



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: 143 S Swinton Avenue
Project Location: 143 S Swinton Avenue
Request: Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness (2019-227), and Variance (2019-228)
Board: Historic Preservation Board
Meeting Date: August 7, 2019

Board Action:

Approved the Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness, (2019-227) and Variance (2019-228) by a vote of 4-3 (Harden, Sherman, and Newman-Rocker dissenting) for **143 South Swinton Avenue, Old School Square Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations Sections 2.4.5(F), 2.4.5(H), 2.4.5(I), 2.4.6(H), and 2.4.7(A), subject to the following condition(s):

1. That the traffic approval letter from Palm Beach County Traffic Engineering Division be updated to reflect the correct proposed office square foot calculations which is 4,397 sq. ft.

Project Description:

The subject 0.30 acre property is located on the northeast corner of South Swinton Avenue and SE 2nd Street. The property is located within the Old School Square Historic Arts District (OSSHAD) zoning district, the Locally and Nationally Registered Old School Square Historic District (OSSHD) and consists of Lots 9 and 10, block 70, of the Amended Plat of Sundy and Cromers Subdivision. The property contains a 1-story, 1,571 sq. ft. Bungalow style residential structure built in 1917 and is classified as contributing to the OSSHAD. The property was originally owned by John S. and Elizabeth C. Sundy.

The subject request is for a Class V Site Plan, Landscape Plan, Certificate of Appropriateness and Variance requests consisting of: conversion of the 1,571 sq. ft. existing single-family residence to office, construction of a 1-story 2,826 sq. ft. addition, construction of an 8-space parking lot, landscape improvements, and Variance to reduce the terminal landscape island widths at NE & SE corners of property from the required 9' to 5'5" and 6'5", respectively.

Board Comments:

The Board comments were supportive.

Public Comments:

One member of the public spoke in support of the project.

Associated Actions: All required actions were taken.

Next Action: HPB action is final unless appealed by the City Commission.



DEVELOPMENT SERVICES

BUILDING | HISTORIC PRESERVATION | PLANNING & ZONING

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444
(561) 243-7040

HISTORIC PRESERVATION BOARD STAFF REPORT

143 South Swinton Avenue

Meeting	File No.	Application Type
August 7, 2019	2019-227 & 228	Class V Site Plan, Certificate of Appropriateness & Variance

REQUEST

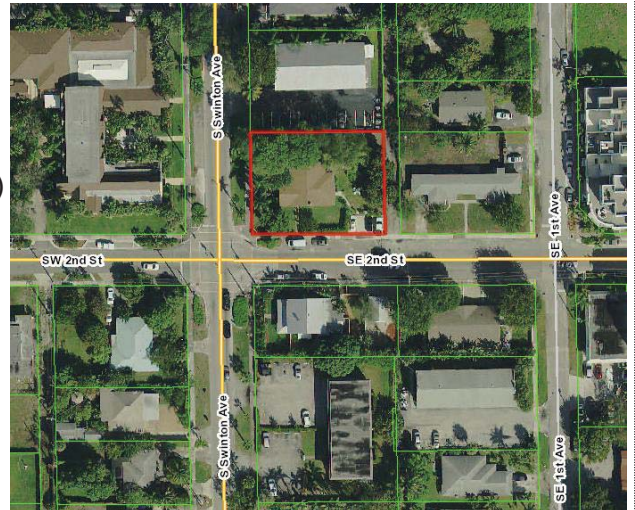
The item before the Board is consideration of a Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness, (2019-227) and Variance (2019- 228) requests associated with the conversion of the existing single-family residence to office along with a 1-story 2,826 square foot addition on property located at **143 South Swinton Avenue, Old School Square Historic District**, pursuant to LDR Sections 2.4.5(F), 2.4.5(H), 2.4.5(I), 2.4.6(H), and 2.4.7(A).

GENERAL DATA

Agent: Jaime Mayo – Nigel Development, Inc.
Owner: Nigel Development, Inc.
Location: 143 South Swinton Avenue
PCN: 12-43-46-16-B4-070-0090
Property Size: 0.30 Acres
Historic District: Old School Square Historic District (OSSHD)
FLUM: OMU (Other Mixed Use)
Zoning: OOSHAD (Old School Square Historic Arts District)
Adjacent Zoning:

- OSSHAD (North)
- OSSHAD (East)
- RM - Multiple-Family Residential (South)
- CF - Community Facilities (West)

Existing Land Use: Residence
Proposed Land Use: Commercial



BACKGROUND AND PROJECT DESCRIPTION

The subject 0.30-acre property is located on the northeast corner of South Swinton Avenue and SE 2nd Street. The property is located within the Old School Square Historic Arts District (OSSHAD) zoning district, the Locally and Nationally Registered Old School Square Historic District (OSSHD) and consists of Lots 9 and 10, block 70, of the Amended Plat of Sundy and Cromers Subdivision. The property was originally owned by John S. and

Project Planner: Project Planners: Katherina Paliwoda, Planner & Michelle Hoyland, Principal Planner PaliwodaK@mydelraybeach.com HoylandM@mydelraybeach.com	Review Dates: HPB: August 7, 2019	Attachments: <ol style="list-style-type: none">1. Appendix "A" – Concurrence Findings2. Appendix "B" – Consistency Findings & Standards for Site Plan Actions3. Visual Compatibility and Variance Justification Statements4. Proposed Site Plans, Landscape Plan and Elevations5. Photos
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Elizabeth C. Sundy. The property contains a 1-story Bungalow style residential structure, built in 1917 and is classified as contributing to the OSSHD. The 1,571 sq. ft. structure was built as single-family residence.

On December 4, 2018 the City Commission approved an In-Lieu of Parking Fee Request in the amount of \$10,140 for 1 parking space for the HNM Office, located at the subject property. Conditions of approval included that the full payment for the In-Lieu of Parking Fee be paid upon issuance of a building permit and that the applicant construct 3 additional on-street parking spaces adjacent to the subject property within the Swinton Avenue and SE 2nd Street rights-of-way.

Then at its meeting of February 6, 2019 the HPB board denied the request for a Class V Site Plan, Landscape Plan, Certificate of Appropriateness, Waiver, and Variance requests consisting of: conversion of the existing single-family residence to office, construction of a 1-story 2,789 square foot addition, construction of an 8-space parking lot, landscape improvements, waiver request to increase the width of the building that is facing the street, variance requests to reduce the interior side setback and to reduce the width of the landscape islands at the end of a parking row. Subsequently, the applicant appealed HPB's denial of the request to the City Commission. The requests were heard by the City Commission at its April 2, 2019 meeting and ultimately denied.

The item before the board is the subject COA request for the conversion of the existing 1,571 sq. ft., 1- story single-family residence to office, construction of a 1-story, 2,826 sq. ft. addition, construction of an 8-space parking lot, landscape improvements, and Variances to reduce the terminal landscape island widths at NE & SE corners of property from the required 9' to 5'5" and 6'5".

REVIEW AND ANALYSIS

Article 4.4, Base Zoning District Regulations

LDR Section 4.4.24 – Old School Square Historic Arts District (OSSHAD)

Pursuant to LDR Section 4.4.24(B)(3) - Principal Uses and Structures: Within the OSSHAD zoning district, Business, Professional, Medical and Government offices are listed as a Permitted Use.
Offices are permitted uses within the OSSHAD zoning district.

Pursuant to LDR Section 4.3.4(K) - Development Standards: The following standards shall apply:

DEVELOPMENT STANDARDS	REQUIRED	EXISTING	PROPOSED
Lot Coverage (Maximum)	40% Max.	10%-12%	50.10% 34.08%
Open Space (Minimum, Non-Vehicular)	25%	76.12%	46.07%
Setbacks: Front (West – South Swinton Avenue)	25'	30'-38'	30'
Side Street (South – SE 2 nd Street)	15'	32'9"	22'
Side Interior (North)	7'6"	30'2"	9' 1 ½ "
Rear (East – Alley)	10'	48' 10"	10'
Height	35'	14'6" 14'-9-1/2"	14'-9-1/2"

Pursuant to LDR Section 4.4.24(G)(4)(d) - business and professional offices shall provide one space per 300 square feet of total new or existing net floor area being converted to office use. This requirement may be reduced to one parking space per 400 square feet of net floor area or by at least one space, where there is a mix of residential and office use in the same structure.

Pursuant to LDR Section 4.4.24(G)(6), When the parking requirements are applied to either new development, expansion of an existing use or a change in use, which results in the requirement of only one new parking space, a one space exemption shall be allowed. This exemption may only occur once per property.

Rehabilitation of the existing structure and the new addition provides for a total square footage of 4,397 sq. ft. of office use (1,571 sq. ft. existing and 2,826 sq. ft. proposed) with a proposed net floor area of 4,397 sq. ft. requiring 11.27 parking spaces, rounded down to a total of 11 spaces. Taking the one-time, one-space reduction into consideration, the parking requirement is further reduced to 10 spaces. The applicant is providing 8 parking

spaces on site and constructing 3 parking spaces in the adjacent right-of-way (for which a 1 parking space credit can be taken as required by code – see below explanation); therefore, the proposal is deficient for 1 parking space. An In-Lieu of Parking application was approved by the City Commission at its meeting of December 4, 2018 for 1 parking space. The proposal meets the requirements of the code for parking.

Pursuant to LDR Section 4.6.9(E)(3)(e), in addition to in-lieu fees due, where adequate right-of-way exists adjacent to a proposed project for which an in-lieu parking fee has been approved, the applicant must construct additional on-street parking, not to exceed the total amount of spaces subject to in-lieu fees unless authorized by the City Commission. The applicant will be credited up to one-half of a parking space for each full parking space constructed within public right-of-way.

Adequate right-of-way exists adjacent to the proposed project; hence, the applicant is constructing 3 on-street parking spaces within the adjacent rights-of-way. Construction of the on-street parking spaces allows for a credit of 1 parking space (0.5 space x 3 spaces = 1.5 spaces and rounded down for a total of 1 credited parking space). This credit leaves the site deficient for 1 parking space. An In-Lieu of Parking application was approved by the City Commission at its meeting of December 4, 2018 for 1 parking space.

Pursuant to LDR Section 4.4.24(G)(3), all parking, except for single-family homes and duplexes, shall be located in the side or rear yard or adjacent to a rear alley. No such parking shall be located in the area between any street and the closest building or structure.

The proposed parking is located in the rear of the building adjacent to the alley; therefore, positive findings with this code requirement are made.

Article 4.6 - Supplemental District Regulations

Pursuant to LDR Section 4.6.8 – Lighting: All developments/redevelopments are encouraged to utilize energy efficiency lighting. The maximum height for luminaires on buildings and structures is 25' or eave overhang, whichever is lower, and 25' for a parking lot. All perimeter exterior lighting shall be full cutoff luminaires to minimize spillover on adjacent properties. In order to decrease urban glow, no luminaires shall be directed upwards.

Pursuant to LDR Section 4.6.8(A)(3) – Illumination Standards: The applicable illumination standards are as follows:

	FOOT CANDLES		
	Maximum Permitted	Minimum Permitted	Provided
Commercial Parking Lot	12	1.0	0.25 – 3.6

There are 4 wall mounted decorative light fixtures proposed adjacent to the parking on the east side of the property. The fixtures are residential in nature and are appropriate for the surrounding historic area. The submitted photometric plan illustrates that the proposed light fixtures will meet the maximum permitted foot candles and there is no proposed spillover onto the adjacent properties; thus, the photometric plan is in compliance with the Illumination Standards listed above, and within an appropriate foot candle range given the surrounding mixed-use area.

Pursuant to LDR Section 4.6.9(D)(2)(b) - Provisions for Ingress and Egress: Parking that takes access to an alley, the parking space and alley must have a combined minimum depth of 42 feet and a minimum width of 10 feet.

The proposed parking spaces are accessed onto the north/south alley on the east side of the subject property. The required 42' depth for the space and the alley is provided for as well as minimum 10' wide parking spaces. There are 7 parking spaces which are 10' and one handicapped space which is 12' wide with a 5' wide maneuvering area.

Refuse Container Area

The proposed refuse containers are residential roll-out type bins and will be stored on the north side of the office building and the bins will be rolled out to the curb on collection day. The area will be screened by hedging.

Pursuant to LDR Section 4.6.18(E) Criteria for board action on Architectural Elevations and aesthetics, the following criteria shall be considered, by the Site Plan Review and Appearance Board or Historic Preservation Board, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved.

1. The plan or the proposed structure is in conformity with good taste, good design, and in general, contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

A complete review of the elevations and aesthetics can be found in the Historic Analysis section of this report.

LANDSCAPE ANALYSIS

Pursuant to LDR Section 2.4.5(H)(5) – Landscape Plan Findings - At the time of action on a landscape plan, the approving body shall make finding with respect to the proposed plan's relationship to the following:

- (a) Objectives of landscaping regulations Section 4.6.16;
- (b) Site and landscape design standards pursuant to Section 4.6.16.

An overall determination of consistency with respect to the above items is required in order for a landscaping plan to be approved.

Pursuant to LDR Section 4.6.16(A) – Landscape Regulations – The objective of this article is to improve the appearance of setback and yard areas in conjunction with the development of commercial, industrial, and residential properties, including off-street vehicular parking and open-lot sales and service areas in the City, and to protect and preserve the appearance, character and value of the surrounding neighborhoods and thereby promote the general welfare by providing minimum standards for the installation and maintenance of landscaping.

The proposal has been reviewed and determined to be in compliance with LDR Section 4.6.16. The landscape plan includes replacement of existing landscape material as well as installation of new landscaping to meet the requirements of the code; therefore, positive findings with this code section can be made.

A Variance has been requested to reduce required landscape island width for the islands at the northeast and southeast corners of the site and is discussed in further detail in the Variance Analysis section below.

A positive finding can be made for an overall determination of consistency with respect to the landscape plan.

HISTORIC ANALYSIS

Pursuant to LDR Section 2.4.6(H)(5), Procedures for Obtaining Permits and Approvals, Certificate of Appropriateness for Individually Designated Historic Structures and all Properties Located within Historic Districts, Findings, prior to approval, a finding must be made that any Certificate of Appropriateness which is to be approved is consistent with Historic Preservation purposes pursuant to Objective A-4 of the Land Use Element of the Comprehensive Plan and specifically with provisions of Section 4.5.1, the Delray Beach Historic Preservation Design Guidelines, and the Secretary of the Interior's Standards for Rehabilitation.

Pursuant to LDR Section 2.4.5(I)(5), Findings for Architectural Elevations, at the time of the action on the architectural elevations the approving Board shall make findings with respect to the objectives and standards as contained in the architectural regulations, Section 4.6.18. An overall determination of consistency with respect to the above is required in order for an architectural plan to be approved.

LDR SECTION 4.5.1

HISTORIC PRESERVATION: DESIGNATED DISTRICTS, SITES, AND BUILDINGS

Pursuant to LDR Section 4.5.1(E), Development Standards, all new development or exterior improvements on individually designated historic properties and/or properties located within historic districts shall, comply with the goals, objectives, and policies of the Comprehensive Plan, the Delray Beach Historic Preservation Design Guidelines, the Secretary of the Interior's Standards for Rehabilitation, and the Development Standards of this Section.

Standard 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Standard 2

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 3

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Standard 4

Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Standard 5

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Standard 6

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Standard 7

Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Standard 8

Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard 9

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Standard 10

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

In consideration of the applicable Standards noted above, the proposal meets their intent by preserving the existing contributing structure while allowing for adaptive reuse of the existing structure. The proposed improvements contribute to the environment while also protecting the historic integrity of the OSSHD. The addition and exterior alteration is proposed to preserve the historic materials that characterize this property. Further, the new work will be differentiated from the old in the design and placement of the addition is setback from the original utilizing a hyphen. The proposed windows are similar to the original but slightly different in scale and the proposed roof utilizes a hip in a compatible scale to the existing gabled roof. The proposed addition and renovation of the existing structure have been designed to ensure that should it every be removed in the future, the essential form and integrity of the historic property and its environment.

Pursuant to LDR Section 4.5.1(E)(2)(c)(4) – Major Development.

In accordance with the above, the subject proposal has been reviewed as a Major Development.

