



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 106 SE 7th Avenue
Project Location: 106 SE 7th Avenue
Request: Certificate of Appropriateness (2019-226)
Board: Historic Preservation Board
Meeting Date: August 7, 2019

Board Action:

Approved the Certificate of Appropriateness (2019-226) and Site Plan Modification by a vote of 5-2 (Harden and Baffer dissenting) for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.

Project Description:

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a unity-of-title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM), has a maximum density of 5 dwelling units per acre, and is classified as contributing to the Marina Historic District. The structure involved with the subject request is a 1925 Mission Revival style structure that was constructed as a 1-story home. Subsequent renovations and additions have turned the structure into a 2-story home with a 1-story detached garage in the rear that was constructed in 1996.

The subject COA request is for the construction of a 712 sq. ft., 2nd floor addition for a new kitchen and living space over the existing 3-car garage, an exterior bridge will connect the proposed to the recently completed 2nd-story master bedroom suite addition. The COA and is now before the Board for consideration.

Board Comments:

The Board comments were supportive.

Public Comments:

There were members of the public who spoke regarding the project.

Associated Actions: All required actions were taken.

Next Action: HPB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
(561) 243-7040

HISTORIC PRESERVATION BOARD STAFF REPORT

106 SE 7th Avenue

Meeting	File No.	Application Type
August 7, 2019	2019-226	Certificate of Appropriateness

REQUEST

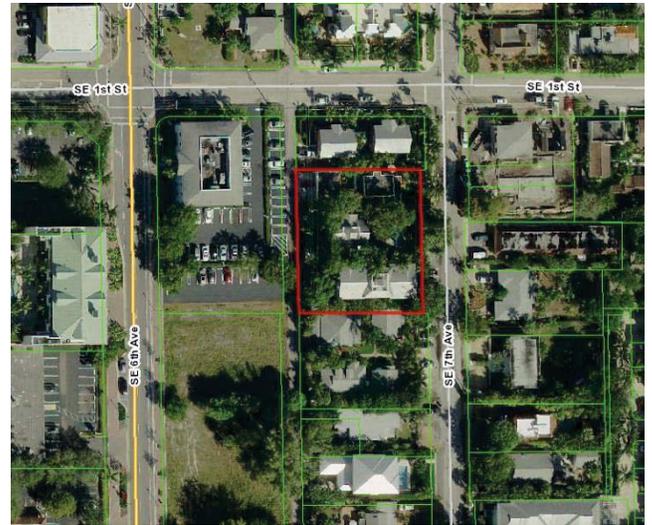
The item before the Board is for consideration of a Certificate of Appropriateness request for a 2-story addition to an existing 1-story, non-contributing, 3-car garage associated with the existing single-family residence on the multi-family property located at **106 SE 7th Avenue, Marina Historic District**, pursuant to LDR Section 2.4.5(I)(5) and 2.4.6(H)(5).

GENERAL DATA

Agent: Dan Sloan Architecture
Owner: Dan and Donnamarie Sloan
Location: 106 SE 7th Avenue
PCN: 12-43-46-16-D7-000-0010
Property Size: 0.45 Acres
FLUM: MD (Medium Density Residential 5-12 DU/Acre)
Historic District: Marina Historic District
Zoning: RM (Multiple Family Residential)
Adjacent Zoning:

- RM (North)
- CBD (Central Business District) (West)
- RM (South)
- RM (East)

Existing Land Use: Single Family Residence
Proposed Land Use: Single Family Residence



BACKGROUND AND PROJECT DESCRIPTION

The subject property consists of Unit 1, of Sloan Hammock, Land Condominium, and is located on the west side of SE 7th Avenue, approximately 75' south of SE 1st Street. The property, joined by a unity-of-title and executed condominium documents, currently contains four structures consisting of 5 total units (two 2-story structures, a 1-story structure, and a detached garage). The property is zoned Multiple-Family Residential-Medium Density (RM), has a maximum density of 5 dwelling units per acre, and is classified as contributing to the Marina Historic District. The structure involved with the subject request is a 1925 Mission Revival style structure that was constructed as a 1-story home. Subsequent renovations and additions have turned the structure into a 2-story home with a 1-story detached garage in the rear that was constructed in 1996.

In October, 1993, the Historic Preservation Board approved variances to reduce the required side and rear setbacks for a proposed 3-car garage, a variance request to reduce the distance between two residential buildings within the multi-family developments, a waiver to reduce the right-of-way width on SE 7th Avenue from 60' to 40', and the site plan, subject to conditions. The Board required that a sidewalk be installed along the west side of SE 7th Avenue from the north property line to the northernmost parking space. The Board also gave

Project Planner: Project Planners: Katherina Paliwoda, Planner & Michelle Hoyland, Principal Planner PaliwodaK@mydelraybeach.com HoylandM@mydelraybeach.com	Review Dates: HPB: August 7, 2019	Attachments: 1. Architectural Plans 2. Photos
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partial approval for the proposed architectural design elements. While the development approval expired, the variances remained as these run with the land.

In December 1995, the Historic Preservation Board approved the restoration of the historic dwelling, expansion and upgrading of the existing one-story triplex to two stories, construction of a second-story on the existing single-family residence, construction of a three-car garage, construction of a swimming pool, and the installation of fences, walkways, and decking, subject to conditions. One condition was that a unity-of-title and condominium documentation be recorded as the development proposal contained three individually platted lots. Once these documents were recorded, the triplex became a three-unit condominium unit, the two-story, single family residence became a single-unit condominium, and the one-story, contributing structure became a single-unit condominium with an associated attached garage.

On June 21, 2006, the Historic Preservation Board approved a COA for a 2nd story addition to the 1-story, single-family, Mission style residence and a 2nd story addition to the existing 3-car garage. The addition to the garage included a pitched “pyramid” style roof which was not approved. The board added a condition of approval requiring the roof of the 2nd floor garage addition to be similar in height and appearance to that of the 2nd floor addition of the main residence.

Then at its June 1, 2016 meeting, the Historic Preservation Board approved a COA and Class II Site Plan Modification consisting of additions and alterations to the 1-story, 1925 Mission style structure, as follows:

- Addition to the south elevation with French doors facing south;
- Screened porch over existing patio on the south elevation with simulated coral rock columns and decorative trellis supporting new awning above;
- 2nd story addition to main structure consisting of 910 square feet;
- New shed style, fabric awnings on residence (Sunbrella, Forest Green Tweed);
- Extension of chimney to second story on north elevation;
- New single French door on west elevation of residence;
- New Weathershield PGT aluminum clad wood windows and doors in medium walnut finish; and,
- Alterations to the detached garage that included a new flat, single-panel door on the north elevation and new shed style fabric awnings (Sunbrella, Forest Green/Beige Blvd. stripe).

Construction of these improvements was completed in 2019. Then, at its meeting of December 11, 2018, the City Commission approved a Historic Preservation Tax Exemption Application for the aforementioned site and building improvements. The Palm Beach County Board of County Commissioners approved the Tax Exemption at their meeting of April 2, 2019.

The subject COA request is for the construction of a 712 sq. ft. 2nd story addition over existing non-contributing garage, with an additional 57 sq. ft. bridge that will connect the recently completed 2nd floor master bedroom suite addition. The COA and is now before the Board for consideration.

REVIEW AND ANALYSIS

Pursuant to Land Development Regulation (LDR) Section 2.4.6(H)(5), prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior’s Standards for Rehabilitation.

Pursuant to LDR Section 2.4.5(I)(5), Architectural (appearance) elevations, the Site Plan Review and Appearance Board or the Historic Preservation Board, as appropriate, may approve, approve subject to conditions or deny architectural elevations or plans for a change in the exterior color of a building or structure, or for any exterior feature which requires a building permit.

Pursuant to LDR Section. 4.4.6. - **Medium Density Residential (RM) District** - provides a residential zoning district with flexible densities having a base of six units per acre and a maximum of 12 units per acre, except within the Southwest Neighborhood Overlay District and the Carver Estates Overlay District where the maximum density is 24 units per acre, and within the Infill Workforce Housing Area, where the maximum density is 18 units per acre. The property contains a total of 5 units which equates to 5 units per acre (0.45 acres x 12 units = 5 units). The proposed addition is not considered a separate unit from the existing main residence; therefore, the maximum density for the property will not be exceeded by the subject request.

Pursuant to LDR Section 4.4.6(H)(4) – Special Regulations – The height of accessory structures shall not exceed the height of the associated principal structure.

The pitched roof of the 2nd floor garage addition exceeds the height of the flat deck roof of the single-family residence. A condition of approval is added requiring the roof of the proposed 2nd floor garage addition not exceed the height of the existing single-family residence and that roof height dimensions be provided on the elevation plans for both the garage and single-family residence structures illustrating height from average crown of road.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), **Development Standards**, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Pursuant to LDR Section 4.5.1(E)(2)(c)(4) – Major Development.

The subject application is considered "Minor Development" as it involves "alteration of less than 25 percent of the existing floor area of the building and all appurtenances."

Pursuant to LDR Section 4.5.1(E)(4) – Alterations: in considering proposals for alterations to the exterior of historic buildings and structures and in applying development and preservation standards, the documented, original design of the building may be considered, among other factors.

The existing structure, and its remaining original form, has been considered with respect to the proposed addition and site improvements.

Pursuant to LDR Section 4.5.1(E)(5) - Standards and Guidelines: a historic site, building, structure, improvement, or appurtenance within a historic district shall only be altered, restored, preserved, repaired, relocated, demolished, or otherwise changed in accordance with the Secretary of the Interior's Standards for Rehabilitation, and the Delray Beach Historic Preservation Design Guidelines, as amended from time to time.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards 2, 5, 9, & 10 are applicable to the proposed addition. As it pertains to Standard 2 and 5 the proposed 2nd floor addition has been designed in the Mission style of architecture. The proposal includes a barrel tile pitched or "pyramid" style roof, which gives the addition a Mediterranean Revival style that is not compatible with the existing Mission style of the 2-story residence to the east. The roof represents an exterior alteration that changes the Mission style and character of the property, which is in conflict with Standard 9. Further, the pitched roof is taller than the existing flat roof of the Mission style residence, which is not compatible with the massing, size, scale and architectural features of the property and would have a negative effect on the historic integrity of the property and its environment. This item was also identified in 2006, when a COA was approved for the 2nd floor addition to the 3-car garage. A condition of approval was added requiring the roof to be compatible with the main residence. The improvements were never constructed as the COA expired. A condition of approval is added that the roof of the 2nd floor garage addition be similar in height and appearance to that of the 2-story Mission style structure to the east.

A kitchen is proposed within the new addition removing it from the main structure and replacing it with a Butler's kitchen. There is concern with removing the kitchen function from the 1st floor of the main residence and placing it in an addition over the garage as it could conflict with Standard 10. It is noted that the area where the original kitchen exists will remain as a "Butlers Kitchen" which ensures that the new addition and construction can be undertaken in such a manner that if removed in the future, the integrity of the historic property would be

unimpaired. A condition of approval is attached requiring the “Butlers Kitchen” to remain within the 1st floor of the main structure.

Provided the condition of approval is met the proposed addition will protect the historic integrity of the property & its environment and the proposal can be found to be compliant with these standards. Based on the above, positive findings can be made with respect to compliance with the Standards.

Pursuant to LDR Section 4.5.1(E)(8) - Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria contained in (a)-(m) below. Visual compatibility for all development on individually designated properties outside the district shall be determined by comparison to other structures within the site.

The following criteria apply:

- a. **Height:** The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- b. **Front Facade Proportion:** The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. **Proportion of Openings (Windows and Doors):** The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.
- d. **Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. **Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. **Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. **Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. **Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. **Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.

- j. Scale of a Building: The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:**
 - a. For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:**
 - b. For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:**
- k. Directional Expression of Front Elevation: A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.**
- l. Architectural Style: All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.**
- (m) Additions to individually designated properties and contributing structures in all historic districts: Visual compatibility shall be accomplished as follows:**
 - 1. Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.**
 - 2. Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.**
 - 3. Characteristic features of the original building shall not be destroyed or obscured.**
 - 4. Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.**
 - 5. Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.**
 - 6. Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.**

The proposed modifications to the structure do not change the defining characteristics of the historic building and its environment. In relation to the Roof Shape Visual Compatibility Standard, including type and slope, the roof of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. Further, additions shall not introduce a new architectural style and roof shape shall be consistent with the architectural style of the building. Per the COA approval conditions in 2006, the roof of the 2nd floor garage was required to be similar in height and appearance to that of the 2-story Mission style single-family residence. A pitched "pyramid" style roof does not have the appropriate slope and visual compatibility as the flat deck roof of the original structure. A condition of approval is added that the roof of the 2nd floor garage addition be similar in height and appearance to that of the 2-story Mission style structure to the east.

The 2nd floor addition to the 3-car garage is proposed in the rear of the property and is visible from the alley and SE 6th Avenue to the west. The proposed materials, texture and colors will visually compatible with the materials used in the district and on the subject property. There is a concern that the proposal is not in compliance with the Proportion of Openings and Rhythm of Solids to Voids visual compatibility standards given a blank wall is proposed on the north elevation of the garage. A condition of approval is attached that the proposal include at least 2 openings on the north elevation of the 2nd floor addition in order to achieve compliance with this standard.

Provided the conditions of approval are met the proposal will meet the intent of the review criteria above and positive findings can be made.

ALTERNATIVE ACTIONS

- A. Move to continue with direction
- B. Approve Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.
- C. Approve Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District** by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations, subject to the following condition:
 - 1. That the roof of the proposed 2nd floor garage addition not exceed the height of the existing single-family residence and that roof height dimensions be provided on the elevation plans for both the garage and single-family residence structures illustrating height from average crown of road;
 - 2. That the roof of the 2nd floor garage addition be similar in height and style to that of the 2-story Mission style structure to the east;
 - 3. That the “Butlers Kitchen” remain within the 1st floor of the main structure; and,
 - 4. That the proposal include at least 2 openings on the north elevation of the 2nd floor addition.
- D. Deny Certificate of Appropriateness (2019-192) Site Plan Modification request for the property located at **106 SE 7th Avenue, Marina Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in LDR Sections 2.4.5(I)(5) and 2.4.6(H)(5) of the Land Development Regulations.

Public and Courtesy Notices

<input type="checkbox"/> Courtesy Notices are not applicable to this request	<input checked="" type="checkbox"/> Public Notices are not required for this request.
<input checked="" type="checkbox"/> Courtesy Notices were provided to the following, at least 5 working days prior to the meeting: Marina Historic District Homeowners Association	<input checked="" type="checkbox"/> Agenda was posted on (07/31/19), 5 working days prior to meeting.

