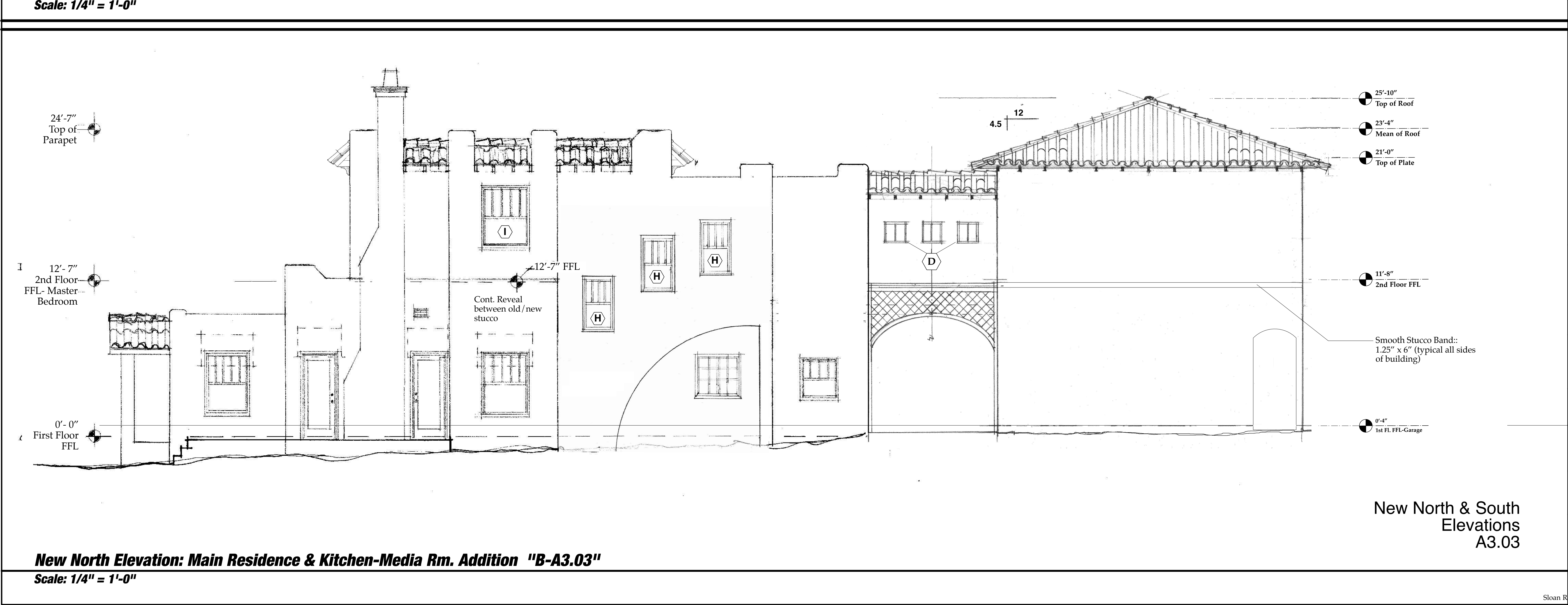
Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
EXISTING ELEVATIONS
of Main Residence & Garage

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.02
Date 11/11/2018	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media	Rm.vwx

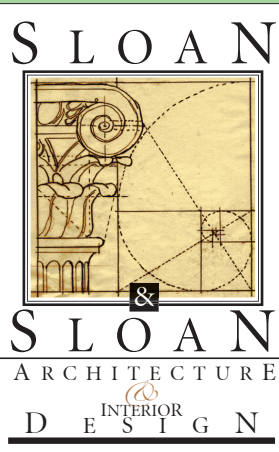


New South Elevation: Main Residence & Kitchen-Media Rm. Addition "A-A3.03"
Scale: 1/4" = 1'-0"



New North Elevation: Main Residence & Kitchen-Media Rm. Addition "B-A3.03"
Scale: 1/4" = 1'-0"

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTT 10-99).