Pursuant to LDR Section 4.5.1(E)(3)(b)1 – Buildings, Structures, Appurtenances and Parking: Parking areas shall strive to contribute to the historic nature of the properties/districts in which they are located by use of creative design and landscape elements to buffer parking areas from adjacent historic structures. At a minimum, the following criteria shall be considered:

- a. Locate parking adjacent to the building or in the rear.
- b. Screen parking that can be viewed from a public right-of-way with fencing, landscaping, or a combination of the two.
- c. Utilize existing alleys to provide vehicular access to sites.
- d. Construct new curb cuts and street side driveways only in areas where they are appropriate or existed historically.
- e. Use appropriate materials for driveways.
- f. Driveway type and design should convey the historic character of the district and the property.

The subject property is a corner lot situated at the northeast corner of the intersection of S. Swinton Avenue and SE 2nd Street. Parking is proposed to the rear (east side) of the structure adjacent to the north/south alley. Additionally, the proposal eliminates 3-4 back-out parking spaces along SE 2nd Street, which will reduce conflicts with the rights-of-way and alley. The proposed location of the parking is the only reasonable location where parking could be located, especially given the fact that the LDRs do not allow for parking adjacent to the front or side street side of the structure.

Pursuant to LDR Section 4.5.1(E)(7) – Visual Compatibility Standards: new construction and all improvements to both contributing and noncontributing buildings, structures and appurtenances thereto within a designated historic district or on an individually designated property shall be visually compatible. In addition to the Zoning District Regulations, the Historic Preservation Board shall apply the visual compatibility standards provided for in this Section with regard to height, width, mass, scale, façade, openings, rhythm, material, color, texture, roof shape, direction, and other criteria set forth elsewhere in Section 4.5.1. Visual compatibility for minor and major development as referenced in Section 4.5.1(E)(2) shall be determined by utilizing criteria in (a)-(m), noted below:

- a. Height: The height of proposed buildings or modifications shall be visually compatible in comparison or relation to the height of existing structures and buildings in a historic district for all major and minor development. For major development, visual compatibility with respect to the height of residential structures, as defined by 4.5.1(E)(2)(a), shall also be determined through application of the Building Height Plane.
- b. Front Facade Proportion: The front facade of each building or structure shall be visually compatible with and be in direct relationship to the width of the building and to the height of the front elevation of other existing structures and buildings within the subject historic district.
- c. Proportion of Openings (Windows and Doors): The openings of any building within a historic district shall be visually compatible with the openings exemplified by prevailing historic architectural styles of similar buildings within the district. The relationship of the width of windows and doors to the height of windows and doors among buildings shall be visually compatible within the subject historic district.

- d. Rhythm of Solids to Voids:** The relationship of solids to voids of a building or structure shall be visually compatible with existing historic buildings or structures within the subject historic district for all development, with particular attention paid to the front facades.
- e. Rhythm of Buildings on Streets:** The relationship of buildings to open space between them and adjoining buildings shall be visually compatible with the relationship between existing historic buildings or structures within the subject historic district.
- f. Rhythm of Entrance and/or Porch Projections:** The relationship of entrances and porch projections to the sidewalks of a building shall be visually compatible with existing architectural styles of entrances and porch projections on existing historic buildings and structures within the subject historic district for all development.
- g. Relationship of Materials, Texture, and Color:** The relationship of materials, texture, and color of the facade of a building and/or hardscaping shall be visually compatible with the predominant materials used in the historic buildings and structures within the subject historic district.
- h. Roof Shapes:** The roof shape, including type and slope, of a building or structure shall be visually compatible with the roof shape of existing historic buildings or structures within the subject historic district. The roof shape shall be consistent with the architectural style of the building.
- i. Walls of Continuity:** Walls, fences, evergreen landscape masses, or building facades, shall form cohesive walls of enclosure along a street to ensure visual compatibility with historic buildings or structures within the subject historic district and the structure to which it is visually related.
- j. Scale of a Building:** The size of a building and the building mass in relation to open spaces, windows, door openings, balconies, porches, and lot size shall be visually compatible with the building size and mass of historic buildings and structures within a historic district for all development. To determine whether the scale of a building is appropriate, the following shall apply for major development only:
 - a.** For buildings wider than sixty percent (60%) of the lot width, a portion of the front façade must be setback a minimum of seven (7) additional feet from the front setback line:
 - b.** For buildings deeper than fifty percent (50%) of the lot depth, a portion of each side façade, which is greater than one story high, must be setback a minimum of five (5) additional feet from the side setback line:
- k. Directional Expression of Front Elevation:** A building shall be visually compatible with the buildings, structures, and sites within a historic district for all development with regard to its directional character, whether vertical or horizontal.
- l. Architectural Style:** All major and minor development shall consist of only one (1) architectural style per structure or property and not introduce elements definitive of another style.
- m. Additions to individually designated properties and contributing structures in all historic districts:** Visual compatibility shall be accomplished as follows:
 - 1.** Additions shall be located to the rear or least public side of a building and be as inconspicuous as possible.
 - 2.** Additions or accessory structures shall not be located in front of the established front wall plane of a historic building.
 - 3.** Characteristic features of the original building shall not be destroyed or obscured.
 - 4.** Additions shall be designed and constructed so that the basic form and character of the historic building will remain intact if the addition is ever removed.
 - 5.** Additions shall not introduce a new architectural style, mimic too closely the style of the existing building nor replicate the original design but shall be coherent in design with the existing building.
 - 6.** Additions shall be secondary and subordinate to the main mass of the historic building and shall not overwhelm the original building.

The addition and renovation to the existing contributing structure utilizes authentic materials that are compatible with the predominant materials utilized in the historic building in the district ensuring a proper relationship between materials, texture and color. Such materials include cedar siding, aluminum framed windows, wood casings/trim/sills around all the windows/doors and asphalt shingle roof. A combination of Wood Framed Walls and New CMU walls clad in Natural color Cedar Wood Shingles are proposed with a base of "Hardieplank" Composite Siding (Iron Gray color) that is capped at the top of the base with a continuous wood sill painted

white. Smaller 2' x 4' aluminum framed windows are proposed on the new addition and the existing larger windows are to be retained. The window frames, sills, wood casings and trims will be extra white.

The proposed 1-story addition utilizes "hyphens" to separate the addition from the existing structure, allowing for a reduced massing of the street facing façades. The original front porch was enclosed over the years; the proposal returns the porch to its intended use as a porch, restoring the relationship between the front porch and the front façade. The roof shape is consistent with the architectural style of the building and existing historic building in the district. The proposal ensures a proper relationship of solids to voids and is visually compatible with structures within the district.

Overall, the proposal has been designed to meet the Visual Compatibility Standards and the requirements for architectural elevations and aesthetics while allowing for the adaptive reuse and conversion of the existing structure from single-family residence to an office. Further, this structure sits at a prominent corner within the southern boundary of the Old School Square Historic District and the proposed updates are considerate to the district by demonstrating compatibility with the built environment. The applicant's proposal will maintain a residential appearance and allow for a neighborhood-based use. Based upon the above, the proposal is appropriate and compatible with the requirements for Visual Compatibility.

The applicant has submitted a justification statement, which is attached.

VARIANCE REQUEST

Pursuant to LDR Section 4.6.16(H)(3)(j), each row of parking spaces shall be terminated by landscape islands which contain a minimum of 135 square feet of planting area, with a minimum dimension of 9 feet, exclusive of the required curb.

Pursuant to LDR Section 2.2.6(D)(1), the Historic Preservation Board (HPB) shall act in lieu of the Board of Adjustment to grant variances pursuant to Section 2.4.7(A) for properties located within a Historic District or for Individually Designated Sites as listed on the Local Register of Historic Places in Section 4.5.1(I).

Pursuant to LDR Section 2.4.7(A)(5) Variances, the following findings must be made prior to the approval of a variance:

- (a) That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not generally applicable to other lands, structures, or buildings subject to the same zoning (The matter of economic hardship shall not constitute a basis for the granting of a variance);**
- (b) That literal interpretation of the regulations would deprive the applicant of rights commonly enjoyed by other properties subject to the same zoning;**
- (c) That the special conditions and circumstances have not resulted from actions of the applicant;**
- (d) That granting the variance will not confer onto the applicant any special privilege that is denied to other lands, structures, and buildings under the same zoning. Neither the permitted, nor nonconforming use, of neighborhood lands, structures, or buildings under the same zoning shall be considered grounds for the issuance of a variance;**
- (e) That the reasons set forth in the variance petition justify the granting of the variance, and that the variance is the minimum variance that will make possible the reasonable use of the land, building, or structure; and,**
- (f) That the granting of the variance will be in harmony with the general purpose and intent of existing regulations, will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.**

The proposal includes a landscape variance to reduce the width of the landscape islands, which terminate adjacent to the parking areas on the east side of the property adjacent to the alley. The required width is 9' and 5'9" and 5' wide islands are proposed. The applicant's justification statement is attached.

The request to allow narrower landscape islands is reasonable due to the structures position on the property and as parking is not allowed within the front and side street setbacks. The proposal places the parking in the only reasonable location on the property, adjacent to the alley. The parking stall width is increased from the standard 9' width to 10' wide as the spaces back-out onto an alley. This increase is code required in order to provide for proper maneuverability; however, the increased stall width contributes to the reduced landscaped island width.

Granting of this Variance will not confer onto the applicant any special privilege that is denied to other lands, structures, and buildings under the same zoning since this type of Variance is frequently sought. Furthermore, the granting of the variance will be in harmony with the general purpose and intent of existing regulations; will not be injurious to the neighborhood, or otherwise detrimental to the public welfare. Consequently, a positive finding with respect to LDR Section 2.4.7(A)(5), Variance Findings, can be made.

Note: As required by the LDRs, a notice regarding the subject variance request was sent to those property owners located within a 500' radius of the subject property.

FINDINGS AND STAFF ANALYSIS

Pursuant to LDR Section 2.4.5(F)(1)(a), Class V Site Plan Modification, New application for development of vacant land, or for modification of a developed property when no valid site plan of record exists, and which requires full review of Performance Standards found in Section 3.1.1.

Pursuant to LDR Section 2.4.5(F)(5), in addition to provisions of Chapter 3, the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The development proposal involves a 2,826 total square foot first-floor addition to the existing 1,571 square foot one-story structure for an overall total building size of 4,397 square feet. The proposal will be compatible and harmonious with adjacent and nearby properties within the OSSHAD zoning district which is a mixed-use zoning district that supports the adaptive reuse of residential buildings. Conversion of the existing residence to office use is not likely intended to cause substantial depreciation of property values. Pursuant to LDR Section 2.4.5(F)(5), the applicable Future Land Use Map (FLUM) and Concurrency items as they relate to this development proposal are discussed below.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body, which has the authority to approve or deny the development application. These findings relate to the following areas:

(A) FUTURE LAND USE MAP: The resulting use of land or structures must be allowed in the zoning district within which the land is situated and said zoning must be consistent with the applicable land use designation as shown on the Future Land Use Map.

The subject property has a FLUM (Future Land Use Map) designation of OMU (Other Mixed Use) and a zoning designation of OSSHAD (Old School Square Historic Arts District). The zoning district is consistent with the OMU Future Land Use Map designation. The proposed office use is permitted; and is therefore, appropriate. Positive findings can be made with respect to Future Land Use Map consistency

LDR Section 3.1.1(B) - Concurrency

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water and sewer, streets and traffic, drainage, and solid waste.

LDR Section 3.1.1(C) - Consistency

As described in Appendix "B", a positive finding of Consistency can be made as it relates to Standards for Site Plan Actions (LDR Section 3.2.3).

LDR Section 3.1.1(D) - Compliance with the Land Development Regulations

As described under the Site Plan Analysis section of this report, a positive finding of compliance with the LDRs can be made.

Comprehensive Plan Policies

A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objectives or policies are noted:

Future Land Use Objective A-1 Property shall be developed or redeveloped, in a manner so that the future use, intensity and density are appropriate in terms of soil, topographic, and other applicable physical considerations; encourage affordable goods and services; are complementary to and compatible with adjacent land uses; and fulfill remaining land use needs.

Conversion of the single-family residence to an office use can be found to be of an appropriate intensity and density for the site. There are no concerns with respect to soil, topographic or other physical considerations. With respect to the adjacent land uses, the property is within a mixed-use zoning district and is surrounded by a mix of uses, including commercial, residential and institutional. Most of these uses have vehicular and pedestrian access off South Swinton Avenue. The proposed office use is complementary to adjacent land uses and can be found to be compatible with the area.

Future Land Use Objective A-4 The redevelopment of land and buildings shall provide for the preservation of historic resources. The objective shall be met through continued adherence to the City's Historic Preservation Ordinance and, where applicable, to architectural design guidelines through the following policies:

Future Land Use Policy A-4.1 Prior to approval or recommending approval of any land use or development application for property located within a historic district or designated as a historic site, the Historic Preservation Board must make a finding that the requested action is consistent with the provisions of Section 4.5.1 of the Land Development Regulations relating to historic sites and districts and the "Delray Beach Design Guidelines".

The proposal provides for the conversion of the existing residential use to an office along with physical improvements to the existing contributing structure. The proposed improvements demonstrate the investment the property owner is making to support the historic fabric of the community. Further, its office-based use is appropriate and assists in the maintenance and protection of the historic district. A complete review of LDR Section 4.5.1 and the Delray Beach Design Guidelines was conducted, and positive findings can be made, as all technical items can be found to be in compliance with height, scale and massing; therefore, positive findings can be made.

REVIEW BY OTHERS

An In-Lieu of a parking fee request was submitted. At its meeting on November 7, 2018, the Historic Preservation Board (HPB) reviewed the request and recommended denial to the City Commission. At its meeting on November 27, 2018, the Parking Management Advisory Board (PMAB) reviewed the request and recommended approval to the City Commission. At its meeting on December 4, 2018, City Commission approved the in-lieu of parking request for 1 parking space.

The proposal is within the Community Redevelopment Agency (CRA) district and HPBs action will be reported to the CRA.

ALTERNATIVE ACTIONS

- A. Continue with direction.
- B. Move approval of the Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness, (2019-227) and Variance (2019-228) requests for **143 South Swinton Avenue, Old School Square Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations Sections 2.4.5(F), 2.4.5(H), 2.4.5(I), 2.4.6(H), and 2.4.7(A), subject to the following condition(s):
1. That the traffic approval letter from Palm Beach County Traffic Engineering Division be updated to reflect the correct proposed office square foot calculations which is 4,397 sq. ft.
- C. Move approval of the Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness, (2019-227) and Variance (2019-228) requests for **143 South Swinton Avenue, Old School Square Historic District**, by finding that the request and approval thereof is consistent with the Comprehensive Plan and meets the criteria set forth in the Land Development Regulations Sections 2.4.5(F), 2.4.5(H), 2.4.5(I), 2.4.6(H), and 2.4.7(A).

Move denial of the Class V Site Plan, Landscape Plan, Elevations, Certificate of Appropriateness (2019-227), and Variance (2019-228) requests for **143 South Swinton Avenue, Old School Square Historic District**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in the Land Development Regulations Sections 2.4.5(F), 2.4.5(H), 2.4.5(I), 2.4.6(H), and 2.4.7(A).

PUBLIC AND COURTESY NOTICES

☒ Courtesy Notices are not applicable to this request

☐ Courtesy Notices were provided to the following, at least 5 working days prior to the meeting:

☐ Public Notices are not required for this request.

☐ Public Notice was posted at the property on (insert date), 7 calendar days prior to the meeting.

☒ Public Notice was mailed to property owners within a 500' radius on (7/25/2019), 10 days prior to the meeting.

☐ Public Notice was mailed to the adjacent property owners on (insert date), 20 days prior to the meeting.

☐ Public Notice was published in the (insert publication) on (insert date), 10 calendar days prior to the meeting.

☒ Public Notice was posted to the City's website on (7/25/19), 10 calendar days prior to the meeting.

☒ Public Notice was posted in the main lobby at City Hall on (insert date), 10 working days prior to the meeting.

☒ Agenda was posted on (7/31/19), 5 working days prior to meeting.

APPENDIX "A"
CONCURRENCY FINDINGS

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

Water and sewer services are existing on site. Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant and the South-Central County Waste Water Treatment Plant for the City at build-out. Based upon the above, positive findings can be made with respect to this level of service standard.

Drainage:

Drainage and water run-off will be addressed through the on-site retention. There should be no impact on drainage as it relates to this level of service standard.

