



*Development Services Department*

**BOARD ACTION REPORT – APPEALABLE ITEM**

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**Project Name:** Delray Place South

**Project Location:** 1911 South Federal Highway

**Request:** Class III Site Plan Modification

**Board:** Site Plan Review and Appearance Board

**Meeting Date:** August 14, 2019

**Board Action:**

Approved (4-2 Patton & Brewer in opposition, Purdo Absent) the Class III Site Plan Modification subject to the condition that pedestrian safety measures be provided for the Eve Street crossing, per the direction of the City Engineer.

**Project Description:**

The subject property is located on the east side of South Federal Highway, between Eve Street and Tropic Boulevard. The site measures 1.78 Acres (77,430 sq. ft.) and is zoned Planned Commercial (PC) with a General Commercial (GC) Future Land Use Map (FLUM) designation. The shopping plaza was built in 1977 as Gateway Shopping Center.

The Class III Site Plan Modification includes the demolition of a portion of the existing shopping plaza and construction of building addition, both at the northeast corner of property. The modification will allow for a driveway connection to Eve Street. The modification also includes outdoor dining areas and building façade improvements.

**Board Comments:**

The majority of the Board member's comments were supportive.

**Public Comments:**

Numerous members of the public spoke for and against the project.

**Associated Actions:**

No associated actions.

**Next Action:**

The SPRAB action is final unless appealed by the City Commission.



# SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1<sup>ST</sup> AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

## SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: August 14, 2019

File No.: 2019-121-  
SPM-SPR-CL3

Application Type: Class III Site Plan Modification

### General Data:

**Applicant/Owner:** Delray Place, LLC

**Agent:** Dunay, Miskel, Backman, & Blattner, LLP

**Location:** 1911 South Federal Highway

**PCN:** 12-43-46-28-06-001-0010

**Property Size:** 1.78 Acres

**FLUM:** GC (General Commercial)

**Zoning:** PC (Planned Commercial)

### Adjacent Zoning:

- SAD (Special Activities District)(North)
- AC (Automotive Commercial) (South)
- RM (East)
- AC (West)

**Existing Land Use:** Commercial (Delray Place South Shopping Center)

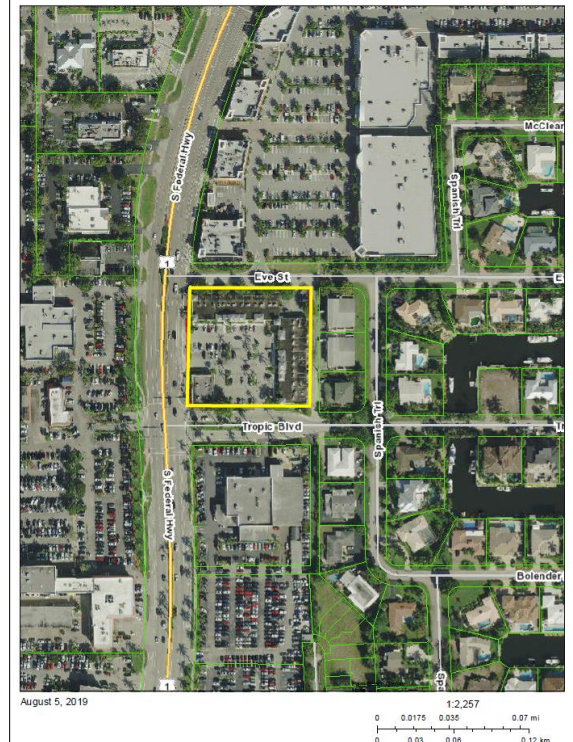
**Proposed Land Use:** Commercial (Delray Place South Shopping Center)

### Item before the Board:

Consideration of a Class III Site Plan for Delray Place South, pursuant to Land Development Regulations (LDR) Section 2.4.5(G). This application includes:

- ☐ Site Plan Modification
- ☐ Landscape Plan
- ☐ Architectural Elevations

Location Map



### Alternative Actions:

- A. Move **postponement** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by electing to continue with direction.
- B. Move **approval** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by adopting the findings of fact and law contained in the staff report, and finding that the request is consistent with the Comprehensive Plan and meets the criteria set forth in Sections 2.4.5(G), 4.6.9(F)(1), 4.6.16, 4.6.18 and Chapter 3 of the Land Development Regulations.
- C. Move **denial** of the Class III Site Plan Modification, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request for Delray Place South, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the criteria set forth in Sections 2.4.5(G), 4.6.9(F)(1), 4.6.16, 4.6.18 and Chapter 3 of the Land Development Regulations.

### Notes:

1. Revise the plans to include raised speed tables along the north/south drive aisle prior to site plan certification.

#### Project Planner:

Scott Pape, Principal Planner;  
[pape@mydelraybeach.com](mailto:pape@mydelraybeach.com),  
561-243-7321

#### Review Dates:

SPRAB Board:  
August 14, 2019

#### Attachments:

1. Site Plans
2. Architectural Elevations
3. Landscape Plans



## Project Assessment

The item before the Board is for consideration of a Class III Site Plan Modification request for Delray Place South which includes a Site Plan, Landscape Plan, Architectural Elevations and Special Action Parking Reduction Request. The proposed redevelopment of the existing Delray Place South (fka Tropic Square) is consistent with the South Federal Highway Redevelopment Plan which calls for shopping centers for PC-zoned properties along US1, as well as, architectural and aesthetic improvements for the South Federal Highway Corridor.

### Background:

The subject property is located on the east side of South Federal Highway, between Eve Street and Tropic Boulevard. The site measures 1.78 Acres (77,430 sq. ft.) and is zoned Planned Commercial (PC) with a General Commercial (GC) Future Land Use Map (FLUM) designation. The shopping plaza was built in 1977 as Gateway Shopping Center.

On August 16, 2000, the Site Plan Review and Appearance Board (SPRAB) approved minor site plan modifications and architectural elevation changes for the subject property. At its meeting of May 1, 2001, the SPRAB approved another site plan modification which included construction of two towers with a cupola along the front façades of the two existing buildings, installation of new canvas awnings over each door along the rear of the two buildings, and landscaping upgrades throughout the property.

At its meeting of October 26, 2016, the SPRAB considered a Class III Site Plan Modification for the demolition of a portion of the existing commercial center and provision of a driveway to Eve Street. The SPRAB approved the following items associated with the application:

1. Special Landscape Area waiver
2. Landscape Island Shade Tree waiver
3. Landscape Plan
4. Architectural Elevations

At this meeting, the SPRAB denied the following items associated with the Class III Site Plan Modification:

1. Special Action Parking Reduction
2. Site Plan Modification

Without the approval of the site plan modification and Special Action Parking Reduction, the application was deemed disapproved.

