



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 106 SE 7th Avenue
Project Location: 106 SE 7th Avenue
Request: Certificate of Appropriateness (2019-226)
Board: Historic Preservation Board
Meeting Date: August 7, 2019

Board Action:

Approved the Certificate of Appropriateness (2019-226) and Site Plan Modification by a vote of 5-2 (Harden and Baffer dissenting) for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.

Project Description:

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a unity-of-title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM), has a maximum density of 5 dwelling units per acre, and is classified as contributing to the Marina Historic District. The structure involved with the subject request is a 1925 Mission Revival style structure that was constructed as a 1-story home. Subsequent renovations and additions have turned the structure into a 2-story home with a 1-story detached garage in the rear that was constructed in 1996.

The subject COA request is for the construction of a 712 sq. ft., 2nd floor addition for a new kitchen and living space over the existing 3-car garage, an exterior bridge will connect the proposed to the recently completed 2nd-story master bedroom suite addition. The COA and is now before the Board for consideration.

Board Comments:

The Board comments were supportive.

Public Comments:

There were members of the public who spoke regarding the project.

Associated Actions: All required actions were taken.

Next Action: HPB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING
100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
(561) 243-7040

HISTORIC PRESERVATION BOARD STAFF REPORT

106 SE 7th Avenue

Meeting	File No.	Application Type
August 7, 2019	2019-226	Certificate of Appropriateness

REQUEST

The item before the Board is for consideration of a Certificate of Appropriateness request for a 2-story addition to an existing 1-story, non-contributing, 3-car garage associated with the existing single-family residence on the multi-family property located at **106 SE 7th Avenue, Marina Historic District**, pursuant to LDR Section 2.4.5(I)(5) and 2.4.6(H)(5).

GENERAL DATA

Agent: Dan Sloan Architecture
Owner: Dan and Donnamarie Sloan
Location: 106 SE 7th Avenue
PCN: 12-43-46-16-D7-000-0010
Property Size: 0.45 Acres
FLUM: MD (Medium Density Residential 5-12 DU/Acre)
Historic District: Marina Historic District
Zoning: RM (Multiple Family Residential)
Adjacent Zoning:

- RM (North)
- CBD (Central Business District) (West)
- RM (South)
- RM (East)

Existing Land Use: Single Family Residence
Proposed Land Use: Single Family Residence



BACKGROUND AND PROJECT DESCRIPTION

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a unity-of-title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM), has a maximum density of 5 dwelling units per acre, and is classified as contributing to the Marina Historic District. The structure involved with the subject request is a 1925 Mission Revival style structure that was constructed as a 1-story home. Subsequent renovations and additions have turned the structure into a 2-story home with a 1-story detached garage in the rear that was constructed in 1996.

In October, 1993, the Historic Preservation Board approved variances to reduce the required side and rear setbacks for a proposed 3-car garage, a variance request to reduce the distance between two residential buildings within the multi-family developments, a waiver to reduce the right-of-way width on SE 7th Avenue from 60' to 40', and the site plan, subject to conditions. The Board required that a sidewalk be installed along the west side of SE 7th Avenue from the north property line to the northernmost parking space. The Board also gave

Project Planner:
Project Planners: Katherina Paliwoda, Planner &
Michelle Hoyland, Principal Planner
PaliwodaK@mydelraybeach.com
HoylandM@mydelraybeach.com

Review Dates:
HPB: August 7, 2019

Attachments:
1. Architectural Plans
2. Photos

partial approval for the proposed architectural design elements. While the development approval expired, the variances remained as these run with the land.

In December 1995, the Historic Preservation Board approved the restoration of the historic dwelling, expansion and upgrading of the existing one-story triplex to two stories, construction of a second-story on the existing single-family residence, construction of a three-car garage, construction of a swimming pool, and the installation of fences, walkways, and decking, subject to conditions. One condition was that a unity-of-title and condominium documentation be recorded as the development proposal contained three individually platted lots. Once these documents were recorded, the triplex became a three-unit condominium unit, the two-story, single family residence became a single-unit condominium, and the one-story, contributing structure became a single-unit condominium with an associated attached garage.

On June 21, 2006, the Historic Preservation Board approved a COA for a 2nd story addition to the 1-story, single-family, Mission style residence and a 2nd story addition to the existing 3-car garage. The addition to the garage included a pitched “pyramid” style roof which was not approved. The board added a condition of approval requiring the roof of the 2nd floor garage addition to be similar in height and appearance to that of the 2nd floor addition of the main residence.

Then at its June 1, 2016 meeting, the Historic Preservation Board approved a COA and Class II Site Plan Modification consisting of additions and alterations to the 1-story, 1925 Mission style structure, as follows:

- Addition to the south elevation with French doors facing south;
- Screened porch over existing patio on the south elevation with simulated coral rock columns and decorative trellis supporting new awning above;
- 2nd story addition to main structure consisting of 910 square feet;
- New shed style, fabric awnings on residence (Sunbrella, Forest Green Tweed);
- Extension of chimney to second story on north elevation;
- New single French door on west elevation of residence;
- New Weathershield PGT aluminum clad wood windows and doors in medium walnut finish; and,
- Alterations to the detached garage that included a new flat, single-panel door on the north elevation and new shed style fabric awnings (Sunbrella, Forest Green/Beige Blvd. stripe).

Construction of these improvements was completed in 2019. Then, at its meeting of December 11, 2018, the City Commission approved a Historic Preservation Tax Exemption Application for the aforementioned site and building improvements. The Palm Beach County Board of County Commissioners approved the Tax Exemption at their meeting of April 2, 2019.

The subject COA request is for the construction of a 712 sq. ft. 2nd story addition over existing non-contributing garage, with an additional 57 sq. ft. bridge that will connect the recently completed 2nd floor master bedroom suite addition. The COA and is now before the Board for consideration.

REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.

Pursuant to LDR Section 2.4.5(I)(5), Architectural (appearance) elevations, the Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve, approve subject to conditions or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

Pursuant to LDR Section. 4.4.6. - **Medium Density Residential (RM) District** - provides a residential zoning district with flexible densities having a base of six units per acre and a maximum of 12 units per acre, except within the Southwest Neighborhood Overlay District and the Carver Estates Overlay District where the maximum density is 24 units per acre, and within the Infill Workforce Housing Area, where the maximum density is 18 units per acre. The property contains a total of 5 units which equates to 5 units per acre (0.45 acres x 12 units = 5 units). The proposed addition is not considered a separate unit from the existing main residence; therefore, the maximum density for the property will not be exceeded by the subject request.

Pursuant to LDR Section 4.4.6(H)(4) – Special Regulations – The height of accessory structures shall not exceed the height of the associated principal structure.

The pitched roof of the 2nd floor garage addition exceeds the height of the flat deck roof of the single-family residence. A condition of approval is added requiring the roof of the proposed 2nd floor garage addition not exceed the height of the existing single-family residence and that roof height dimensions be provided on the elevation plans for both the garage and single-family residence structures illustrating height from average crown of road.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), **Development Standards**, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(2)(c)(4) – Major Development.

The subject application is considered "Minor Development" as it involves "alteration of less than 25 percent of the existing floor area of the building and all appurtenances."

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The existing structure, and its remaining original form, has been considered with respect to the proposed addition and site improvements.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards 2, 5, 9, & 10 are applicable to the proposed addition. As it pertains to Standard 2 and 5 the proposed 2nd floor addition has been designed in the Mission style of architecture. The proposal includes a barrel tile pitched or "pyramid" style roof, which gives the addition a Mediterranean Revival style that is not compatible with the existing Mission style of the 2-story residence to the east. The roof represents an exterior alteration that changes the Mission style and character of the property, which is in conflict with Standard 9. Further, the pitched roof is taller than the existing flat roof of the Mission style residence, which is not compatible with the massing, size, scale and architectural features of the property and would have a negative effect on the historic integrity of the property and its environment. This item was also identified in 2006, when a COA was approved for the 2nd floor addition to the 3-car garage. A condition of approval was added requiring the roof to be compatible with the main residence. The improvements were never constructed as the COA expired. A condition of approval is added that the roof of the 2nd floor garage addition be similar in height and appearance to that of the 2-story Mission style structure to the east.

A kitchen is proposed within the new addition removing it from the main structure and replacing it with a Butler's kitchen. There is concern with removing the kitchen function from the 1st floor of the main residence and placing it in an addition over the garage as it could conflict with Standard 10. It is noted that the area where the original kitchen exists will remain as a "Butlers Kitchen" which ensures that the new addition and construction can be undertaken in such a manner that if removed in the future, the integrity of the historic property would be

unimpaired. A condition of approval is attached requiring the “Butlers Kitchen” to remain within the 1st floor of the main structure.

Provided the condition of approval is met the proposed addition will protect the historic integrity of the property & its environment and the proposal can be found to be compliant with these standards. Based on the above, positive findings can be made with respect to compliance with the Standards.

Pursuant to LDR Section 4.5.1(E)(8) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below. Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

The following criteria apply:

- a. **Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.

- j. Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - a.** For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
 - b.** For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- (m) Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 - 1.** Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
 - 2.** Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
 - 3.** Characteristic features of the original building shall not be destroyed or obscured.
 - 4.** Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
 - 5.** Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
 - 6.** Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

The proposed modifications to the structure do not change the defining characteristics of the historic building and its environment. In relation to the Roof Shape Visual Compatibility Standard, including type and slope, the roof of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. Further, additions shall not introduce a new architectural style and roof shape shall be consistent with the architectural style of the building. Per the COA approval conditions in 2006, the roof of the 2nd floor garage was required to be similar in height and appearance to that of the 2-story Mission style single-family residence. A pitched "pyramid" style roof does not have the appropriate slope and visual compatibility as the flat deck roof of the original structure. A condition of approval is added that the roof of the 2nd floor garage addition be similar in height and appearance to that of the 2-story Mission style structure to the east.

The 2nd floor addition to the 3-car garage is proposed in the rear of the property and is visible from the alley and SE 6th Avenue to the west. The proposed materials, texture and colors will visually compatible with the materials used in the district and on the subject property. There is a concern that the proposal is not in compliance with the Proportion of Openings and Rhythm of Solids to Voids visual compatibility standards given a blank wall is proposed on the north elevation of the garage. A condition of approval is attached that the proposal include at least 2 openings on the north elevation of the 2nd floor addition in order to achieve compliance with this standard.