Traffic:

The applicant has provided a traffic statement stating the 4,360 square foot office will generate 99 new Daily Trips and it is not anticipated to significantly affect traffic circulation nor cause negative impacts upon the surrounding area. Palm Beach County Traffic Engineering Division provided an approval letter stating the project will not have significant peak hour traffic impact on the roadway network and, therefore, meets the Traffic Performance Standards of Palm Beach County; however, the traffic approval letter needs to be updated to reflect the correct proposed office square foot calculations which is 4,397 sq. ft. This item is attached as a condition of approval.

Parks and Recreation:

Non-residential uses are not considered to have an impact on the City's Parks and Recreation facilities.

Solid Waste:

The existing 1,571 sq. ft. of residential use generated 1.56 tons of solid waste per year. The new 4,360 sq. ft. office use will generate 11.87 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals until the year 2046, thus a positive finding with respect to this level of service standard can be made.

Schools:

School concurrency findings do not apply for non-residential uses. Thus, the proposed development will not have an impact with respect to this level of service standard.

APPENDIX "B"
CONSISTENCY FINDINGS & STANDARDS FOR SITE PLAN ACTIONS

- A. Building design, landscaping, and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists, and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.**

Not applicable X

Meets intent of standard _____

Does not meet intent _____

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.**

Not applicable _____

Meets intent of standard X

Does not meet intent _____

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile, and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.**

Does not meet intent

Does not meet intent

Does not meet intent

Does not meet intent

**143 South Swinton Avenue
City of Delray Beach, Florida 33444**

8 South Swinton Avenue
 Delray Beach, Florida

REFER TO SITE PLAN SHEET A-0.1 FOR SITE STATS

A-0.0 COVER SHEET, NOTES, STATS
SURVEY

A-01	SHE SITE PLAN
A-01.1	DEMO PLAN
A-02	PHOTOMETRIC SITE PLAN
A-03	SITE DETAILS
A-04	COMPOSITE PLAN
A-10	FLOOR PLAN
A-30	ROOF PLAN
A-40	SOUTH ELEVATION
A-41	WEST ELEVATION
A-42	NORTH ELEVATION
A-43	EAST ELEVATION
A-44	RENDER ELEVATIONS
A-45	ELEVATION DIAGRAMS
A-80	SCHEDULES

- C-1 PAVING & DRAINAGE PLAN
- C-2 PAVEMENT MARKING & SIGNING PLAN
- C-3 PAVING & DRAINAGE DETAILS
- C-4 WATER & SEWER PLAN
- C-5 WATER & SEWER DETAILS

LP-1 LANDSCAPE PLAN
LP-2 LANDSCAPE PLAN
TDP-1 EXISTING TREE DISPOSITION PLAN

DRAWING INDEX

VICINITY MAP

BLOCK MAP

2

DRAWING INDEX

THE UNIVERSITY OF CHICAGO

TITLE

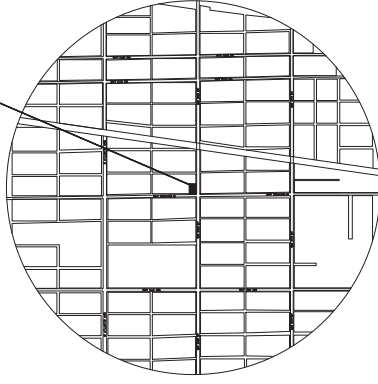
1500

FLORIDA BEGETATION

ARCHITECTURE



PROJECT LOCATION



—PROJECT LOCATION



ARCHITECT: HNM ARCHITECTURE, LLC 3706 N. Federal Hwy. Delray Beach, FL 33483 Contact: Jaime O. Mayo T 561-753.2225	CIVIL: CAMERO & ASSOCIATES, INC. 7400 Sw 50th Terrace Suite 204 Miami, FL 33155 Contact: Jorge Camero T 305-665.7600	LANDSCAPE: LYNN BENDER LANDSCAPE ARCHITECTURE 5610 Adair Way Lake Worth, FL 33467 Contact: Lynn Bender T 561-444.3237
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LYNN BENDER LANDSCAPE ARCHITECTURE
5610 Adair Way,
Lake Worth, FL 33467
Contact: Lynn Bender
T 561-644-3237

CAMERO & ASSOCIATES, INC.
7400 Sw 50th Terrace Suite 204
Miami, FL 33155
Contact: Jorge Camero
T 305.665.7602

HNM ARCHITECTS
3705 N. Federal Hwy.
Delray Beach, FL 33434
Contact: Jaime O. Hernandez
T 561-733-2225

ZONING DESIGNATION:

FUTURE LAND USE DESIGNATION

OMU - OTHER MIXED USE

FUTURE LAND USE DESIGNATION
OMU - OTHER MIXED USE

EXISTING FLOOR AREA (A/C)	1,571 S.F.
EXISTING FLOOR AREA (A/C) CONVERTED BACK TO ORIGINAL EXTERIOR PORCH :	-254 S.F.
EXISTING FLOOR AREA (A/C) TO REMAIN:	<u>1,317 S.F.</u>

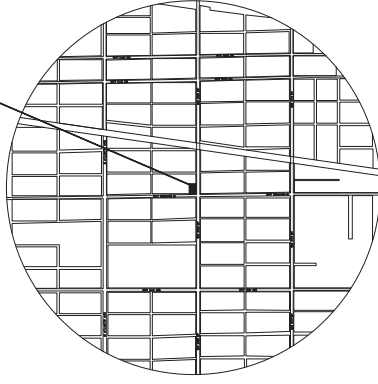
'B' BUSINESS PER 2017 F.B.C.

CONSTRUCTION TYPE:

LEVEL OF ALTERATION:

LEVEL OF ALTERATION.

PROJECT LOCATION



—PROJECT LOCATION



THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH ALL CITY OF DELRAY BEACH BUILDING DEPARTMENT REQUIREMENTS AND AMENDMENTS, PALM BEACH COUNTY REQUIREMENTS AND FOLLOWING CODES:

- 2017 FLORIDA BUILDING CODE
- NATIONAL ELECTRICAL CODE 2015
- 2017 THE FLORIDA FIRE PREVENTION CODE
- NFPA-101, 2015 EDITION W/ FLORIDA AMENDMENTS
- NFPA 1 UNIFORM FIRE CODE 2015 W/ FLORIDA AMENDMENTS
- FLORIDA STATUTES
- FLORIDA ADMINISTRATIVE CODE

NOT AT ALL

- COMBUSTIBLE WASTE MATERIALS, DUST & DEBRIS SHALL BE REMOVED FROM THE SITE AT THE END OF EACH SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATION
- ANY CHANGES TO FIRE ALARM OR SPRINKLER SYSTEM SHALL BE UNDER SEPARATE PERMIT BY LICENSED INSTALLER
- DEMOLISH AND REMOVE ALL WALLS DESIGNATED TO BE REMOVED ON DEMOLITION PLAN. ADJACENT SURFACES TO BE PROTECTED AND PATCHED TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL DEMOLITION WORK SHALL BE PERFORMED BY MECHANICS SKILLED AND LICENSED IN TRADE INVOLVED.
- REMOVE ALL FLOORING WHERE INDICATED. FLOORING TO REMAIN MUST BE COVERED AND PROTECTED DURING THE DURATION OF CONSTRUCTION.
- REMOVE ALL CABINETS, COUNTERS AND SHELVING WHERE EVER INDICATED.
- ELECTRICAL LINES AND CIRCUITS THAT ARE IN THE DEMOLITION SHALL BE CAPPED OR DISABLED AT THE ELECTRIC PANEL AS REQUIRED BY N.E.C. LOCAL CODES, ORDINANCES AND OSHA.
- ALL MECHANICAL, PLUMBING AND OTHER SYSTEMS THAT ARE IMPACTED BY DEMOLITION WORK.
- CONTRACTOR IS REQUIRED AND IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION WORK REQUIRED TO ACCOMPLISH THE SCOPE OF WORK.
- CAP ALL WATER LEAD, LINES AND SEWER LINES BELOW GRADE FOR ALL PLUMBING. FIXTURES DESIGNATED TO BE REMOVED

LEGEND

CONC. = CONCRETE
 CBS WALL = CONCRETE BLOCK STRUCTURE
 G.E. = GRASS EASEMENT
 A = DELTA
 F.I.R. = FOUND IRON ROD
 F.I.P. = FOUND IRON PIPE
 F.N.H. = FOUND NAIL HOLE
 L.B. = LICENSED BUSINESS
 L = ARC DISTANCE
 L.M.E. = LAKE MAINTENANCE EASEMENT
 L.S. = LICENSED SURVEYOR
 N.V.D. = NORTH AMERICAN VERTICAL DATUM OF 1988
 N.V.D. = NORTH AMERICAN VERTICAL DATUM OF 1988
 N.V.D. = NORTH AMERICAN VERTICAL DATUM OF 1988
 O/L = ON LINE
 P.B. = PLAT BOOK
 P.C. = PAGE
 P.F. = PLAT
 P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER
 P.C.P. = PERMANENT CONTROL POINT
 R/W = RIGHT OF WAY
 R = RADIUS
 ISAOK = ITS SUCCESSORS AND/OR ASSIGNS
 AIMA = AS THEIR INTEREST MAY APPEAR

SYMBOLS

AIR CONDITIONER
 CATCH BASIN
 WATER METER
 IRRIGATION VALVE
 BACKFLOW PREVENTER
 FIRE HYDRANT
 WATER VALVE
 CABLE BOX
 FPL TRANSFORMER
 FIBER OPTIC
 MANHOLE
 UTILITY POLE
 LIGHT POLE
 CONCRETE POLE
 WOOD POLE
 TELEPHONE BOX
 ANCHOR
 EXISTING ELEVATION
 COVERED AREA
 CBS. WALL
 OVERHEAD LINE (OH)
 CHAIN LINK FENCE (CLF)
 WOOD FENCE (WF)
 METAL FENCE (MF)

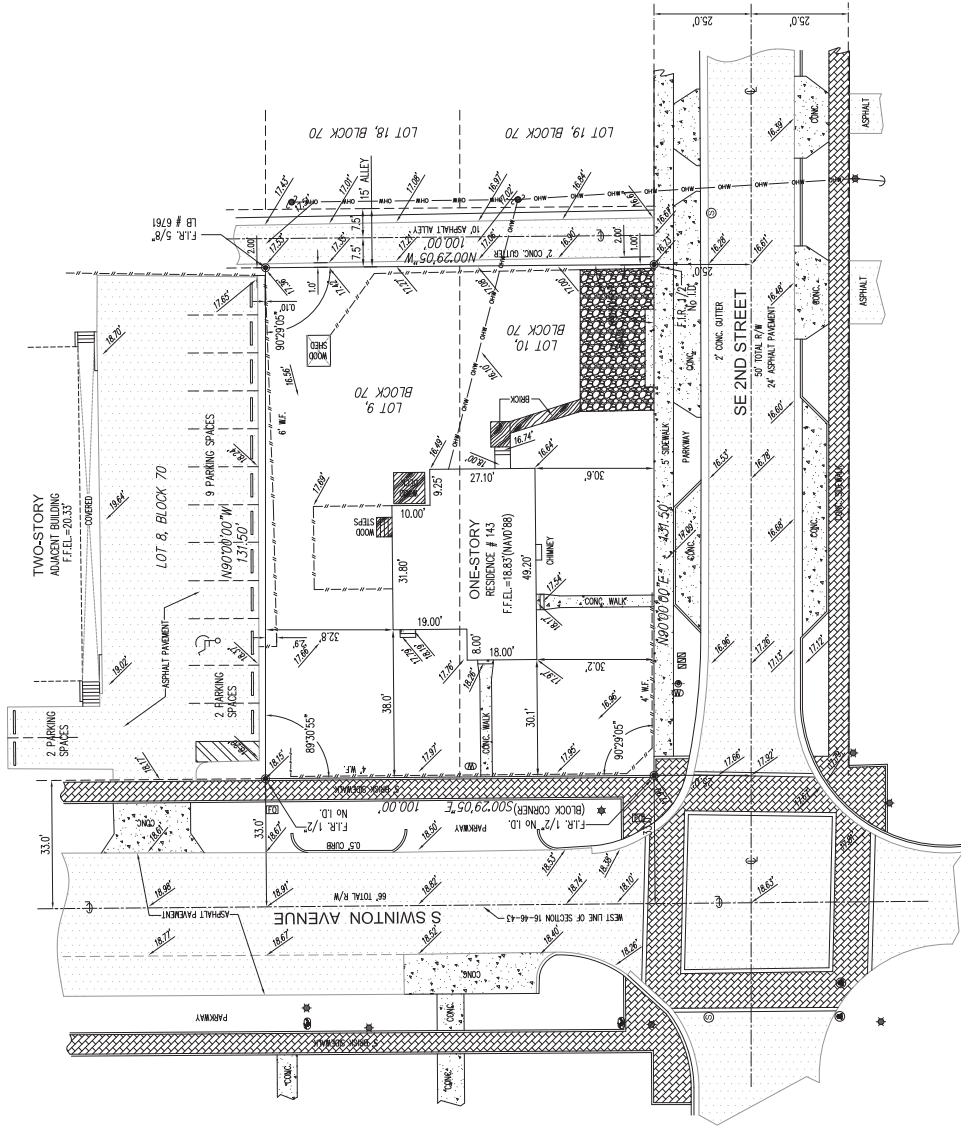
CERTIFIED TO:
 1. WIGEL DEVELOPMENT

LEGAL DESCRIPTION:

LOTS 9 AND 10, BLOCK 70, OF THE AMENDED PLAT OF SUNDY AND
 SUNDY, INCORPORATED, A CORP. OF THE STATE OF FLORIDA, IN
 PLAT BOOK PAGE 17, OF THE PUBLIC RECORDS OF PALM BEACH
 COUNTY, FLORIDA.

SURVEY NOTES:
 LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY AS SHOWN HEREON. LANDS SHOWN
 HEREON ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE ACCURACY OF THE SURVEY.
 RIGHT-OF-WAYS OF RECORD, OTHER RESTRICTIONS OR RESERVATIONS, DESCRIPTIONS PROVIDED
 BY CLIENT, OR THEIR REPRESENTATIVE, ALL DOCUMENTS ARE RECORDED IN SAME COUNTY AS
 THIS SURVEY. THIS SURVEY IS BASED ON THE ASSUMPTION THAT THE SURVEYED PROPERTY
 MEETS ACCURACY STANDARD FOR SUBURBAN SURVEYS (1 FOOT IN 7500 FEET). ALL ELEVATIONS
 SHOWN HEREON ARE REFERENCED TO NAVD83, UNLESS OTHERWISE NOTED.