SLOAN RESIDENCE :: PHASE 2 KITCHEN & MEDIA RM. ADDITION

106 SE Seventh Avenue, Delray Beach, Florida 33483

STRUCTURAL ENGINEER:
 McCarthy and Associates, A Division of Penmon
 ENGINEERS
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 PE #49952

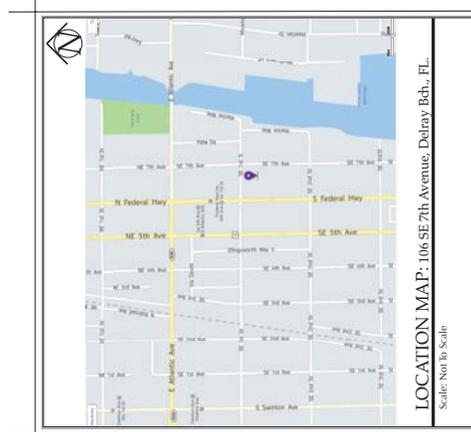
ARCHITECT:
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 ARCHITECTS & INT. DESIGNERS
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 AR 95577 & AA26002208

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 email: donna@sloandesign.biz
 ID 0002527

OCCUPANCY CLASSIFICATION:
 GROUP RM- MEDIUM DENSITY MULTI FAMILY RESIDENTIAL

TYPE OF CONSTRUCTION:
 TYPE V - Unprotected / Unsprinkled
 (Existing 1 Single Family Residential Structure
 to become 2 Story Structure)

APPLICABLE CODES:
 2017 FLORIDA BUILDING CODE
 2017 FLORIDA MECHANICAL CODE
 2017 FLORIDA ELECTRICAL CODE
 2017 FLORIDA PLUMBING CODE
 2017 FLORIDA BUILDING CODE
 2014 ICC 600-510, FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND AREAS



Sl oan Residence Addition & Renovations :: Phase 2 Kitchen - Media Rm. Addition
Design Parameters - Issued 11/11/2018
 For Sites: 54116040000000000000

1. OCCUPANCY:	GROUP RM- Medium Density Residential
2. EXPOSURE CONDITION:	EXPOSED (Per Table 6-2.1)
3. MAIN WIND DIRECTION:	SE (Main Wind Direction)
4. BUILDING HEIGHT:	10.0 ft (Per Table 6-2.1)
5. BUILDING DESIGN AS:	AS 1 (Per Table 6-2.1)
6. IMPERMEABLE FACTOR:	0.15 (Per Table 6-2.1)
7. BASIC WIND VELOCITY PRESSURE:	0.18 (Per Table 6-2.1)
8. APPLIED TO MAIN WIND FORCE RESISTING SYSTEM:	AS 1 (Per Table 6-2.1)
9. ROOT MEAN SQUARE VELOCITY PRESSURE:	0.18 (Per Table 6-2.1)
10. REVIEWED FOR SHEARWALL REQUIREMENTS:	NO (Per Table 6-2.1)

NOTE: Geotechnical Report Supporting 2000PSF soill bearing capacity is Openings Design. Supporting Permit Application (drawing package) for 106 SE 7th Ave.

LIST OF DRAWINGS

NO.	DATE	DESCRIPTION
1	11/11/2018	PERMITS
2	11/11/2018	FOUNDATION
3	11/11/2018	FOUNDATION
4	11/11/2018	FOUNDATION
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6	11/11/2018	FOUNDATION
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Cover Sheet
A0.00

The State of Florida, Chapter 626, Part I, Section 626.01(1) requires that all building permits be issued in accordance with the 2014 Florida Building Code, as amended, and (as applicable) the same version of the Florida Building Code, Florida Electrical Code, Florida Mechanical Code, Florida Plumbing Code, Florida Fire Prevention and Other Structural Details will also comply with ICC-600 (previously SFBD 10-99).

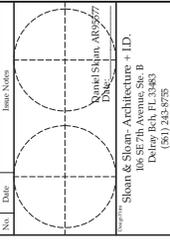
SLOAN
ARCHITECTURE
LLP

Sloan & Sloan Inc.
106 SE 7th Ave.
Delray Beach, FL 33483
(561) 243-8755
dan@sloandesign.biz
ID: A26002208

No.	Date	Revisions
1	4/01/19	ISSUED FOR PERMITTING

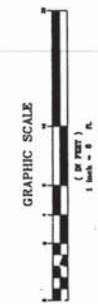
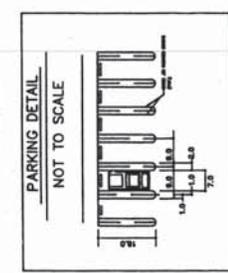
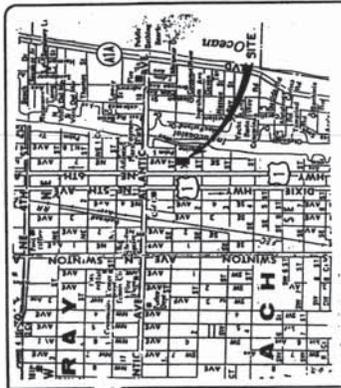
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**Sloan Residence
2nd Floor
Kitchen-Media Addition**



Sloan & Sloan - Architecture + ID.
106 SE 7th Avenue, Ste. B
Delray Beach, FL 33483
(561) 243-8755

Project Name	Sloan Residence Phase 2
Location	KITCHEN-MEDIA RM. ADDITION
Address	106 SE 7th Avenue
Sheet No.	COVER SHEET
Scale	As Shown
Drawn By	D. Sloan
Checked By	D. Sloan
Date	4/11/2019
Project No.	A0.00
Sheet No.	_____ of _____



LAND RECORDS: T. 11S, R. 11E, S. 11W, P. 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z, 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z, 3A, 3B, 3C, 3D, 3E, 3F, 3G, 3H, 3I, 3J, 3K, 3L, 3M, 3N, 3O, 3P, 3Q, 3R, 3S, 3T, 3U, 3V, 3W, 3X, 3Y, 3Z, 4A, 4B, 4C, 4D, 4E, 4F, 4G, 4H, 4I, 4J, 4K, 4L, 4M, 4N, 4O, 4P, 4Q, 4R, 4S, 4T, 4U, 4V, 4W, 4X, 4Y, 4Z, 5A, 5B, 5C, 5D, 5E, 5F, 5G, 5H, 5I, 5J, 5K, 5L, 5M, 5N, 5O, 5P, 5Q, 5R, 5S, 5T, 5U, 5V, 5W, 5X, 5Y, 5Z, 6A, 6B, 6C, 6D, 6E, 6F, 6G, 6H, 6I, 6J, 6K, 6L, 6M, 6N, 6O, 6P, 6Q, 6R, 6S, 6T, 6U, 6V, 6W, 6X, 6Y, 6Z, 7A, 7B, 7C, 7D, 7E, 7F, 7G, 7H, 7I, 7J, 7K, 7L, 7M, 7N, 7O, 7P, 7Q, 7R, 7S, 7T, 7U, 7V, 7W, 7X, 7Y, 7Z, 8A, 8B, 8C, 8D, 8E, 8F, 8G, 8H, 8I, 8J, 8K, 8L, 8M, 8N, 8O, 8P, 8Q, 8R, 8S, 8T, 8U, 8V, 8W, 8X, 8Y, 8Z, 9A, 9B, 9C, 9D, 9E, 9F, 9G, 9H, 9I, 9J, 9K, 9L, 9M, 9N, 9O, 9P, 9Q, 9R, 9S, 9T, 9U, 9V, 9W, 9X, 9Y, 9Z, 10A, 10B, 10C, 10D, 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The Work shown on this Plan shall comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same. The Work shall be in accordance with the Florida Building Code, Mechanical, Electrical, Plumbing, and Other Structural Details will also comply with ICC-600 (previously STD 10-99).

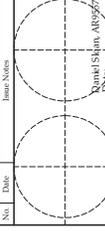


SLOAN ARCHITECTURE
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 (561) 248-8755
 dsloan@dsloanarch.com
 ID: A.A.26420268

No.	Date	Appr.	Revisions/Notes
1	4/01/19		ISSUED FOR CON REVIEW

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**Sloan Residence
 2nd Floor
 Kitchen-Media Addition**

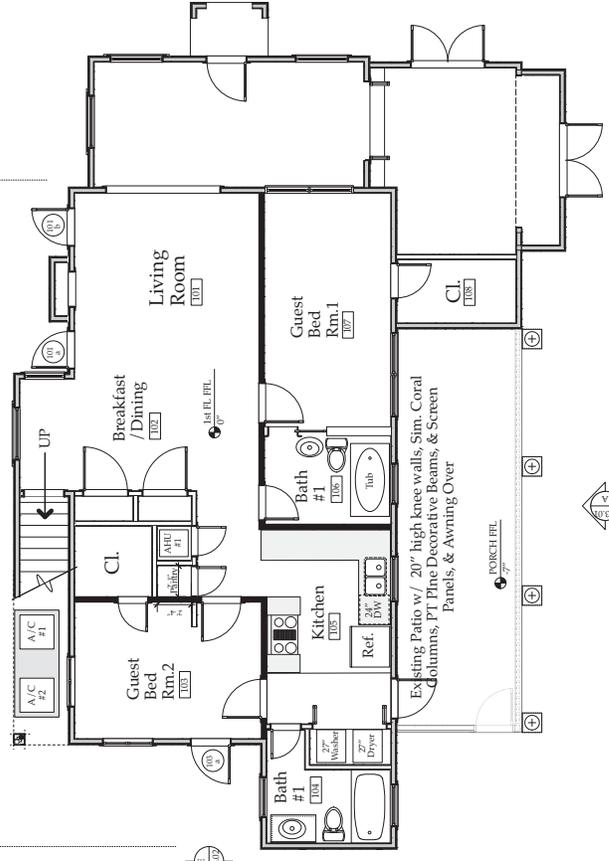
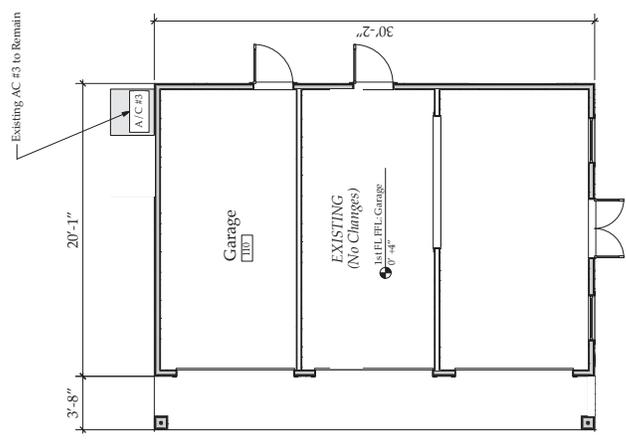


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 Fort Lauderdale, FL 33301
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**Sloan Residence Phase 2
 KITCHEN-MEDIA RM. ADDITION**
 106 SE 7th Avenue
 Showing Existing Configuration

Project No.	Client	Project Name	Project Address
19-001	Sloan Res. Kitchen-Media Addition		
Designer	Drawn By	Checked By	As Noted
D. Sloan	D. Sloan	D. Sloan	
Date	Project No.	Sheet No.	of
4/1/2019		A2.01	

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



- Wall Type Key**
- Exterior Bearing Wall w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate dbt, top plate, R13 Spray Foam Insulation, and Stucco Outside over Tyvek® Stuccowrap® vapor barrier.
 - Non Bearing Interior Wall w/ 2x4 PT Studs at 24" oc, 2x4 PT sole plate, dbt, top plate, Stucco Batts, and 1/2" GWB each Side.
 - Interior Bearing Wall w/ 2x4 PT Studs at 16" oc, 2x4 PT sole plate, dbt, top plate, Stucco Batts, and 1/2" GWB each Side.

FIRST FLOOR PLAN- EXISTING
 Scale: 1/4" = 1'-0"

Existing First Floor Plan A2.01

The Work shall comply with the Florida Building Code with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same. The Work shall comply with the Florida Building Code, Plumbing, and Existing Building Code. All other Structural Details will also comply with ICC-609 (previously STD 10-99).

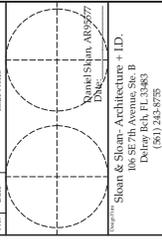
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 ID: A-2662038

No.	Date	Revisions
1	4/01/19	ISSUED FOR CON REVIEW

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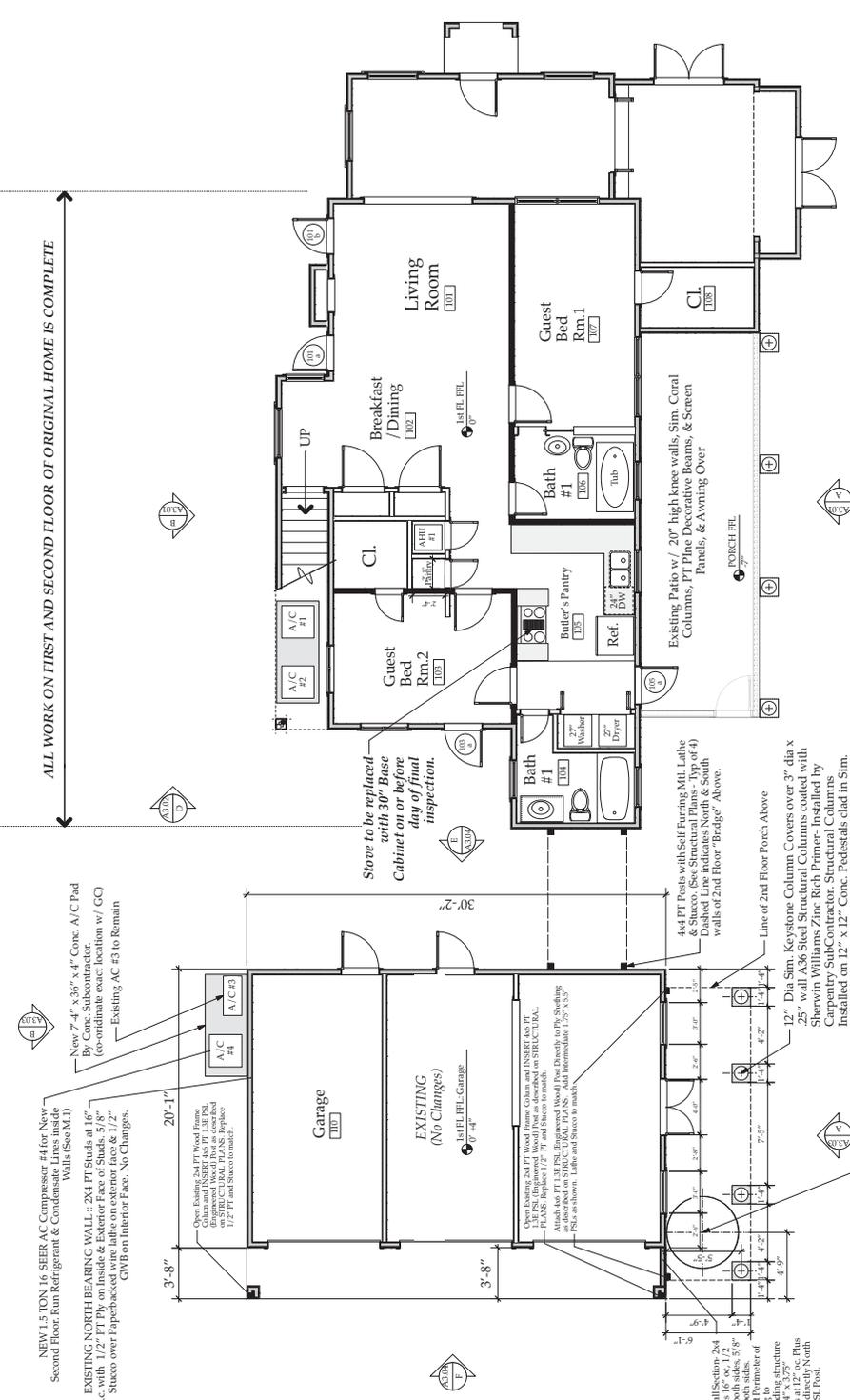
**Sloan Residence
 2nd Floor
 Kitchen-Media
 Addition**