Provided the conditions of approval are met the proposal will meet the intent of the review criteria above and positive findings can be made.

ALTERNATIVE ACTIONS

- A. Move to continue with direction
- B. Approve Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations, subject to the following condition:
1. That the roof of the proposed 2nd floor garage addition not exceed the height of the existing single-family residence and that roof height dimensions be provided on the elevation plans for both the garage and single-family residence structures illustrating height from average crown of road;
 2. That the roof of the 2nd floor garage addition be similar in height and style to that of the 2-story Mission style structure to the east;
 3. That the "Butlers Kitchen" remain within the 1st floor of the main structure; and,
 4. That the proposal include at least 2 openings on the north elevation of the 2nd floor addition.
- D. Deny Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.

Public and Courtesy Notices

☐ Courtesy Notices are not applicable to this request

☒ Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:

Marina Historic District Homeowners Association

☒ Public Notices are not required for this request.

☒ Agenda was posted on (07/31/19), 5 working days prior to meeting.

HEIGHT: 35 FT., 2 FLOORS

LOT 5 BLOCK 118

[illegible]

lots 2, 3 and 4, Block 118, "BLOCK 118 - DELRAY, FLA.", according to the plat thereof, as recorded in Plat Book 2, Page 2 of the Public Records of Palm Beach County, Florida.

Containing 20.248 Square Feet / 0.4648 Acres, more or less.

Subject to Easements, Restrictions, Reservations, Covenants, and Rights-of-Way of Record.

WHITE SURVEY FOR BOUNDARY OF LOT 2 AND EXISTING WOOD FRAME RESIDENCE ON EAST SIDE OF LOT 2, ALL OTHER ON SITE IMPROVEMENTS BY OTHERS, BUT WERE VERIFIED AS EXISTING.

LICENSED FLORIDA SURVEYOR AND MAPPER NO. 2580
L.B. NO. 2322

DATE OF SURVEY: FEB. 1, 2017
DATE OF FINAL SURVEY: AUG. 31, 2018

NO.	DATE	REVISION	PROJECT NO.
SHEET TITLE			FOUR
			1 - 2
			DATE
			DESIGN BY
			CHECKED BY
			DATE AND NO.
			OF

SITE SURVEY, LOT 2 ONLY

SLANT RESIDENCE RENOVATION

SE 7TH AVENUE

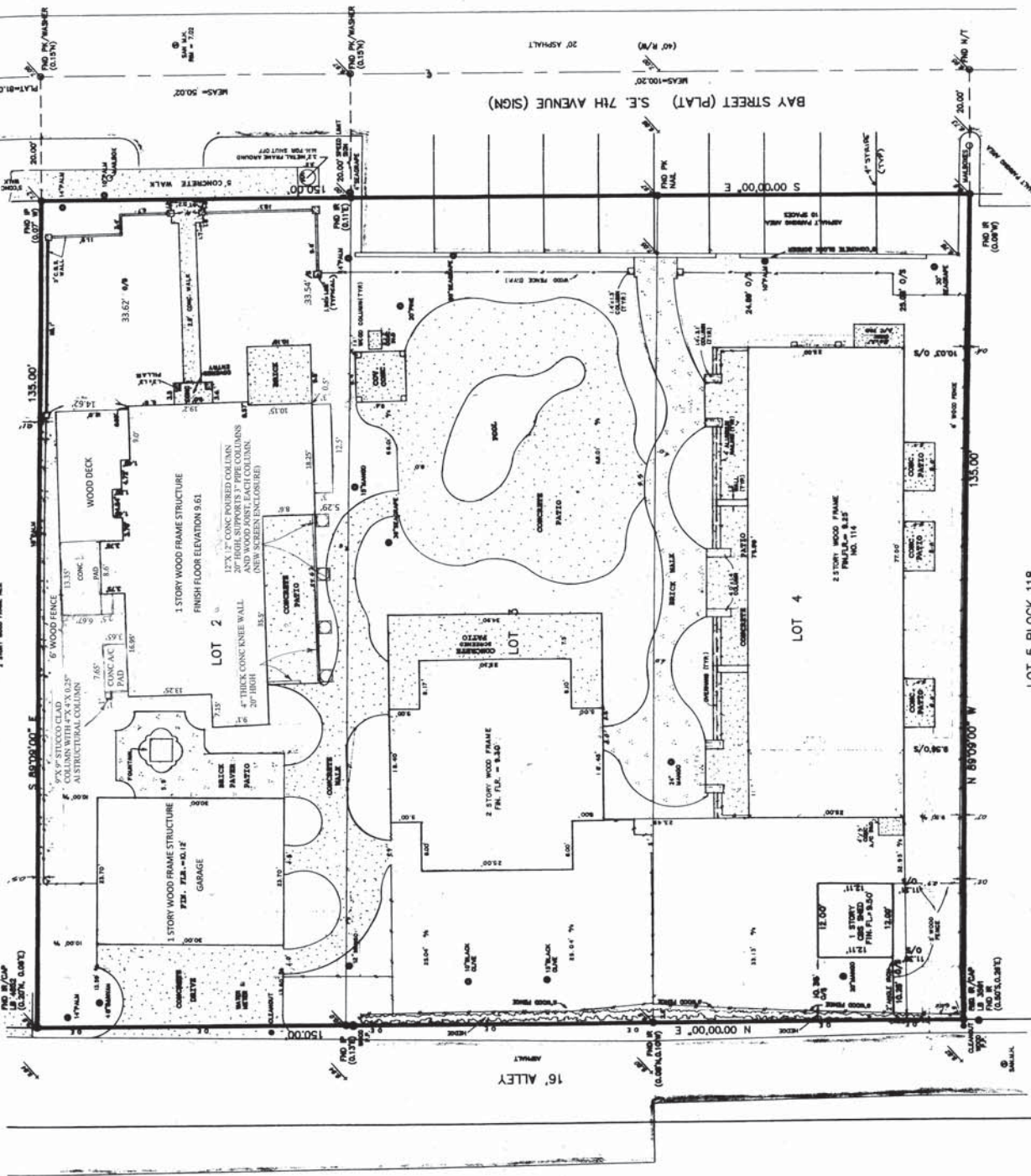
DELRAY BEACH, FLORIDA

**GENTRY ENGINEERING &
LAND SURVEY, INC.**

P. O. BOX 243
DELRAY BEACH, FLORIDA 33447-0243
(561) 272-1924

GENTRY ENGINEERING &
LAND SURVEYING, INC.

P.O. BOX 243
LORAY BEACH, FLORIDA 33447-0243



This sheet shows the plan. The owner shall comply with the 2014 Florida Building Code w/ all amendments and (as applicable) the same. The owner shall be responsible for all structural, mechanical, electrical, plumbing, and other structural details will also comply with ICC-609 (previously STD B-99).



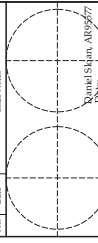
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No.	Date	Revisions Notes
1	4/01/19	ISSUED FOR COA REVIEW

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**Sloan Residence
2nd Floor
Kitchen-Media Rm. Addition**



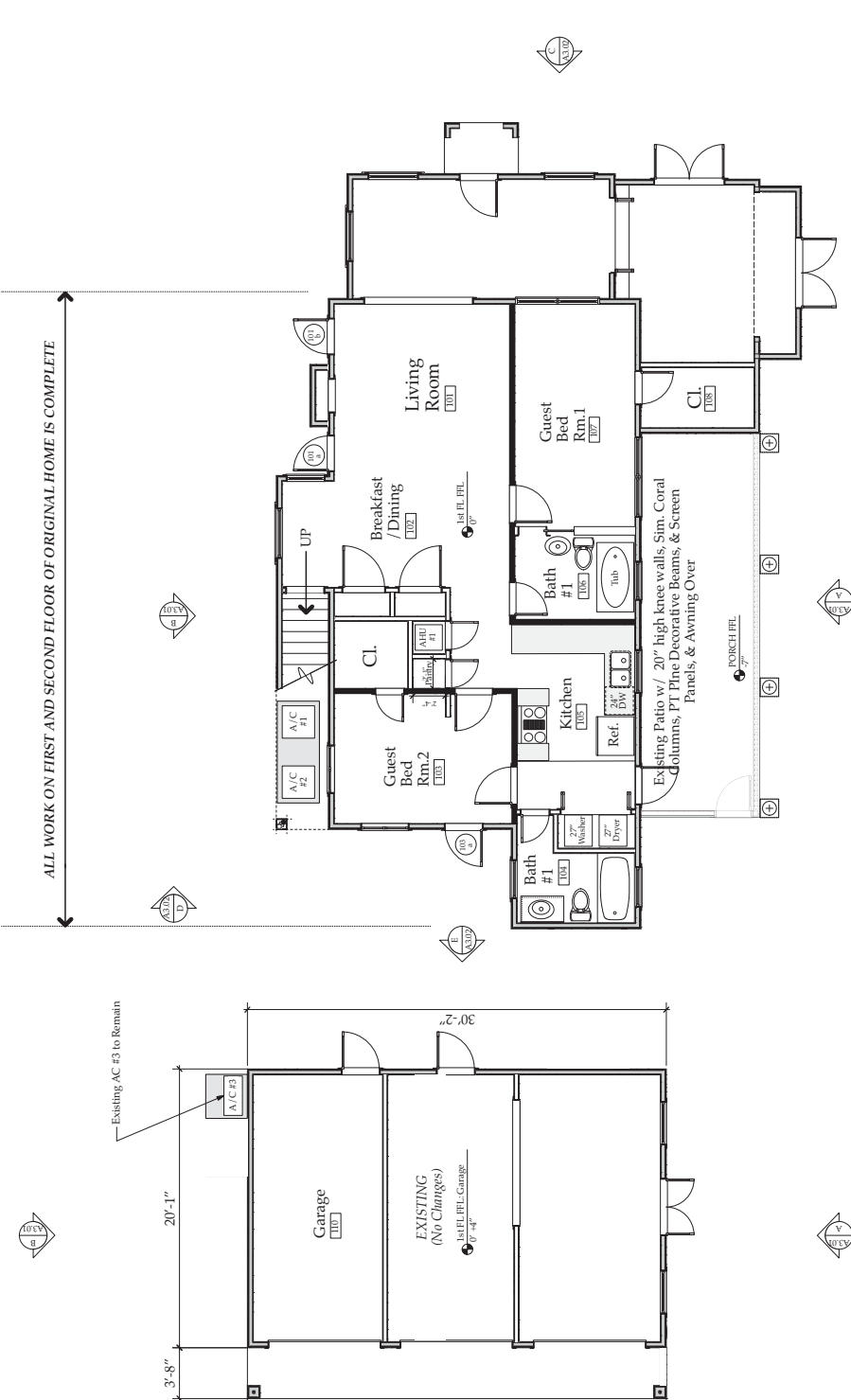
Sloan & Sloan - Architecture + ID.
106 SE 7th Avenue
Fort Lauderdale, FL 33301
Phone: (561) 248-8755

**Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION**
106 SE 7th Avenue
Fort Lauderdale, FL 33301

EXISTING FIRST FLOOR PLAN
Showing Existing Configuration

Project No.	19-001
Client	Sloan Res. Media Rm. Addition
Architect	D. Sloan
Engineer	D. Sloan
Date	4/1/2019
Sheet No.	A2.01

Sheet 2 of 2
P.L.C. Kitchen-Media Rm. Addition



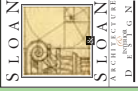
- Wall Type Key:**
- Exterior Bearing Wall w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate dbt. top plate R13 Spray Foam Insulation, and 1/2" Gypsum Board on 8 Tyvek "Stuccowrap" vapor barrier.
 - Non Bearing Interior Wall w/ 2x4 PT Stud at 24" oc, 1/2" Gypsum Board on 1/2" Sound Batts and 1/2" GWB each Side.
 - Interior Bearing Wall w/ 2x4 PT Studs at 16" oc, 1/2" Gypsum Board on 1/2" Sound Batts, and 1/2" GWB each Side.

FIRST FLOOR PLAN- EXISTING

Scale: 1/4" = 1'-0"

Existing First Floor Plan A2.01

This sheet shows the plan and section views of the proposed additions and alterations to the existing structure. All work shall comply with the 2014 Florida Building Code and all applicable amendments and (as applicable) the same. The work shall be in accordance with the Florida Building Code, Planning and Other Structural Details will also comply with ICC-600 (previously SFD 10-99).



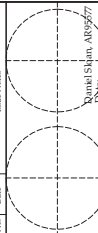
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No.	Date	Revisions Notes
1	4/01/19	ISSUED FOR COA REVIEW

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**Sloan Residence
2nd Floor
Kitchen-Media Addition**



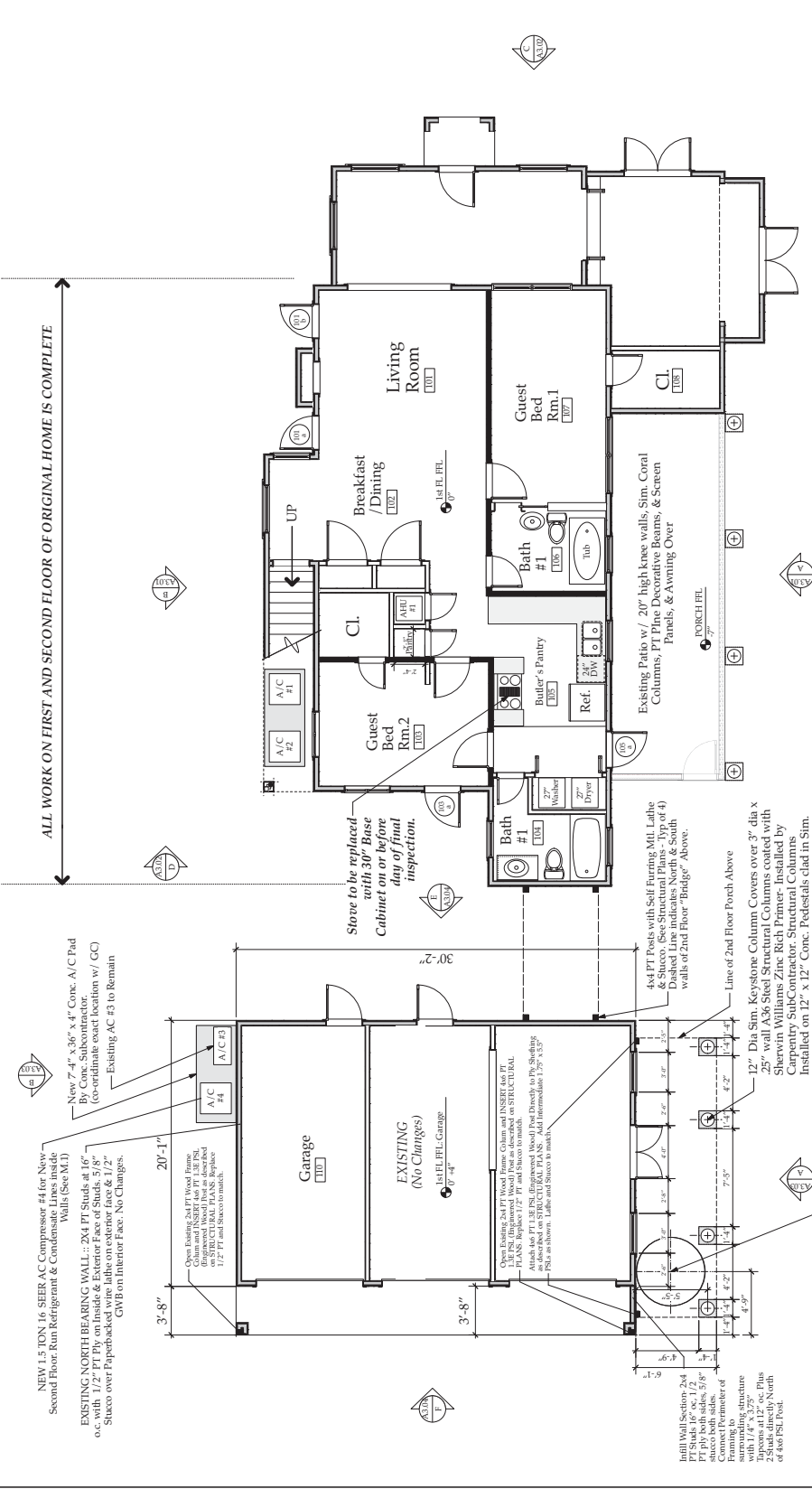
Project Name: Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue
Fort Lauderdale, FL 33301
Client: Daniel Sloan, AB99277
Design Firm: Sloan & Sloan, Architecture + ID, Inc.
106 SE 7th Avenue
Fort Lauderdale, FL 33301
(561) 248-8755

Project No.: 19-001
Sheet No.: A2.02
Scale: 1/4" = 1'-0"

Project Name	Sloan Residence Phase 2
Project No.	19-001
Sheet No.	A2.02
Scale	1/4" = 1'-0"
Client	D. Sloan
Design Firm	Sloan & Sloan, Architecture + ID, Inc.
Project Address	106 SE 7th Avenue, Fort Lauderdale, FL 33301
Project Date	4/1/2019

Sheet 8 of 8
P.L.L.C. Kitchen-Media Reviews

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



- Wall Type Key:**
- Exterior Bearing Wall w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate dbt, top plate, R13 Spray Foam Insulation, and Tyvek® Stuccowrap® 8 Vapor Barrier
 - Non Bearing Interior Wall w/ 2x4 PT Stud at 24" oc, 2x4 PT sole plate, Sound Batts, and 1/2" GWB each Side
 - Interior Bearing Wall w/ 2x4 PT Stud at 16" oc, 2x4 PT sole plate, dbt, top plate, Sound Batts, and 1/2" GWB each Side

FIRST FLOOR PLAN- NEW

Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New Columns & Pads to support 2nd Floor Porch & Spiral Stair.

SLOAN



SLOAN

D. JEFFREY GILN
N. C. 27513-1000

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Durham, NC 27701
(510) 244-8755
telex: 150000 SLOAN INC
DD 000075500000000000
AA35002098