Now before the Board for consideration is a Class III Site Plan Modification, Landscape Plan and Architectural Elevations associated with the redevelopment of a shopping center known as Delray Place South (fka Tropic Square), including but not limited to partial demolition of the site, construction of a new building addition, reconfiguration of the existing parking lot, landscaping upgrades and provision of additional parking and outdoor dining areas.

### Project Description:

The development proposal consists of the following:

- Demolition of 2,904 square feet of building area.
- Construction of a 2,860 square foot building addition.
- Addition of 1,651 square feet of outdoor dining area.
- Elimination of 12 parking spaces due to the building addition and demolition.
- Construction of 14 new parking spaces on-site and on-street within Eve Street.
- Façade improvements to the buildings.
- Associated landscape improvements.



## Site Plan Analysis:

### Compliance with The Land Development Regulations (LDR):

Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request

### LDR Section 4.3.4(K) Development Standards Matrix – Nonresidential Zoning Districts:

Please note the Land Development Regulations (LDR) Section 4.3.4 – as it pertains to the PC (Planned Commercial) zoning districts:

		Standard	Provided
Open Space		25%	19%*
Minimum Setback	North	10' (Side Street)	15' 1"
	South	10' (Side Street)	6'*
	East	10' (Rear)	10'
	West	10' (Front)	7' 2"*
Maximum Building Height		48'	24' 6"
Minimum Lot Frontage		50'	835.8'
Minimum Lot Width		100'	281.81'
Minimum Lot Depth		50'	271.78'
Minimum Lot Area		0.23 acres	1.77 acres

\*Existing non-conformity.

### LDR Section 4.6 - Supplemental District Regulations:

#### Lighting:

The applicant has submitted a photometric plan that demonstrates compliance with LDR Section 4.6.8.

#### Dumpsters:

Per 4.6.16(H)(3)(n) all dumpster and refuse areas shall be screened. The dumpster shall be screened on three (3) sides and shall have vision obscuring gates on the fourth side. The proposed dumpster enclosure area is proposed to be screened by a wall on three sides and vision obscuring door on the front. The existing dumpster will be removed and replaced with a trash compactor and roll out bins. The provisions for trash collection satisfy the requirements of the LDRs.

### **SPECIAL ACTION PARKING REDUCTION**

### LDR ARTICLE 4.6 - SUPPLEMENTAL DISTRICT REGULATIONS

#### LDR Section 4.6.9(C)(3) Requirements For Commercial Uses:

(e) **Shopping Centers:** Spaces required based upon size of center per gross leasable floor area, irrespective of uses:

According to LDR Section 4.6.9(C)(3)(e), shopping centers are required 4 spaces per 1,000 sq. ft. of gross leasable floor area, irrespective of uses, for centers with 25,000 sq. ft. up to 400,000 sq. ft. The existing Tropic Square has a total of 22,089 sq. ft. of leasable floor area. Thus, it does not meet the minimum square footage for a shopping center for purposes of the reduced parking rate. In such case, parking is typically determined by the allocation of uses. As part of the 2016 Class III Site Plan





Modification, the applicant provided a use list with square footages that indicated 209 parking spaces are required based on the individual uses.

With the current site plan modification request, the applicant has submitted the attached vested parking rights statement. The position of the applicant is that the shopping center has a vested parking ratio of four parking spaces per 1,000 square feet of retail space. Based on the proposed modification, the required parking for the 22,045 square foot center would be 88 parking spaces ( $22,045/1,000 \times 4 = 88$  spaces). The applicant indicates that additional parking spaces are not required for the new 1,651 square feet of outdoor dining area. However, per LDR Section 4.6.9(B)(1)(c), parking is required for the addition or enlargement of a use. Therefore, the 1,651 square feet of outdoor dining area would require an additional 7 parking spaces at 4:1,000 for a total of 95 parking spaces. (It is noted that the outdoor dining area would require an additional 20 parking spaces if calculated at the standard restaurant parking calculation noted above for a total of 229 required parking spaces).

Based on the above, the shopping center is 5 spaces deficient per the applicant's methodology and 139 spaces deficient based on the City's standard parking calculation.

#### **LDR Section 4.6.9(F)(1) - Reduction Allowed:**

Pursuant to LDR Section 4.6.9(F)(1), special provisions are allowed for reduced parking, when **upon receipt and acceptance of special documentation** it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly.

The applicant has submitted a Parking Utilization Study from a traffic engineer as the special documentation to support the reduced parking request for the plaza. The study concludes that an appropriate parking ratio of 3.3 parking spaces per 1,000 square feet of use area is appropriate for this plaza. Based on this ratio, 78 parking spaces are necessary for this plaza and 90 spaces are provided.

#### **Landscape Analysis**

A landscape plan has been submitted and evaluated by the City's Senior Landscape Planner. The changes to the approved landscape plan occur on the north and south sides of the building due to the reconfiguration of the landscape islands. The modification is minor and does not significantly impact the aesthetics of the development and continues to comply with the landscape requirements.

#### **Architectural Elevations and Aesthetics**

Pursuant to **LDR Section 4.6.18(E), Criteria for Board Action**, the following criteria shall be considered, by the SPRAB, in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

- 1) The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
- 2) The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The development proposal includes building elevation changes to the plaza. The changes include removal of the existing tower features and decorative parapets. These will be replaced with new tower features and decorative parapets. The columns will be finished with Coronado stone veneer. The storefront glass will be replaced with new impact resistant windows. The elevations also include new decorative wall sconces. The eclectic architectural approach is similar to the Delray Place shopping center at the southeast corner of Federal Highway and Linton Boulevard. The color scheme includes eight different shades that are primarily earth tone with the exception of a blue. The proposed elevation changes will provide an updated improved image to the plaza. Based on the above, a positive finding with respect to LDR Section 4.6.18(E) is made.



## INFRASTRUCTURE IMPROVEMENT ANALYSIS

### **Eve Street Access:**

An extensive review has been performed for the Delray Place North and South shopping centers addressing the potential impacts of modifying the Delray Place South configuration to allow for cross access between sites. The positive and negative ramifications of the proposed cross access connection are summarized below:

### **Advantage of Cross Access Connection:**

- Generally, cross access is encouraged and considered “good practice” by planners and engineers.
- Relieves traffic; particularly, the westbound left turn movement on Linton Boulevard at Federal Highway.
- Reduces traffic at the two Linton Boulevard driveways at Delray Place North which has limited driveway reservoir for stacking and circulation.