Sloan & Sloan - Architecture + ID.
 106 SE 7th Avenue
 Fort Lauderdale, FL 33301
 (561) 248-8755

Project Name	Client
Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION	Sloan Residence
Address	City
106 SE 7th Avenue	Fort Lauderdale, FL
Contract No.	Scale
A2.02	As Noted
Date	Drawn By
4/11/2019	D. Sloan
Checked By	Project Manager
D. Sloan	D. Sloan

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



- Wall Type Key:**
- Exterior Bearing Wall w/ 2x4 PT Studs at 16" o.c., 2x4 PT sole plate dbt, top plate, R13 Spray Foam Insulation, and Stucco Outside over Tyvek "Stuccowrap" vapor barrier.
 - Non Bearing Interior Wall w/ 2x4 PT Studs at 24" o.c., top plate, Sound Batts and 1/2" GWB each Side.
 - Interior Bearing Wall w/ 2x4 PT Studs at 16" o.c., top plate, Sound Batts, and 1/2" GWB each Side.

NEW 1.5 TON, 16 SEER AC Compressor #4 for New Second Floor. Run Refrigerant & Condensate Lines Inside Walls (See M1)

EXISTING NORTH BEARING WALL - 2x4 PT Studs at 16" o.c. with 1/2" PT Ply on Inside & Exterior Face of Studs, 5/8" Stucco over Paperbacked wire lath on exterior face & 1/2" GWB on Interior Face. No Changes.

Stove to be replaced with 30" Base Cabinet on or before day of final inspection.

4x4 PT Posts with Self-Furring Nails, Ledger to 2x8 PT Studs at 24" o.c. (See M1)

Dashed Line indicates North & South walls of 2nd Floor "Bridge" Above.

5' Dia SPIRAL STAIR :: Installed by Carpenter SubContractor <Provide 5'-2" dia fin. opening in Porch Above>

FIRST FLOOR PLAN - NEW
 Scale: 1/4" = 1'-0"

NOTE: All First Floor Walls and Elements are EXISTING except for New Columns & Pads to support 2nd Floor Porch & Spiral Stair.

NEW First Floor Plan w/ New Porch Support Columns
 A2.02

11/6/19

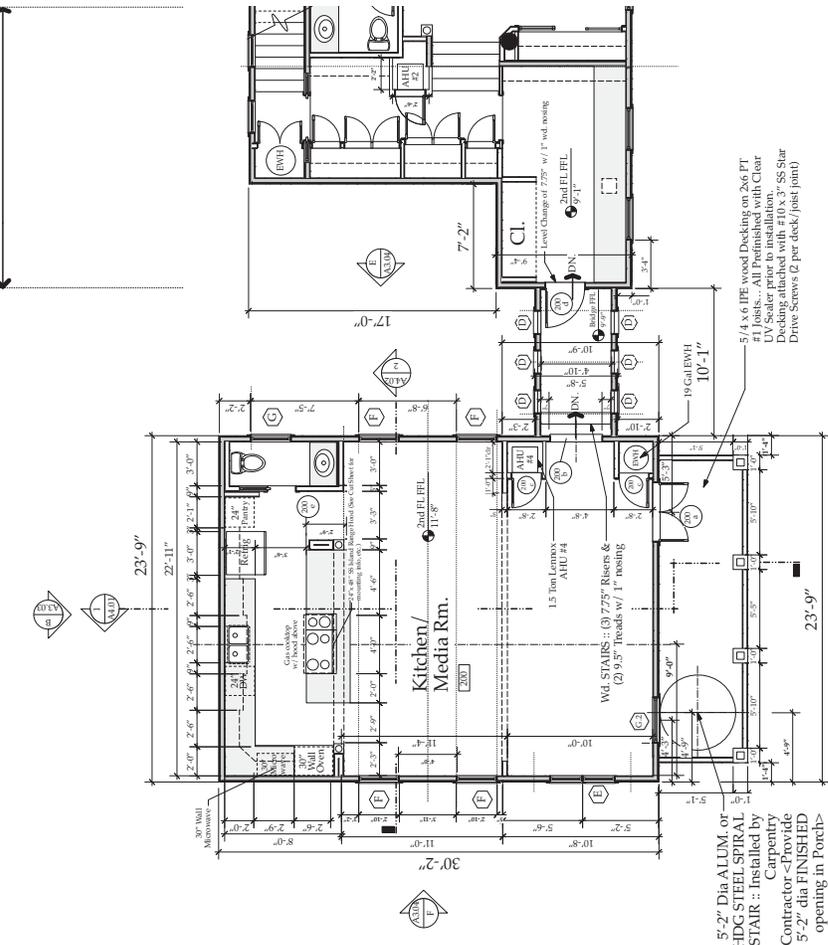
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PGT WINDOW SCHEDULE: Aluminum Windows: Phase 2 :: Kitchen-Media Rm.

NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	ALUMINUM WINDOW 36" X 48" DOUBLE GLAZED	EA	1	1200.00	1200.00
2	ALUMINUM WINDOW 48" X 60" DOUBLE GLAZED	EA	1	1500.00	1500.00
3	ALUMINUM WINDOW 60" X 72" DOUBLE GLAZED	EA	1	1800.00	1800.00
4	ALUMINUM WINDOW 72" X 84" DOUBLE GLAZED	EA	1	2100.00	2100.00
5	ALUMINUM WINDOW 84" X 96" DOUBLE GLAZED	EA	1	2400.00	2400.00
6	ALUMINUM WINDOW 96" X 108" DOUBLE GLAZED	EA	1	2700.00	2700.00
7	ALUMINUM WINDOW 108" X 120" DOUBLE GLAZED	EA	1	3000.00	3000.00
8	ALUMINUM WINDOW 120" X 132" DOUBLE GLAZED	EA	1	3300.00	3300.00
9	ALUMINUM WINDOW 132" X 144" DOUBLE GLAZED	EA	1	3600.00	3600.00
10	ALUMINUM WINDOW 144" X 156" DOUBLE GLAZED	EA	1	3900.00	3900.00
11	ALUMINUM WINDOW 156" X 168" DOUBLE GLAZED	EA	1	4200.00	4200.00
12	ALUMINUM WINDOW 168" X 180" DOUBLE GLAZED	EA	1	4500.00	4500.00
13	ALUMINUM WINDOW 180" X 192" DOUBLE GLAZED	EA	1	4800.00	4800.00
14	ALUMINUM WINDOW 192" X 204" DOUBLE GLAZED	EA	1	5100.00	5100.00
15	ALUMINUM WINDOW 204" X 216" DOUBLE GLAZED	EA	1	5400.00	5400.00
16	ALUMINUM WINDOW 216" X 228" DOUBLE GLAZED	EA	1	5700.00	5700.00
17	ALUMINUM WINDOW 228" X 240" DOUBLE GLAZED	EA	1	6000.00	6000.00
18	ALUMINUM WINDOW 240" X 252" DOUBLE GLAZED	EA	1	6300.00	6300.00
19	ALUMINUM WINDOW 252" X 264" DOUBLE GLAZED	EA	1	6600.00	6600.00
20	ALUMINUM WINDOW 264" X 276" DOUBLE GLAZED	EA	1	6900.00	6900.00
21	ALUMINUM WINDOW 276" X 288" DOUBLE GLAZED	EA	1	7200.00	7200.00
22	ALUMINUM WINDOW 288" X 300" DOUBLE GLAZED	EA	1	7500.00	7500.00
23	ALUMINUM WINDOW 300" X 312" DOUBLE GLAZED	EA	1	7800.00	7800.00
24	ALUMINUM WINDOW 312" X 324" DOUBLE GLAZED	EA	1	8100.00	8100.00
25	ALUMINUM WINDOW 324" X 336" DOUBLE GLAZED	EA	1	8400.00	8400.00
26	ALUMINUM WINDOW 336" X 348" DOUBLE GLAZED	EA	1	8700.00	8700.00
27	ALUMINUM WINDOW 348" X 360" DOUBLE GLAZED	EA	1	9000.00	9000.00
28	ALUMINUM WINDOW 360" X 372" DOUBLE GLAZED	EA	1	9300.00	9300.00
29	ALUMINUM WINDOW 372" X 384" DOUBLE GLAZED	EA	1	9600.00	9600.00
30	ALUMINUM WINDOW 384" X 396" DOUBLE GLAZED	EA	1	9900.00	9900.00
31	ALUMINUM WINDOW 396" X 408" DOUBLE GLAZED	EA	1	10200.00	10200.00
32	ALUMINUM WINDOW 408" X 420" DOUBLE GLAZED	EA	1	10500.00	10500.00
33	ALUMINUM WINDOW 420" X 432" DOUBLE GLAZED	EA	1	10800.00	10800.00
34	ALUMINUM WINDOW 432" X 444" DOUBLE GLAZED	EA	1	11100.00	11100.00
35	ALUMINUM WINDOW 444" X 456" DOUBLE GLAZED	EA	1	11400.00	11400.00
36	ALUMINUM WINDOW 456" X 468" DOUBLE GLAZED	EA	1	11700.00	11700.00
37	ALUMINUM WINDOW 468" X 480" DOUBLE GLAZED	EA	1	12000.00	12000.00
38	ALUMINUM WINDOW 480" X 492" DOUBLE GLAZED	EA	1	12300.00	12300.00
39	ALUMINUM WINDOW 492" X 504" DOUBLE GLAZED	EA	1	12600.00	12600.00
40	ALUMINUM WINDOW 504" X 516" DOUBLE GLAZED	EA	1	12900.00	12900.00
41	ALUMINUM WINDOW 516" X 528" DOUBLE GLAZED	EA	1	13200.00	13200.00
42	ALUMINUM WINDOW 528" X 540" DOUBLE GLAZED	EA	1	13500.00	13500.00
43	ALUMINUM WINDOW 540" X 552" DOUBLE GLAZED	EA	1	13800.00	13800.00
44	ALUMINUM WINDOW 552" X 564" DOUBLE GLAZED	EA	1	14100.00	14100.00
45	ALUMINUM WINDOW 564" X 576" DOUBLE GLAZED	EA	1	14400.00	14400.00
46	ALUMINUM WINDOW 576" X 588" DOUBLE GLAZED	EA	1	14700.00	14700.00
47	ALUMINUM WINDOW 588" X 600" DOUBLE GLAZED	EA	1	15000.00	15000.00
48	ALUMINUM WINDOW 600" X 612" DOUBLE GLAZED	EA	1	15300.00	15300.00
49	ALUMINUM WINDOW 612" X 624" DOUBLE GLAZED	EA	1	15600.00	15600.00
50	ALUMINUM WINDOW 624" X 636" DOUBLE GLAZED	EA	1	15900.00	15900.00
51	ALUMINUM WINDOW 636" X 648" DOUBLE GLAZED	EA	1	16200.00	16200.00
52	ALUMINUM WINDOW 648" X 660" DOUBLE GLAZED	EA	1	16500.00	16500.00
53	ALUMINUM WINDOW 660" X 672" DOUBLE GLAZED	EA	1	16800.00	16800.00
54	ALUMINUM WINDOW 672" X 684" DOUBLE GLAZED	EA	1	17100.00	17100.00
55	ALUMINUM WINDOW 684" X 696" DOUBLE GLAZED	EA	1	17400.00	17400.00
56	ALUMINUM WINDOW 696" X 708" DOUBLE GLAZED	EA	1	17700.00	17700.00
57	ALUMINUM WINDOW 708" X 720" DOUBLE GLAZED	EA	1	18000.00	18000.00
58	ALUMINUM WINDOW 720" X 732" DOUBLE GLAZED	EA	1	18300.00	18300.00
59	ALUMINUM WINDOW 732" X 744" DOUBLE GLAZED	EA	1	18600.00	18600.00
60	ALUMINUM WINDOW 744" X 756" DOUBLE GLAZED	EA	1	18900.00	18900.00
61	ALUMINUM WINDOW 756" X 768" DOUBLE GLAZED	EA	1	19200.00	19200.00
62	ALUMINUM WINDOW 768" X 780" DOUBLE GLAZED	EA	1	19500.00	19500.00
63	ALUMINUM WINDOW 780" X 792" DOUBLE GLAZED	EA	1	19800.00	19800.00
64	ALUMINUM WINDOW 792" X 804" DOUBLE GLAZED	EA	1	20100.00	20100.00
65	ALUMINUM WINDOW 804" X 816" DOUBLE GLAZED	EA	1	20400.00	20400.00
66	ALUMINUM WINDOW 816" X 828" DOUBLE GLAZED	EA	1	20700.00	20700.00
67	ALUMINUM WINDOW 828" X 840" DOUBLE GLAZED	EA	1	21000.00	21000.00
68	ALUMINUM WINDOW 840" X 852" DOUBLE GLAZED	EA	1	21300.00	21300.00
69	ALUMINUM WINDOW 852" X 864" DOUBLE GLAZED	EA	1	21600.00	21600.00
70	ALUMINUM WINDOW 864" X 876" DOUBLE GLAZED	EA	1	21900.00	21900.00
71	ALUMINUM WINDOW 876" X 888" DOUBLE GLAZED	EA	1	22200.00	22200.00
72	ALUMINUM WINDOW 888" X 900" DOUBLE GLAZED	EA	1	22500.00	22500.00
73	ALUMINUM WINDOW 900" X 912" DOUBLE GLAZED	EA	1	22800.00	22800.00
74	ALUMINUM WINDOW 912" X 924" DOUBLE GLAZED	EA	1	23100.00	23100.00
75	ALUMINUM WINDOW 924" X 936" DOUBLE GLAZED	EA	1	23400.00	23400.00
76	ALUMINUM WINDOW 936" X 948" DOUBLE GLAZED	EA	1	23700.00	23700.00
77	ALUMINUM WINDOW 948" X 960" DOUBLE GLAZED	EA	1	24000.00	24000.00
78	ALUMINUM WINDOW 960" X 972" DOUBLE GLAZED	EA	1	24300.00	24300.00
79	ALUMINUM WINDOW 972" X 984" DOUBLE GLAZED	EA	1	24600.00	24600.00
80	ALUMINUM WINDOW 984" X 996" DOUBLE GLAZED	EA	1	24900.00	24900.00
81	ALUMINUM WINDOW 996" X 1008" DOUBLE GLAZED	EA	1	25200.00	25200.00
82	ALUMINUM WINDOW 1008" X 1020" DOUBLE GLAZED	EA	1	25500.00	25500.00
83	ALUMINUM WINDOW 1020" X 1032" DOUBLE GLAZED	EA	1	25800.00	25800.00
84	ALUMINUM WINDOW 1032" X 1044" DOUBLE GLAZED	EA	1	26100.00	26100.00
85	ALUMINUM WINDOW 1044" X 1056" DOUBLE GLAZED	EA	1	26400.00	26400.00
86	ALUMINUM WINDOW 1056" X 1068" DOUBLE GLAZED	EA	1	26700.00	26700.00
87	ALUMINUM WINDOW 1068" X 1080" DOUBLE GLAZED	EA	1	27000.00	27000.00
88	ALUMINUM WINDOW 1080" X 1092" DOUBLE GLAZED	EA	1	27300.00	27300.00
89	ALUMINUM WINDOW 1092" X 1104" DOUBLE GLAZED	EA	1	27600.00	27600.00
90	ALUMINUM WINDOW 1104" X 1116" DOUBLE GLAZED	EA	1	27900.00	27900.00
91	ALUMINUM WINDOW 1116" X 1128" DOUBLE GLAZED	EA	1	28200.00	28200.00
92	ALUMINUM WINDOW 1128" X 1140" DOUBLE GLAZED	EA	1	28500.00	28500.00
93	ALUMINUM WINDOW 1140" X 1152" DOUBLE GLAZED	EA	1	28800.00	28800.00
94	ALUMINUM WINDOW 1152" X 1164" DOUBLE GLAZED	EA	1	29100.00	29100.00
95	ALUMINUM WINDOW 1164" X 1176" DOUBLE GLAZED	EA	1	29400.00	29400.00
96	ALUMINUM WINDOW 1176" X 1188" DOUBLE GLAZED	EA	1	29700.00	29700.00
97	ALUMINUM WINDOW 1188" X 1200" DOUBLE GLAZED	EA	1	30000.00	30000.00
98	ALUMINUM WINDOW 1200" X 1212" DOUBLE GLAZED	EA	1	30300.00	30300.00
99	ALUMINUM WINDOW 1212" X 1224" DOUBLE GLAZED	EA	1	30600.00	30600.00
100	ALUMINUM WINDOW 1224" X 1236" DOUBLE GLAZED	EA	1	30900.00	30900.00