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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

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Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
NEW North & South
ELEVATIONS
of Kitchen/Media Rm. Addition

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. A3.03
Date 11/11/2018	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	

5/8" Stucco

CONTINUOUS MOISTURE BARRIER - W/IN SPACE "V"VOID FLUSH With and S/SK Flashing that use Nail fasteners & Tyres Building wrap over balance of wood sheathing

SEALANT BY HANDY

CONTINUOUS SEALANT BEHIND NAIL FIN ALL SIDES BY WINDOW INSTALLER

Composite 2" Fla. Backsided- Plyne & Part

SELF ADHESIVE FLASHING OVER EXISTING FLANGE BY WINDOW INSTALLER (tyon Pan "Pen & Seal"

CONTINUOUS SEALANT AND BACKER ROD

LOW EXPANSION FOAM BY WINDOW INSTALLER

CONTINUOUS BEAD (OF SEALANT BETWEEN NAIL FIN AND DRAIN MAT

CONTINUOUS MOISTURE BARRIER - W/IN SPACE "V"VOID FLUSH that use S/SK Flashing that use Nail fasteners & Tyres Building wrap over balance of wood sheathing

5/8" Stucco

VERTICAL SECTION

WOOD SILL AND TRIM BY TRIM CARPENTER

DOUBLE 2x4 PT #2 WINDOW SILL 6" x 4" with 4x6x6 single 2x4 PT #2

SEALANT & BACKER ROD BY WINDOW INSTALLER

LOW PRESSURE FOAM BY WINDOW INSTALLER

HORIZONTAL SECTION

INSTALLATION NOTES:

Doors and windows to be installed per latest revision of ASTM E2112. **STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS AND SLYGLIGHTS.**

Weather plane flashing must provide a continuous seal between weather plane of penetration product and weather plane of wall system.

At metal to metal joints must be sealed after installation. This includes, but is not limited to drip caps and mullion covers.

Job site "Frame to Frame" Mul joints must be silicon sealed between frames.

All window products to be installed with a sill pan or equivalent must include back dam and side dams @ 7/8".

NOTE: Please refer to the WINDOW MANUF. CURRENT "NOA & INSTALLATION INSTRUCTIONS for additional installation instructions.

NOTE: French Door Detail is Similar

File WdFrame_Stucco_WindowDetail.vwx

File: WdFrame_Stucco_WindowDetail.vwx

Stucco Exterior - Wood Stud 4 9/16" Jamb

WEATHER RESISTANT BARRIER OVER TOP OF SELF ADHERING FLASHING TAPE**

SELF ADHERING FLASHING TAPE**

STUCCO WITH METAL LATH**

RAINSCREEN**

CONTINUOUS SEALANT AT HEAD AND SIDES BEHIND NAIL FIN**

ALUMINUM EDGE BEAD**

FILL CAVITY WITH BATT INSULATION OR WINDOW & DOOR INSTALLATION FOAM**

SHIM AROUND UNIT**

1/2" SHEETROCK**

INTERIOR TRIM (OPTIONAL)

**PROVIDED BY OTHER

DISCONTINUOUS SEALANT UNDER SILL**

CONTINUOUS SEALANT UNDER SILL PAN**

SELF ADHERING FLASHING TAPE**

CONTINUOUS SEALANT AT SILL PAN LEG**

1st SELF ADHERING FLASHING TAPE**

SILL PAN**

2nd SELF ADHERING FLASHING TAPE**

CONTINUOUS SEALANT UNDER SILL**

Vertical Section Detail - Standard Sill

Vertical Section Detail - ADA Sill

Horizontal Section Detail

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

www.weathershield.com

Weather Shield Windows and Doors

Premium REV 12/17

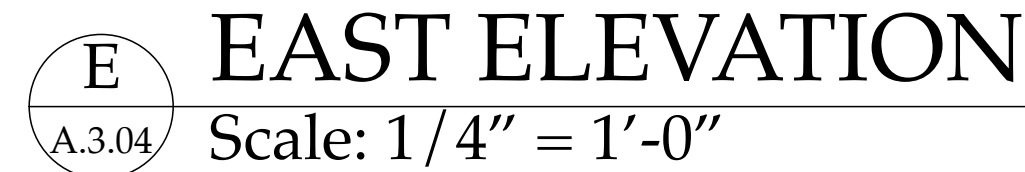
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&
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INTERIOR
DESIGN