### **Disadvantage of Cross Access Connection:**

- Increase traffic and vehicular delay for Tropic Boulevard. The overall intersection operations will be impacted as well. However, the increase in traffic can be mitigated to acceptable Levels of Service through signal timing improvements.
- As opposed to the previous proposal, the current proposal does not include dual left turn lanes westbound along Tropic Boulevard. These dual left turn lanes would have increased vehicle queueing on Tropic Boulevard and improve turning operations onto Federal Highway. The elimination of the dual turn lanes will increase stacking and negatively impact this intersection.

## **SOUTH FEDERAL HIGHWAY REDEVELOPMENT PLAN**

The South Federal Highway Redevelopment Plan creates a framework for the future redevelopment of US1 along the south corridor in Delray Beach. The Redevelopment Area includes the commercial property along both sides of South Federal Highway, between Linton Boulevard on the north and the City Limits to the south. The purpose of this plan is to guide and promote the future redevelopment of the area. The Plan, which was developed by the City of Delray Beach Development Services Department, was adopted by the City Commission on September 20, 2012. The adopted Plan supports the following applicable initiatives relative to the proposed development:

### **Proposed Delray Place South:**

- Reduces the special landscape setback along South Federal Highway to create an urban edge with a more pedestrian-friendly environment
- Provides architectural elevation and façade improvements which have variations in rooflines, building materials and a clear indication of entryways
- Figure 2.5 identifies the existing Tropic Square as one of the preferred General Commercial uses (i.e. shopping centers) on the east side of South Federal Highway
- Planned Commercial (PC) zoning uses are preferred to be in high visibility areas and attractively developed
- Figure 3-1, indicates that due to its close proximity to Interstate 95 and the Linton Boulevard interchange, the redevelopment area is a prime location for destination shopping for goods and services

As such, the proposed Delray Place South is consistent with the South Federal Highway Redevelopment Plan and associated aspects of the Comprehensive Plan.



## REQUIRED FINDINGS

Pursuant to Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

### Section 3.1.1(A) - Future Land Use Map:

The subject property has a Future Land Use Map designation of General Commercial (GC) and is zoned Planned Commercial (PC). The PC zoning district is consistent with the GC Future Land Use Map (FLUM) designation. Based upon the above, a positive finding can be made with respect to consistency with the Future Land Use Map.

### Section 3.1.1(B) - Concurrency:

As described in Appendix "A", a positive finding of concurrency can be made as it relates to water, sewer, drainage, parks and recreation, solid waste, and traffic.

### Section 3.1.1(C) - Consistency (Standards for Site Plan Actions):

As described in Appendix "B", a positive finding of consistency can be made as it relates to development standards for site plan actions, upon Board approval of the requested waiver and associated conditions of approval.

### Section 3.1.1(D) - Compliance With the Land Development Regulations:

As described under the "Site Plan Analysis" of this report, a positive finding of compliance with the LDRs can be made, when the outstanding note is addressed.

### Section 2.4.5(F)(5) - Required Findings:

Pursuant to LDR Section 2.4.5(F)(5), the approving body must make a finding that development of the property pursuant to the site plan will be compatible and harmonious with adjacent and nearby properties and the City as a whole, so as not to cause substantial depreciation of property values.

The following table indicates the zoning and land use of the properties surrounding the subject property:

	<b><i>Adjacent Zoning</i></b>	<b><i>Adjacent Land Use</i></b>
<i>North</i>	Special Activities District (SAD)	Delray Place North
<i>East</i>	Multi-Family Residential (RM)	Multi-Family Dwellings
<i>South</i>	Automotive Commercial (AC)	Grieco Mazda Auto Dealership
<i>West</i>	Automotive Commercial (AC)	Delray Lincoln Mercury Auto Dealership

The proposed Delray Place South shopping center is consistent with the PC Zoning district uses which allow all retail uses permitted with the General Commercial (GC) zoning district. To the north is Delray Place North shopping plaza, which is zoned (SAD). The architectural elevations of proposed Delray Place South have been designed to be compatible with this adjacent property. To the south is Grieco Mazda Automotive Dealership which has existed for decades with no incompatibility issues. To the west, across South Federal Highway, is the Delray Lincoln Mercury Auto Dealership, which has also existed for years with no incompatibility issues. To the east, across the existing alley are multi-family residential buildings zoned RM (Multi-Family Residential). Since the use of the existing Tropic Square has existed over 30 years, the shopping center use is not incompatible.



However, it should be noted that residents have concerns about improvements to allow through access from Tropic Boulevard to Eve Street. To assist in mitigating these concerns, staff is requesting that the applicant provide traffic calming devices (i.e. speed bumps) along the new two-way interior drive aisle to discourage cut-through and also reduce speeds interior to the plaza for the safety of their patrons and this is added as a note. Whereas the existing Tropic Square shopping plaza has coexisted adjacent to the existing uses, no adverse effect is anticipated. The subject site contains an existing shopping plaza, thus, the proposed redevelopment of the shopping plaza will be a continuation of the current use of the site. With the provision of traffic calming devices along the interior drive aisle connector, potential adverse impacts can be mitigated. As such, positive findings can be made with regard to LDR Section 2.4.5(F)(5) that the site plan will be compatible and harmonious with adjacent and nearby properties, subject to raised tables for traffic calming devices to discourage cut-through from Tropic Boulevard to Eve Street and maintain safe vehicle speeds.

### **Comprehensive Plan Policies:**

A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following applicable objectives or policies were noted.

**Future Land Use Element Objective A-1 - Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.**

The property is proposed to be developed consistent with the PC zoning designation. The property is included in the South Federal Highway Redevelopment Plan. Redevelopment of the existing Tropic Square as "Delray Place South" meets the original vision for the area for revitalization of the US1 corridor with the provision of shopping centers with aesthetic appeal.

**Transportation Element Policy A-1.3: The City endorses the continued operations of the Palm Tran Transit System and its operations in Delray Beach, and through policies of this Element related to the TCEA, will coordinate with Palm Tran to improve the system.**

Studies have shown that the provision of bus shelters to protect riders from the elements leads to increased utilization and mitigates negative impacts to adjacent properties. The location of an existing bus shelter is not graphically shown along the South Federal Highway property frontage. The applicant has submitted a letter from Palm Tran that indicates a bus shelter is not necessary at the subject property. However, a bus stop is provided along Federal Highway.