GRAPHIC SCALE



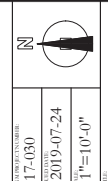
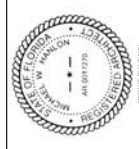
BENCHMARK OF ORIGIN: PALM BEACH COUNTY BENCHMARK "Z 233"
 ELEVATION: 16.020 (NAVD83)

SHEET 1 OF 1

TITLE: MAP OF BOUNDARY SURVEY		SCALE: 1" = 20'		NOTES/REVISIONS		THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 30-17, FLORIDA ADMINISTRATIVE CODE.	
COMMUNITY PANEL #	125102-0979-F	FLOOD ZONE	X	BASE FLOOD EL.	N/A	DATE	08/29/2018
DATE OF FIRM	10/05/2017	BASIS OF BEARING	E R/W LINE SWINTON AVENUE, SAID LINE HAVING AN ASSUMED BEARING OF S0029.05°E.	DATE	08/29/2018	DATE	08/29/2018
PROPERTY ADDRESS	143 S SWINTON AVENUE, DELRAY BEACH, FLORIDA 33483	DATE	08/22/2017	PARTY CHIEF	PABLO	DATE	08/22/2017
NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.		JOHN E. KUHAH, P.S.M., STATE OF FLORIDA		DATE		08/29/2018	
BASELINE LAND SURVEY, LLC		1400 N.W. 1st COURT		BOCA RATON, FLORIDA 33432		(561) 417-0700	
LB-8229		JOB NO. 17-08-028					

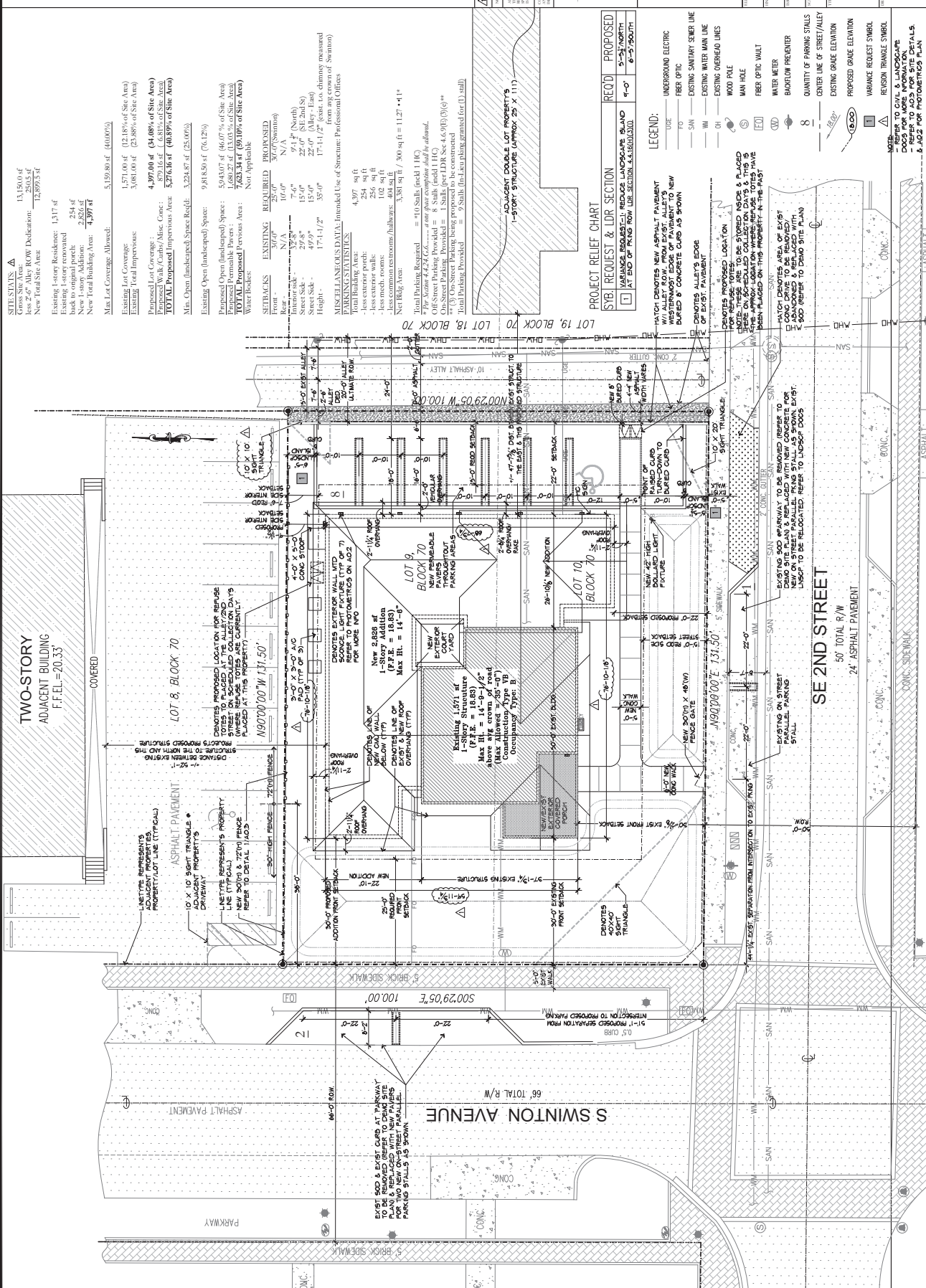
HNM ARCHITECTURE OFFICES

143 South Swinton Avenue
Delray Beach, Florida



A-0.1

1 SITE PLAN



SITE STATISTICS

Grass Site Area	13,150.0 sf
Less 2.4' Alley ROW Dedication	250.5 sf
New Total Site Area	12,899.5 sf
Existing 1-story Residence	1,317 sf
Back to original patch	254 sf
New 1-story Addition	2,826 sf
New Total Building Area	4,397 sf
Max Lot Coverage Allowed	5,159.80 sf (40.00%)
Existing Lot Coverage	1,371.00 sf (10.63% of Site Area)
Existing Total Improvements	3,081.00 sf (23.88% of Site Area)
Proposed Lot Coverage	4,397.00 sf (34.08% of Site Area)
Proposed Total Improvements	5,276.56 sf (40.89% of Site Area)
Min. Open Unimproved Space Req'd	3,224.87 sf (25.00%)
Existing Open (Unimproved) Space	9,818.59 sf (76.12%)
Proposed Open (Unimproved) Space	5,043.07 sf (39.07% of Site Area)
Proposed Permissible Paved Area	1,088.27 sf (8.43% of Site Area)
Proposed Permissible Paved Area	1,088.27 sf (8.43% of Site Area)
Water Bodies	Not Applicable

SETBACKS

EXISTING	REQUIRED	PROPOSED
Front	N/A	10'-0"
Side	N/A	10'-0"
Back	N/A	10'-0"
Interior	N/A	7'-6"
Street Side	29'-8"	15'-0"
Street Side	49'-9"	15'-0"
Height	17'-1 1/2"	35'-0"

MISCELLANEOUS DATA: Intended Use of Structure: Professional Offices

PARKING STATISTICS:

Total Building Area	4,397 sq ft
Total Building Volume	254 cu ft
- less exterior walls	256 sq ft
- less mech. rooms	102 sq ft
- less common entrance/hallways	301 sq ft
Net Bldg. Area	3,831 sq ft / 300 sq ft = 12.77 + 1*
Total Parking Required	= 410 (Based on 1100)

** If the lot area is 4,274 sq ft, a one space exemption shall be allowed.*

*** (3) On-Street Parking being proposed to be constructed*

**** Total Parking Provided = 9 Stalls (for 1st floor being granted for (1) stall)*

PROJECT RELIEF CHART

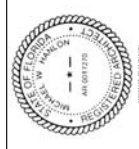
STB REQUEST & LDR SECTION	REQ'D	PROPOSED
1 VARIANCE REQUEST: REDUCE LANDSCAPE BLAND AT END OF POND FOR LDR SECTION 10.00/70	9'-0"	5'-3" NORTH 8'-3" SOUTH

- LEGEND:**
- UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER MAIN LINE
 - EXISTING OVERHEAD LINES
 - WOOD POLE
 - MAN HOLE
 - FIBER OPTIC WALT
 - WATER METER
 - BACKFLOW PREVENTER
 - QUANTITY OF PARKING STALLS
 - CENTER LINE OF STREET/ALLEY
 - EXISTING GRADE ELEVATION
 - PROPOSED GRADE ELEVATION
 - VARIANCE REQUEST SYMBOL
 - REVISION TRIANGLE SYMBOL
- NOTES:**
- REFER TO CIVIL & LANDSCAPE DRAWINGS FOR DETAILS
 - REFER TO A03 FOR SITE DETAILS
 - REFER TO A02 FOR PHOTOGRAPHIC PLAN

2	NTS	BOLLARD FIXTURE



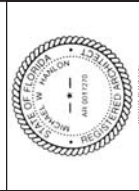
HNM ARCHITECTURE OFFICES
143 South Swinton Avenue
Delray Beach, Florida

[illegible]

TITLE: PHOTOMETRIC SITE PLAN

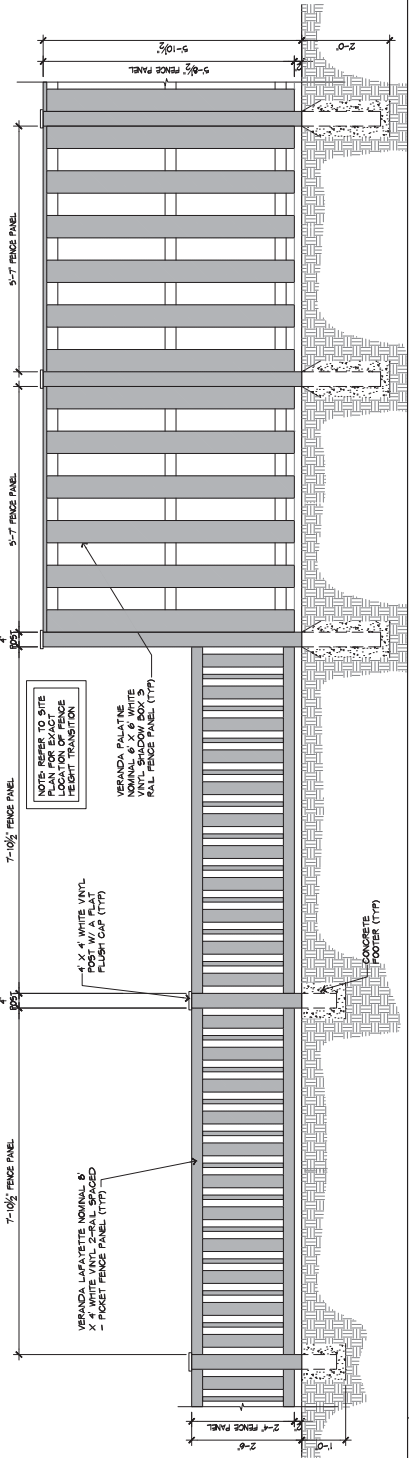
A-0.2
DRAWING NUMBER

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF HNH ARCHITECTURE OFFICES. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF HNH ARCHITECTURE OFFICES. HNH ARCHITECTURE OFFICES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT.

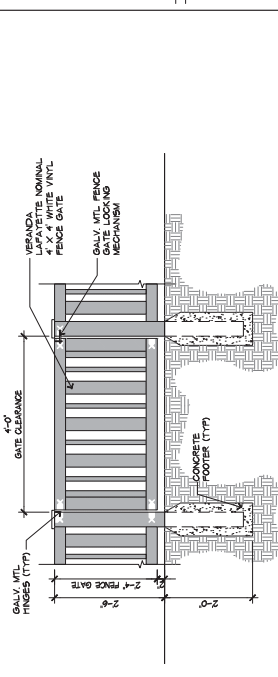


PROJECT NO.	17-030
DATE	2019-06-10
STATUS	AS NOTED
TITLE	SITE DETAILS

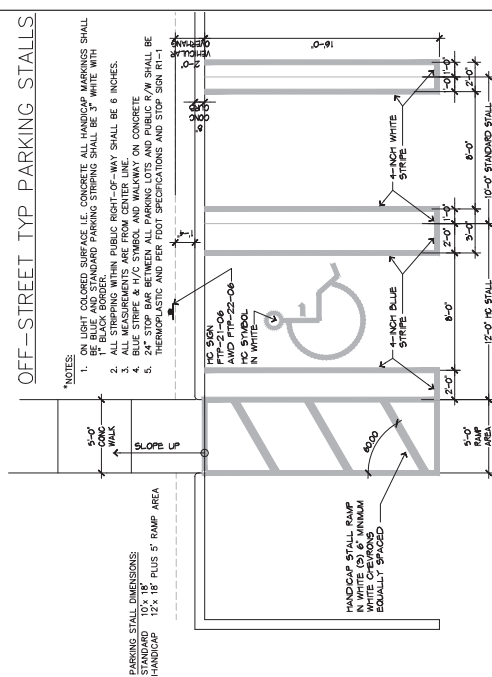
A-0.3



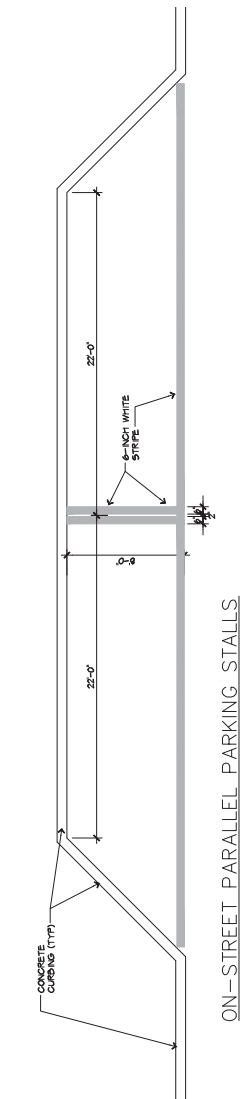
1 FENCE - HEIGHT TRANSITION ELEVATION



3 30" (H) FENCE GATE



5 PARKING STALL DETAIL



4 ON-STREET PARALLEL PARKING STALLS

4 PARKING STALL DETAIL

PAVEMENT MARKING SPECIFICATIONS RT 8.1g

PAVEMENT MARKING SPECIFICATIONS RT 8.1b

ALL PAVEMENT MARKINGS

ALL paved surfaces shall be properly marked prior to the hours of darkness.

RAISED PAVEMENT MARKERS

- RP.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- RP.M.s shall be installed on all stop bars, by order meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- RP.M.s shall be installed using epoxy thermoplastic on asphalt and epoxy on concrete.

OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be thermoplastic or paint, but must be approved for all stop bars adjacent to public right-of-way.

PAVEMENT MARKING SPECIFICATIONS RT 8.1g

ALL PAVEMENT MARKINGS

All pavement markings to be installed per the City Engineer and shall conform to the requirements of F.D.O.T. and the Manual on Uniform Traffic Control Devices, (MUTCD).

PERMANENT MARKINGS

Installation:

- All markings shall be installed by the extruded method.
- Markings shall be free of weeds, trees, drips, and other obstructions.
- Chalk shall be used for all layout markings.
- All materials shall be epoxy or hydrosol.
- Thermoplastic meeting all FDOT specifications.

Material:

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:

- Reflective glass spheres are to be applied to all markings and markings per FDOT specifications.

Alternate Material:

- STAYMARK marking tape, or equivalent may be used, as approved or directed by the City Engineer.

Layout:

- Layout shall be made using marking chalk.
- Layout shall be approved by the City Engineer prior to the placement of final markings.

TEMPORARY MARKINGS

Temporary markings may be used only as specified in this section, or as approved or directed by the City Engineer.

Final Pavement Markings:

- Only full bodied marking tape is allowed.
- All tape shall be totally removed concurrent with the removal of the temporary pavement.

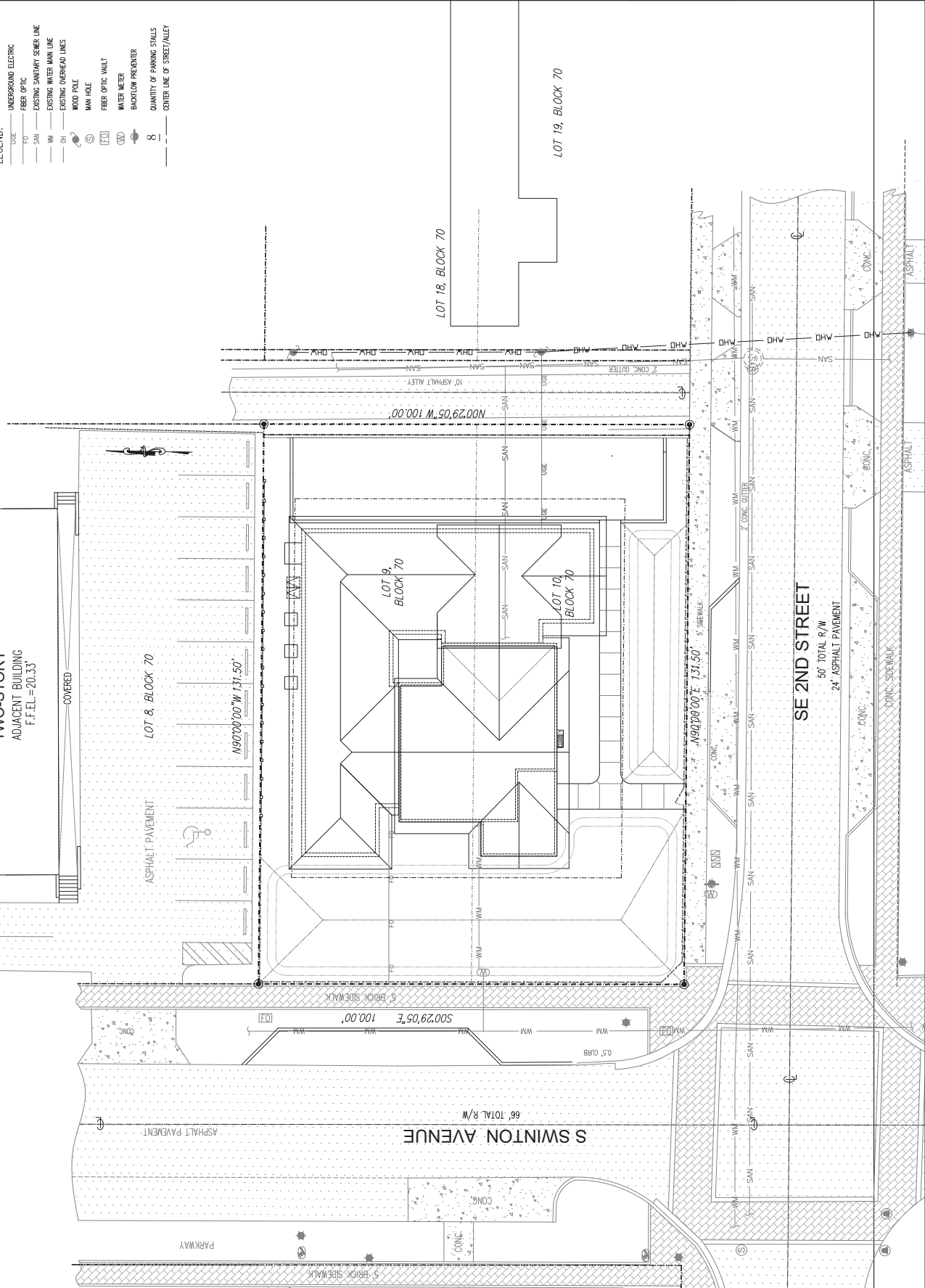
Other Pavement Surfaces:

- Intermediate pavement surfaces may be marked with FDOT approved materials, designs, and specifications.