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WEST ELEVATION
Scale: 1/4" = 1'-0"

New East & West Elevations A3.04

No.	Date	Issue Notes
		
		Daniel Sloan, AR95577 Date:

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Consultant	
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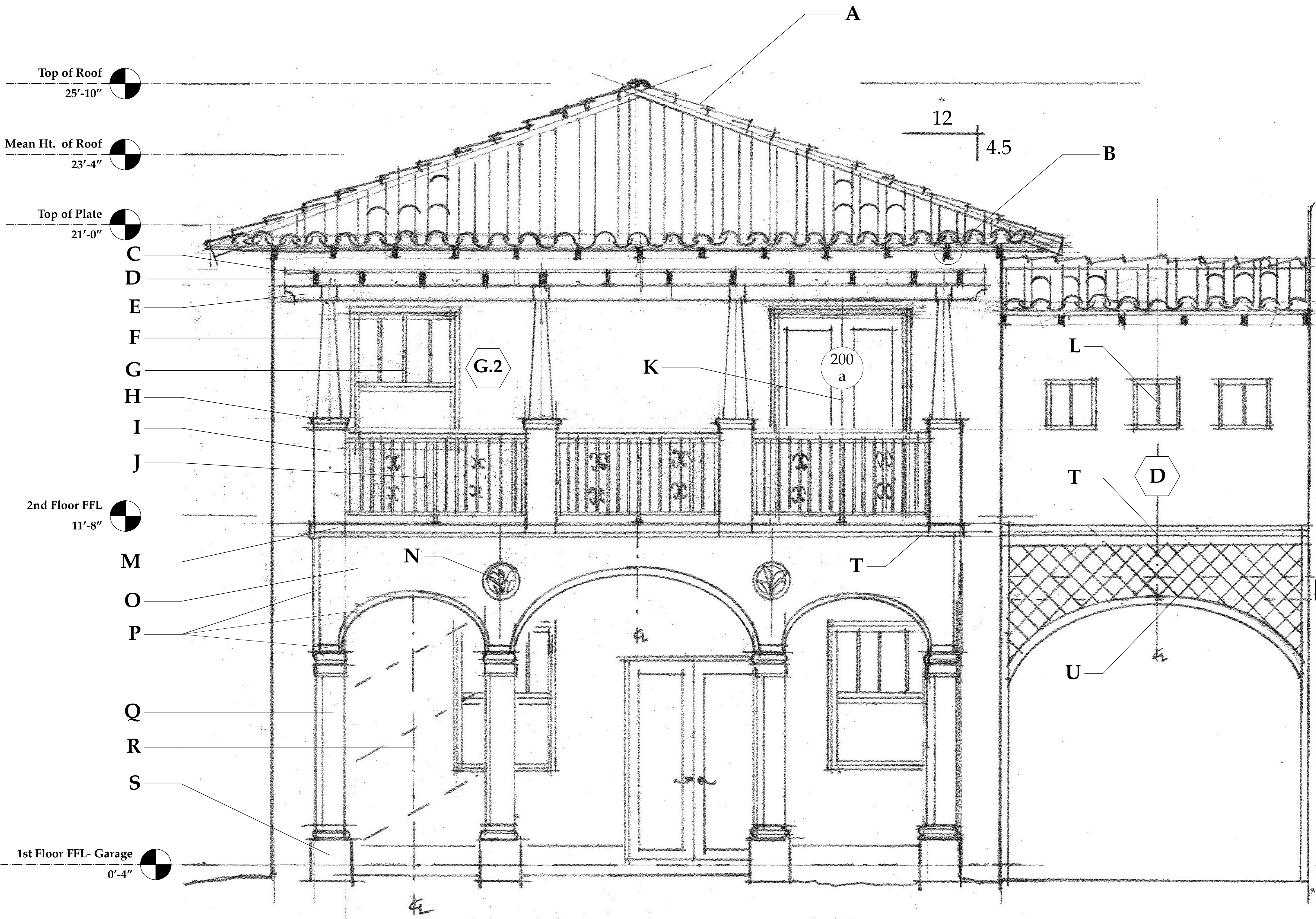
Project Title