ALL WORK ON FIRST AND SECOND FLOOR OF ORIGINAL HOME IS COMPLETE



SECOND FLOOR PLAN- NEW
Scale: 1/4" = 1'-0"

11/27/19

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1:40 PM

DOOR SCHEDULE: 2nd Fl. KITCHEN-MEDIA RM. ADDITION

NO.	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	DOOR 36" X 80" DOUBLE GLAZED	EA	1	1200.00	1200.00
2	DOOR 48" X 96" DOUBLE GLAZED	EA	1	1500.00	1500.00
3	DOOR 60" X 112" DOUBLE GLAZED	EA	1	1800.00	1800.00
4	DOOR 72" X 128" DOUBLE GLAZED	EA	1	2100.00	2100.00
5	DOOR 84" X 144" DOUBLE GLAZED	EA	1	2400.00	2400.00
6	DOOR 96" X 160" DOUBLE GLAZED	EA	1	2700.00	2700.00
7	DOOR 108" X 176" DOUBLE GLAZED	EA	1	3000.00	3000.00
8	DOOR 120" X 192" DOUBLE GLAZED	EA	1	3300.00	3300.00
9	DOOR 132" X 208" DOUBLE GLAZED	EA	1	3600.00	3600.00
10	DOOR 144" X 224" DOUBLE GLAZED	EA	1	3900.00	3900.00
11	DOOR 156" X 240" DOUBLE GLAZED	EA	1	4200.00	4200.00
12	DOOR 168" X 256" DOUBLE GLAZED	EA	1	4500.00	4500.00
13	DOOR 180" X 272" DOUBLE GLAZED	EA	1	4800.00	4800.00
14	DOOR 192" X 288" DOUBLE GLAZED	EA	1	5100.00	5100.00
15	DOOR 204" X 304" DOUBLE GLAZED	EA	1	5400.00	5400.00
16	DOOR 216" X 320" DOUBLE GLAZED	EA	1	5700.00	5700.00
17	DOOR 228" X 336" DOUBLE GLAZED	EA	1	6000.00	6000.00
18	DOOR 240" X 352" DOUBLE GLAZED	EA	1	6300.00	6300.00
19	DOOR 252" X 368" DOUBLE GLAZED	EA	1	6600.00	6600.00
20	DOOR 264" X 384" DOUBLE GLAZED	EA	1	6900.00	6900.00
21	DOOR 276" X 400" DOUBLE GLAZED	EA	1	7200.00	7200.00
22	DOOR 288" X 416" DOUBLE GLAZED	EA	1	7500.00	7500.00
23	DOOR 300" X 432" DOUBLE GLAZED	EA	1	7800.00	7800.00
24	DOOR 312" X 448" DOUBLE GLAZED	EA	1	8100.00	8100.00
25	DOOR 324" X 464" DOUBLE GLAZED	EA	1	8400.00	8400.00
26	DOOR 336" X 480" DOUBLE GLAZED	EA	1	8700.00	8700.00
27	DOOR 348" X 496" DOUBLE GLAZED	EA	1	9000.00	9000.00
28	DOOR 360" X 512" DOUBLE GLAZED	EA	1	9300.00	9300.00
29	DOOR 372" X 528" DOUBLE GLAZED	EA	1	9600.00	9600.00
30	DOOR 384" X 544" DOUBLE GLAZED	EA	1	9900.00	9900.00
31	DOOR 396" X 560" DOUBLE GLAZED	EA	1	10200.00	10200.00
32	DOOR 408" X 576" DOUBLE GLAZED	EA	1	10500.00	10500.00
33	DOOR 420" X 592" DOUBLE GLAZED	EA	1	10800.00	10800.00
34	DOOR 432" X 608" DOUBLE GLAZED	EA	1	11100.00	11100.00
35	DOOR 444" X 624" DOUBLE GLAZED	EA	1	11400.00	11400.00
36	DOOR 456" X 640" DOUBLE GLAZED	EA	1	11700.00	11700.00
37	DOOR 468" X 656" DOUBLE GLAZED	EA	1	12000.00	12000.00
38	DOOR 480" X 672" DOUBLE GLAZED	EA	1		

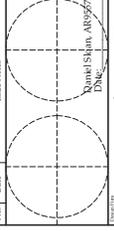
The Work shall comply with the Florida Building Code, with the 2014 Florida Building Code, with any Amendments and (as applicable) the same. The Contractor shall be responsible for obtaining all necessary permits, including but not limited to, Electrical, Plumbing, and Existing Building Code, and Other Structural Details will also comply with ICC-600 (previously STD 10-99).

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 ARCHITECTURE
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 Fort Lauderdale, FL 33301
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 ID: AAS260208

No.	Date	AP/CP	Revisions/Notes
1	4/01/19		ISSUED FOR PERMITTING

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**Sloan Residence
 2nd Floor
 Kitchen-Media Addition**

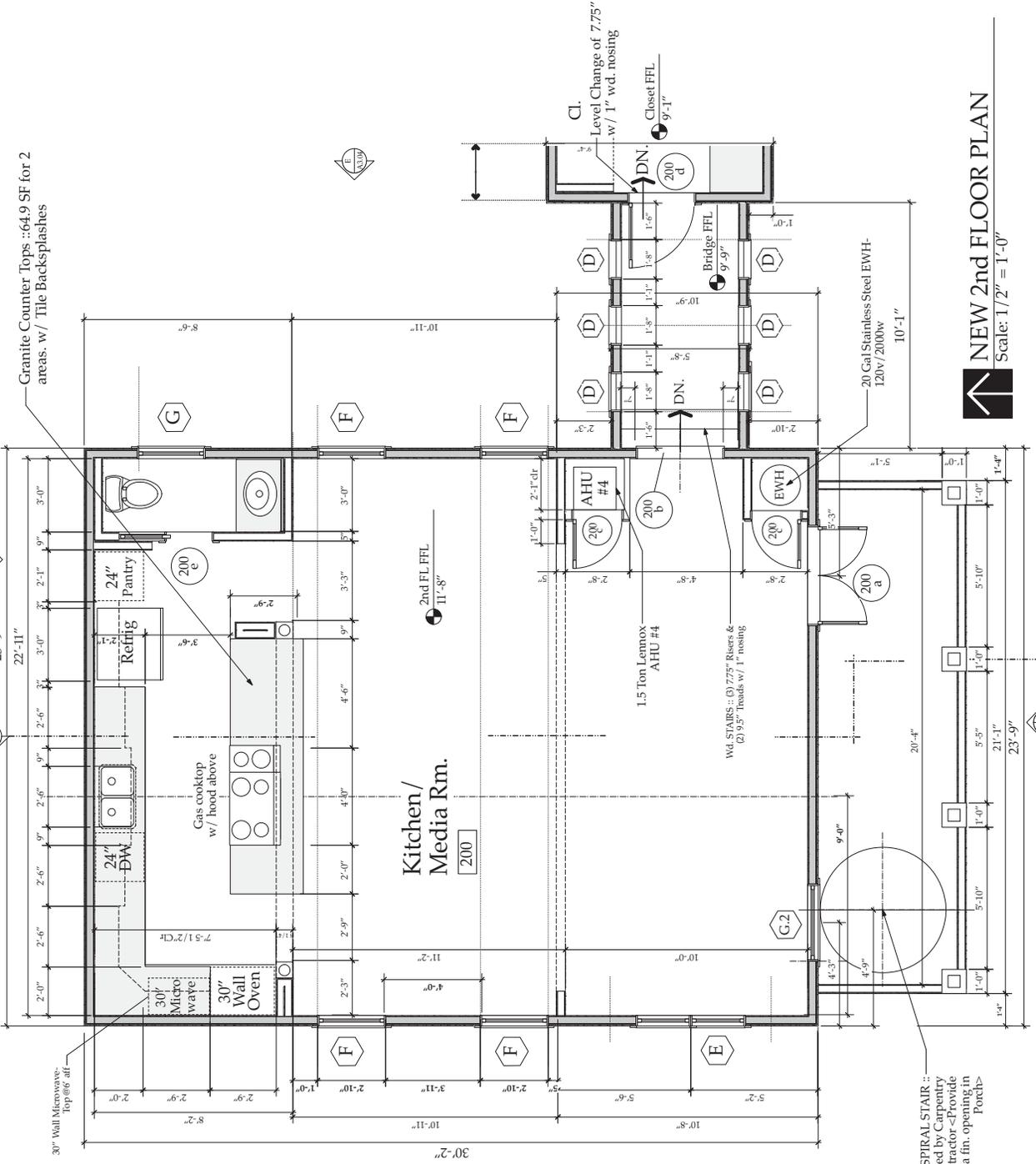


Sloan & Sloan - Architecture + ID.
 106 SE 7th Avenue, Suite B
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Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
 106 SE 7th Avenue
 SECOND FLOOR PLAN
 of Kitchen-Media Rm.

Project No.	106SE7thKitchenMediaRmAddition
Architect	D. Sloan
Contractor	As Noted
Revision No.	01
Date	4/1/2019
Sheet No.	A2.03b

Sloan - P.L.L.C. Kitchen-Media Rm. Additions



NEW 2nd FLOOR PLAN
 Scale: 1/2" = 1'-0"

**New Second
 Floor Plan
 A2.03b
 ENLARGED**

The Work shown on this Plan shall comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same. The Work shall be in accordance with the Florida Building Code, Mechanical, Electrical, Plumbing, and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-600 (previously STD 10-99).