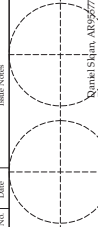


No.	Date	Appr.	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

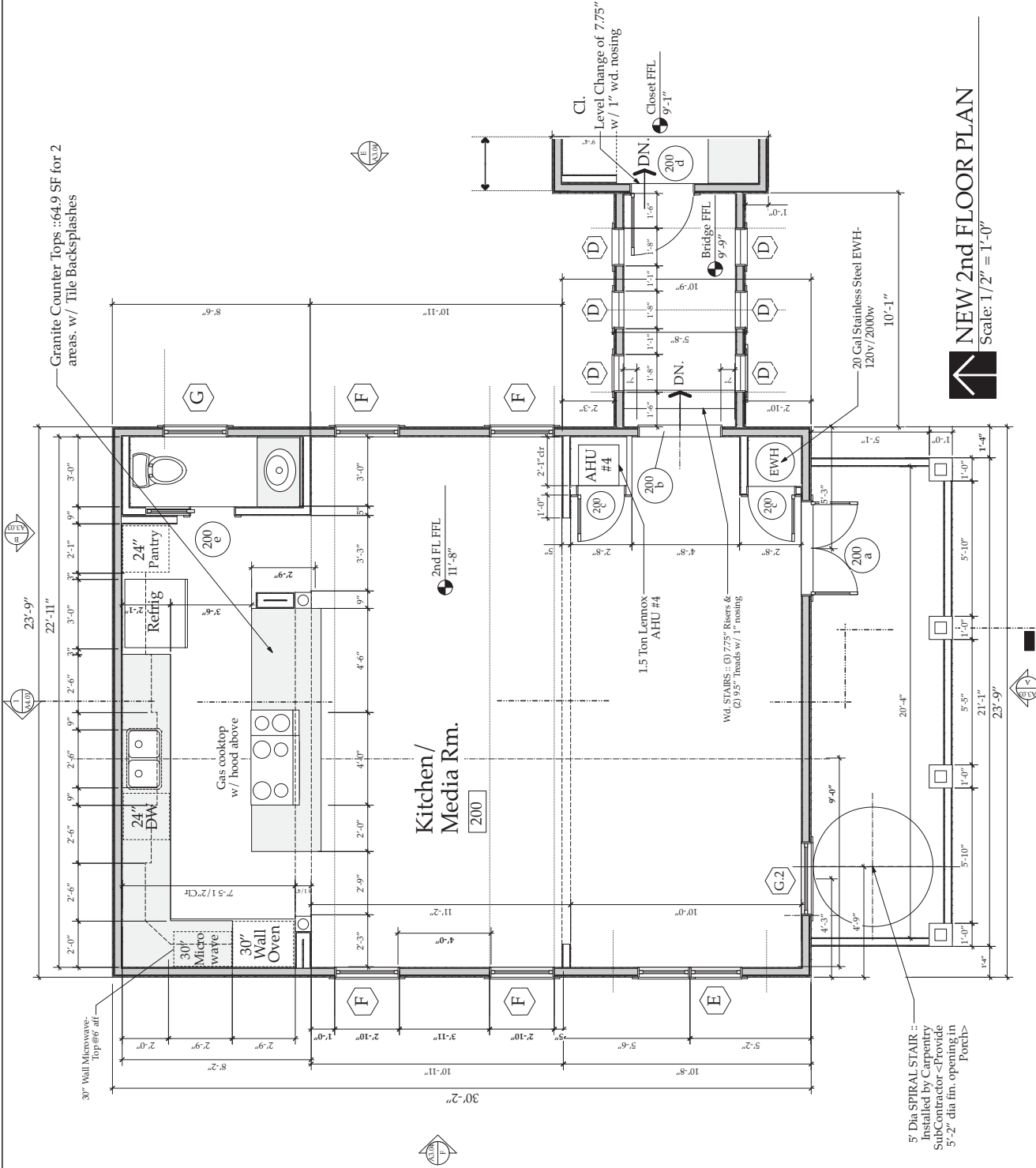


Sloan & Sloan - Architecture + ID.
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Delray Beach, FL 33483
(561) 243-8755

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

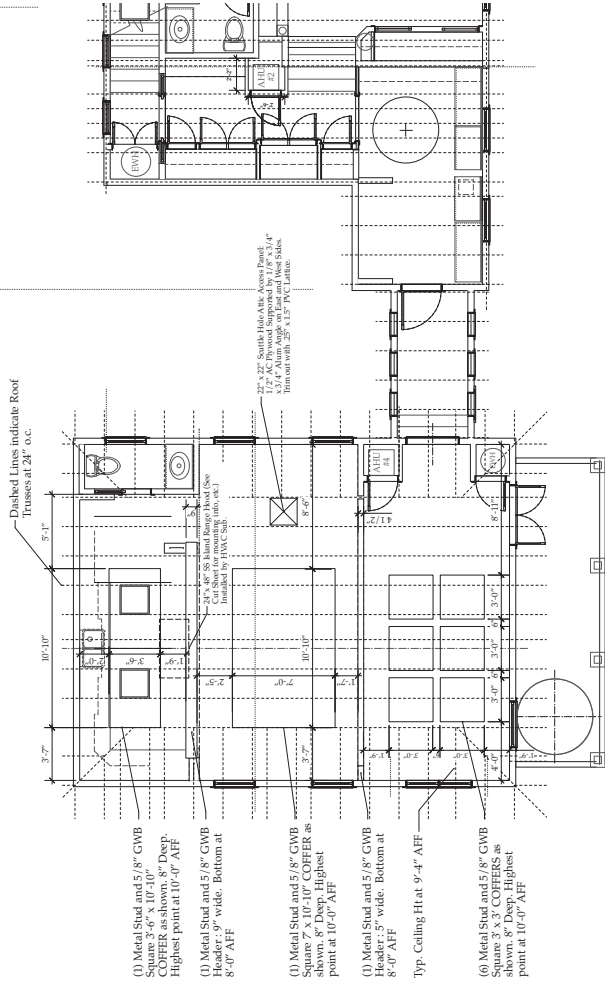
Drawing Title
SECOND FLOOR PLAN
of Kitchen-Media Rm

Project Manager	D. Sloan	Print ID	Skam Res Kit-Media Rem Addition
Drawn by	D. Sloan	Date	As Noted
Reviewed by	D. Sloan	Drawing No.	A2.03b
Date	4/14/2019	_____ of _____	
CADD User Name _____			



New Second
Floor Plan
A2.03b
ENLARGED

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



SECOND FLOOR REFLECTED CEILING PLAN- NEW
Scale: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES-
Sloan Residence Phase 2; Kitchen/Media Rm. Addition Project

1. All dimensions, Specifications, and Notes provided herein shall be verified by each Subcontractor and Vendor prior to construction. The Subcontractor and Vendor shall be responsible for obtaining all necessary permits from the GC/Project Manager and Architect. Written dimensions shall take precedence over mark dimensions at all times. The work shall conform to the Florida Building Code, latest edition and County/Municipalities Interpretation thereof. *Included in the work is Submitting Sample Specifications Color Paperwork on separate sheets. This is to be submitted to the GC/Project Manager and Architect for review and approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.*
2. DRAWINGS: These Drawings are diagrammatic only. It is not the intent of these drawings to show every minor detail of construction. The Subcontractor and Vendor shall furnish and install all items needed for a complete building system. The Subcontractor shall provide all requirements for the equipment to be installed on the building system. The Subcontractor shall be responsible for obtaining all necessary permits from the GC/Project Manager and Architect. Written dimensions shall take precedence over mark dimensions at all times. The work shall conform to the Florida Building Code, latest edition and County/Municipalities Interpretation thereof. *Included in the work is Submitting Sample Specifications Color Paperwork on separate sheets. This is to be submitted to the GC/Project Manager and Architect for review and approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.*
3. Work shall include all items (building and site) indicated on these drawings unless otherwise noted. (Coordinate with written specifications, as applicable)
4. Shop drawings shall be submitted for approval for the following items:
 1. Trusses XX
 2. Steel Decking XX
 3. AC XX
 4. Windows/Storefront XX
 5. Doors XX
 6. Stairs XX
 7. Mechanical Connections XX
 8. Plumbing Riser XX
 9. Electrical Riser XX
 10. Columns XX
 11. Other XX
5. XX General Contractor or Owner: shall maintain Temporary Electrical, Water, and Sanitary connections for the duration of construction unless specifically otherwise provided for in the Construction Contract.
6. Deposits and Fees: Deposits for Water Meter, Telephone, Water, (if applicable), shall be billed to Owner at GC fee cost.
7. All trades shall be responsible for cleaning up and bringing their own trash and scrap materials to the on-site disposal area. The Subcontractor shall be responsible for the cost of such cleanup as required.
8. Every Subcontractor and Vendor shall carry adequate Public Liability and Workers Comp Insurance for the duration of the work. SEE RFP for any limits required above the Statutory Requirements. All work shall be completed within the time frame specified in the RFP. The Subcontractor and Vendor shall have Cough Custom Homes added as an Additional Named Insured and furnish GC a Certificate of Insurance attesting to same.
9. TRUSS MANUFACTURER: co-ordinate truss profiles to accommodate HVAC Ductwork per Sheet M-1 & M-2 (as applicable). All Truss to Truss Metal connectors shall be furnished by Truss Mfg. as part of Truss Package.
10. All Demolition Work accomplished by Subcontractor shall follow latest EPA Lead-safe Workplace Standards for containment and removal of possible lead paint in any residential structure constructed prior to 1975, unless such demolition work was accomplished by the Owner, acting as Owner/Builder?.
11. No Contractor, Subcontractor, or Vendor shall bring onto the site or incorporate into the building any materials or equipment that are not in compliance with the applicable building codes and standards. Any such conflict shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.
12. Each Subcontractor, Specialty Contractor, and Vendor shall install higher portion of the work in a neat, workmanlike manner and in accordance with the highest standards and methods promulgated by their appropriate trade group. See Written Specs for added information. Each Contractor will protect the work of other trades and shall be responsible for the cost of repair of such damage. Any such conflict shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.
13. MILLWORK: Contractor shall coordinate the Millwork/Cabinetry installer with Electrical, Plumbing, and Gas trades for device & fixture locations prior to roughing in for device, fixtures, or equipment. All millwork shall have finished interiors left fabricated and installed in accordance with the Architectural Specifications. The Contractor shall be responsible for the cost of repair of such damage. Any such conflict shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.
14. GREEN PROJECT: (ONLY IF NOTED IN RED) This project is going to be submitting for Green Certification thru the Florida Green Building Coalition, or the USGBC's LEED program, or Green Globes program. As such, All Vendors, Suppliers, and Subcontractors shall warrant that they shall not utilize any materials or equipment that are not in compliance with the applicable building codes and standards. Any such conflict shall immediately be brought to the attention of the Architect and GC so that they can be appropriately remediated or removed.