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title	NEW ELEVATIONS of Kitchen-Media Rm. Additon
---------------	--

Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
Drawn By D. Sloan	Scale 1/4" = 1'-0"
Reviewed By D. Sloan	Drawing No. <div style="font-size: 2em; text-align: center;">A3.04</div> <div style="text-align: center;">_____ of _____</div>
Date 11/11/2018	
CAD File Name es_PH2_Kitchen-Media	
	Rm.vwx

Sloan Res_PH2_Kitchen-Media Rm.vwx



New Notated Partial South Elevation: 2nd Floor Kitchen-Media Rm. Addition "A-A3.03"
Scale: 1/2" = 1'-0"

ELEVATION MATERIALS LEGEND

- A. **Terra Cotta Barrel Tile** :: Hand Made "Artisan Blend" natural terra cotta colors. with copper drip, and half round copper gutter and downspout on south façade.
- B. **Exposed Rafter Tails** :: 2x4 Pressure Treated Rafter Tails (outermost 3' of top chord of truss is Pressure Treated #2 or btr. SYP, with 1x6 v joint roof deck to 6" inboard of exterior wall, balance of roof is 5/8" CDX plywood glued & nailed.
- C. **2x2 PT #1 SYP** :: run north and south at 12" o.c.
- D. **2x6 PT #1 SYP Trellis Rafters** :: w/ Scrolled Ends, spaced 24" o.c. connected to Ledger on east side
- E. **4x6 PT SYP #1 Beam** :: w/ Scrolled Ends, running north-south supported by Alum Tube Columns.
- F. **Alum Tube Column** :: Powdercoated Dk. Brown, 2.5" x 2.5" x 1/8" wall 6061 Alum. with Tapered Composite 1x8 Boards on 4 sides. Typ of 4 Columns. (SEE DETAIL DRAWINGS Sht S1.01)
- G. **Single Hung Windows** :: PGT Impact Rated Fin Frame units w/ dimensional Muls outside, low profile inside, 4/1 Pattern, , Low E Glass – Bz Frames, 2" composite brickmold, with field applied faux wood finish to match balance of windows and doors on main residence.
- H. **Simulated Keystone Pier Cap** :: bullnosed 4 sides, Base, and curved Trim at face of arched openings
- I. **Stucco Finish 12" x 12" Pier** :: PT 2x4 Framing, ½ PT Ply Shtg, Wrapped with WR Grace Fire & Ice HT peel & stick, 5/8" Stucco on paperback lathe.
- J. **36" High Railing** :: Welded Alum. Perimeter Rectangular frame composed of 3/4" x 1.5" x 1/8" wall Verticals, 1.5" x 1.5" x 1/8" wall center vertical, 1.5" x 2" x 1/8" wall Horizontals, ½" x ½" Iron Double Twist Pickets at 4" oc with Decorative Double Butterfly in 2 locations as shown. Entire Assembly Powdercoated Satin Black. 1.5" x 3" Rounded IPE Handrail on Top.
ALTERNATE: Construct Perimeter w/ Ctr Support Frame of IPE Wood in Same Dimensions (Typ of 5 Segments)
- K. **Double 2068 Clad Wood French Doors** :: Impact Rated Weathershield Clad Units, "western adobe" color, 2" Composite Brickmold, all faux finished wood pattern to match balance of doors.
- L. **Fixed Glass 18" x 18" Windows** :: PGT "Fin Frame" Units, Low E Glass, Bz. Metal , faux finished to match. Single Center Vertical Dimensional Mul/Low Profile Mull inside.
- M. **Sim. Keystone Trim** :: "base board" on piers & band on stucco just below porch FFL.
- N. **Cast Stone Mediallian** :: "Fern and Fiddlehead" pattern, 16" diameter in Buff Color "Beach Stone"as Manf. by "Pineapple Grove Designs".
- O. **Stucco Finish** :: to Match Extg First Floor Wall Texture. *At Inside Faces of Arches apply Smooth Sand Texture.*
- P. **Sim. Keystone Trim** :: as shown, applied over stucco
- Q. **Sim. Keystone 12" Columns** :: Tuscan to match Screen Porch Area Columns.
- R. **New Spiral Stairs** :: 5'-2" Circular Stair – Galvanized Steel or Alum. FBC Code Compliant. Installed by Carpentry Subcntr.
- S. **Sim. Keystone Clad Pedestal Bases** :: 18" x 18" x 20" ht
- T. **Sim. Keystone or Stucco Banding "Crown Moulding" & "Banding" at arches to match::** with solid top surface pitched 5 deg.
- U. **Scored Stucco Pattern** :: 6" x 6" squares canted 45degrees. Created with ½" x 1/2" Stucco Reveals (typ both sides of arch) #1-21 by VinlyCorp or Equal