**Transportation Element Objective A-6: The City's Land Development Regulations shall continue to provide standards which insure that new development and redevelopment mitigate adverse situations and/or provide for functionally safe traffic movements.**

**Transportation Element Policy A-6.1: The Land Development Regulations shall maintain consistent standards for, but not limited to, the following:**

☐ Location and design of driveway access and on-site circulation;

- The development proposes a new curb cut along Eve Street and a new 24 foot wide two-way interior drive aisle connector between the two roads. It should be noted that when compared to the existing survey, the proposed improvements do not appear to be necessary for the purpose of improving on-site circulation. There are already two ingress and egress points along South Federal Highway and one ingress and egress point along Tropic Boulevard. With three existing access points for vehicular traffic, a fourth one along Eve Street is not necessary, but rather voluntary. It should also be noted that the intent is to connect the proposed "Delray Place South" to the existing "Delray Place North" shopping center north of Eve Street at the southeast corner of US1 and Linton Boulevard.

☐ Width and location of curb cuts;

- It is noted that the distance between the curb cuts is consistent with the LDR requirement that curb cuts within the same parcel boundaries must be placed with a minimum at twenty-five foot separation distance.



- ☐ Radii of curves and criteria for locations where driveways or private streets may intersect on curves;
  - The radii of the curves have been provided for entering the site from Eve Street, as well as, turning movements onto Tropic Boulevard from US1 traveling into the shopping center. These movements have been deemed satisfactory by the City Engineering Department, Fire Department and the Palm Beach County Traffic Division.

**Review by Others:**

The development proposal is not located within a geographical area requiring review by the PGMS (Pineapple Grove Main Street), WARC (West Atlantic Development Coalition), HPB (Historic Preservation Board), CRA (Community Redevelopment Agency) or the DDA (Downtown Development Authority).

Courtesy Notices:

Courtesy notices have been provided to the following homeowner's associations that have requested notice of developments in their areas:

- Domaine Delray
- Linton Woods
- Tropic Isle
- Harbour's Edge
- Pelican Pointe
- Tropic Harbor
- Tropic Bay
- Pelican Harbor
- Harbourside
- Banyan Tree
- Ronald Kolins

Public Notices:

No public notice is required for Class III Site Plan Modification applications. Letters of objection, if any, will be presented at the SPRAB meeting.



**Appendix “A” – Concurrency Findings**

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer: Water and sewer services are adequately provided to the site and will remain as the proposed redeveloped results in reduction in floor area.

Streets and Traffic: The traffic analysis report for the proposed use indicates a net decrease of four trips per day. The proposal has been reviewed by Palm Beach County Traffic Engineering and determined that it meets the Traffic Performance Standards of Palm Beach County. Therefore, a positive finding can be made.

Parks and Recreation Facilities: It is noted that the park impact fee is not applicable to the subject request as it does not include a residential component.

Solid Waste: The change in use will not significantly change the solid waste generation. The Solid Waste Authority has indicated that its facilities have sufficient capacity to handle all development proposals till the year 2047.

Drainage: Drainage will not be affected by the proposed modification.

**APPENDIX “B” - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J)**

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable  
☐ Meets intent of standard



☐ Does not meet intent

- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.

☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent

- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.

☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent

- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.

☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

☐ Not applicable  
☒ Meets intent of standard  
☐ Does not meet intent

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

☒ Not applicable  
☐ Meets intent of standard  
☐ Does not meet intent



May 29, 2019

**Palm Tran**

**Administrative Offices**

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FAX: (561) 841-4291

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FAX: (561) 656-7156

[www.palmtran.org](http://www.palmtran.org)



**Palm Beach County  
Board of County  
Commissioners**

Mack Bernard, Mayor

Dave Kerner, Vice Mayor

Hal R. Valeche

Gregg K. Weiss

Robert S. Weinroth

Mary Lou Berger

Melissa McKinlay

**County Administrator**

Verdenia C. Baker

*"An Equal Opportunity  
Affirmative Action Employer"*

Official Electronic Letterhead

Scott Pape, Principal Planner

Sent Via Email: [pape@mydelraybeach.com](mailto:pape@mydelraybeach.com)

Delray Beach Planning and Zoning

100 NW 1<sup>ST</sup> Avenue

Delray Beach, FL 33444

RE: Bus Stop Sign Relocation approved by Palm Tran for proposed redevelopment of Delray Place South f/k/a Tropic Square located at the Northeast Corner of Federal Highway & Tropic Blvd, in the City of Delray Beach, Palm Beach County, Florida

Dear Scott:

I have worked thru the details of our Palm Tran requirements with the property owner, and Palm Tran approves the re-location of the existing bus stop sign located next to the Pylon Sign on Federal Highway to a new location in front of the Fed Ex Office on Federal Highway, as shown on the attached site plan.

Palm Tran approves of this new bus stop sign re-location, with the property owner installing a two-foot-wide by five-foot-long, concrete pad of 6 inch thickness, contiguous with the existing sidewalk and with a bench thereon, and as outlined on the attached site plan.

Palm Tran does not require any additional type of bus shelter and/or any other type of additional bus related items.

Please e-mail and/or call me with any questions and/or comments.