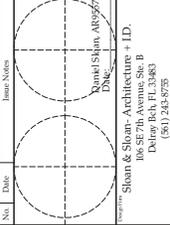


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No.	Date	APR	Revisions Made
1	11/11/18		ISSUED FOR CON REVIEW

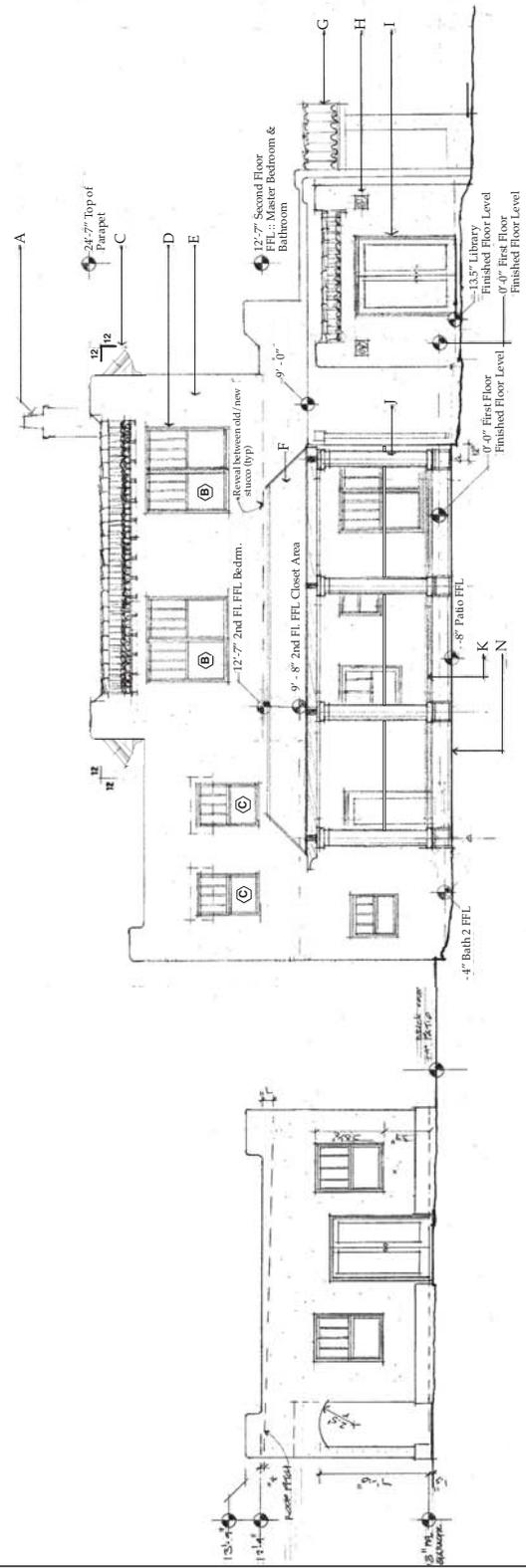
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**Sloan Residence
2nd Floor
Kitchen-Media Rm.
Addition**

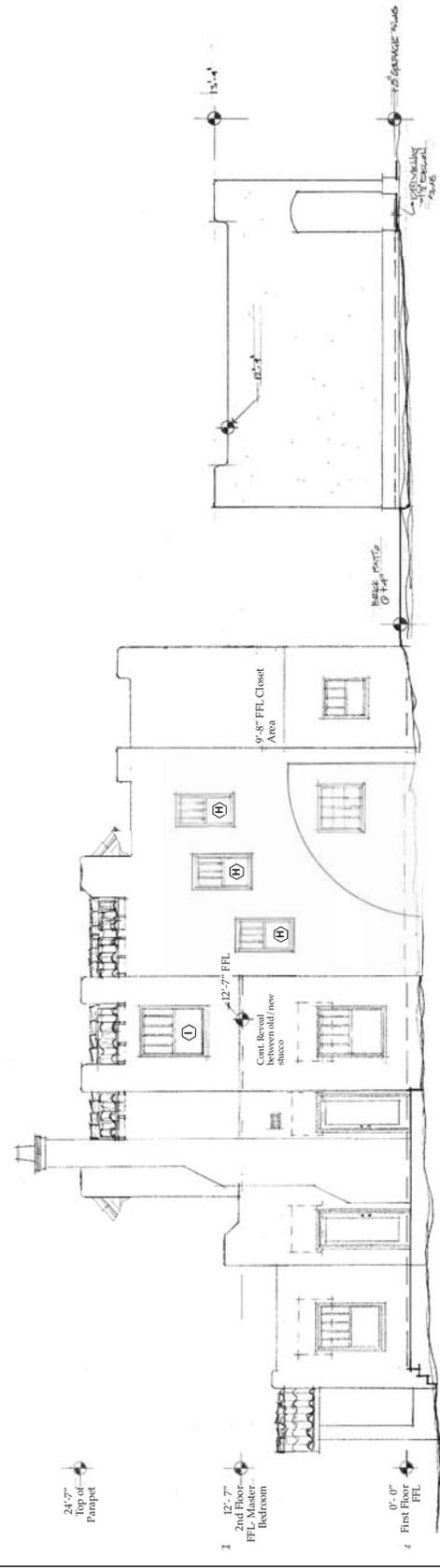


**EXISTING ELEVATIONS
of Main Residence & Garage**

Project No.	18-014
Client Name	Sloan Residence Phase 2
Address	KITCHEN-MEDIA RM. ADDITION 106 SE 7th Avenue
City/State	Fort Lauderdale, FL
Scale	1/4" = 1'-0"
Sheet No.	A3.01
Sheet Title	EXISTING ELEVATIONS of Main Residence & Garage



Existing South Elevation: Main Residence & Garage "A-A3.01"
Scale: 1/4" = 1'-0"



Existing North Elevation: Main Residence & Garage "B-B3.01"
Scale: 1/4" = 1'-0"

**Existing Elevations
A3.01**

The Work shown on this Plan shall comply with the 2014 Florida Building Code, with Amendments (as applicable) the same. The Work shall be in accordance with the Florida Building Code, Mechanical, Electrical, Plumbing, and Other Structural Details will also comply with ICC-600 (previously STD 10-99).

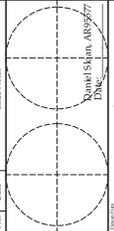


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No.	Date	APR	REVISIONS
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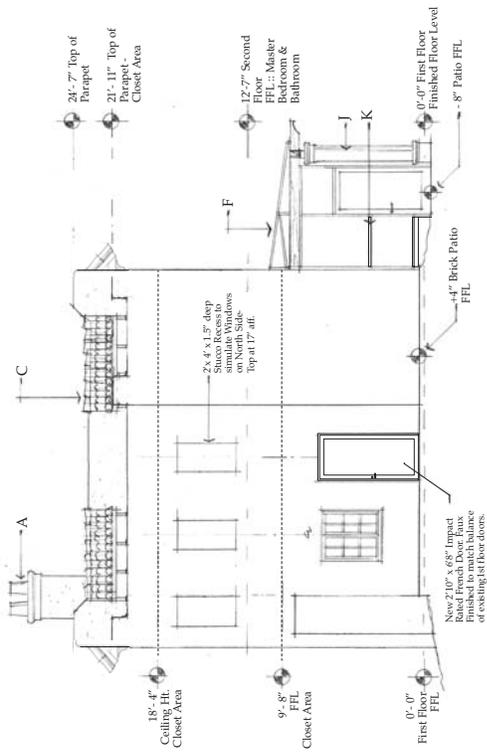
**Sloan Residence
 2nd Floor
 Kitchen-Media
 Addition**



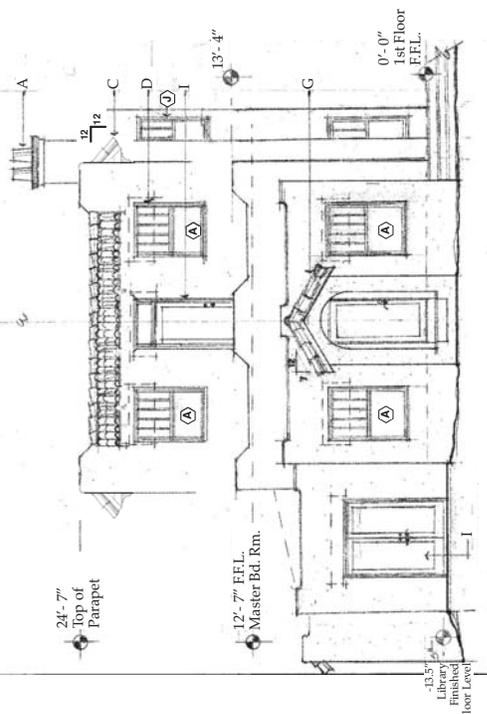
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Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
 106 SE 7th Avenue
 EXISTING ELEVATIONS
 of Main Residence & Garage

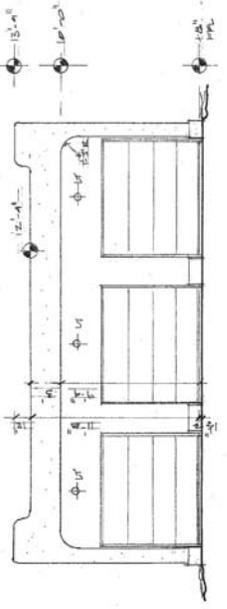
Project No.	Client	Scale
A3.02	Sloan Res. Kitchen-Media Rm. Addition	1/4" = 1'-0"
Drawn by	D. Sloan	Checked by
Date	11/11/2018	Project No.
Sheet No.	A3.02	of



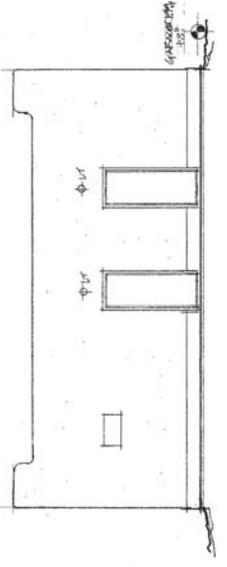
Existing West Elevation: Main Residence "D-A3.02"
 Scale: 1/4" = 1'-0"



Existing East Elevation: Main Residence "E-A3.02"
 Scale: 1/4" = 1'-0"



Existing West Elevation: 1 Story Garage "F-A3.02"
 Scale: 1/4" = 1'-0"



Existing East Elevation: 1 Story Garage "E-A3.02"
 Scale: 1/4" = 1'-0"

The Work shown on this Permit shall comply with the 2014 Florida Building Code, with Amendments and (as applicable) the same. The Work shall be in accordance with the Florida Building Code, Mechanical, Electrical, Plumbing, and Other Structural Details will also comply with ICC-600 (previously STD 10-99).

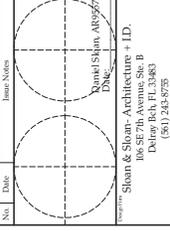


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No.	Date	Appr.	Remarks/Notes
1	11/11/18		ISSUED FOR CON REVIEW

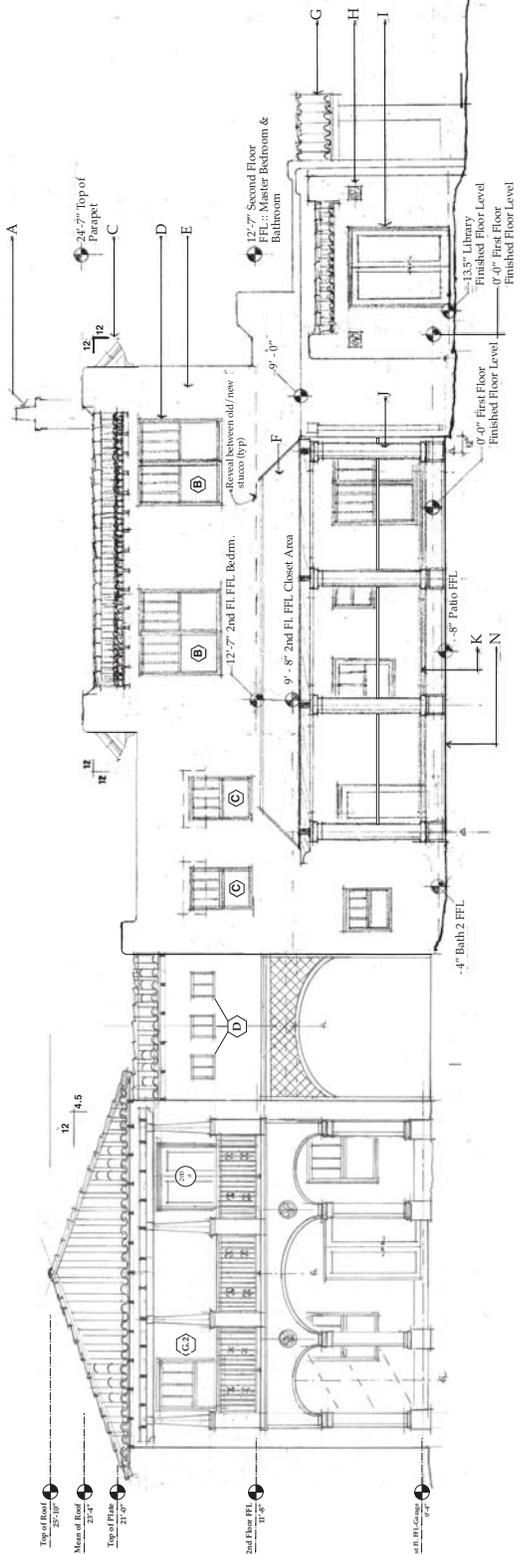
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**Sloan Residence
 2nd Floor
 Kitchen-Media
 Addition**

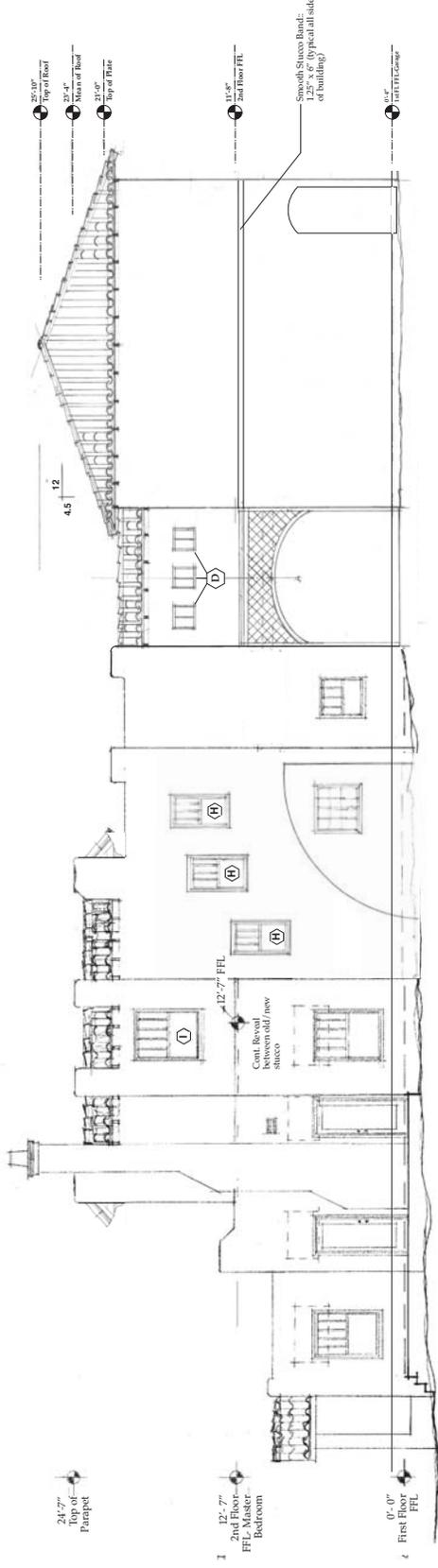


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Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
 106 SE 7th Avenue
 NEW North & South
 ELEVATIONS
 of Kitchen/Media Rm. Addition
 Project No.: Sloan Res Kitchen Media Addition
 Designer: D. Sloan
 Date: 11/11/2018
 Scale: 1/4" = 1'-0"
 Drawing No.: A3.03
 of _____



New South Elevation: Main Residence & Kitchen-Media Rm. Addition "A-A3.03"
 Scale: 1/4" = 1'-0"



**New North & South
 Elevations
 A3.03**

New North Elevation: Main Residence & Kitchen-Media Rm. Addition "B-B3.03"
 Scale: 1/4" = 1'-0"

The Work shown on this drawing shall comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same version of the Florida Building Code for Mechanical, Electrical, Plumbing, and Fire Protection. All Framing and Other Structural Details will also comply with ICC-609 (previously STD 10-99).