6 PAVEMENT MARKING SPECIFICATIONS

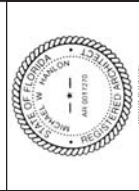
- LEGEND:
- UNDERGROUND ELECTRIC
 - FEED OPTIC
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER MAIN LINE
 - EXISTING DRAINAGE LINES
 - WOOD POLE
 - MAN HOLE
 - FEED OPTIC VAULT
 - WATER METER
 - BACKFLOW PREVENTER
 - QUANTITY OF PARKING STALLS
 - CENTER LINE OF STREET/ALLEY

TWO-STORY
ADJACENT BUILDING
F.F. EL. = 20.33'



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Delray Beach, Florida

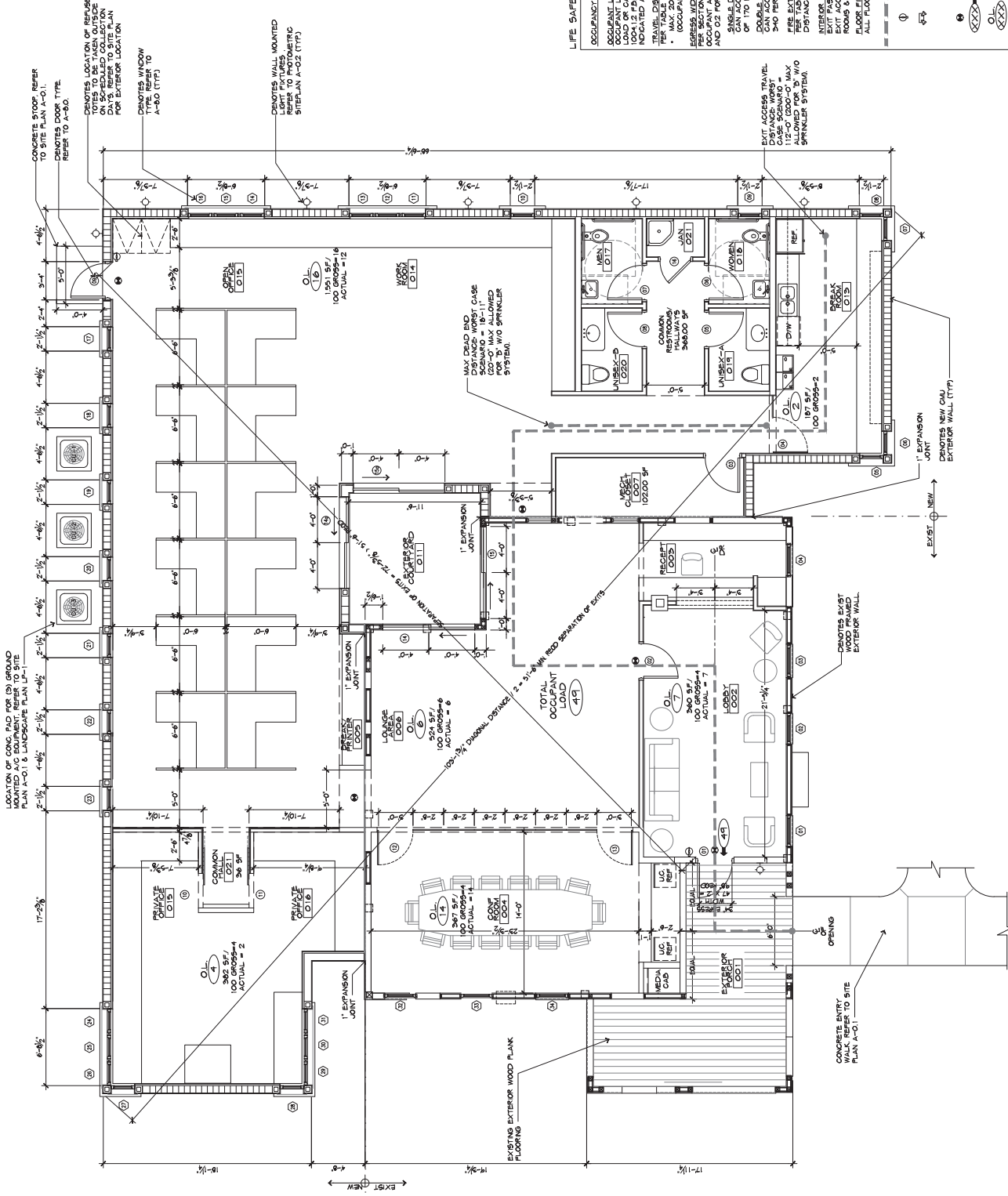
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DATE OF PLAN	17-030
REVISIONS	2019-06-10
DATE	AS NOTED
TITLE	COMPOSITE PLAN

A-0.4

1 COMPOSITE PLAN



LIFE SAFETY NOTES AND LEGEND

OCCUPANT LOADS
OCCUPANT LOADS (O.L.) ARE BASED ON ACTUAL
LOAD OR CALCULATED LOAD PER TABLE
1004.1.2 F.D.C. THE GREATER OF THE TWO IS
USED.

INDICATED AS UL.
TRAVEL DISTANCE.

- MAX. 200 FT TRAVEL DISTANCE

EGRESS WIDTH _____
(DOOR AND 10' WITHOUT SPRINKLER SYSTEM)

PER SECTION 1005.1 FDC EGRESS WIDTH PER OCCUPANT ARE REQUIRED TO BE 0.3 FOR STAIRS AND 0.2 FOR OTHER EGRESS COMPONENTS

SINGLE DOOR.

CAN ACCOMMODATE THE EGRESS OF 170 PERSONS ($34' \times 2' = 170$)

DOUBLE DOOR:
CAN ACCOMMODATE THE EGRESS OF
340 PERSONS (48" / 2" = 340)

FIRE EXTINGUISHERS:

PER TABLE 62.1.1, NFPA 10, MAX. TRAVEL DISTANCE TO EXTINGUISHER IS 75 FT.

INTERIOR WALL & CELING FINISH:
EXIT PASSAGEWAYS - CLASS B' MIN

EXIT ACCESS CORRIDORS - CLASS 'B' MIN.
ROOMS & ENCLOSED SPACES - CLASS 'C' MIN.

FLOOR FINISH:
ALL FLOOR FINISHES - CLASS "I" MIN

EXIT ACCESS PATH OF TRAVEL

① FIRE EXTINGUISHER

 EMERGENCY LIGHT FIXTURE

NOTE: NOT SHOWN, LIGHTING
FIXTURES SHALL HAVE EM
BALLAST AS NEEDED

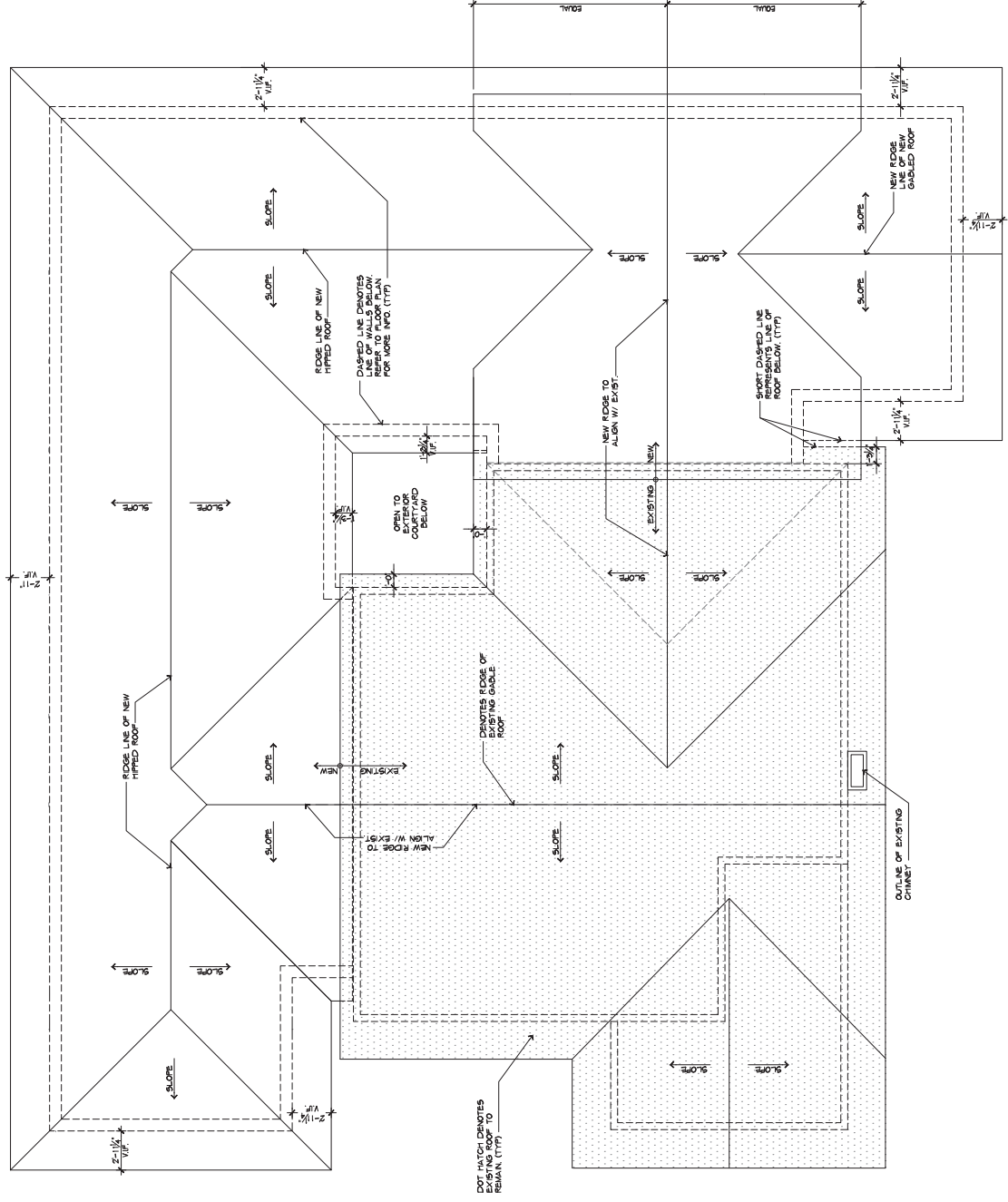
EXIT LIGHT FIXTURE

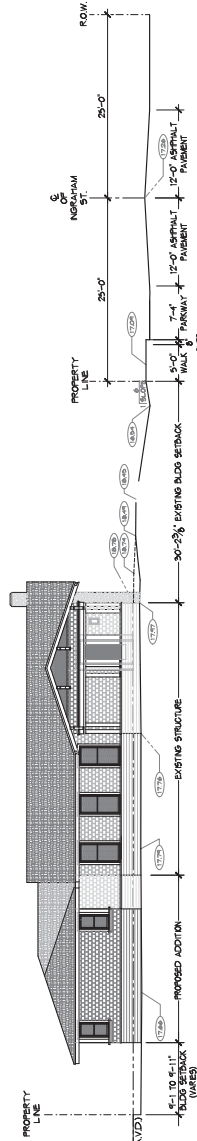
EXIT ACCESS

OL. (XXX) OCCUPANT LOAD

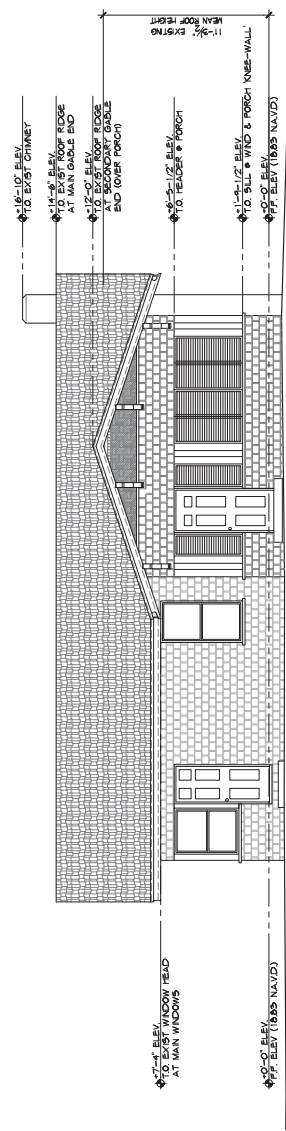
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PROPOSED FLOOR PLAN

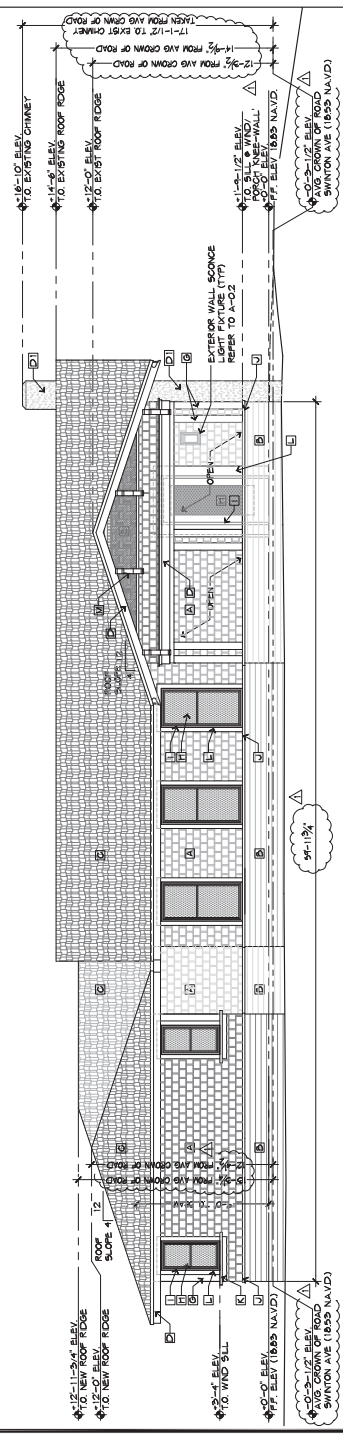




1 PROPOSED WEST - STREET ELEVATION (Swinton Avenue)



2 EXISTING - WEST ELEVATION



3 PROPOSED WEST ELEVATION

FINISH LEGEND

A	NATURAL CEDAR WOOD SHINGLES - SONG PATTERN - 1
B	HIDEPLANK SONG - ROK GRAY
C	ASPHALT SHINGLES - SHADOW GRAY
D	ACCENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006
E	EXISTING STONE FINISH CHIMNEY SLIVERPLATE - SW 7649
F	NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 2
G	NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 3
H	PAINTED WOOD COLLARS - EXTRA WHITE - SW 7006
I	GLASS - CLEAR
J	WINDOW FRAME - WHITE ALUMINUM
K	PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
L	PAINTED WOOD SILL 2 - GAUDET GRAY - SW 7019
M	PAINTED WOOD WINDOW CASING - EXTRA WHITE - SW 7006
N	PAINTED WOOD ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
O	ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