Sincerely,

Steve Anderson, AICP

Director of Transit Planning

Palm Tran

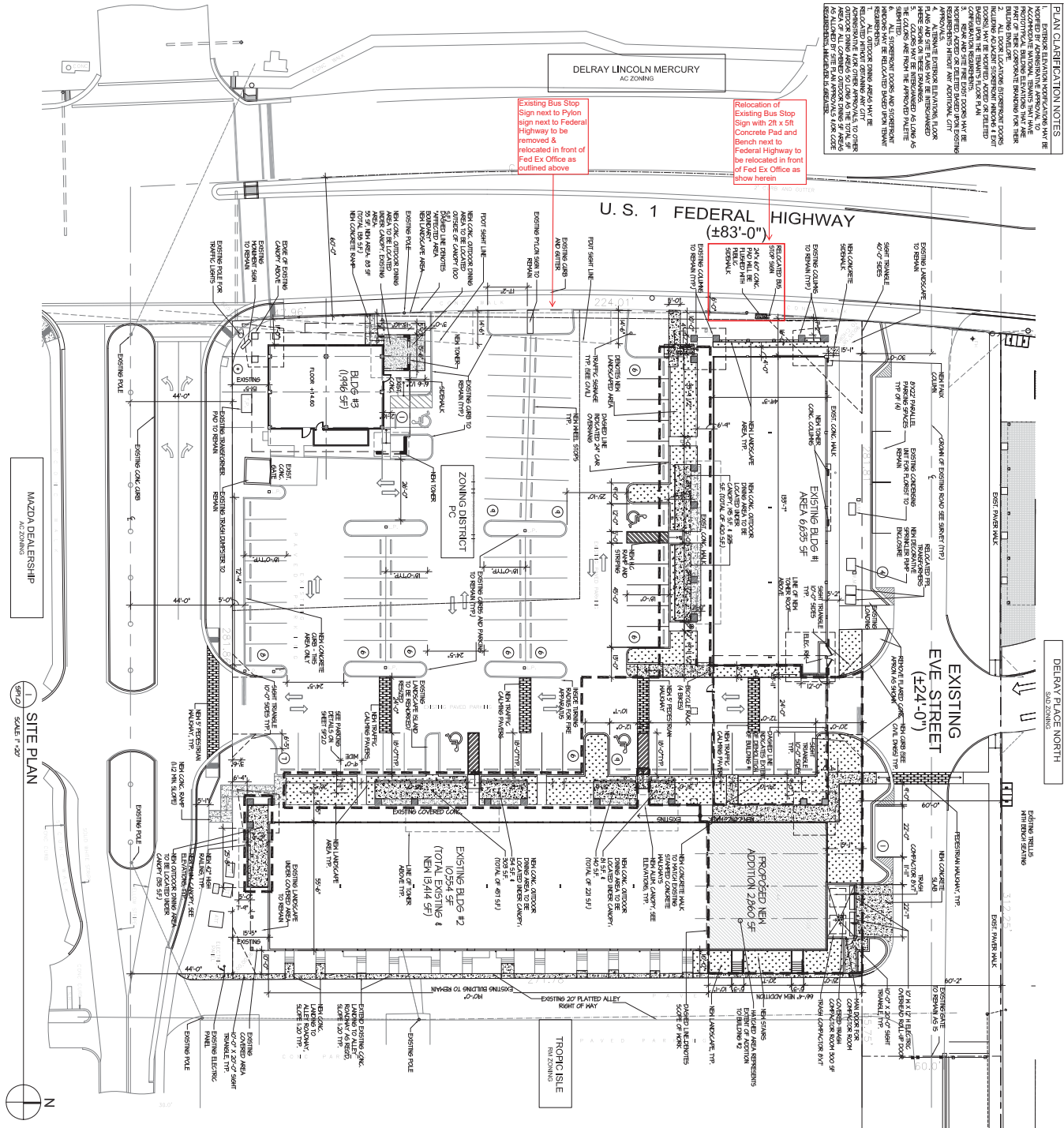
Palm Beach County Board of Commissioners

Office: (561) 841-4246

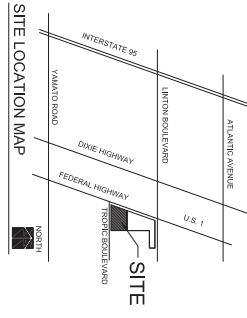
E-Mail: [sanderson@pbcgov.org](mailto:sanderson@pbcgov.org)

**PLAN CLARIFICATION NOTES**

1. EXISTING ELEVATION NOTATIONS MAY BE ACCORDED BY CONSTRUCTION APPROVAL TO THE EXISTING ELEVATION. THE EXISTING ELEVATION MAY BE ACCORDED BY CONSTRUCTION APPROVAL TO THE EXISTING ELEVATION. THE EXISTING ELEVATION MAY BE ACCORDED BY CONSTRUCTION APPROVAL TO THE EXISTING ELEVATION.
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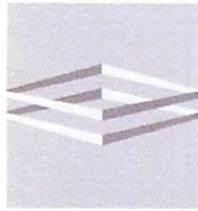
**SITE PLAN**  
SCALE 1" = 20'



**SITE LOCATION MAP**

<b>SCOPE OF WORK</b>	
THE PROPOSED SITE IMPROVEMENTS INCLUDE THE FOLLOWING: 1. EXISTING BUILDING RENOVATION AND ADDITION. 2. NEW BUILDING ADDITION. 3. PARKING LOT IMPROVEMENTS. 4. LANDSCAPE IMPROVEMENTS. 5. UTILITY RELOCATION. 6. SIGNAGE IMPROVEMENTS. 7. FENCE IMPROVEMENTS. 8. SITE LIGHTING IMPROVEMENTS. 9. SITE FENCE IMPROVEMENTS. 10. SITE FENCE IMPROVEMENTS.	
<b>APPLICABLE CODES</b>	
FLORIDA BUILDING CODE 2018 EDITION	
FLORIDA PLANNING AND ZONING CODE 2018 EDITION	
<b>OCCUPANCY</b>	
A-1.3.1	
<b>SITE DATA</b>	
PROJECT CONTROL NUMBER: 202205000000	
PROJECT CONTROL NUMBER: 202205000000	
PROJECT CONTROL NUMBER: 202205000000	
<b>EXISTING USE OF PROPERTY</b>	
COMMERCIAL, RETAIL, OFFICE, PROFESSIONAL, OFFICES	
<b>AREA CALCULATIONS</b>	
TOTAL LOT AREA: 22,000 SQ. FT.	
TOTAL LOT AREA: 22,000 SQ. FT.	
<b>PROPOSED DEVELOPMENT REGULATIONS</b>	
TOTAL LOT AREA: 22,000 SQ. FT.	
TOTAL LOT AREA: 22,000 SQ. FT.	
<b>PARKING CALCULATIONS</b>	
TOTAL LOT AREA: 22,000 SQ. FT.	
TOTAL LOT AREA: 22,000 SQ. FT.	
<b>LEGAL DESCRIPTION</b>	
TOTAL LOT AREA: 22,000 SQ. FT.	
TOTAL LOT AREA: 22,000 SQ. FT.	