File:SloanPh2_Elevation_Materials_Legend.doc

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**Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition**

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

Design Firm
Sloan & Sloan- Architecture + I.D.
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Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
NOTATED SOUTH ELEVATION
of Kitchen-Media Room Addtn.
(Partial Elevation)

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A3.05
Date 11/11/2018	_____ of _____

Sloan Res_PH2_Kitchen-Media Rm.vwx

New Notated
Elevation
A3.05

The Work Shown in these Plans Shall Comply with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).



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Sloan Residence Renovations 2nd Floor Kitchen-Media Rm. Addition

No.	Date	Issue Notes
		Daniel Sloan, AR95577 Date:

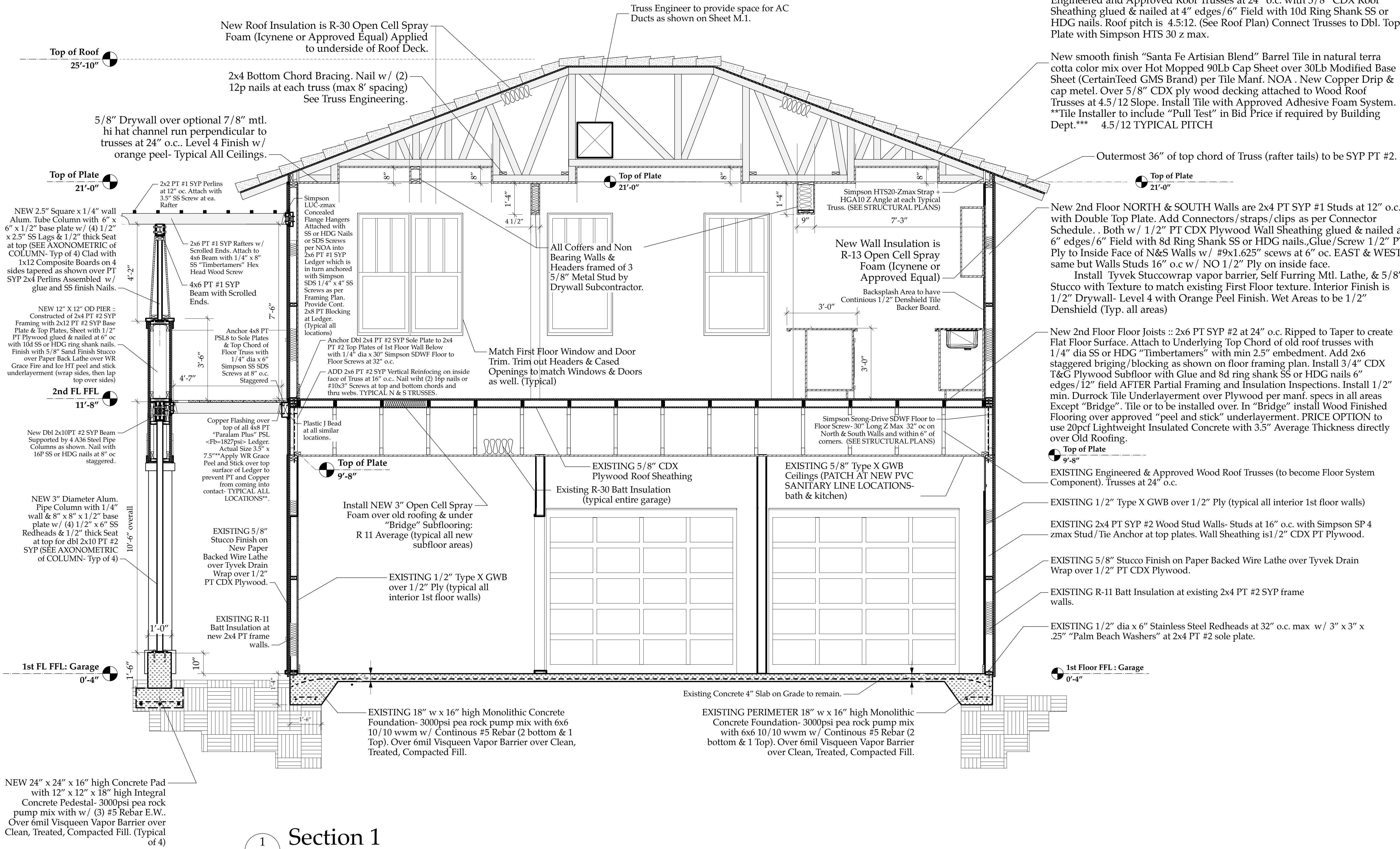
Design Firm
Sloan & Sloan- Architecture + I.D.
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Delray Bch, FL 33483
(561) 243-8755

Consultant

Project Title
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title
BUILDING SECTION "1"
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit-Media Rm Addition
Drawn By D. Sloan	Scale As Noted
Reviewed By D. Sloan	Drawing No. A4.01
Date 4/14/2019	_____ of _____
CAD File Name Sloan Res_PH2_Kitchen-Media Rm.vwx	



Section 1

Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3' WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion.... co-ordinate with GC exact methods and materials.

NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

New Building Section "1-A4.01"

SLOAN



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OF
DESIGN

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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
<div style="text-align: right;"> Daniel Sloan, AR95577 Date: </div>		

Design Firm
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Consultant

Project Title

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Drawing Title

BUILDING SECTION "2"
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
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Drawn By D. Sloan	Scale As Noted
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Reviewed By D. Sloan	Drawing No. A402
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Date 4/14/2019 A4.02
_____ of _____