4 FINISH LEGEND

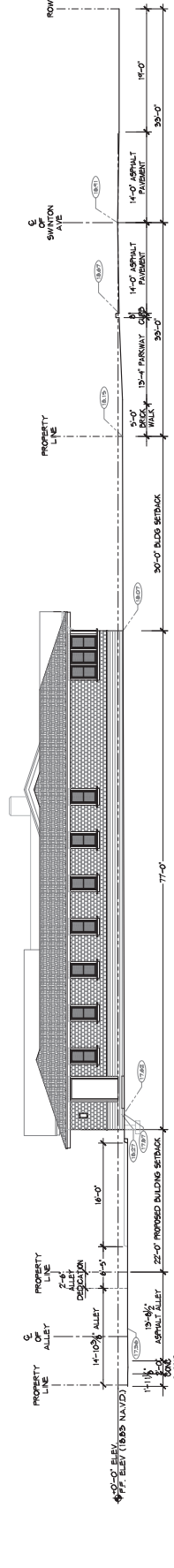
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143 South Swinton Avenue
Delray Beach, Florida

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

HNM ARCHITECTURE
143 South Swinton Avenue
Delray Beach, Florida 33444
Phone: 561.279.1111
Fax: 561.279.1112
Email: info@hnmarch.com
Website: www.hnmarch.com



PROJECT: WEST ELEVATION
DATE: 2019-07-24
BY: [Signature]
CHECKED: [Signature]
SCALE: AS NOTED
SHEET: WEST ELEVATION
PROJECT NUMBER: A-4.1



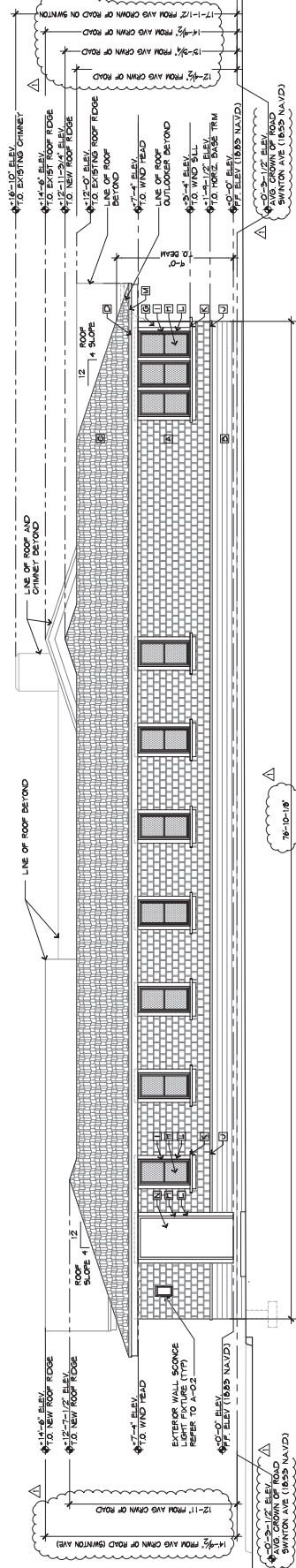
1 PROPOSED NORTH ELEVATION

FINISH LEGEND

[A] NATURAL CEDAR WOOD SHINGLES - SONG PATTERN - 1
[B] HARDPLANK SONG - IRON GRAY
[C] ASPHALT SHINGLES - SHADOW GRAY
[D] AGENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006
[E] EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7649
[F] NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 2
[G] NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 3
[H] PAINTED WOOD COLUMNS - EXTRA WHITE - SW 7006
[I] GLASS - CLEAR
[J] WINDOW FRAME - WHITE ALUMINUM
[K] PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
[L] PAINTED WOOD SILL 2 - GAUSETT GRAY - SW 7019
[M] PAINTED WD. WINDOW CASING - EXTRA WHITE - SW 7006
[N] PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
[O] ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

2 EXISTING - NORTH ELEVATION

3 PROPOSED NORTH ELEVATION



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Delray Beach, Florida

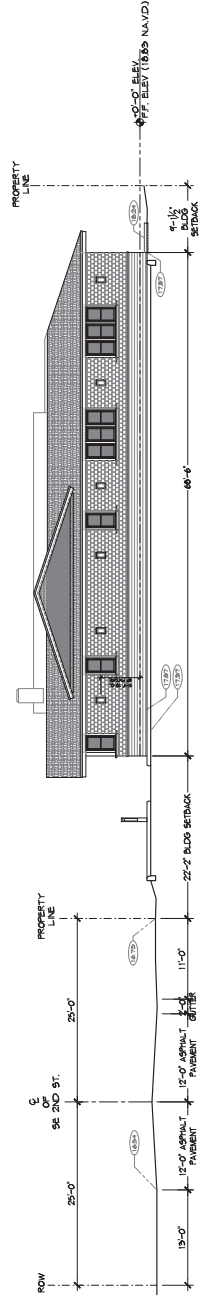
2019-07-24
TAC COMMENTS
NO
REVISIONS
ALL DIMENSIONS ARE IN FEET AND INCHES AND SHALL BE ROUNDED UP TO THE NEXT WHOLE INCH. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

HNH
ARCHITECTURE
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Fax: 561-333-3333
Email: info@hnharch.com
Website: www.hnharch.com

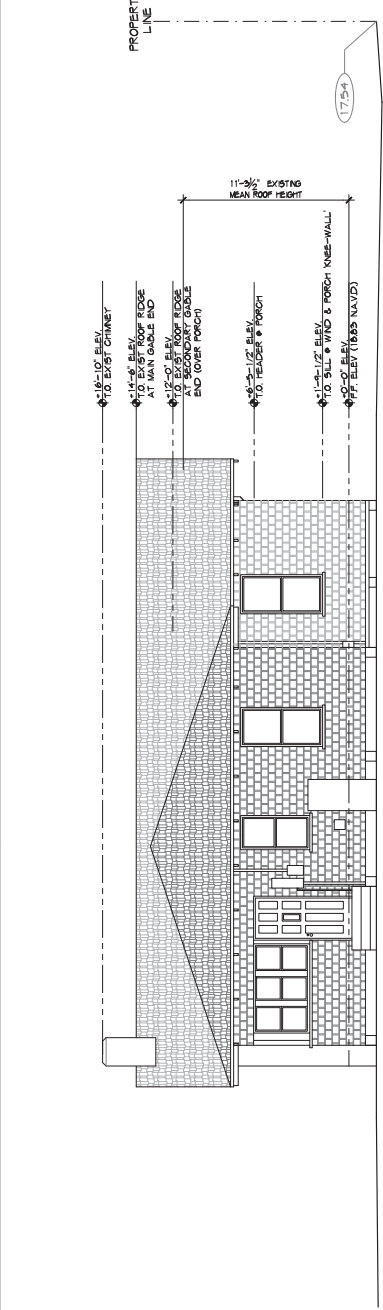


PROJECT: 143 SOUTH SWINTON AVENUE
DATE: 2019-07-24
SCALE: AS NOTED
SHEET: NORTH ELEVATION

A-4.2

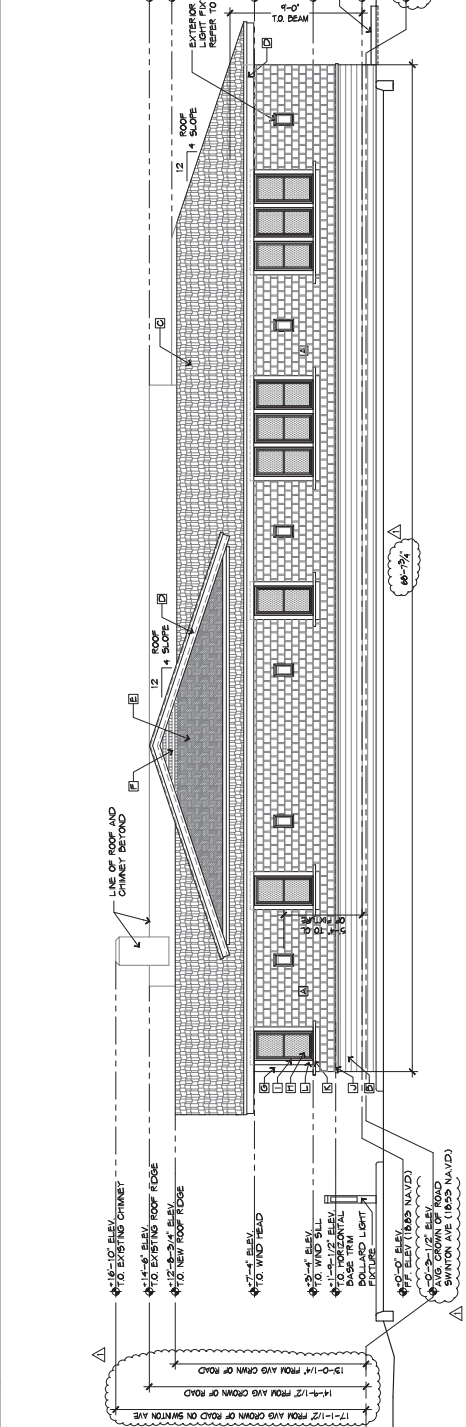


1 PROPOSED EAST ELEVATION (Alley)



- FINISH LEGEND
- [A] NATURAL CEDAR WOOD SHINGLES- SONG PATTERN - 1
 - [B] HIDEPLANK SONG - ROK GRAY
 - [C] ASPHALT SHINGLES - SHADOW GRAY
 - [D] ACCENT COLOR WOOD FASCIA - EXTRA WHITE - SW 7006
 - [E] EXISTING STONE FINISH CHIMNEY SILVERPLATE - SW 7849
 - [F] NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 2
 - [G] NATURAL CEDAR WOOD SHINGLE SONG - PATTERN - 3
 - [H] NATURAL CEDAR WOOD SHINGLE SONG - EXTRA WHITE - SW 7006
 - [I] GLASS - CLEAR
 - [J] WINDOW FRAME - WHITE ALUMINUM
 - [K] PAINTED WOOD SILL 1 - EXTRA WHITE - SW 7006
 - [L] PAINTED WOOD SILL 2 - GAUSETT GRAY - SW 7019
 - [M] PAINTED WD. WIND DOOR CASING - EXTRA WHITE - SW 7006
 - [N] PAINTED WD. ROOF OUTLOOKERS - EXTRA WHITE - SW 7006
 - [O] ENAMEL PAINTED METAL DOOR - EXTRA WHITE - SW 7006

2 EXISTING - EAST ELEVATION

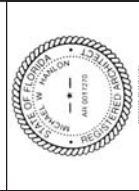


3 PROPOSED EAST ELEVATION

HNM ARCHITECTURE OFFICES
143 South Swinton Avenue
Delray Beach, Florida

301012-24
TAC COMMENTS
1/1/2020

HNM
ARCHITECTURE



PROJECT NUMBER: 17-030
DATE: 2019-07-24
STATUS: AS NOTED
EAST ELEVATION

A-4.3

1 of 1

Delray Beach, Florida
143 South Swinton Avenue
Delray Beach, Florida

U



PAVING + DRAINAGE PLAN



LEGEND

- | | |
|-----|---|
| == | EXISTING PAVEMENT |
| == | PROPOSED PAVEMENT |
| == | PROPOSED STREET SEWER |
| == | PROPOSED PERFORATED PIPE DRAINAGE |
| == | PROPOSED GRADE |
| == | EXISTING GRADE |
| --- | DIRECTION OF DRAINAGE FLOW |
| ■ | PROPOSED CATCH BASIN ON INLET |
| □ | EXISTING CATCH BASIN ON INLET |
| □ | EXISTING STORM MANHOLE |
| ● | PROPOSED STORM MANHOLE |
| ○ | PROPOSED TYPE "C" C&G OUTLET |
| ○ | EXISTING TYPE "C" C&G OUTLET |
| ○ | EXISTING TYPE "A" C&G OUTLET |
| ○ | EXISTING TYPE "B" C&G OUTLET |
| --- | RIGHT-OF-WAY LINE ON PROPERTY LINE |
| --- | PROPOSED CONCRETE SIDEWALK |
| --- | PROPOSED PERVIOUS PAVEMENT |
| --- | REINFORCED CONCRETE |
| --- | REINFORCED CONCRETE WITH HIGH INTENSITY FIBER REINFORCEMENT |
| --- | EXISTING PLAYERS |
| --- | EXISTING GAS MAIN |
- ALL MAINTENANCE OF TRAFFIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO POST AND REMOVE NEAR 1600.

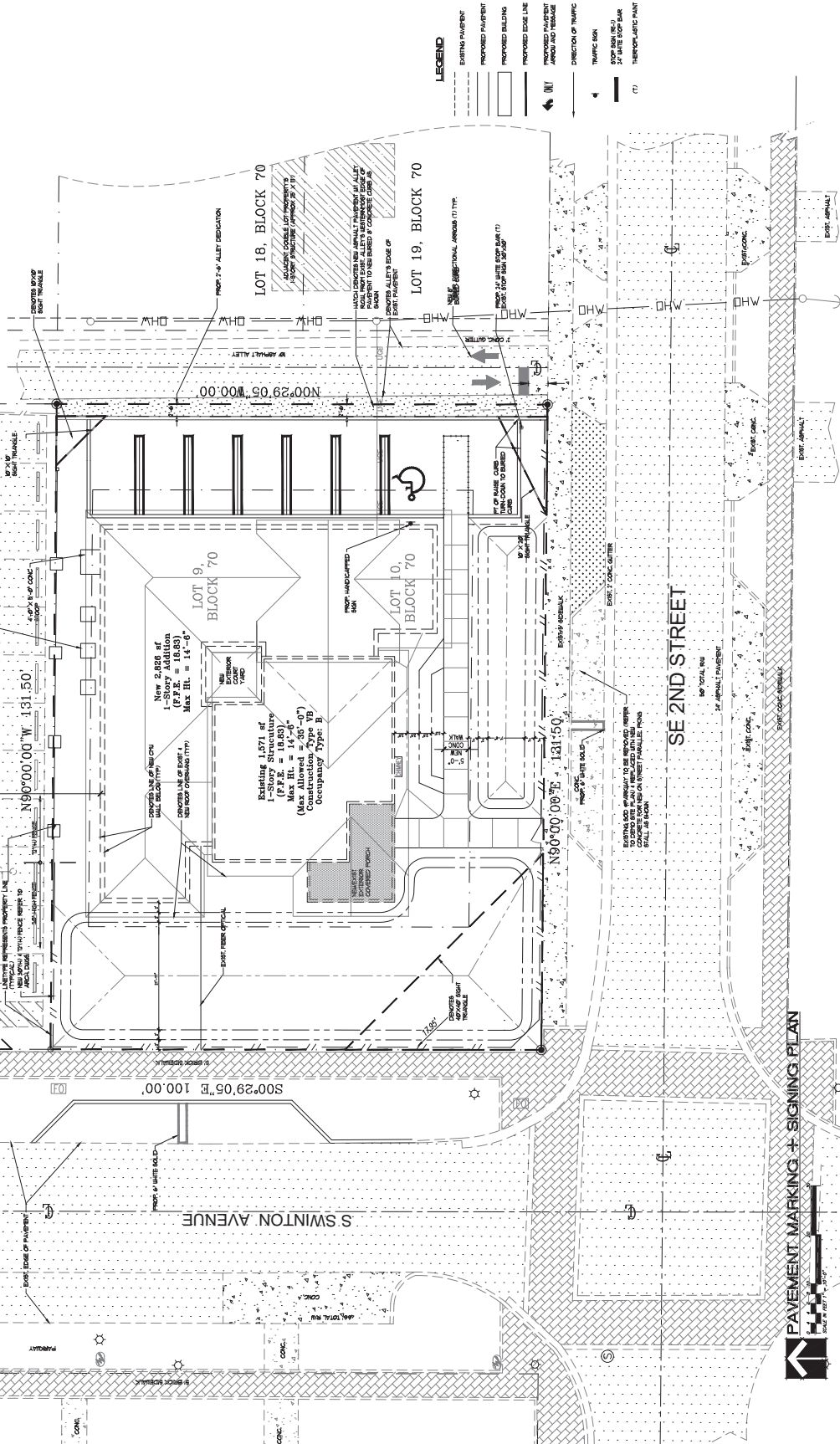
Delray Beach, Florida
143 South Swinton Avenue
Delray Beach, Florida