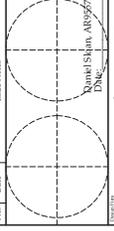


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No.	Date	APR	Revisions/Notes
1	11/11/18		ISSUED FOR CON REVIEW

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Sloan Residence
 2nd Floor
 Kitchen-Media
 Addition



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Sloan Residence Phase 2
 KITCHEN-MEDIA RM. ADDITION
 106 SE 7th Avenue

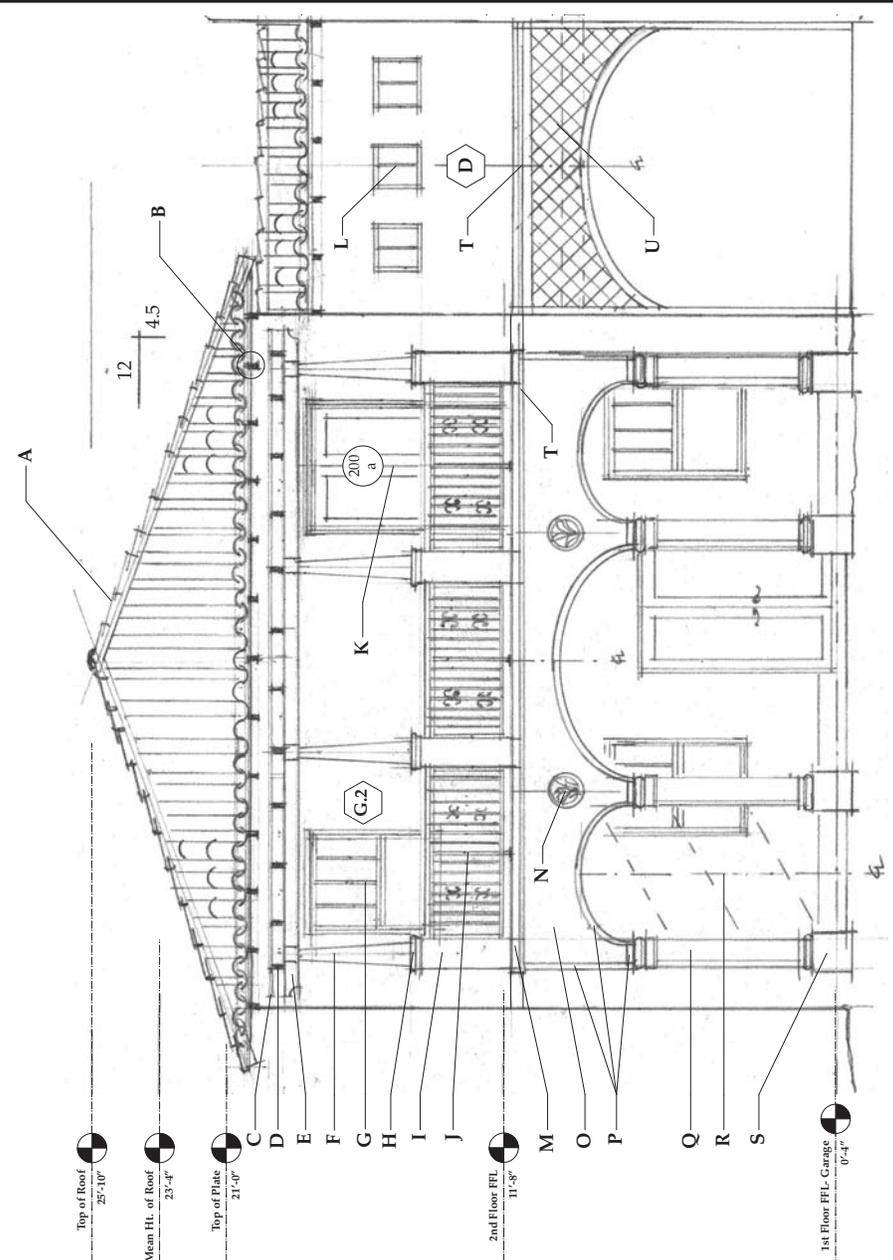
Showing the NOTATED SOUTH ELEVATION
 of Kitchen-Media Room Addition.
 (Partial Elevation)

Client Name	Project Name	Project No.	Revision No.
D. Sloan	Sloan Res. Kitchen-Media Rm. Addition	A3.05	01
D. Sloan			As Noted
D. Sloan			
D. Sloan			

ELEVATION MATERIALS LEGEND

- A. **Roofing**: 24" Pressure Treated "Bleed" natural terra cotta eaves with copper drip and half round copper gutter and downspout on south facade.
- B. **Exposed Rafter Tails**: 2x4 Pressure Treated Rafter Tails (cut to 3" of top chord of truss, is Pressure Treated F2 or br. SYP).
- C. **2x2 FT x 1/2" SYP**: run north and south at 12" o.c.
- D. **2x6 FT x 1/2" SYP Truss Rafters**: w/ Scrolled Ends, spaced 24" o.c.
- E. **4x6 FT x 1/2" SYP Beam**: Scrolled Ends, running north-south supported by Alum Tube Columns.
- F. **Alum Tube Column**: Powdercoated Dk. Brown, 2.5" x 2.5" x 1/8" wall 6061 Alum, with Tapered Composite 1x8 Boards on 4" x 4" Alum Tube.
- G. **Single Hung Windows**: w/ IGT Impact Rated Fin Frame units w/ Dimensional Mils outside, low profile inside, 4/1 Pattern, Low E Glass - Bz Frames, 2" composite brickmold, with field applied faux wood finish to match balance of windows and doors on main floor.
- H. **Simulated Keystone Pier Cap**: ballnosed 4 sides, Base, and curved trim at face of arched openings.
- I. **Stucco Finish 1/2" x 1/2" Pier**: PT 2x4 Framing, 1/2 PT Ply, Shlg, on top of brick mld. w/ 1/2" concrete fire & ice HT pead & stick, 5/8" Stucco on back with 1/2" concrete.
- J. **3x6 High Railing**: Welded Alum. Perimeter Rectangular frame composed of 3/4" x 1.5" x 1/8" wall Verticals, 1.5" x 1.5" x 1/8" wall center vertical, 1.5" x 2" x 1/8" wall Horizontals, 1/2" x 1/2" wall Balusters in 2 locations as shown. Entire Assembly Powdercoated Satin Black, 1.5" x 3" Rounded IPE Handrail on Top.
- K. **WeatherShield Clad Units**: (1/2" x 1/2" x 5/8" Board) Composite WeatherShield Clad Units, "western adobe" color, 2" Composite Brickmold, all trim finished wood pattern to match balance of doors.
- L. **Fixed Glass 1 1/2" Bz Windows**: "FCI" in Frame Units, Low E Dimensional Mil/Low Profile Mld inside, Single Center Vertical.
- M. **Slm. Keystone Trim**: "base board" on piers & hand on stucco just below porch FFL.
- N. **Stair Handrail**: "Iron and Hiddhead" pattern, 1 1/2" diameter in buff color "Beach Stone" as Mant. by "Pineapple Grove Designs".
- O. **Stucco Finish**: to Match Edge First Floor Wall Texture. At Inside of Arches imply Smooth Sand Texture.
- P. **Stucco Finish**: to Match Edge First Floor Wall Texture. At Outside of Arches imply Smooth Sand Texture.
- Q. **Slm. Keystones 1/2" Columns**: Tuscan to match Screen Porch Area Columns.
- R. **New Spiral Stairs**: 5/2" Circular Stair - Galvanized Steel or Alum IPE Composite Handrail Installed by Carpet, 30" dia center.
- S. **Slm. Keystones**: to match Screen Porch Area Columns.
- T. **Slm. Keystones or Stucco Banding, Crown Moulding, & Handing**: at arches to match; with solid top surface pitched 3 deg.
- U. **Scored Stucco Pattern**: 6" x 6" squares called 4 Slegrees. Scored Stucco Reveals (top both sides of arch) #121 by Vinyl Corp or Equal

File: 20180720_20180720_20180720_20180720.dwg



New Notated Partial South Elevation: 2nd Floor Kitchen-Media Rm. Addition "A-A3.03"
 Scale: 1/2" = 1'-0"

New Notated Elevation A3.05

Client Name	Project Name	Project No.	Revision No.
D. Sloan	Sloan Res. Kitchen-Media Rm. Addition	A3.05	01
D. Sloan			As Noted
D. Sloan			
D. Sloan			

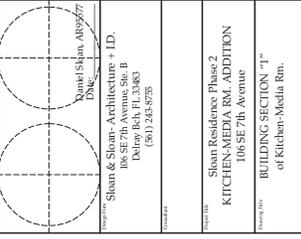
The Work shall comply with the Florida Building Code with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same. The Work shall include, but not be limited to, the following: Framing and Other Structural Details will also comply with ICC-609 (previously STD 10-99).

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No.	Date	Revisions/Notes
1	4/08/19	ISSUED FOR PERMITTING

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**Sloan Residence
 2nd Floor
 Kitchen-Media Addition**



Project Name	Sloan Residence Phase 2 KITCHEN-MEDIA RM. ADDITION
Address	106 SE 7th Avenue
City/State	Ft. Lauderdale, FL 33301
Client	D. Sloan
Architect	Sloan & Sloan, Inc.
Scale	1/4" = 1'-0"
Sheet No.	A4.01

Engineered and Approved Roof Trusses at 24" o.c. with 5/8" CDX Roof Sheathing glued & nailed at 4" edges/6" Field with 10d Ring Shank SS or 3/4" x 6" x 16" Flat Wood Studs @ 24" o.c. (See Roof Plan) Connect Trusses to Dbl. Top Plate with Simpson HTS-30 z nail.

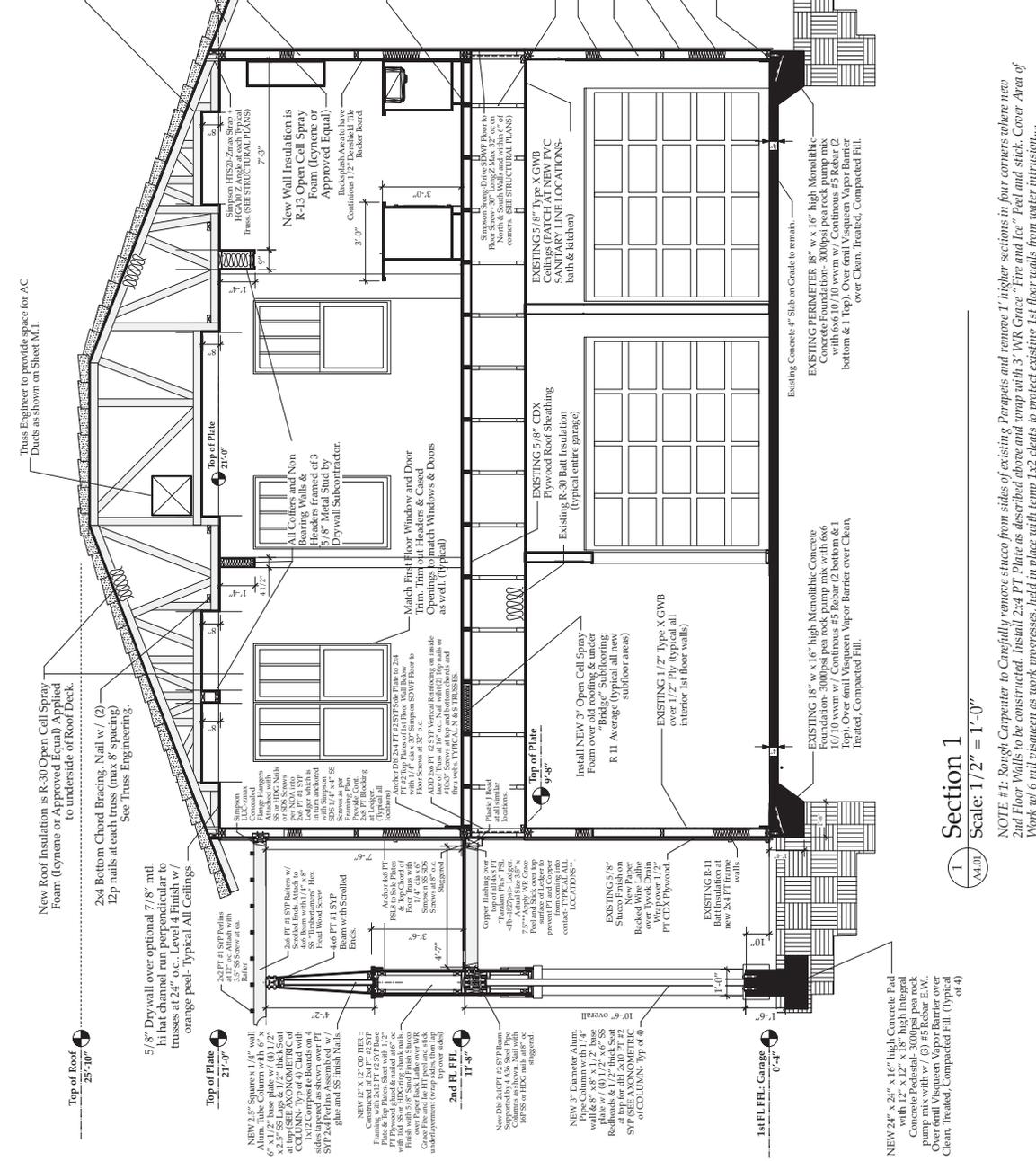
New smooth finish "Santa Fe Artisan Blend" Barrel Tile in natural terra cotta color mix over Hot Mopped 90lb Cap Sheet over 30lb Modified Base Sheet (Certain-teed GMS Brand) per Tile Manf. NOA. New Copper-Drp & cap metal. Over 5/8" CDX ply wood decking attached to Wood Roof Trusses at 45/12 Slope. Install Tile with Approved Adhesive Foam System. Installer to include "Full Test" in Bid Price if required by Building Dept.*** 4.9/12 TYPICAL FITCH

Outermost 36" of top chord of Truss (rafter tails) to be SYP PT #2.
 New 2nd Floor NORTH & SOUTH Walls are 2x4 PT SYP #1 Studs at 12" o.c. with Double Top Plate. Add Connectors/straps/clips as per Connector Schedule. Both w/ 1/2" PT CDX Plywood Wall Sheathing glued & nailed at edges/6" Field with 8d Ring Shank SS or HDG nails. Glue/Seal w/ 1/2" PT SYP or 1/2" x 6" x 16" Flat Wood Studs @ 24" o.c. EAST & WEST sides. Install Tyvek Stucco-wrap vapor barrier. Self-Furring Mill. Lathe, & 5/8" Stucco with texture to match existing first floor texture. Interior Finish is 1/2" Drywall. Level 4 with Orange Peel Finish. Wet Areas to be 1/2" Dershiold (Typ. all areas)

New 2nd Floor Floor Joists: 2x6 PT SYP #2, at 24" o.c. Rippled to laper to create 1 1/4" dia SS or HDG "Timberframes", with min 2.5" embedment. Add 2x6 staggered bracing/blocking as shown on floor framing plan. Install 3/4" CDX T&G Plywood Subfloor with Glue and 8d ring-shank SS or HDG nails 6" edges/12" field AFTER Partial Framing and Insulation Inspections. Install 1/2" min. Durlock Tile Underlayment over Plywood per manf. specs in all areas. All edges/12" field AFTER Partial Framing and Insulation Inspections. All Floor Joists to be approved "red and stick" underlayment. PRICE OPTION to use 20pcf Lightweight Insulated Concrete with 3.5" Average Thickness directly over Old Roofing.