2nd Floor Reflected
Ceiling Plan
A2.04

This Sheet shows the Plans shall comply with the 2014 Florida Building Code or (if applicable) the same Amendments and (as applicable) the same. The Subcontractor and Vendor shall be responsible for obtaining all necessary permits from the GC/Project Manager and Architect. Written dimensions shall take precedence over mark dimensions at all times. The work shall conform to the Florida Building Code, latest edition and County/Municipalities Interpretation thereof. *Included in the work is Submitting Sample Specifications Color Paperwork on separate sheets. This is to be submitted to the GC/Project Manager and Architect for review and approval for any items or assemblies where such approval is required such as WINDOWS and EXTERIOR DOORS.*



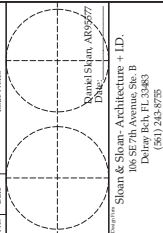
SLOAN
ARCHITECTURE
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No.	Date	APR	Revisions Notes
1	4/01/19		ISSUED FOR PERMITTING

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Sloan Residence
2nd Floor
Kitchen-Media Addition



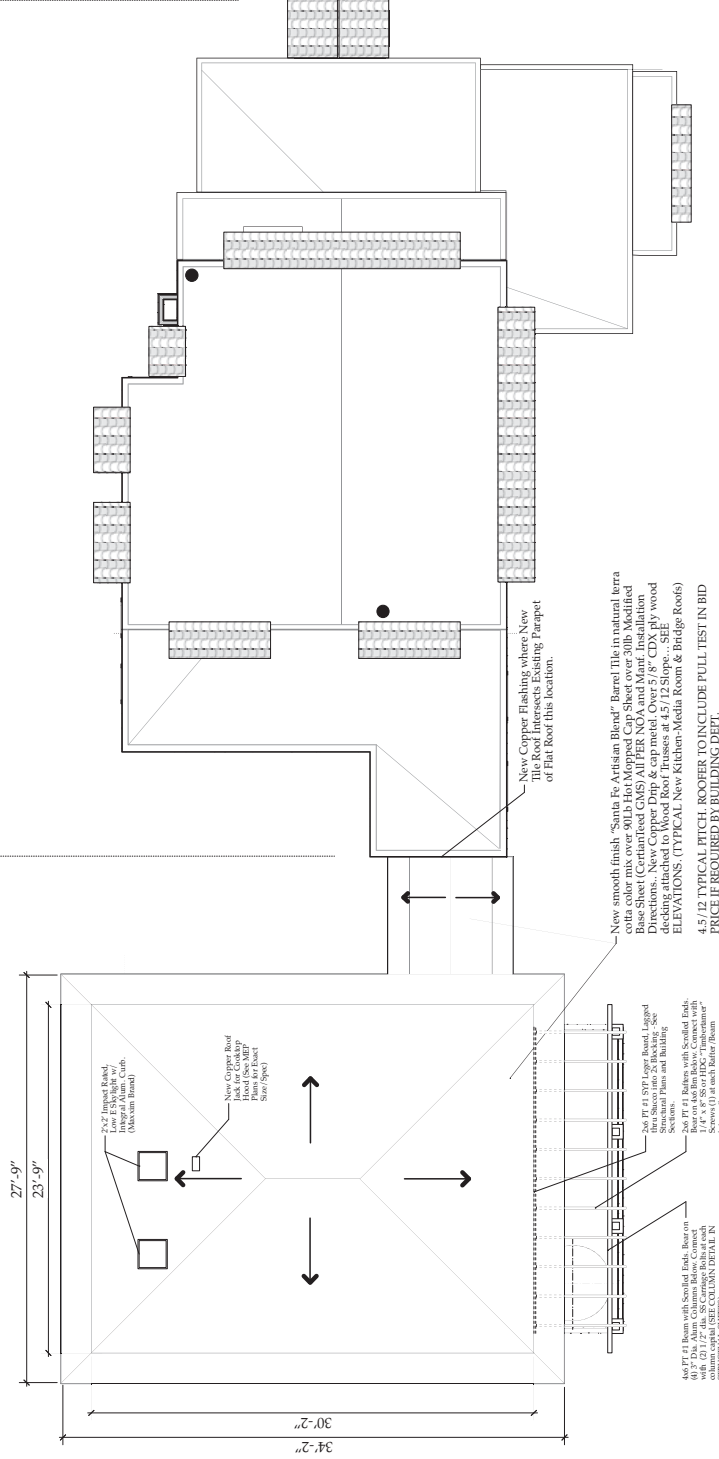
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Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

2nd FLOOR R. CEILING PLAN
of Kitchen-Media Rm.

Project No.	2019-04	Client	Sloan Res Res Media Rm Addition
Architect	D. Sloan	Scale	1/4" = 1'-0"
Designer	D. Sloan	Country	FL
Date	4/14/2019	Sheet No.	A2.04
Project Name	2019-04	Sheet Title	2nd FLOOR R. CEILING PLAN of Kitchen-Media Rm.

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



NEW ROOF PLAN - w / NEW SECOND FLOOR

Scale: 1/4" = 1'-0"

- NOTES:
1. Approx. Roof Areas: 1078 SF or 11 square of barrel tile roofing (1015sf Kitchen-Media Rm & 63sf Bridge Roof)
 2. Provide Price Option for 1/2 round Copper Gutter and 3" dia round Downspouts on either South End (opt 1) or Entire New Roof Perimeter (opt 2)

New Roof Plan::
Kitchen-Media
Room Addition
A2.05

This sheet shows all the Plans shall comply with the 2014 Florida Building Code w / Amendments and (as applicable) the same. All work shall be done in accordance with the Florida Building Code, Mechanical, Electrical, Plumbing, and Other Structural Details will also comply with ICC-600 (previously STD B-99).



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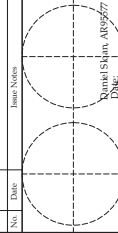


No.	Date	Revisions Notes
1	4/01/19	ISSUED FOR PERMITTING

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Sloan Residence
2nd Floor
Kitchen-Media Room Addition



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Fort Lauderdale, FL 33301
(561) 248-8755

Project Name

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Project No.

NEW ROOF PLAN

of Kitchen / Media Room

Project Manager

D. Sloan

Project No.

A2.05

Date

4/1/2019

Scale

1/4" = 1'-0"

Sheet No.

PFL Kitchen-Media Room

Revisions

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ARCHITECTURAL
DESIGN GROUP, INC.
100 S.W. 7th Ave.
Delray Beach, FL 33444
Telephone: 561-271-7777
Fax: 561-272-0735



No.	Date	Appr	Revision Notes ISSUED FOR COA REVIEW
1	11/11/18		

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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		

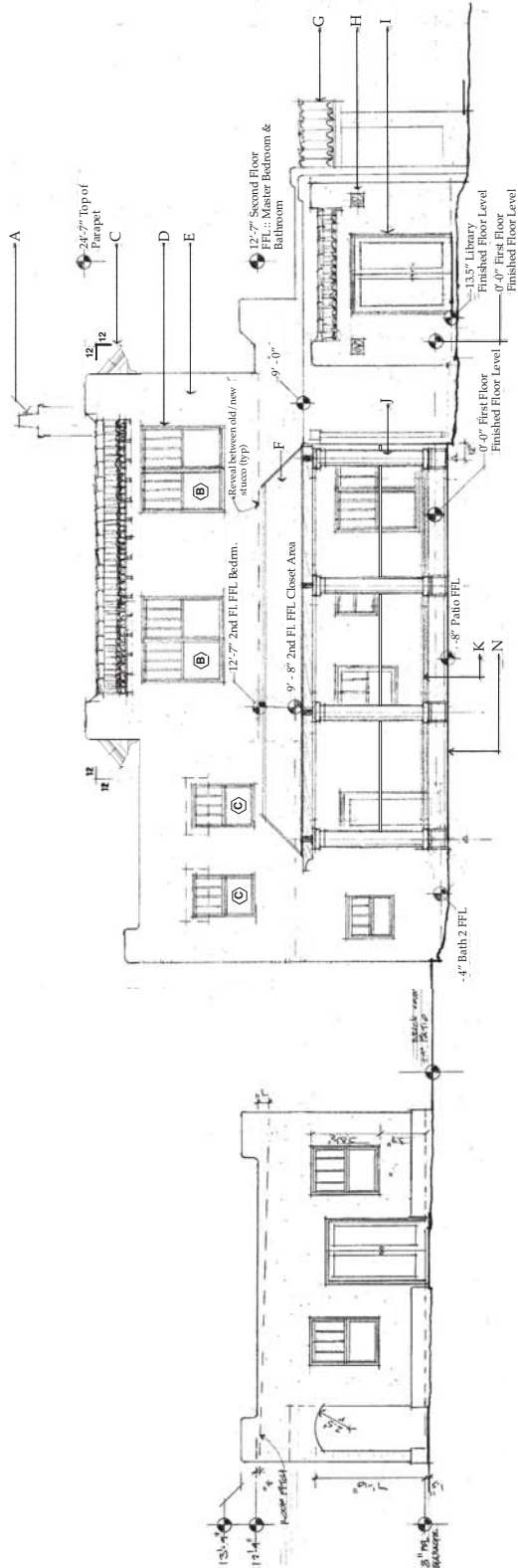
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106 SE 7th Avenue, Ste. B
Delray Beach, FL 33483
(561) 243-8755

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

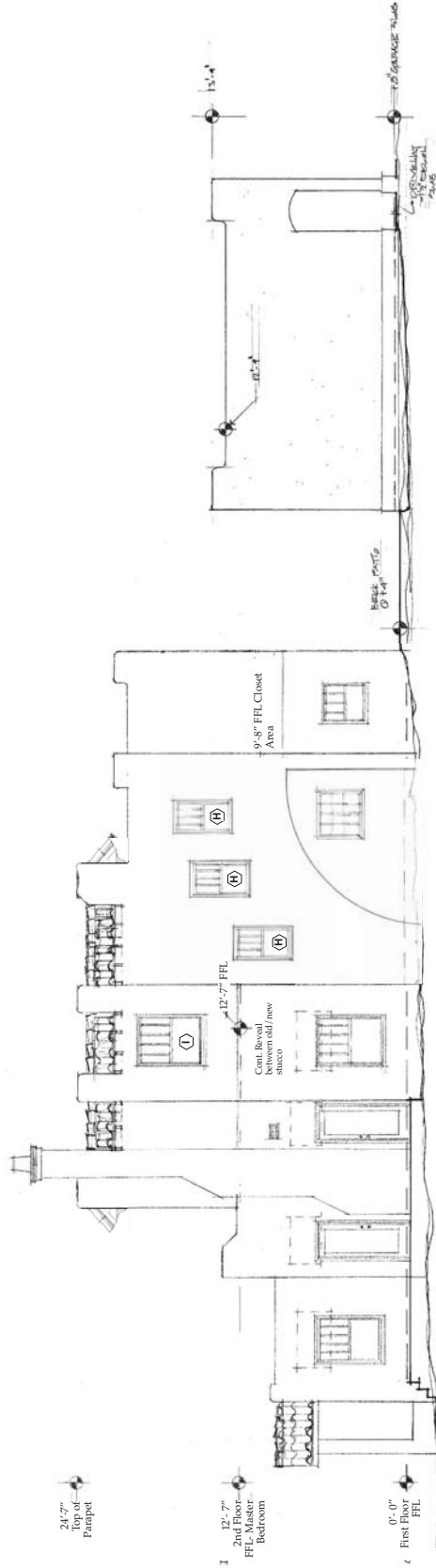
Drawing Title

EXISTING ELEVATIONS
of Main Residence & Garage

Printed Name	D. Sloan	Printed D. Sloan Res. Kit - Media Rim Addition
Donor ID	D. Sloan	Total
Donor City	D. Sloan	$1/4" = 1" \cdot 4"$
Donor State	D. Sloan	Donor Sex
Date	11/11/2018	A3.01
Lab/Phone	UCR/951-626-1111	_____ of _____
Lab Address	100 S. Pkwy. Kitchen-Media	RM WX