MZ
ARCHITECTURE
35204th Street, New York, NY 10001-1111
Tel: 212.222.2222

SHEET PROJECT NUMBER: 17-030	ISSUED DATE: 2018-11-02	SCALE: 1" = 10'-0"	
	FORGE L. CROFT, P.E. REG. ENGINEER IN USAS CIVIL AND MECHANICAL 12044242		
	17-030		

PAVEMENT MARKING & SIGNING PLAN

[illegible]

PAVEMENT MARKING + SIGNING PLAN



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143 South Swinton Avenue
Delay Beach, Florida

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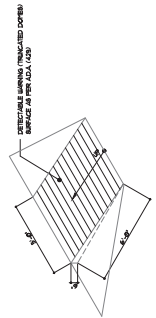
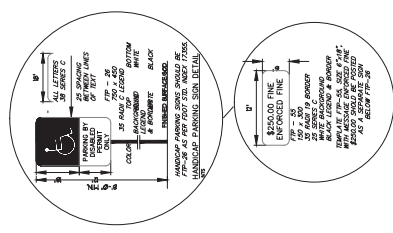
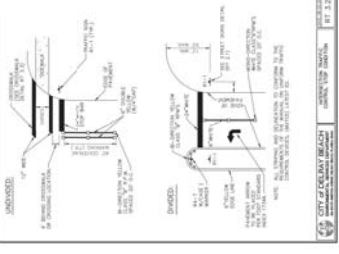
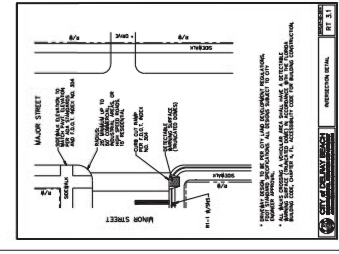
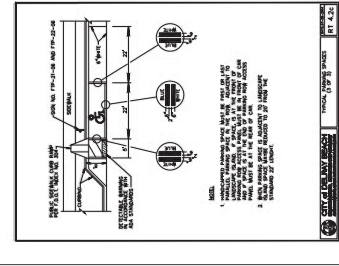
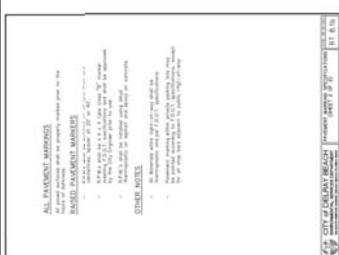
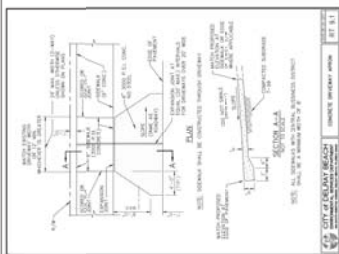
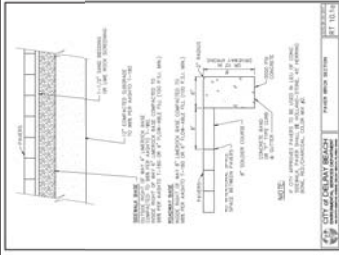
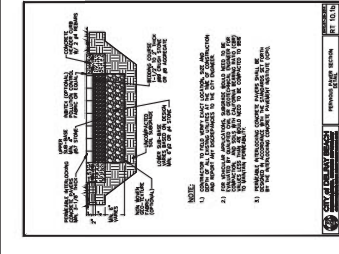
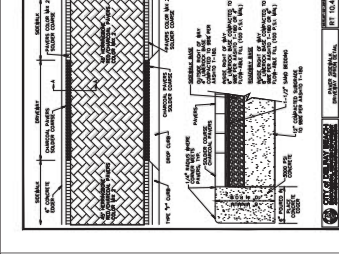
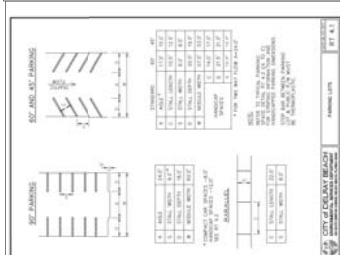
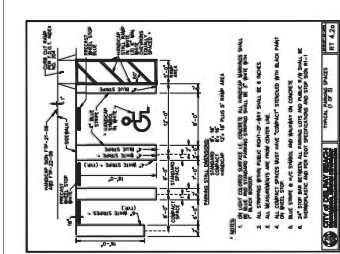
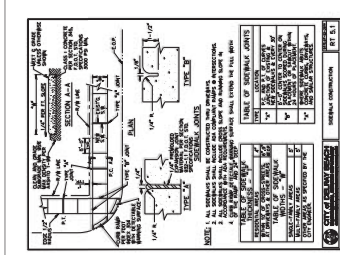
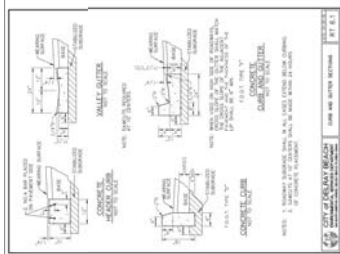
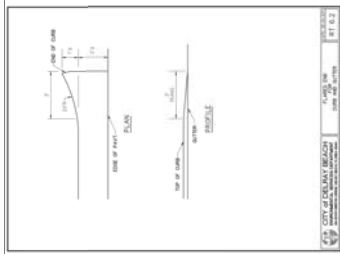
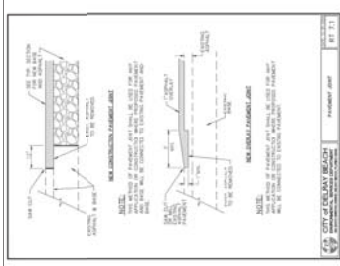
HNM
ARCHITECTURE
2020 SOUTH SWINTON AVENUE, SUITE 100, DELAY BEACH, FL 33435
TEL: 561.233.1111 FAX: 561.233.1112
WWW.HNMARCHITECTURE.COM

CAMERO & ASSOCIATES, INC.
CIVIL ENGINEERS
143 SOUTH SWINTON AVENUE, SUITE 100
DELAY BEACH, FL 33435
TEL: 561.233.1111 FAX: 561.233.1112
WWW.CAMERO-INC.COM

DATE: 11-02-2018
PROJECT: 17-030
SCALE: N.T.S.
TITLE: PAVING & DRAINAGE DETAILS

PROJECT: 17-030
DATE: 11-02-2018
SCALE: N.T.S.
TITLE: PAVING & DRAINAGE DETAILS

C-3



H.C. RAMP DETAIL (1:12 SLOPE)
N.T.S.

143 South Swinton Avenue
Delray Beach, Florida

ARCHITECTURE
35204 1st Street NE, Seattle 98105-5447, USA
Tel: +1 206 325 3333

17-030 ISSUED DATE: 2018-11-02	HMM PROJECT NUMBER:
	SCALE: 1" = 10'-0"
	FORGE LLC, CHICAGO, ILL. HILL ENGINEERING INC., CHICAGO, ILL. HILL ENGINEERING INC., CHICAGO, ILL.

WATER AND SEWER PLAN

C-4



HNM ARCHITECTURE OFFICES

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143 South Swinton Avenue
Delay Beach, Florida

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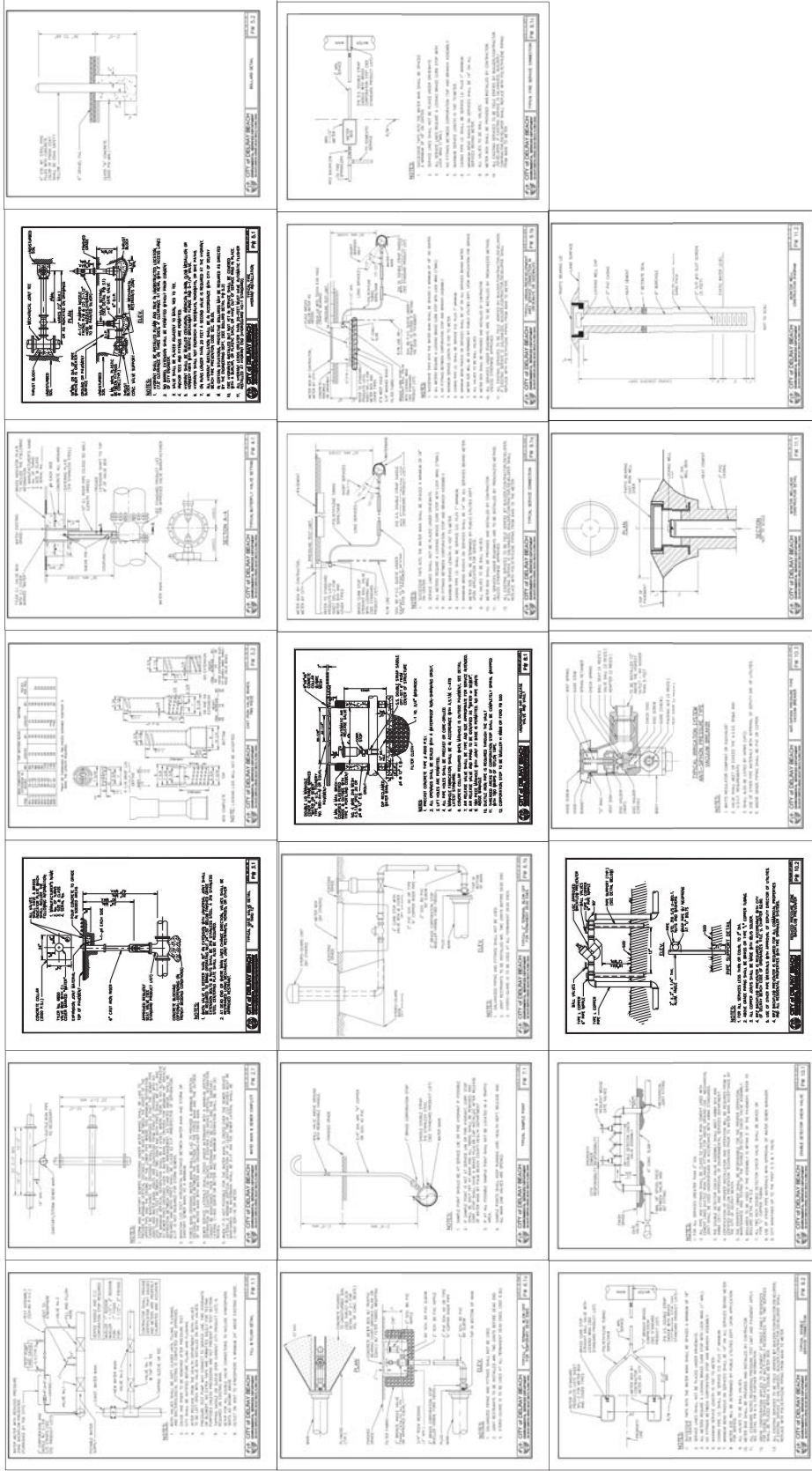
HNM
ARCHITECTURE

CAMERO & ASSOCIATES, INC.
CIVIL & MECHANICAL ENGINEERS
1000 PINEAPPLE BLVD. SUITE 100
DAYTONA BEACH, FL 32117
TEL: 386-255-1111
FAX: 386-255-1112

PROJECT NO. 17-030
SHEET NO. 2018-11-02
SCALE: N.T.S.
TITLE: WATER AND SEWER DETAILS

WATER AND SEWER DETAILS
SHEET NO. 2018-11-02

C-5



Describe the proposed project in detail and indicate if there is to be any phasing of the improvements:

Project consists of restoring and renovating an Existing 1,571 square foot, Historic Residential Structure, as well as constructing a new 2,826 square foot addition; in order to convert the property into the new offices for HNM Architecture, a local Delray Beach Architectural Firm since 2003, now relocating their offices to downtown Delray Beach. Expected occupancy for these new HQ offices shall be 15 to 20 occupants. The improvements proposed shall not be phased in any manner.

The existing 1-story, main structure is to remain with the exception of the renovation to a portion of the existing southwest corner of the structure that will revert back to its original function as an exterior porch, which shall now serve as the main entry to the building.

The new addition being proposed shall be a 1-story, 'L' shaped structure that connects to the existing structure along its secondary, East Facade and its tertiary, North Façade; thereby creating a new internal, open-air courtyard at the northeast corner of the original structure. The (4) facades of this newly created courtyard consist of (2) facades of the original structure and (2) facades of the new structure. The two primary facades of the existing structure, South Elevation (SE 2nd Street) and West Elevation (Swinton Avenue) are to be preserved in their entirety, less some alterations to fenestrations (doors and windows) and the aforementioned renovation of the original exterior porch.

The maximum building height for both the existing structure and the new proposed addition is 14'-6" (top of roof ridge @ gabled roof).

Proposed design characteristics for the restoration of the existing structure and that of the new addition shall both be compatible with the original Framed Vernacular/ Cottage Bungalow Architectural Style. These design characteristic include:

- Authentic Cedar shingle exterior wall cladding
- Double Pier Porch Columns
- Front Facing and Cross-Facing Gable Roofs
- Multiplane Roof Lines
- Exposed Roof Brackets
- Pier Foundations
- Casement Windows with Horizontal Mullions
- Exposed Exterior Chimney

Justification Statement -Compliance with Visual Compatibility Standards

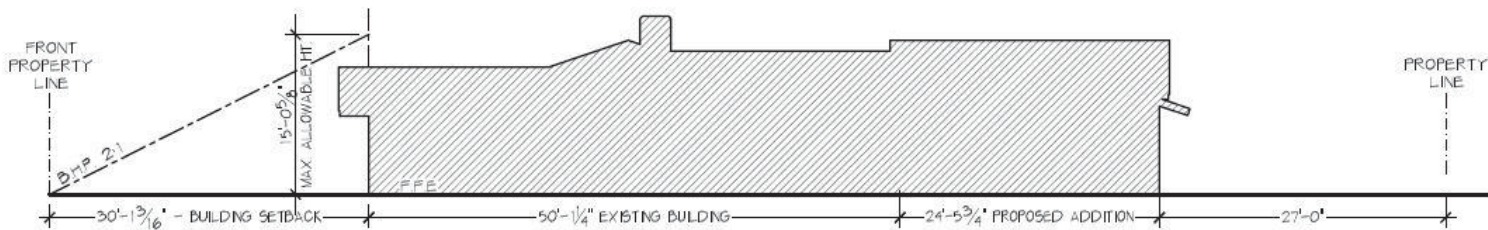
LDR Section 4.5.1(E)(7)

a) Height:

Existing Structure's Main Roof Overall Height is 14'-6" (top of ridge at North-South, Cross-Gable). New Addition proposes two new secondary roofs at the primary facades; hipped on Swinton (West elevation) and gabled on 2nd Street (South Elevation); with 12'-0" and 12'-8" overall roof heights, respectively. Along the West Elevation there is also a tertiary roof line (behind the aforementioned secondary hipped roof), which has a top of roof ridge height of 12'-11-3/4" that extends southerly for approximately 10 feet and terminates into the original structure's north facing gabled roof . This 12'-11-3/4" ridge height allows the addition's new roof to join the existing structures north façade and fall under this aforementioned existing Main Cross-Gable Roof height of 14'-6". Along the South Elevation(2nd Street) there is also a tertiary roof line (behind the aforementioned new 12'-8" high Gabled roof) with a top of ridge at 14'-6" to match and balance out the main/existing 14'-6" cross gable; however this tertiary roof at this height only extends the width of the existing structure's east façade and the eastern edge of this tertiary roof then 'pops' out along the east elevation as a gabled roof above and on top of the main roof along the east façade. This tertiary roof allows this portion of the new addition to join the existing structure's roof, which is an existing gabled roof on the original east façade.