**DUNAY  
MISKEL  
BACKMAN** LLP

Gary Dunay  
Bonnie Miskel  
Scott Backman  
Hope Calhoun

Dwayne Dickerson  
Ele Zachariades  
Matthew H. Scott  
Christina Bilenki

Heather Jo Allen  
Lauren G. Odom  
Zach Davis-Walker

June 17, 2019

Tim Stillings, AICP, Director  
Sent Via Email To: [stillings@mydelraybeach.com](mailto:stillings@mydelraybeach.com)  
Planning and Zoning Department  
City of Delray Beach  
100 NW 1st Avenue  
Delray Beach, FL 33444

**Re: Determination of Existing Vested Parking Rights and Parking Requirements for Redevelopment of Delray Place South, Delray Beach, Florida**

Dear Mr. Stillings:

As you know and as discussed during our recent meeting, this law firm represents Delray Place, LLC ("Petitioner"), the owner of the +/- 1.78-acre property located at 1911 South Federal Highway ("Property"), which is generally located on the east side of South Federal Highway between Eve Street and Tropic Boulevard within the City of Delray Beach ("City") in matters concerning the development of the Property.

As background, the Property is comprised of one (1) parcel identified by Property Control Number 12-43-46-28-06-001-0010, is designated GC, General Commercial, on the City's Future Land Use Map, and is located within the PC, Planned Commercial, zoning district. The Property is located in a predominantly commercial area and was developed as a +/- 22,089 square foot shopping center comprised of three (3) buildings ("Shopping Center") – a +/- 9,539 square foot building located along the northern property line ("Building 1"), a +/- 10,554 square foot building located along the eastern property line ("Building 2"), and a +/- 1,996 square foot building located in the southwest corner of the Property ("Building 3") and was originally approved and built in 1977 as the Gateway Shopping Center.

In accordance with the original Shopping Center approval and regulations in effect at the time, the Property provided parking for the existing Shopping Center use consistent at the City's Shopping Center parking rate, which required 4 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor dining areas ("Existing Shopping Center Parking Ratio").

The Shopping Center is in need of redevelopment and revitalization and is specifically identified as such in the South Federal Highway Redevelopment Plan, which was adopted by the City Commission on September 20, 2012. In order to stimulate activity in the Shopping Center and economic growth within the City, Petitioner proposes to redevelop the Shopping Center by amending the site plan to demolish +/- 2,898



square feet from the eastern portion of Building 1 and to add +/- 2,860 square feet to the north side of Building 2 ("Addition"), resulting in a net reduction of +/- 44 square feet for a new total building area of +/- 22,045 square feet within the Shopping Center ("Project").

Considering that the Shopping Center Parking Ratio is irrespective of uses and is based on gross leasable area, which does not require additional parking for outdoor dining areas, the existing parking requirement for the Shopping Center is eighty-eight (88) parking spaces regardless of the mix of uses for the existing building area, and as such the eighty nine (89) parking spaces currently provided satisfy the parking code requirements.

Section 4.6.9(B)(1), Applicability of Off-Street Parking Regulations, requires off-street parking facilities in the following situations:

- (a) For any new building constructed;
- (b) For any new category of use established including a new conditional use;
- (c) For any addition or enlargement of an existing building or use;
- (d) For any change in the occupancy of an existing building or the manner in which a use is conducted that would result in additional parking spaces being required.

Section 4.6.9(B)(2) states: "For items (c) and (d) from above, the additional parking spaces shall be required only for such addition, enlargement, or change and not for the entire building or use, unless required as a condition of approval associated with the approval of the addition, enlargement, or change."

Pursuant to the off-street parking code regulations detailed above, which explicitly state that additional parking spaces shall only be required for addition, enlargement, or change and not for the entire building or use, the parking code requires that the existing +/- 19,191 square feet (22,089 square feet existing less 2,898 square feet to be demolished) of Shopping Center use that remains unaffected shall continue to be assessed utilizing the Existing Shopping Center Parking Ratio, irrespective of uses and not including outdoor dining areas that are not classified as gross leasable area. As such, the parking requirement for the Shopping Center building areas that are not being relocated and their related outdoor dining areas is seventy-seven (77) parking spaces (19,191 square feet existing and remaining/1000 x 4) irrespective of uses and based on the gross leasable floor area, which does not include outdoor dining areas that are not classified as gross leasable area ("Vested Parking Requirements").

Applying the above parking code requirements to the Project, the parking code only requires additional parking for the Addition as outlined above in subsection (c), which applies today's parking requirements to any addition or enlargement of an existing building or use, and does not require any parking in excess of the Vested Parking Requirements for the unchanged building areas. As such, the parking ratio under the current Code will only apply to the +/- 2,860 square foot Addition utilizing today's additional varied off-street parking regulations for specific uses.

Considering that the nature of shopping center development and leasing requires flexibility to allow change of tenancy without any additional governmental parking approval requirements, for the purposes of determining the additional required parking for the +/- 2,860 square foot Addition, Petitioner is requesting to apply the restaurant parking rate of twelve (12) parking spaces per 1,000 square feet of gross floor area to the Addition. As applied, the restaurant parking ratio would require thirty-four (34) (2,860 square foot Addition/1000 x 12) parking spaces, (the, "Addition Parking Requirements"). The Vested Parking

Requirements of seventy-seven (77) parking spaces together with the Addition Parking Requirements of thirty-four (34) parking spaces create an overall parking requirement of one hundred eleven (111) parking spaces, where it is only possible to provide ninety (90) parking spaces. As such, a twenty-one (21) parking space shortfall exists based on an aggregation of the Vested Parking Requirements and Addition Parking Requirements.

Considering the foregoing, Petitioner has retained a third party traffic engineer to complete a professional engineering review and analysis to evaluate anticipated parking demand for the Project in order to determine whether a parking reduction is warranted and allowed by the City's parking code as related to the Property ("Parking Demand Analysis").

As detailed in the Parking Demand Analysis, a copy of which is attached hereto as Exhibit "A", the City's cumulative parking code for shopping centers under 25,000 square feet requires the parking to be calculated based on specific uses, which significantly overestimates parking requirements because it does not recognize shared parking principles that occur with multiple-tenant commercial developments and internal trips that occur when you have an integrated group of commercial establishments on a common parcel.

As such, parking occupancy counts were recently collected at the Delray Plaza located at 2275 North Federal Highway in Delray Beach, which is a similar shopping center nearby, and an analysis of the parking demand was completed in accordance with actual on-site parking counts and the most up-to-date information from the Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition). Based on these analyses, the third party traffic engineer recommends a parking ratio of 3.3 parking spaces per 1,000 square feet for the interior of stores and for any outdoor seating areas, irrespective of different uses, ("Engineer Recommended Parking Ratio") for purposes of determining the amount of parking spaces required.