Existing South Elevation: Main Residence & Garage "A-A3.01"
Scale: 1/4" = 1'-0"



Existing North Elevation: Main Residence & Garage "B-A3.01"
Scale: 1/4" = 1'-0"

Existing Elevations A3.01

SLOAN  SLOAN	A C C E S S I B L E D - 100002308	Sloan & Sloan Inc. 100 St. John St. 10th Floor New York, NY 10038 (212) 261-2433 ext. 5 (800) 243-3755 Fax: (212) 261-2434 ID 000772 & 485577 AN20002308 
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No.	Date	Appr	Revision Notes
1	11/11/18		ISSUED FOR COA REVIEW

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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

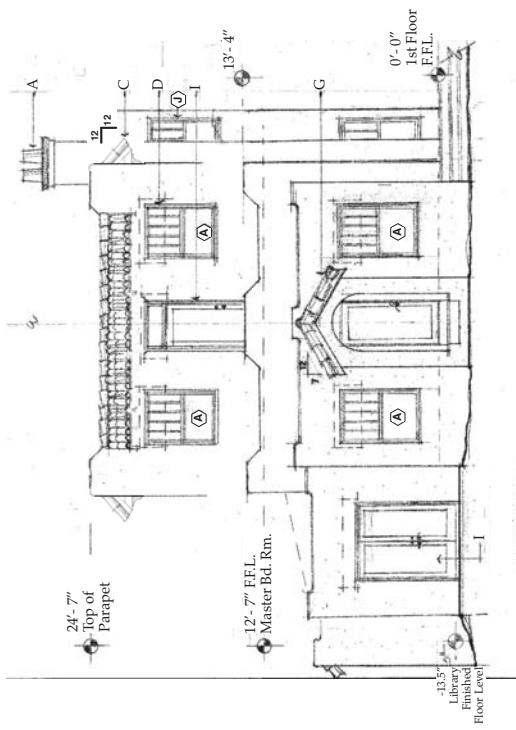
No.	Date	Issue Notes

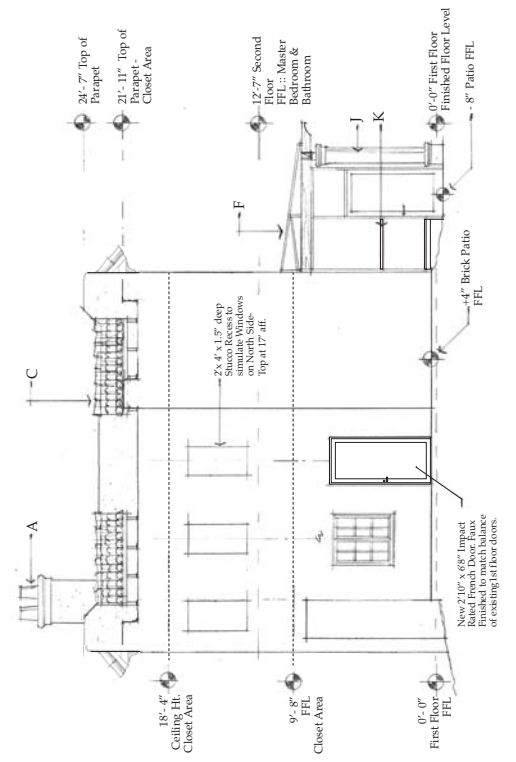
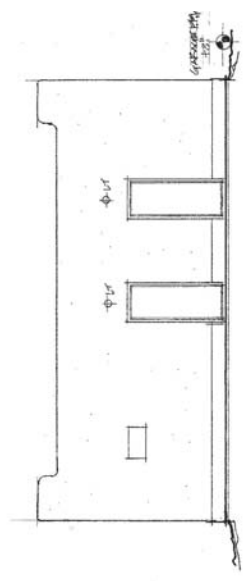
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(561) 243-8755

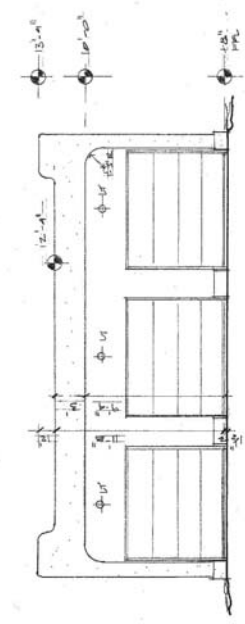
Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Existing Title
EXISTING ELEVATIONS
of Main Residence & Garage

Project Manager	D. Sloan	Project ID	Sloan Res Kit-Media Rem Addition
Drawn by	D. Sloan	Title	1/4" = 1'-0"
Reviewed by	D. Sloan	Drawing No.	A3.02
Date	11/11/2018	_____ of _____	







Existing Elevations A3.02

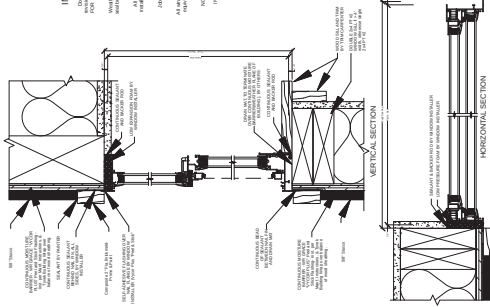
EXISTING ELEVATIONS
A3.02

CAD File Name	Sloan Ris_PH2_Kitchen-Media Rm.vwx
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PH2_Kitchen-Media Rm.VWX

New North Elevation: Main Residence & Kitchen-Media Rm. Addition "B-A3.03"
Scale: 1/4" = 1'-0"

STANDARD WINDOW DETAIL ::
WOOD FRAME WALL w/ STUCCO

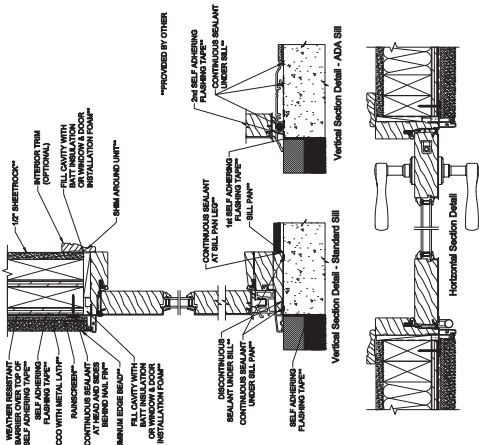


NOTE: French Door Detail is Similar

Weather Shield®
Premium Series™

Outswing Patio Doors
STUCCO SILLING INSTALLATION DETAILS

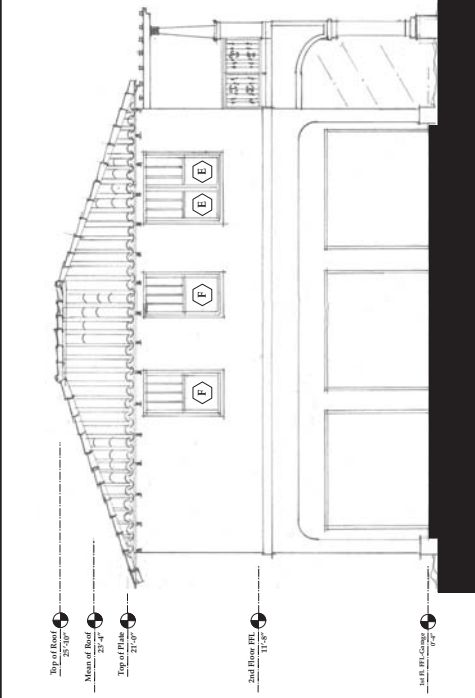
Stucco Exterior - Wood Stud 4 9/16" Jamb



Notes: All dimensions are approximate. Material shall conform to the light to design specifications outlined within.
Weather Shield® Windows and Doors
Patented May 1997, 1999

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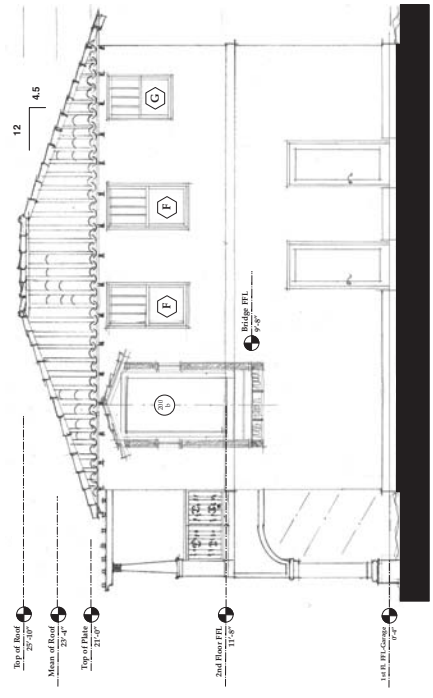


WEST ELEVATION

Scale: 1/4" = 1'-0"

New West Elevation: Kitchen-Media Rm. Addition "F-A3.04"

Scale: 1/4" = 1'-0"



EAST ELEVATION

Scale: 1/4" = 1'-0"

New East Elevation: Kitchen-Media Rm. Addition "E-A3.04"

Scale: 1/4" = 1'-0"

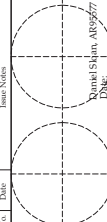
New East & West
Elevations
A3.04



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ID: A3.0402038

No.	Date	Appr.	Revisions Notes
1	11/17/18		ISSUED FOR COA REVIEW

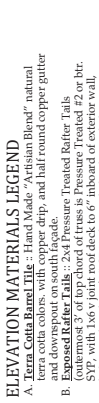
Sloan Residence
2nd Floor
Kitchen-Media Addition



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Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue
NEW ELEVATIONS
of Kitchen-Media Rm. Addition

Client Name	Sloan Residence Phase 2
Client Address	106 SE 7th Avenue
Client City	Fort Lauderdale, FL 33301
Client Phone	(561) 248-8755
Client Email	info@sloanshield.com
Client Project	KITCHEN-MEDIA RM. ADDITION
Client Date	11/17/2018
Client Project	KITCHEN-MEDIA RM. ADDITION
Client Project	KITCHEN-MEDIA RM. ADDITION



A. **Terra Cotta Barrel Tile** : Hand Made "Artisanal Blend" natural terra cotta colors, with copper drip, and half round copper gutter and downspout on south facade.