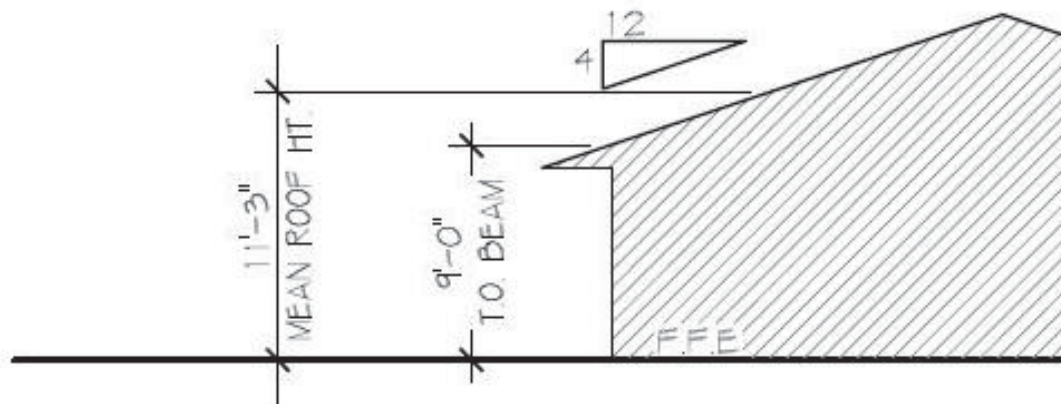
1. Building Height Plane

- a. see below for illustration of compliance with BHP:



2. First Floor Maximum Height:

- a. Height from finished floor to top of beam shall be 9'-0"
- b. Mean roof height of the highest roof shall be 11'-3"
- c. See below for illustration of compliance with 1st Flr Max Ht.



b) Front Façade Proportion:

West Elevation

The new addition is proportional to the main existing façade, in terms of height, scale and massing, in order to serve as 'a secondary and subordinate structure to the main mass of the historic building and not overwhelm the original building. Proportion of the addition is subordinate to the existing in that the existing historic structure has a width of 37'-0" and the new addition 22'-9"; thereby making the existing structure's mass more prominent over the subordinate/secondary, new addition. The addition is also subordinate to the existing in terms of height, in that the existing main roof over the existing 37 foot length of façade along this West elevation is 14'-6" high (top of ridge) and the new addition is 12'-0" (hipped roof) and 12'-9" (secondary roof), this lower roof height reduces the scale of the addition in comparison to the original structure. To further reduce the scale of the addition as it relates to the original structure, the south wall of addition's main element, extends east past the front (west wall) of the original structure and then jogs south, to tie into the original structure. To provide balance along this western façade, the 18-foot wide main element (small hipped roof) of the new addition is situated on the same plane as that of the 18-foot wide main element (open air porch with gable roof) of the original structure. Furthermore these two components also share a matching roof height of 12'-0" which provides for a near same proportion of these two elements and consequently allows this West Elevation to be completely balanced.

c) Proportion of openings (Windows and Doors):

All windows openings of the new addition (2' x 4' or 2:1) are the near same proportions as that of the larger window openings of the existing historic structure (2'-8" x 5'-6" or 1.95:1). Even though we have

introduced several of these larger windows, the location of these larger windows have been limited within the exterior walls of only the original historic structure in order to make the original structure appear more dominant, being that the smaller windows of approximately 2ft x 4ft are only used within the walls of the new addition's structure.

d) Rhythm of Solids to Voids:

The relationship of solids to voids of the new addition is visually compatible with the existing historic structure and district. Particular attention was taken to keep the openings of the new structure residential in scale to match the vocabulary of the historic residential structure even though the end use will be commercial in nature where larger glass openings are typical. The rhythm of solid to void is also well-balanced along this Western Primary Front Façade (Swinton), whereas the new 18'-0" wide main element of the addition presents a solid wall (less the corner windows) and the main element of the existing 18'-0" wide renovated open porch presents a void thereby presenting an easily discernable balanced and rhythmic relationship between Solids and Voids along this Western Elevation.

e) Rhythm of Buildings on Streets:

The relationship of the new structure with the new addition is compatible with the existing historic district with regards to open space between buildings. Along the south (2nd street), the distance of 'openness' from Swinton's eastern edge of pavement to the west edge of the structure is 50 feet, followed by this subject property's 75 ft southern façade length, then 60 feet of openness (parking, alley and green area) then the western edge of the adjacent property's (to the east) 100 ft long façade; thereby giving a balanced rhythm of 50 ft (open) 75 ft (building) 60 ft (open) 100 ft (building) along 2nd street. Along the West (Swinton), from 2nd Street's northern edge of pavement to the south face of the structure is 45 feet, followed by this subject

property's 60 ft western façade length, then 52 feet of openness (green area and parking lot of adjacent property (to the north) and then the adjacent property's building width of approximately 45 ft; thereby giving a balanced rhythm of 45ft-65ft-50ft. All compatible with existing siting of buildings along the street in this historic district, even though this subject property is somewhat unique to the historic district given the following:

- a) Its corner lot location
- b) Located at the south limit of the historic district
- c) Having a lot width of 100 ft and
- d) Situated across the street from St. Paul's Church a Community Facility.

f) Rhythm of Entrance and/or Porch Projections:

We are proposing to renovate the porch of the historic structure to its original design. Currently this space is enclosed. We will be utilizing the renovated porch as the main entrance to the building as originally intended, with the new front door facing Swinton. Renovating this porch to its original nature allows the original and historic relationship between porch and sidewalk to be reclaimed.

g) Relationship of Materials, Textures and Color:

The relationship of the materials, textures and color of the façade of the building will be of original materials with new natural cedar siding throughout. The unique pattern/texture at the gabled ends will be duplicated with new cedar siding as well. In addition to these materials, New Hardieplank siding will be used as a base to the building and new aluminum framed windows are being proposed; however both of these types of 'newer' materials are already represented throughout the Historic District. In order to make these 'newer' materials more compatible to authentic original materials, we are also providing wood

casings/trim/sills around all the windows/doors as well as framing the openings within the renovated porch with wood casings and trims. To separate the Hardieplank siding from the natural cedar siding, there is also a wood sill being proposed.

h) Roof Shapes:

The roof shapes of the new addition are the same type as the existing historic structure with gabled ends where the structures physically meet along with hipped roofs at the same slope as the existing historic structure. The existing structure utilizes hipped, gabled and cross-gabled roof types as does the new addition, which also utilizes all three of these roof types.

i) Walls of Continuity:

A new 30" high white vinyl composite fence comprised of 8ft panels (with top/bottom rails & vertical pickets of alternating widths) separated by 4" x 4" posts; is being proposed along the west and south perimeters of the site that abut Swinton (west) and SE 2nd Street (south). This 30" high fence is proportionate and visually compatible with the surrounding historic district. At the NW corner of the property the fence turns east along the northern property at a height of 30 inches for approximately 40 feet (which is the same distance from the property line to the original structure's main exterior wall facing Swinton, then increases to a height of 72 inches along the north property line. These fences form the enclosure along the East, West and North side, while the building's east façade creates the enclosure along the alley (east).

j) Scale of a Building:

1. The overall width of the building is 60% of the lot width, thereby making it compatible with the building size and mass of historic buildings and structures within the historic district for all development.
2. Not applicable. Single story building.
3. Porch is being restored to its original design and location to remain at the southwest corner.

k) Directional Expression of Front Elevation:

The 1-story structure being proposed is horizontal by nature, given its height vs façade length ratio. This horizontality is further expressed by the Hardieplank siding being proposed to the base of the building, thereby making this proposed expression of the front elevation compatible with the mostly all 1-story structures in the surrounding historic district.

l) Architectural Style:

The architectural style of this structure is wood framed vernacular/cottage bungalow style. All building elements being proposed are compatible with this style and mostly being taken from the original contributing structure's design/components.

m) Additions to Individually Designated Properties and Contributing Structures in all Historic Districts:

1. Being that this site is situated on a corner lot (Swinton the West and SE 2nd Street to South), the addition being proposed to the original structure is being placed on the two least public sides of the building, the north (side interior) and the east (alley).

2. The new addition facing Swinton (primary façade) aligns with the front plane of the existing structure which is a 30'-0" setback from the property line even though by code 30'-0" setback is permitted.
3. All characteristics features of the original building will not be destroyed or obscured. All features will be restored using authentic material that pertains to the existing historic structure. The main characteristic of the building, which is the open porch, that was enclosed at some point in this structure's history, is being renovated back to its original design/function.
4. We have designed jogs in the exterior walls along the West façade & along the South Façade, where the new structure is 'joining' into the existing. These jogs are proposed to not only enhance the aesthetic appeal (NOT make it appear as an obvious addition) but also to provide a feasible structural expansion joint to tie the new into the old. These jogs and structural joints, provide not only further 'visual relief' to the proposed overall length of these facades and but also provide the ability for the basic form and character of the historic building to remain intact should the addition ever be removed.
5. The addition does not introduce a new architectural style in that we are keeping with the wood framed Cottage Bungalow Style, it does not mimic too closely the style of the existing building or replicate the original design but instead provides an proportionate massing to the existing. We feel that the proposed massing will celebrate the existing historic structure and provide a secondary façade that will showcase the existing contributing structure.
6. The (2) proposed building facades portions of these new additions (to the north of the west façade and to the east of the south façade) are not only proportional to the main existing façade, in terms of height, scale and massing, but also proportional in that the new additions are in a proper scale/mass in order to serve as 'a secondary and subordinate structure to the main mass of the historic building and they do not overwhelm the original building; thereby keeping with the intent of the code.

- n) Secretary of the Interior's Standards for Rehabilitation, standard 1:
" A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of ***the building*** and its ***site and environment***".

Defining characteristics of a typical 'Craftsman Bungalow' residential building:

- a) Deep, wide porches with expressive structural elements such as exposed columns, rafters and brackets.
 - b) Shallow-pitched roofs with deep overhangs, exposed rafter tails at the eave overhang and decorative brackets at the rake overhang.
 - c) A mixture of materials is often used, including brick, wood shingles and wood siding.
 - d) Variety of window types are often found, some themes remain consistent within the style. and although, double-hung windows are predominant; casement windows are also common. The windows are typically vertical in proportion
- I. Defining characteristics of **the building** (this subject property) are:
- a) Exterior Porch (currently enclosed) facing Swinton
 - b) Roof Styles/Roof Lines/Outlookers
 - c) Corner Windows / Window Casings
 - d) Exposed Chimney
 - e) Exterior Wall Cladding - Wood Shake Shingles

All of these defining characteristics of **the building** are clearly being left intact as depicted on the architectural drawings submitted as part of this approval and further defined in writing below:

- a) Most importantly it is being proposed to redefine the building's *most defining characteristic*, which is currently non-existent. This is being achieved by renovating the original front porch (facing Swinton Avenue and SE 2nd Street) to its original condition and purpose. At some point in this building's history, this porch was enclosed and turned into interior space (currently this space is the entry and kitchen for one of the two residential units).
- b) The new addition elegantly compliments the existing building's defining characteristics and does so in a manner that allows the original structure to remain the focal point along both street façades. This is achieved by designing the addition smaller in scale than the original structure, by *maintaining matching roof lines and overhangs, matching the characteristic roof styles of the existing structure while keeping the decorative roof outlookers intact*.
- c) Corner Windows and Casings are *another most defining characteristic* of the existing structure. The corner window characteristic is not only being maintained but further emphasized as can be seen in the corners of both portions of the new addition that face both streets. The window casing characteristic is also not only being maintained (all new windows propose window casings) but further emphasized and showcased in the proposed renovation of the porch, whereas new casework is being proposed to frame the openings and create a horizontal entablature above and across the now exposed wood columns of the renovated exterior porch.
- d) The Exterior Wall Cladding of Wood Shake Shingles is certainly the *most defining characteristic material* of the existing structure. The existing structure and new addition both have proposed NEW Wood Shake Shingle, thereby assuring that this most defining characteristic material of the existing structure will be maintained as such and only reinforce the bungalow design style for not only the existing structure but also the proposed addition.

For these reasons stated directly above, it is clear that even though this property is being placed in a new use, it is being done so while not altering the building's characteristics in any manner and in fact we are reinforcing its characteristics and more importantly redefining/renovating its most defining characteristic, that being the exterior covered porch facing Swinton Avenue and 2nd Street.

II. Defining characteristics of **the site and environment** (for this subject property) are the following:

- a) The building's height/roof lines/massing and lot coverage
- b) Setbacks from the public ROWs and
- c) Extensive landscaping and buffers adjacent to the ROWs.

These characteristics are being maintained and/or improved in the following manner:

- a) The new addition's defining roof lines on the primary street facades are lower than the existing building height in order to maintain the focal point of the street facades on the portion of the façade that is part of the original structure.

More so, along the Swinton Avenue façade, the addition's primary façade component being proposed on the north side of the existing building is only approximately 18 feet wide. Visually this 18 foot wide portion of the addition replaces the existing 20 feet wide wood fence enclosure/exterior patio that currently exists and is in place. Therefore; it should be apparent that replacing the massing width of the solid wood , 20 foot long fence enclosure with the proposed 18 foot wide portion of the addition, not only maintains a similar massing of this façade; but also provides a better balanced façade along Swinton.

Furthermore, both of the roofs over the two main components of the Western Primary façade along Swinton (gabled roofed porch at the original structure and the hipped roof addition) now have the same roof slope, roof

height and overall width; which further balances this façade, versus the 20 ft long solid wood fence massing that has no roof. In addition, by making this addition's roof a hipped roof, it also provides a more interesting or complex balance to the porch's gabled roof and once again allows the original and most defining characteristic of this original structure (the porch) to be the focal point of the façade along Swinton. The balance of these two components are further enhanced by the dichotomy of the porch being open (columns only) whereas the new addition is nearly a solid wall with only windows at the corners.

Even though the existing exterior patio (wooden fence enclosure along the north side) does not technically count towards the lot coverage it does affect the visual massing of this West Façade. By replacing this wooden fence enclosure with a new enclosed structure does not alter the basic characteristic of the site even though, technically it does increase the lot coverage; however the proposed lot coverage is still under the allowed lot coverage by 6% or approximately 775sf. The fact that we are NOT covering the lot with maximum building area permitted by code represents how we are proposing to maintain this property's defining site and environmental characteristics.

In regards to the lot coverage or massing of the addition, please refer to the historical information section of the application submitted. This property historically also had two additional structures on it which over time have been taken down.

Along the north side of the property there was once a 'guest home' that measured approximately 29 feet in the north-south direction (along Swinton) and 24 feet, east-west.

This approximate 700 sf structure was nearly adjacent to the remaining existing structure and therefore one could say that the addition we are proposing is not only more defining of this property's historically accurate site characteristics but also since the width of the addition being proposed along the north side of the main/existing house is a shorter length than that of the

original guest house on this property, one could then also say that in terms of the visual massing from Swinton Avenue, the new proposed addition is a LESS imposing façade than the original historical site characteristic.

Same justification can be attributed to the South or 2nd Street Façade, whereas historically this property once had an approximate 18 foot by 17 foot (306 sf) garage or carport located on the Southeast corner of the property.

Once again the width of the addition along the South Façade is now nearly the same width as the historical structure that used to be located in this same part of the property's site. Both of these now torn down structures were also both the same height (12 feet) as the two portions of the additions that are being proposed along the Swinton Ave and 2nd Street facades.

Finally, when considering the massing or lot coverage being proposed for this subject property, its context within the block and its surrounding neighbors should be greatly considered. These considerations are

- 1) It is located on a corner lot and substantially larger lot (100' x 131') than typical lots (50' to 75' x 100') in this area.
 - 2) The fact that it is the only property in ALL of OSSHAD without any drives and/or parking on any of its sides, except for the alley. The site being proposed has full uninterrupted landscape buffers along both Swinton (West) and SE 2nd Street (South).
 - 3) It provides the largest separation between structures along Swinton from Atlantic Ave to SE 2nd Street (South OSSHAD)
 - 4) The fact that it is surrounded on all sides by much larger buildings in length and in height.
- b) Existing setbacks are being maintained along the Primary Façade.

c) The extensive landscape buffer is being further enhanced by proposing to remove the 4 parking stalls along 2nd Street that had previously received a COA from the City and further enhanced by all the new landscaping being proposed, refer to Landscape Dwgs.

For these reasons stated directly above, it is clear that even though this property is being placed in a new use, it is being done so while not only maintaining the defining characteristics of the site and environment but in fact presenting a more historically accurate representation of this property's original site and environment's defining characteristics.

143 S. Swinton - Photographs of the Existing Elevations



a) West Elevation - South Swinton Ave.

143 S. Swinton - Photographs of the Existing Elevations



b) South Elevation - SE 2nd Street

143 S. Swinton - Photographs of the Existing Elevations



c) East Elevation - Alley

143 S. Swinton - Photographs of the Existing Elevations



d) North Elevation

143 S. Swinton - Photographs of the Existing Elevations



e) Northeast Elevation - Alley