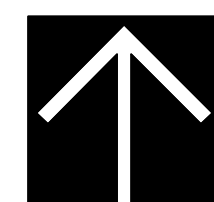
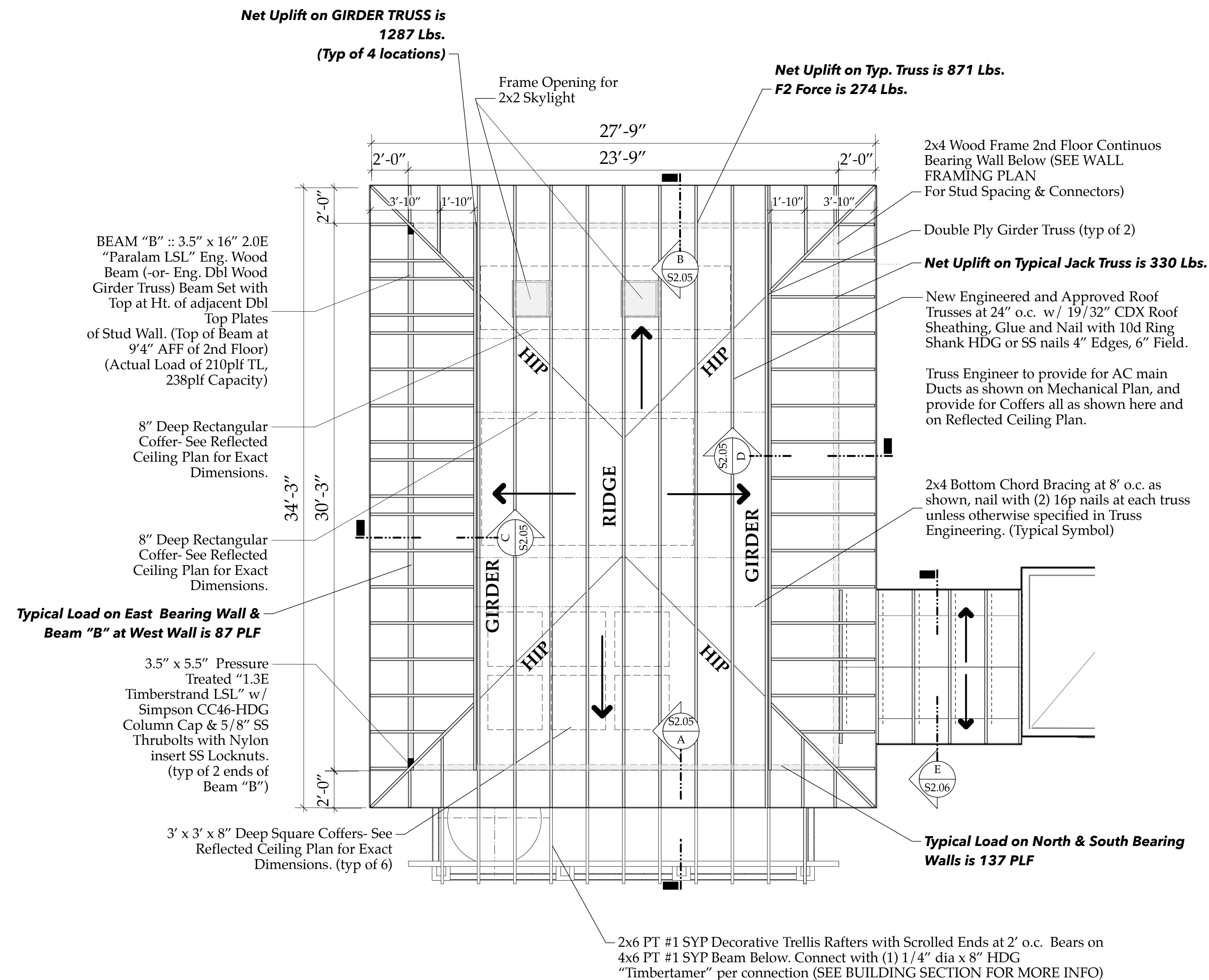
CAD File Name	es_PH2_Kitchen-Media Rm.vwx
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NOTE #2: Rough Carpenter to frame 2x4 Exterior Bearing Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

New Building
Section
"2-A4.02"

****NOTE: Truss Co. to
Make Provisions for
HVAC Ductwork
as Per M1.01.****



2nd FL. ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

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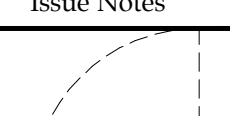


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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
<div style="display: flex; justify-content: space-around;"> <div style="width: 45%; text-align: center;">  </div> <div style="width: 45%; text-align: center;">  </div> </div> <div style="text-align: right; margin-top: 10px;"> Daniel Sloan, AR95577 Date: </div>		

Design Firm
Sloan & Sloan- Architecture + I.D.
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Delray Bch, FL 33483
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Consultant	
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Project Title	<p>Sloan Residence Phase 2</p> <p>KITCHEN-MEDIA RM. ADDITION</p> <p>106 SE 7th Avenue</p>
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Drawing Title

2nd FL FLOOR
ROOF FRAMING PLAN
of Kitchen-Media Rm.