B. **Exposed Rafters** : 2x4 Pressure Treated Rafters (outermost 3' of top chord of truss is Pressure Treated #2 or br. 3P, with 1x6 v joint roof deck to 6" inboard of exterior wall.

- 101 in 19 years (95% CI: 0.75 months/year). Median survival: 1.5 years and 1.4 years.

Project and Manager	D. Sloan	Print ID	Sloan Res Kit - Media Rm Addition
Quantity	D. Sloan	Size	As Noted
Where used	D. Sloan	Drawing No.	A3.05
Date	11/11/2018		_____ of _____
C:\Users\j...\\PH2 Kitchen-Media Rm.vmx			

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w / any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

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No.	Date	Appr	Revision Notes
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Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		
Daniel Sloan AR95577 Designer		
Sloan & Sloan - Architecture + LD. 106 SE 7th Avenue, Ste. B Delray Bch FL 33483		

(561) 243-8735

**Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue**

NOTATED SOUTH ELEVATION
of Kitchen-Media Room Addn.

Project and Manager	D. Sloan	Print ID	Sloan Res Kit - Media Rm Addition
Quantity	D. Sloan	Size	As Noted
Where used	D. Sloan	Drawing No.	A3.05
Date	11/11/2018		_____ of _____
C:\Users\j...\\PH2 Kitchen-Media Rm.vmx			

S_FPL_NIKHIT-98QUM	NIH.VWA
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This Work shall comply with the 2010 Florida Building Code w/ Amendments and (as applicable) the same. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the local, state, and federal agencies. The Contractor shall also comply with ICC-600 (previously STD 10-99).



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ARCHITECTURE
P.L.L.C.

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**Sloan Residence
2nd Floor
Kitchen-Media Addition**



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Fort Lauderdale, FL 33301
(561) 248-8755

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue
BUILDING SECTION "2"
of Kitchen-Media Rm.

Client Name	Sloan & Sloan, Architecture + ID.
Architect	D. Sloan
Engineer	D. Sloan
Contract No.	A4.02
Date	4/14/2019
Project Name	PH2 Kitchen-Media Rm. Addition

Sheet 2 of 2
PH2 Kitchen-Media Rm. Addition

Engineered and Approved Roof Trusses at 24" o.c. with 5/8" CDX Roof Sheathing glued & nailed at 6" edges/16" field with 10d Ring Shank nails. HDG nails 3" on center. 4-5/12 Slope Roof Plan) Connect Trusses to 2x4 Top Plate with Simpson HTS 30/2 max.

New smooth finish "Santa Fe Artisan Blend" Barred Tile in natural terra cotta color mix over Hot Mopped 90lb Cap Sheet over 30lb Modified Base Coat (CertainTeed CMS Brand) per Tile Mant. NOA. New Copper Drip & cap metal. Over 5/8" CDX ply wood decking attached to Wood Roof Trusses at 4:5/12 Slope. Install Tile with Approved Adhesive foam System. Tile installation method and material to be specified in Bid Price if required by Building Dept. 4:5/12 TYPICAL PITCH

Outmost 36" of top chord of Truss (rafter tails) to be SYP PT #2.

New 2nd Floor EAST & WEST Walls are 2x4 PT SYP #1 Studs at 16" o.c. with Double Top Plate. Add Connectors/straps/drips as per Connector Schedule. Both w/ 1/2" PT CDX Plywood Wall Sheathing glued & nailed at 6" edges/16" field with 10d Ring Shank nails. HDG nails 3" on center. 4-5/12 Slope Roof Plan) Connect Trusses to 2x4 Top Plate with Simpson HTS 30/2 max. Stucco with texture to match existing First Floor texture. Interior Finish is 1/2" Drywall- Level 4 with Orange Peel Finish. Wet Areas to be 1/2" Denshield. Joint between old and new stucco to have horizontal 1" x 8" Stucco Band as shown in elevations. (Typ. all areas)

New 2nd Floor Floor Joists- 2x6 PT SYP #2 at 24" o.c. Rippled to Top to create Flat Floor Surface. All Joists to be Underlaid with 1/2" Ply. HDG nails 3" on center. 4-5/12 Slope Roof Plan) Connect Trusses to 2x4 Top Plate with Simpson HTS 30/2 max. "Timberframes" with min 2x5" embedment. Add 2x6 staggered bracing/blocking as shown on floor framing plan. Install 3/4" CDX T&G Plywood Subfloor with Glue and 8d ring shank SS or HDG nails 6" edges/12" field AFTER Partial Framing and Insulation. All areas except "Bridge" tile or to be installed over in "Bridge" install Wood Finished Flooring over approved "peel and stick" underlayment. PRICE OPTION to use 20lb Lightweight Insulated Concrete with 3.5" Average Thickness directly over Old Roofing.

EXISTING Engineered & Approved Wood Roof Trusses (to become Floor System Component). Trusses at 24" o.c.

EXISTING 1/2" Type X GWB over 1/2" Ply (TYPICAL all 1st floor walls)

EXISTING 2x4 PT SYP #2 Wood Stud Walls- Studs at 16" o.c. with Simpson SP 4 zinc Stud 1/4" Anchor at top plates. Wall Sheathing as 1/2" CDX PT Plywood.

EXISTING 5/8" Stucco Finish on Paper Backed Wire Lath over Tyvek Drain Wrap over 1/2" PT CDX Plywood.

EXISTING R-11 Batt Insulation at existing 2x4 PT #2 SYP frame walls.

EXISTING 1/2" dia x 6" Stainless Steel Redheads at 32" o.c. max w/ 3" x 3" x 25" Palm Beach Washers at 2x4 PT #2 sole plate.

1st Floor FH: Garage

Existing Concrete 4" Slab on Grade to remain.

EXISTING PERIMETER 18" w x 16" high Monolithic Concrete Foundation- 300psi pea rock pump mix with 666 10/10 wvm w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

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New Roof Insulation is R-30 Open Cell Spray Foam (Cyrene or Approved Equal) Applied (Typ. all areas)

2x4 Bottom Chord Bracing- Nail w/ (2) 12d nails at each end (on 8" spacing). See Truss Engineering.

5/8" Drywall over optional 7/8" mtl. hi hat channel run perpendicular to trusses at 24" o.c. Level 4 Finish w/ orange peel- Typical All Ceilings

Simpson LUS20/2max Twist Strap at each back Truss- typical. (SEE STRUCTURAL PLANS)

Beam "B"- 3.5" x 16" LVL 2.0 E Parallel PSL- or Gilder Truss: Furnished by Truss Co. (SEE STRUCTURAL PLANS)

All Coifers and Non Bearing Walls & Headers framed of 5/8" & 3/8" Metal Stud by Drywall Subcontractor.

New Wall Insulation is R-13 Open Cell Spray Foam (Cyrene or Approved Equal) Applied (Typ. all areas)

Connect Dbl Bottom Plates to Dbl Trusses. All Trusses to be Underlaid with 1/2" Ply. HDG nails 3" on center. 4-5/12 Slope Roof Plan) Connect Trusses to 2x4 Top Plate with Simpson HTS 30/2 max. Screws- 30" Long Z max. Install at 42" o.c. on East Wall Location and within 6" of corners.

Anchor DBL 2x4 PT #1 SYP Sole Plate to 2x4 PT #2 SYP Truss Web Below with (2) 1/4" dia x 6" Stainless Steel Redheads at 32" o.c. max w/ 3" x 3" x 25" Palm Beach Washers at 2x4 PT #2 sole plate.

EXISTING 5/8" CDX Plywood Roof Sheathing

EXISTING R-30 Batt Insulation (typical entire garage)

Install NEW 3" Open Cell Spray Foam (Cyrene or Approved Equal) Applied (Typ. all areas)

EXISTING 5/8" Typ X GWB Ceilings (PATCH AT NEW PVC SANITARY LINE LOCATIONS- bath & kitchen)

EXISTING R-11 Batt Insulation at existing 2x4 PT #2 SYP frame walls

EXISTING DBL 2x12 PT HEADER w/ 1/2" PT Ply Spacer (SYP at Garage doors)

EXISTING 8070OH Garage Door

1st FL FH: Garage

Existing Concrete 4" Slab on Grade to remain.

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Section 2

Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3" WR Grace "Fire and Ice" Peel and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion...

NOTE #2: Rough Carpenter to frame 2x4 Exterior Barring Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

Net Uplift on GIRDER TRUSS is
1287 Lbs.
(Typ of 4 locations)



3' x 3' x 8" Deep Square Coeffers-See-
Reflected Ceiling Plan for Exact
Dimensions. (typ of 6)

2x6 PT #1 SYP Decorative Trellis Rafters with Scrolled Ends at 2' o.c. Bears on 4x6 PT #1 SYP Beam Below. Connect with (1) 1/4" dia x 8" HDG "timbertamer" per connection (SEE BUILDING SECTION FOR MORE INFO)

2nd FL. ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"

#

New 2nd Floor
Roof Framing Plan
S2.03

CD/FileName	Rm.vwx
Joan Ris_PH2_Kirchen-Media	Rm.vwx

The Work Shown in these Plans Shall Comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (Previously SSTD 10-99).

SLOAN
ARCHITECTURE
INTERIORS
DESIGN

Sloan & Stew Inc.
 106 SE 7th Ave.
 Corvallis, Oregon 97331
 (503) 248-8755
info@sloanandstew.com
www.sloanandstew.com

No.	Date	Appr	Revision Notes
1	4/01/19		ISSUED FOR PERMITTING

COPYRIGHT NOTICE

Sloan Residence
Renovations
2nd Floor
Kitchen-Media Rm.
Addition

No.	Date	Issue Notes
		
		Qamki Sikan, AR09577 Date: _____

Sloan & Sloan - Architecture + ID.
106 SE 7th Avenue, Ste. B
Delray Beach, FL 33483
(561) 243-8755

**Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue**

2nd FL FLOOR
ROOF FRAMING PLAN
of Kitchen-Media Rm.