Applying the Engineer Recommended Parking Ratio to the Addition, ten (10) parking stalls are required to serve the Addition, (the, "Addition Parking Requirements",  $(2,860 \text{ square foot Addition} / 1000 \times 3.3)$ ), which generates a total parking requirement of eighty-seven (87) parking spaces for the Shopping Center (existing Vested Parking Requirements of seventy-seven (77) parking spaces plus the ten (10) parking spaces required for the Addition). Since there are ninety (90) parking spaces proposed, the proposed site plan for the Project provides sufficient parking as outlined herein.

As justified herein and as a result of construction of the Addition, Petitioner is requesting a Special Action Parking Reduction Request to allow for the above outlined shortfall of twenty-one (21) parking spaces shortfall pursuant to LDR Section 4.6.9(F)(1) for purpose of determining the amount of parking spaces required ("Parking Required") outlined as follows and to be included on the final City approved site plan:

Parking Required: 3.3 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor seating and other areas.

The foregoing analysis, together with the attached Parking Demand Study, provides a professional engineering analysis detailing how the Project satisfies LDR Section 4.6.9(F)(1) for purpose of determining the amount of parking spaces required.

As provided herein, we would appreciate your confirmation of the above determined "Vested Parking Requirements" of 77 parking spaces and your recommendation of approval of the Special Action Parking Reduction Request to establish the Parking Required for the Addition Parking Requirement of 10 spaces based upon the engineer's recommended rate of 3.3 parking spaces per 1,000 square feet of gross leasable floor area, irrespective of uses and inclusive of all outdoor seating and other areas, pursuant to LDR Section 4.6.9(F)(1).

Please do not hesitate to contact me directly at (561) 405-3321 or Beth Schrantz directly at (786) 763-0565 should you have any questions or need additional information. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bonnie Miskel".

Bonnie Miskel, Esq.

*Dunay, Miskel and Backman, LLP*

cc: Joe Carosella, President – *Retail Property Group, LLC* – Via Email: [jcarosella@rpg123.com](mailto:jcarosella@rpg123.com)  
Louis Carosella, Vice President – *Retail Property Group, LLC* – Via Email: [lcarosella@rpg123.com](mailto:lcarosella@rpg123.com)  
Michele Burns, Retail Property Group, LLC – Via Email: [admin@rpg123.com](mailto:admin@rpg123.com)  
Scott Pape, Principal Planner – City of Delray Beach – Via Email: [pape@mydelraybeach.com](mailto:pape@mydelraybeach.com)

**Exhibit "A"**

June 12, 2019

Tim Stillings, Director of Planning & Zoning  
Sent Via Email To: stillings@mydelraybeach.com  
Scott Pape, Principal Planner  
Sent Via Email: pape@mydelraybeach.com  
Delray Beach Planning and Zoning  
100 NW 1<sup>ST</sup> Avenue  
Delray Beach, Florida 33444

**RE: Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), supported by Parking Utilization Study to determine Parking Requirements for proposed redevelopment of Delray Place South f/k/a Tropic Square located at the Northeast Corner of Federal Highway & Tropic Blvd, in the City of Delray Beach, Palm Beach County, Florida.**

Dear Tim & Scott:

The Shopping Center Owner is requesting a Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required. The purpose of this Parking Utilization Study is to provide a professional engineering analysis on how the existing and proposed redevelopment of Delray Place South satisfies LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required.

Traf Tech Engineering, Inc has undertaken the following professional engineering review and analysis to evaluate anticipated parking requirements for the redevelopment of the Delray Place South Shopping Center, and Figure 1 attached shows the location & proposed site plan.

### **Project Overview**

The existing Delray Place South shopping center has a back-corner L-shaped design, with no direct access to Eve Street, and includes one outparcel building, for a total shopping center size of approximately 22,089 square feet. A total of 89 existing parking spaces are provided for an existing parking ratio of approximately 4.03 parking spaces per 1,000 square feet of commercial space.

With the planned renovation of the Delray Place South shopping center, the back-corner L-shaped portion will be removed, and will provide direct access to Eve Street, and the one outparcel building will remain. Once renovated, Delray Place South, will be reduced in size by approximately 44 sf to 22,045 sf and provide a total of 90 parking spaces, for a parking ratio of approximately 4.08 parking spaces per 1,000 square feet.



### **Historical Parking**

According to the property owner, the following three informational bullets are provided:

(1) the existing approximately 30-year-old Delray Place South has been occupied by a diverse mix of commercial tenants and has been operating as a Shopping Center under LDR Section 4.6.9 (C) (3) (e) Shopping Centers, for purposes of determining the amount of parking spaces required.

(2) Historically, the existing Delray Place South with 22,089 sf, was under the City of Delray Beach parking code for Shopping Centers, which allows an overall 4.0 parking spaces per 1,000 square feet, irrespective of individual different uses, and without additional parking requirements for outdoor seating. However, as time passed, the City of Delray Beach parking code for Shopping Centers, was revised so that only shopping centers with at least 25,000 sf or more would qualify and since the existing Delray Place South with 22,089 sf, was approximately 2,911 sf under the City of Delray Beach revised parking code for Shopping Centers, this Special Action Parking Reduction Request pursuant to LDR Section 4.6.9(F)(1), for purpose of determining the amount of parking spaces required, would need to be conducted

(3) throughout past years, other tenants with higher parking requirements other than retail have been allowed to occupy Delray Place South. Existing restaurants Dunkin Donuts, and Jimmy Johns Sub Shop, and past restaurant tenants such as IL Girasole with 2,300 sf, Last Resort Restaurant & Bar with 3,516 sf, Cuccina Romano Restaurant with 3,516 sf, Middle Eastern Delights with 925 sf, Little Italy Restaurant with 7475 sf, along with Dental Offices and personal service providers have all been allowed to fall within LDR Section 4.6.9 (C) (3) (e) Shopping Centers, for purposes of determining the amount of parking spaces required, and Delray Place South has never had a parking problem.

### **Code Required Parking Ratio**

According to current City of Delray Beach Code of Ordinances (Code Section 4.6.9), the required parking for a commercial center of less than 25,000 square feet is determined by adding the parking requirements of the individual uses. For example, restaurants with less than 6,000 square feet require 12.0 parking spaces per 1,000 square feet, medical office use requires 5.0 parking spaces per 1,000 square feet, retail uses require 4.5 parking spaces per 1,000 square feet and office use requires 4.0 parking spaces per 1,000 square feet. This cumulative approach overestimates parking requirements because it does not recognize shared parking principles that occur with multiple-tenant commercial developments and internal trips that occur when you have an integrated group of commercial establishments on a common parcel.