Project Manager D. Sloan	Project ID Sloan Res Kit.-Media Rm Addition
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Drawn By D. Sloan	Scale 1/4" = 1'-0"
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Reviewed By	Drawing No.
Reviewed By	S2 03

Date 4/14/2019 02:00
_____ of _____

es_PH2_Kitchen-Media Rm.vwx

Updated: April 14, 2019

File: SloanPH2_Connection_Schedule.indd

Structural Connection Schedule: Sloan Residence Addition Project

NO.	DESCRIPTION	MANUFACTURER	UPLIFT Capacity Required	UPLIFT Capacity Provided: lbs	PRODUCT #
1	Roof Truss to Dbl. Top Plate (Typ 2nd Fl. Walls) *2nd Floor Exterior Walls*	Simpson Simpson	871 lbs * 	1310 lbs 650up & 940f2	HTS 20 zmax + HGA10 zmax
2	New Dbl. Top Plate to 2nd Fl. Wall Studs *2nd Floor Exterior Walls, 830 lb worst case, 810 lb typical	Simpson	830 lbs uplift value/stud*	1065 lbs	SP2 zmax
3	New 2nd Fl. Studs to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
4	New dbl. 2x4 Sole Plate >Top Chord Floor Truss (1) .25" x 6" SS SDS Screw at 6" o.c. THRU sole plate into Truss	Simpson	310 lbs/screw	375 lbs /screw	3" embedment
4B	ALT; New dbl. 2x4 Sole Plate >Top Chord Floor Truss (1) .25" x 6" SS LAG Screw at 6" o.c. THRU sole plate into Truss	Commodity	310 lbs/lag	705 lbs /lag	3" embedment
4C	New 2nd Fl Wall 2x4 Sole Plate >Top Chord Floor Truss	Simpson SDWF-Z	835lbs/screw	885 lbs /screw	3" embedmt/32" oc
5	New LVL Beam "B" to 4x6 Eng Post Below	Simpson	2499 lbs	2800 lbs	CC46 HDG
5b	New 4x6 Eng Post at 2nd Fl. to 4x6 at 1st Floor	Simpson	1249 lbs/strap	2050 lbs/strap	(2) MST436 zmax
5c	New 1st Floor 4x6 Eng Post to Foundation	Simpson	2499 lbs	4770 lbs	HTT4 Zmax
6	New 2nd Fl. 2x6 Rim Joist for Porch Attached to Bottom Plate of 2nd Floor Walls & Top Chord of Floor Trusses	Simpson	104 lbs/screw	350lbs /screw-Shear (install 2 screws every 16" oc)	3" embedment
6b	2x6 PT #1 Floor Joist Hangers	Simpson	120 lb uplift load	730 lb uplift Capacity	LUC 26 zmax
6b	(For use on 2nd Floor Wood Porch)	Simpson	2077 LB+LL-DL	845 lb Gravity Capacity	LUC 26 zmax
6c	Dbl2x10 PT #2 Bms to Ext Wall	Simpson	120 lb uplift load	1135 lb uplift Capacity	HUC 210-2 zmax
6d	Join (2) Dbl2x10 PT #2 Bms Together	Simpson	120 lb uplift load	2115 lb uplift Capacity	HL 79 zmax
6d	(ALT) Join (2) Dbl2x10 PT #2 Bms Together	Cstm 1/2" 6061-T6 Alum Powercoated, 9" h, (2)	16 Alum Powercoated, 9" h, (2)	8" legs (4) 1/2"bolts	

New 2nd Floor
Roof Framing Plan
S2.03

CAD File Name
Sloan Res_PH2_Kitchen-Media Rm.vwx