Printed for Manager	Printed	Skam Res Kit-Media Rem Addition
D. Sloan	Date	
Reviewed By	Drawn No.	1/4" = 3'-0"
4/14/2019		

Photo Documentation for COA Application for
Sloan Residence Phase 2 Second Story Addition above Garage
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 6/18/19



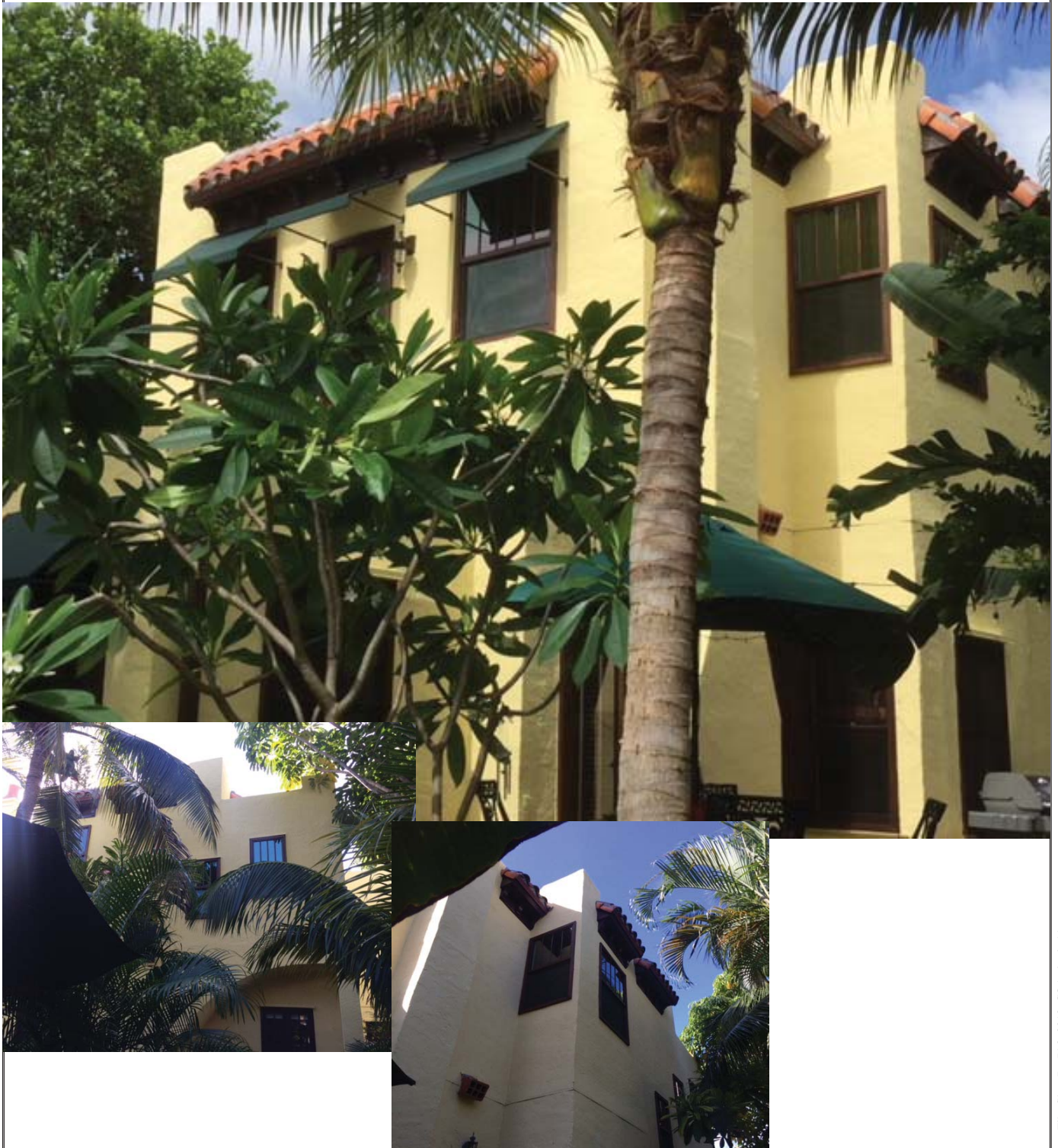
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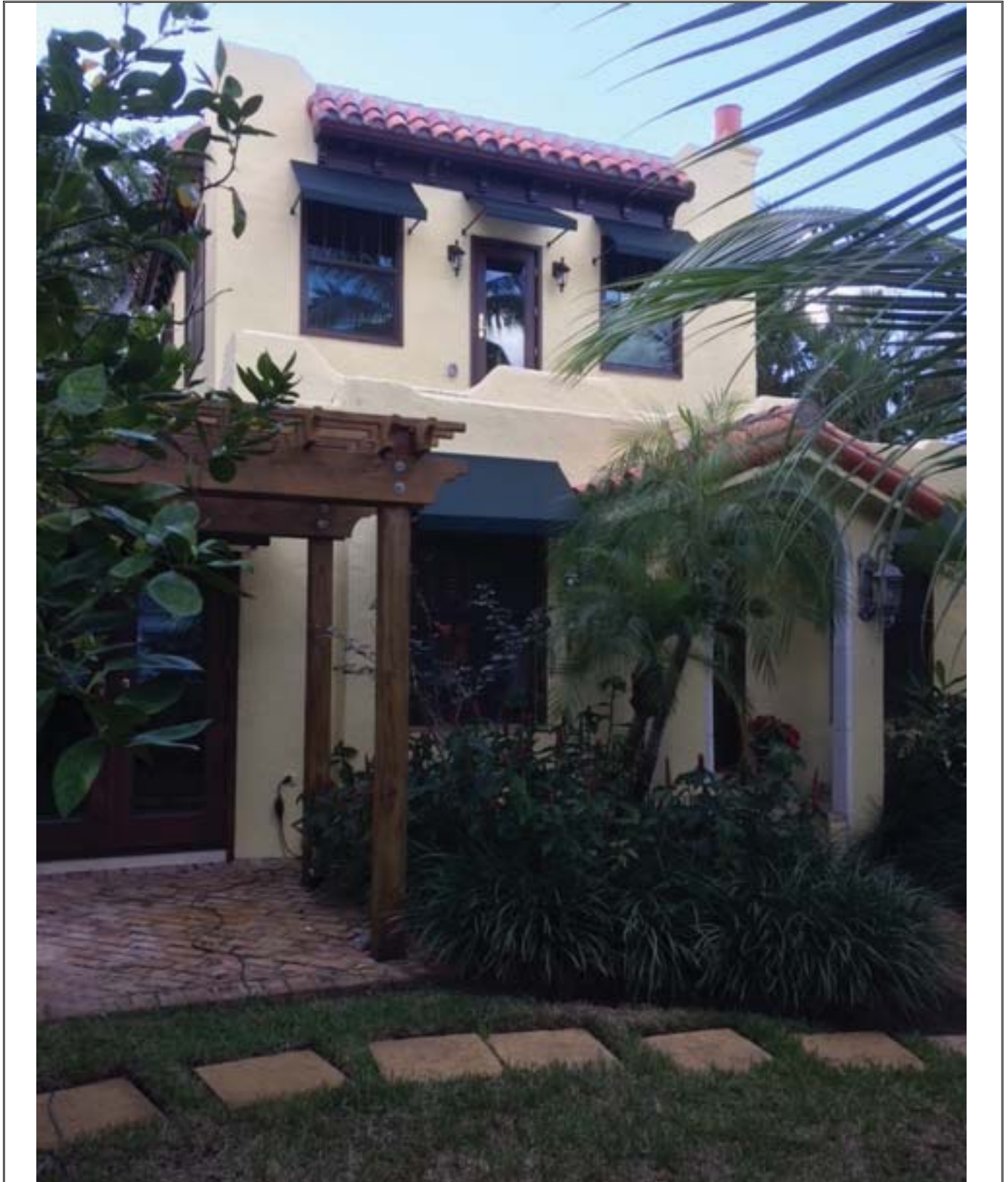
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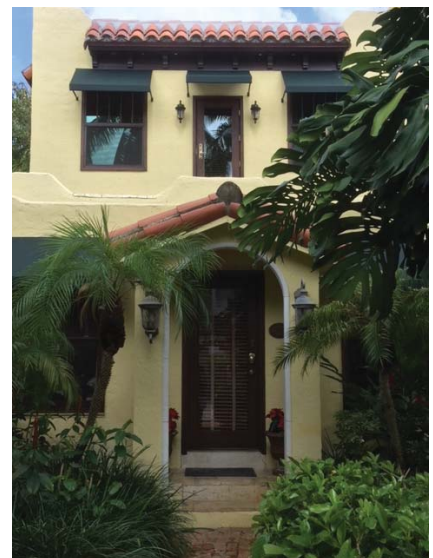
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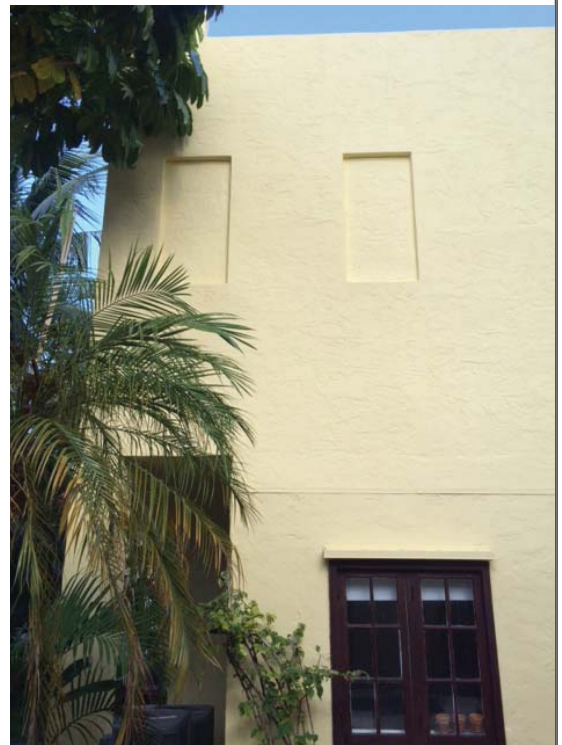
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Note: Photo from 2016 (Prior to Construction of Phase 1 work <Master Suite Addition to the East of Garage>

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