EXISTING Engineered & Approved Wood Roof Trusses (to become Floor System Component), Trusses at 24" o.c.
 EXISTING 1/2" Type X GWB over 1/2" Ply (typical all interior 1st floor walls)
 EXISTING 2x4 PT SYP #2 Wood Stud Walls- Studs at 16" o.c. with Simpson SP 4 zmax Stud Tie Anchor at top plates. Wall Sheathing 61/2" CDX PT Plywood.
 EXISTING 5/8" Stucco Finish on Paper Backed Wire Lathe over Tyvek Drain Wrap over 1/2" PT CDX Plywood.
 EXISTING R-II Batt Insulation at existing 2x4 PT #2 SYP frame walls.
 EXISTING 1/2" dia x 6" Stainless Steel Redheads at 32" o.c. max w/ 3" x 3" x .25" Palm Beach Washers at 2x4 PT #2 sole plate.

1st Floor FEL Garage
 9'-4"



**New Building Section
 "1-A4.01"**

Section 1
 Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3" WR Grace "Fire and Ice" Fire and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, add in place with temp 1x2 clats to protect existing 1st floor walls from water intrusion....

NOTE #2: Rough Carpenter to frame 2x4 Exterior Barring Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

The Work shall comply with the Florida Building Code with the 2010 Florida Building Code w/ any Amendments and (as applicable) the same. The Contractor shall be responsible for obtaining all necessary permits, including but not limited to, Electrical, Plumbing, and Other Structural. Details shall also comply with ICC-609 (previously SS10 10-99).

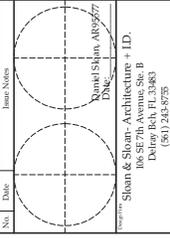
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ARCHITECTURE
LLC

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No.	Date	Revisions
1	4/01/19	ISSUED FOR PERMITTING

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Sloan Residence
2nd Floor
Kitchen-Media Addition



Sloan & Sloan, Architecture + ID.
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(305) 248-8755

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue
BUILDING SECTION 2*
of Kitchen-Media Rm.

Client	Sloan Res. Kitchen-Media Addition
Architect	D. Sloan
Interior Designer	D. Sloan
Date	4/11/2019
Sheet No.	A4.02
Project No.	PH2_Kitchen-Media

New Building Section
"2-A4.02"

Engineered and Approved Roof Trusses at 24" o.c. with 5/8" CDX Roof Sheathing glued & nailed 6" field with 10d Ring Shank nails on HDG. 4.5/12 Slope Roof Plan Connect Trusses to Dbl. Top Plate with Simpson HTS 30z max.

New smooth finish "Santa Fe Artisan Blend" Barred Tile in natural terra cotta color mix over Hot Mopped 90lb Cap Sheet over 30lb Modified Base Coat (CertainTeed GMS Brand) Tile Mant. NOA. New Copper Drip & cap metal. Over 5/8" CDX ply wood decking attached to Wood Roof Trusses at 4.5/12 Slope. Install Tile with Approved Adhesive Foam System. Tile installed in accordance with Bid Price if required by Building Dept. 4.5/12 THICAL FITCH

New 2nd Floor EAST & WEST Walls are 2x4 PT SYP #1 Studs at 16" o.c. with Double Top Plate. Add Connectors/straps/drips as per Connector Schedule. Both w/ 1/2" PT CDX Plywood Wall Sheathing glued & nailed at 6" edges / 6" Field w/ 10d Ring Shank SS or HDG nails. Self Flurring Mt. Lathes & 5/8" Stucco with texture to match existing First Floor texture. Interior Finish is 1/2" Drywall - Level 4 with Orange Peel Finish. Wet Areas to be 1/2" x 8" Densshield. Joint between old and new stucco to have horizontal 1" x 8" Stucco Band as shown in elevations. (Typ. all areas)

New 2nd Floor Floor Joists: 2x6 PT SYP #2 at 24" o.c. Rippled to Top to create Flat Floor Surface. Attach to Underlayment Top Chord. Add end joists with 1/2" dia SS HDG "Timberframes" with min 2x5" embedment. Add 2x6 staggered bracing/blocking as shown on floor framing plan. Install 3/4" CDX T&G Plywood Subfloor with Glue and 8d mg. shank SS or HDG nails 6" edges/12" field AFTER Partial Framing and Insulation in all areas Except "Bridge" tile or to be installed over in "Bridge" install Wood Finished in all areas. EXCEPT "Bridge" tile or to be installed over in "Bridge" install Wood Finished Lightweight Insulated Concrete with 3.5" Average Thickness directly over Old Roofing.

EXISTING Engineered & Approved Wood Roof Trusses (to become Floor System Component). Trusses at 24" o.c.
EXISTING 1/2" Type X GWB over 1/2" Ply (TYFICAL all 1st floor walls)
EXISTING 2x4 PT SYP #2 Wood Stud Walls. Studs at 16" o.c. with Simpson SP4 zinc Stud Tie Anchor at top plates. Wall Sheathing is 1/2" CDX PT Plywood.
EXISTING 5/8" Stucco Finish on Paper Backed Wire Lathes over Tyvek Drain Wrap over 1/2" PT CDX Plywood.
EXISTING R-11 Batt Insulation at existing 2x4 PT #2 SYP frame
EXISTING 1/2" dia x 6" Stainless Steel Reelheads at 32" o.c. max w/ 3" x 3" x 25" Palm Beach Washers at 2x4 PT #2 sole plate.

Top of Plate 9'-3"
New Wall Insulation is R-13 Open Cell Spray Foam (ICFO) with Vapor Barrier Approved Equal
Connect Dbl Bottom Plates to Dbl Top Plates with 10d Ring Shank SS or HDG nails. To Install at 42" o.c. on East Wall Location and within 6" of corners.
EXISTING 5/8" Type X GWB Ceilings (PATCH AT NEW PVC SANITARY LINE LOCATIONS: bath & kitchen)
EXISTING 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.
EXISTING 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

Top of Plate 1'-4"
Existing Concrete 4" Slab on Grade to remain
EXISTING PERIMETER 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.
EXISTING 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

Top of Plate 0'-4"
1st Floor FH: Garage
1st Floor FH: Garage
1st Floor FH: Garage

Top of Plate 11'-8"
2nd FL FH: 11'-8"

Top of Plate 21'-0"
2nd FL FH: 21'-0"

Top of Plate 25'-0"
Top of Roof: 25'-0"

New Roof Insulation is R-30 Open Cell Spray Foam (Cyneac or Approved Equal) Applied (5/8" & 3/8" spacing) Sec Truss Engineering.

2x4 Bottom Chord Bracing. Nail w/ (2) 12p nails at each end (see Truss Engineering).

5/8" Drywall over optional 7/8" md. lath channeled run perpendicular to trusses at 24" o.c. Level 4 Finish w/ orange peel. Typical All Ceilings.

Simpson L1S20/2max Bolted Straps at each End. Truss-typical. (SEE STRUCTURAL PLANS)

Beam "B": 3.5" x 16" LVL 2.0 E Parallel PSL - or Gilder Truss: Furnished by Truss Co. (SEE STRUCTURAL PLANS)

All Coffers and Non Bearing Walls & Headers framed of 5/8" & 3/8" Metal Stud by Drywall Subcontractor.

Connect Dbl Bottom Plates to Dbl Top Plates with 10d Ring Shank SS or HDG nails. To Install at 42" o.c. on East Wall Location and within 6" of corners.

EXISTING 5/8" CDX Plywood Roof Sheathing Existing R-30 Batt Insulation (typical entire garage)

Install NEW 3" Open Cell Spray Foam Insulation & under R 11 Average (typical all new subfloor areas)

EXISTING R-11 Batt Insulation w/ 1/2" PT frame walls

EXISTING DBL 2x4 PT HEADER w/ 1/2" PT Spacer (SP at garage doors)

EXISTING 8070OH Garage Door

Existing Concrete 4" Slab on Grade to remain
EXISTING PERIMETER 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.
EXISTING 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

Existing Concrete 4" Slab on Grade to remain
EXISTING PERIMETER 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.
EXISTING 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.

Existing Concrete 4" Slab on Grade to remain
EXISTING PERIMETER 18" w x 16" High Monolithic Concrete Foundation: 300psi pea rock pump mix with 66 10/10 w/w w/ Continuous #5 Rebar (2 bottom & 1 Top). Over 6mil Visqueen Vapor Barrier over Clean, Treated, Compacted Fill.
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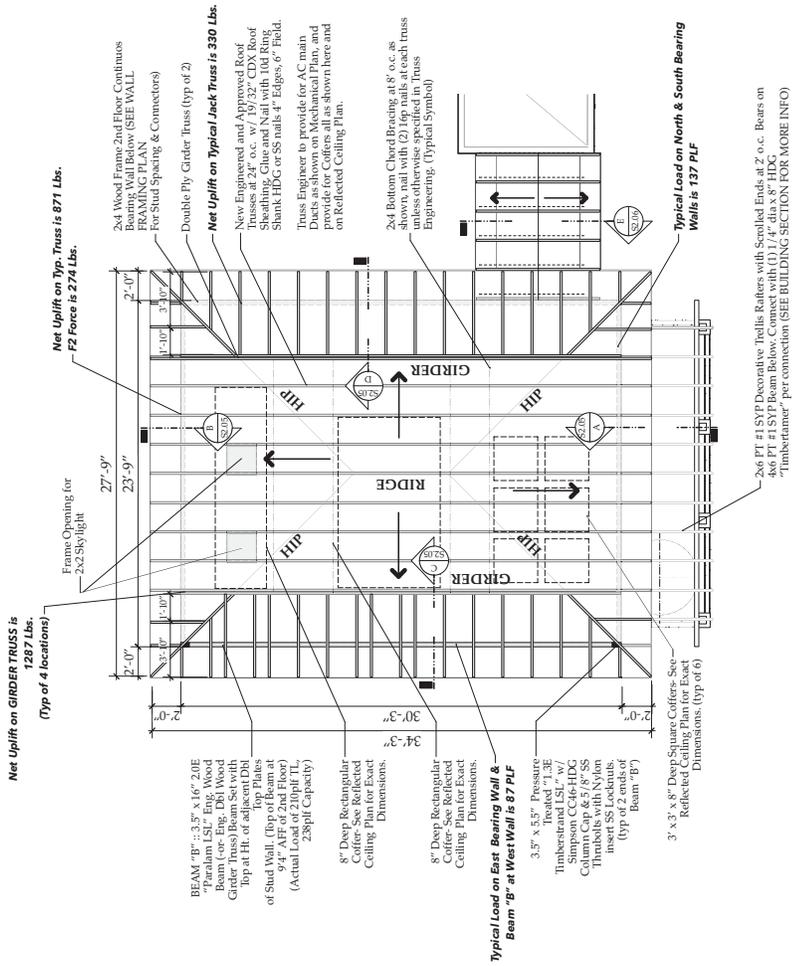
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Section 2
Scale: 1/2" = 1'-0"

NOTE #1: Rough Carpenter to Carefully remove stucco from sides of existing Parapets and remove 1' higher sections in four corners where new 2nd Floor Walls to be constructed. Install 2x4 PT Plate as described above and wrap with 3" WR Grace Fire and Ice Ped and stick. Cover Area of Work w/ 6 mil visqueen as work progresses, held in place with temp 1x2 cleats to protect existing 1st floor walls from water intrusion...

NOTE #2: Rough Carpenter to frame 2x4 Exterior Barring Walls, Set Trusses, Sheet, & Install Tyvek Vapor Barrier Building BEFORE installing Floor Joists as described above (ie After Roofing Dried in & Exterior Windows, Doors, and Tyvek Vapor Barrier has been installed).

****NOTE: Truss Co. to Make Provisions for HVAC Ductwork as Per M1.01.**



2nd FL. ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

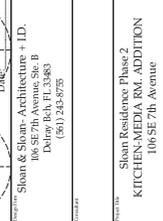
The Work shown on this Plan shall comply with the 2014 Florida Building Code w/ any Amendments and (as applicable) the same. Work shown on this Plan shall be subject to the Planning and Existing Building Code(s). Framing and Other Structural Details will also comply with ICC-608 (previously STD 10-99).

SLOAN ARCHITECTURE INC.
Sloan & Sloan Inc.
106 SE 7th Ave.
Fort Lauderdale, FL 33301
(561) 248-8735
esloans@slonarch.com
IDA: A23602038

No.	Date	APR	Revisions/Notes
1	4/01/19		ISSUED FOR PERMITTING

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**Sloan Residence
2nd Floor
Kitchen-Media Addition**



2nd FL FLOOR
ROOF FRAMING PLAN
of Kitchen-Media Rm.

Sloan Residence Phase 2
KITCHEN-MEDIA RM. ADDITION
106 SE 7th Avenue

Prepared By: D. Sloan
Reviewed By: D. Sloan
Date: 4/1/2019
Drawing No.: 1/P-19-07
Sheet No.: 52.03 of 52.03

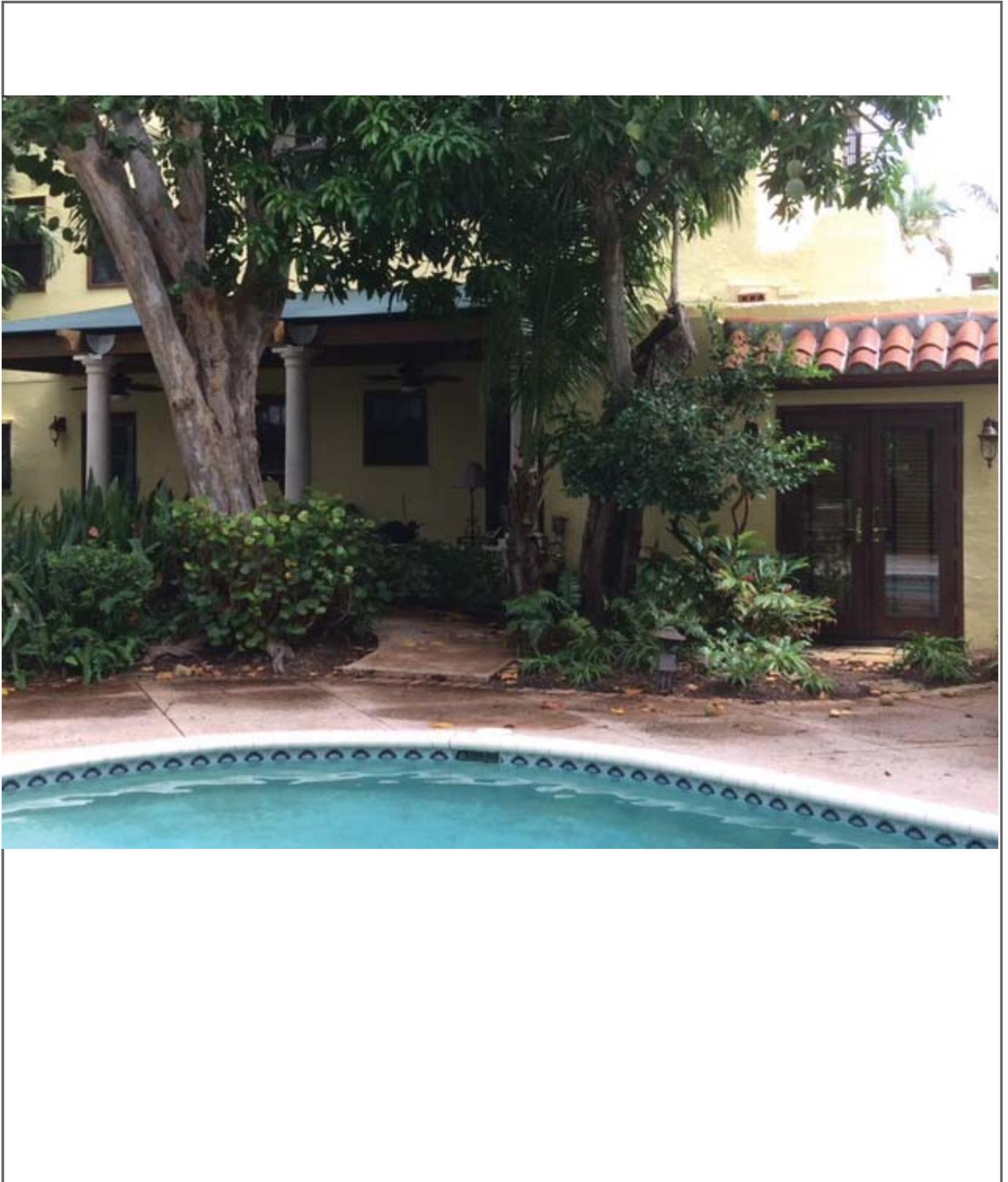
License: April 19, 2019 File: ShearFp_Connector_2019.rvt

Structural Connector Schedule: Sloan Residence Addition Project

NO.	DESCRIPTION	MANUFACTURER	UPLIFT Capacity Required	UPLIFT Capacity Provided	PRODUCT #
1	Floor Truss to DD, Top Plate (2x4x12 W/ails)	Simpson	871 lbs	1310 lbs	HTS 26 zmax
2	2nd Floor Exterior Wall	Simpson	800 lbs	800lb & 940Z	+ HGA10 zmax
3	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
4	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
5	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
6	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
7	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
8	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
9	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
10	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
11	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
12	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
13	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
14	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
15	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax
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100	New 2nd Fl. Stud to Double Sill Plate	Simpson	830 lbs	1065 lbs	SP2 zmax

**New 2nd Floor
Roof Framing Plan
S2.03**

Photo Documentation for COA Application for
Sloan Residence Phase 2 Second Story Addition above Garage
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 6/18/19



File: SloanResPh2_2019_COA pics.indd

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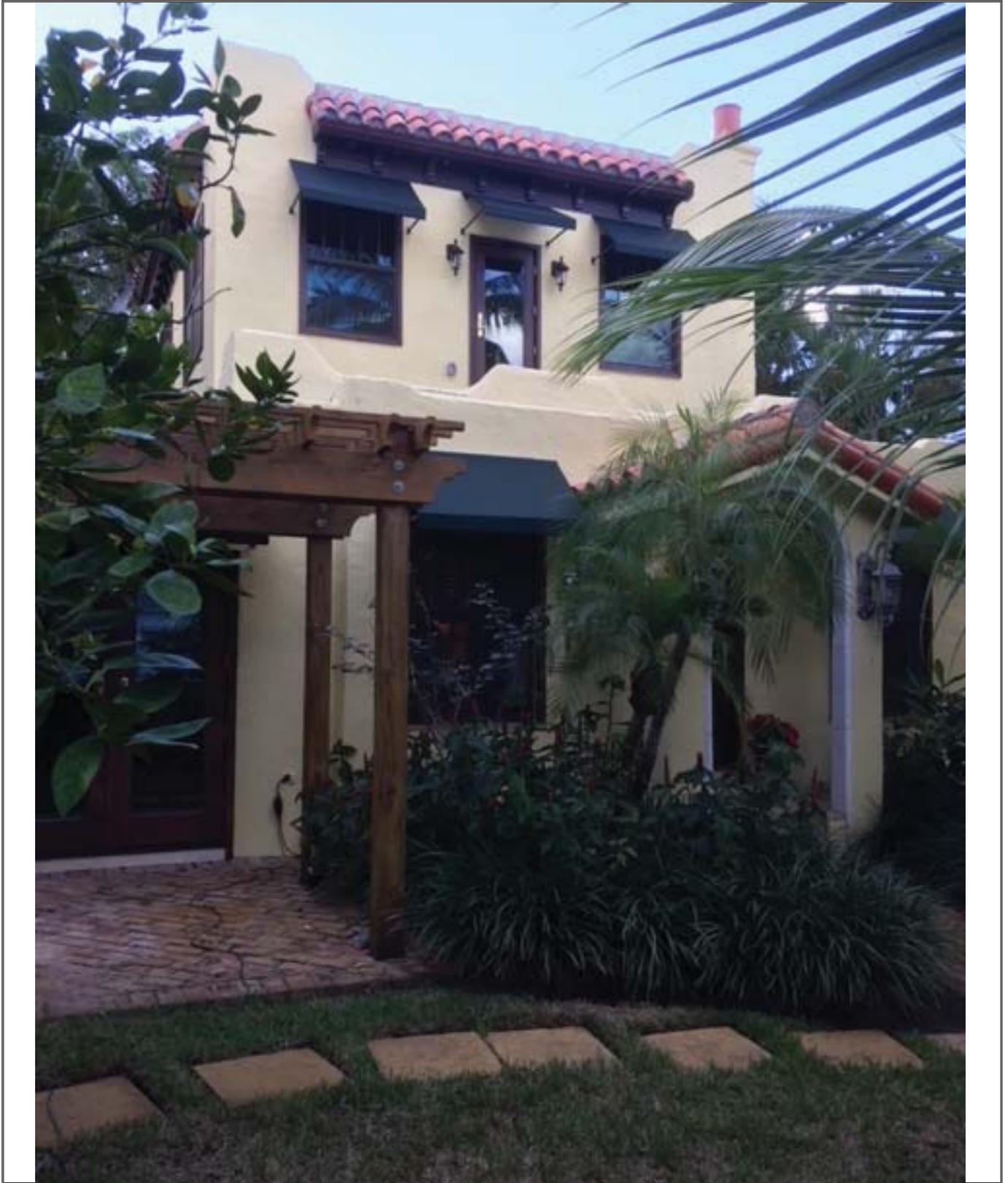
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File: SloanResPh2_2019_COA pics.indd

Elevation “B-A3.01” (North Elevation:Residence)

Photo Documentation for COA Application for
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File: SloanResPh2_2019_COA_pics.indd

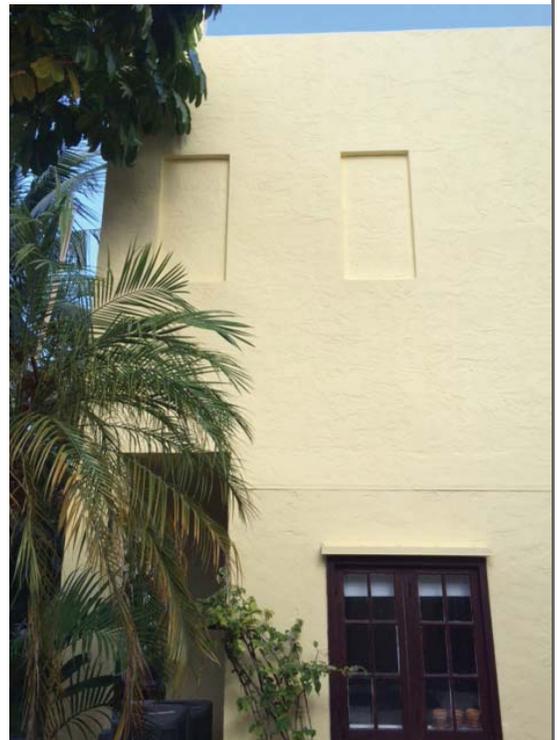
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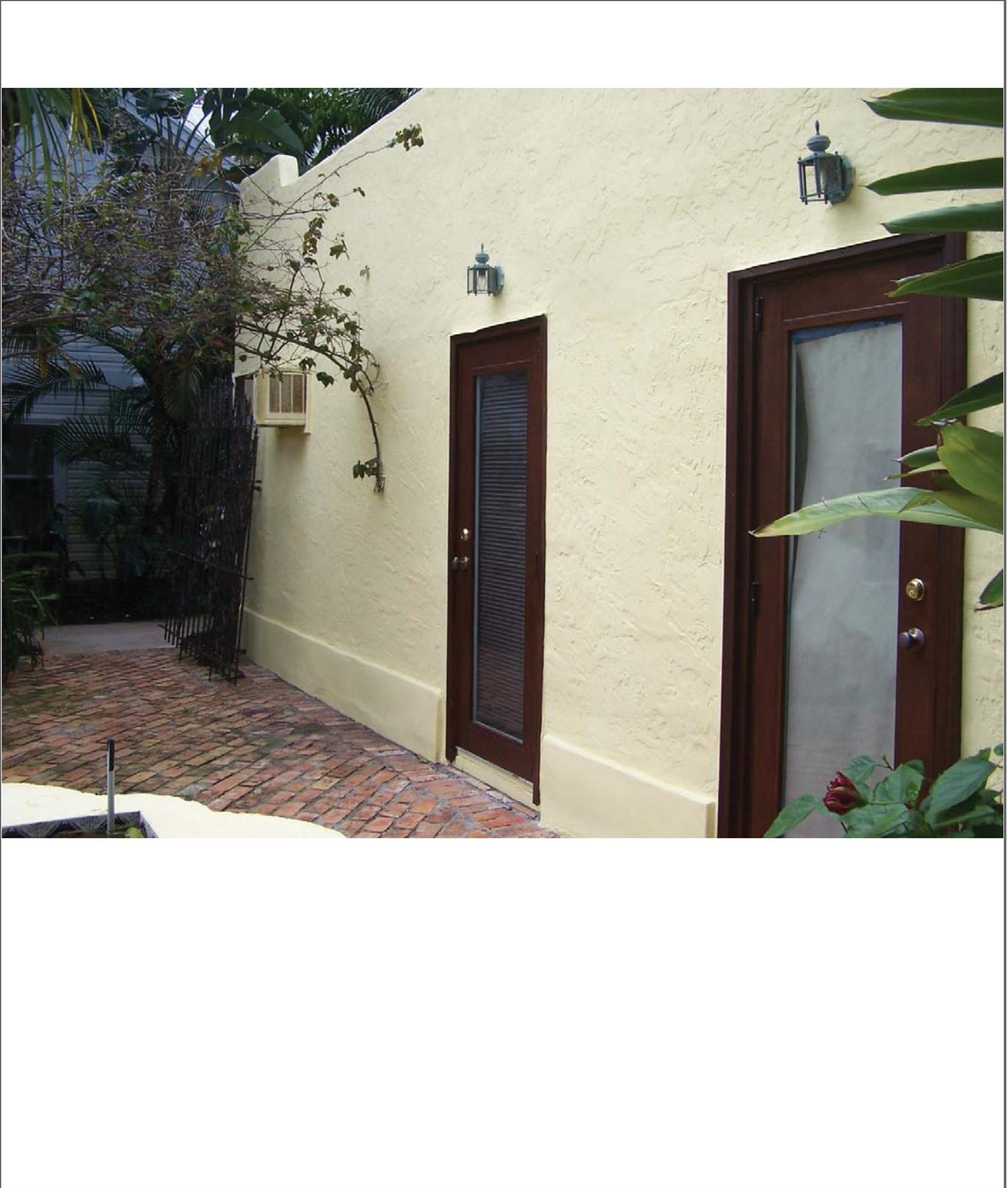
Elevation "C-A3.02" (East Elevation: Residence)

Photo Documentation for COA Application for
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File: SloanResPh2_2019_COA pics.indd

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File: SloanResPh2_2019_COA pics.indd

Elevation “E-A3.02” (East Elevation: Garage)

Photo Documentation for COA Application for
Sloan Residence Phase 2 Second Story Addition above Garage
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 6/18/19



Note: Photo from 2016 (Prior to Construction of Phase 1 work <Master Suite Addition to the East of Garage>

File: SloanResPh2_2019_COA pics.indd

Photo Documentation for COA Application for
Sloan Residence Phase 2 Second Story Addition above Garage
106 SE 7th Avenue, Delray Beach, FL , Prepared by Dan Sloan, 6/18/19



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