### **Comprehensive Parking Demand Study**

In order to determine the actual parking requirements of a commercial establishment of a comparable size as Delray Place South, parking occupancy counts (number of actual counted vehicles parked on site) were conducted at the existing Delray Plaza shopping center, which is located nearby to the south, at 2275 North Federal Highway in Delray Beach, and consists of approx. of approximately 35,080 square feet.

Parking occupancy counts were conducted at Delray Plaza on Wednesday, May 8 and Saturday, May 11, 2019.

Tables 1 and 2 present the results of the parking occupancy counts recorded during the two-day study period. The results of the parking counts indicate that:

- The maximum number of parking spaces occupied on Wednesday, May 8, 2019 was 81. This resulted in a peak parking ratio of 2.31 parking spaces per 1,000 square feet. The peak parking period occurred at 11:30 AM.
- The maximum number of parking spaces occupied on Saturday, May 11, 2019 was 84. This resulted in a peak parking ratio of 2.39 parking spaces per 1,000 square feet. The peak parking period occurred at 11:30 AM.

### **Adjustments to Account for Peak Season**

According to seasonal variation in traffic conditions published by the Florida Department of Transportation, traffic data recorded in east Palm Beach County in early-May should be increased by approximately 15% in order to reflect peak season conditions. Therefore, the peak parking demand for the Delray Plaza commercial center during the peak season is determined as follows:

84 parked cars x 1.15 = 97 parked cars required at maximum capacity.

Based on the above parking information and analysis, the existing comparable Delray Plaza shopping center is currently consuming at maximum capacity, approximately 2.76 parking spaces per 1,000 square feet.

### **Institute of Transportation Engineers**

According to the Institute of Transportation Engineers (ITE) Trip Generation Manual (9th Edition), a shopping center is defined as an integrated group of commercial establishments that are planned, developed, owned and managed as a unit, such as how the existing and proposed redevelopment of Delray Place South operate. ITE defines Shopping Centers to include a mix of uses other than retail such as restaurants, banks, offices, etc. As such, internal trips occur within the shopping centers due to the mixed-use nature of the development, thereby reducing the amount of parking required. Moreover, the size of the existing and proposed redevelopment of



Delray Place South as outlined above, both adequately fall within the range of shopping centers as defined by ITE.

According to the Institute of Transportation Engineers (ITE) *Parking Generation Manual* (5<sup>th</sup> Edition), a commercial establishment such as Delray Place South requires, 3.1 parking stalls per 1,000 square feet.

**Recommended Adequate Parking Ratio for Special Action Parking Reduction Request**

Based on the above analysis, Traf Tech Engineering, Inc. recommends an adequate parking ratio of 3.3 parking stalls per 1,000 square feet, for the interior of stores and for any outdoor seating areas, and for all different uses and irrespective of different uses, for purposes of determining the amount of parking spaces required.

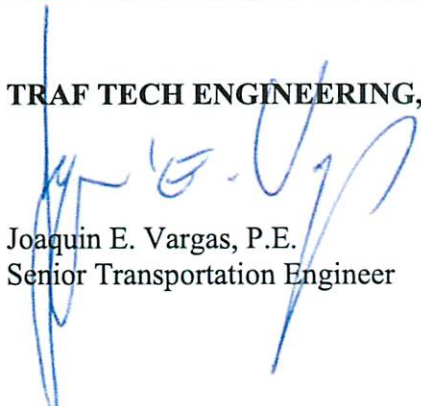
With the above-recommended parking ratio, the existing & planned redevelopment of Delray Place South is projected to have an adequately sized surface parking lot with the current and future mix of commercial establishments including retail, restaurants, personal service providers, medical & dental offices and business & professional offices.

This Parking Utilization Study outlines how the existing and proposed redevelopment of Delray Place South with the parking provided satisfies the determination of the amount of parking spaces required by providing adequate on-site and off-street parking to meet the needs of users of structures and usage of land, with parking areas designed to ensure their usefulness.

In Summary, based on the above Parking Utilization Study, the existing and proposed redevelopment of Delray Place South shopping center is projected to have sufficient parking to operate properly with a diverse mix of tenant uses, and therefore, it has been demonstrated that the parking spaces proposed will adequately accommodate the parking requirements for this shopping center, and the existing parking requirements per Code overestimate the required parking this shopping center

Please feel free to call and/or Email me, as we work through this project together.

**TRAF TECH ENGINEERING, INC.**



Joaquin E. Vargas, P.E.  
Senior Transportation Engineer



<b>TABLE 1</b>	
<b>Delray Plaza</b>	
<b>Parking Occupancy Counts on 5/8/2019</b>	
<b>Time of Day</b>	<b>Parked Vehicles</b>
08:00 AM	24
08:30 AM	30
09:00 AM	46
09:30 AM	59
10:00 AM	60
10:30 AM	74
11:00 AM	77
<b>11:30 AM</b>	<b>81</b>
12:00 PM	76
12:30 PM	68
01:00 PM	65
01:30 PM	64
02:00 PM	60
02:30 PM	55
03:00 PM	64
03:30 PM	67
04:00 PM	69
04:30 PM	68
05:00 PM	65
05:30 PM	64

SOURCE: Video Data Solutions (Wednesday 5/8/19)



<b>TABLE 2</b> <b>Delray Plaza</b> <b>Parking Occupancy Counts on 5/11/2019</b>	
<b>Time of Day</b>	<b>Parked Vehicles</b>
08:00 AM	14
08:30 AM	14
09:00 AM	50
09:30 AM	58
10:00 AM	69
10:30 AM	73
11:00 AM	84
<b>11:30 AM</b>	<b>84</b>
12:00 PM	79
12:30 PM	67
01:00 PM	69
01:30 PM	66
02:00 PM	72
02:30 PM	78
03:00 PM	82
03:30 PM	79
04:00 PM	76
04:30 PM	54
05:00 PM	51
05:30 PM	44

SOURCE: Video Data Solutions (Saturday 5/11/19)

# SPRAB SUBMITTAL FOR EXTERIOR FACADE REMODEL OF DELRAY PLACE SOUTH

(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON**  
ARCHITECTS

3501 GRIFFIN ROAD  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

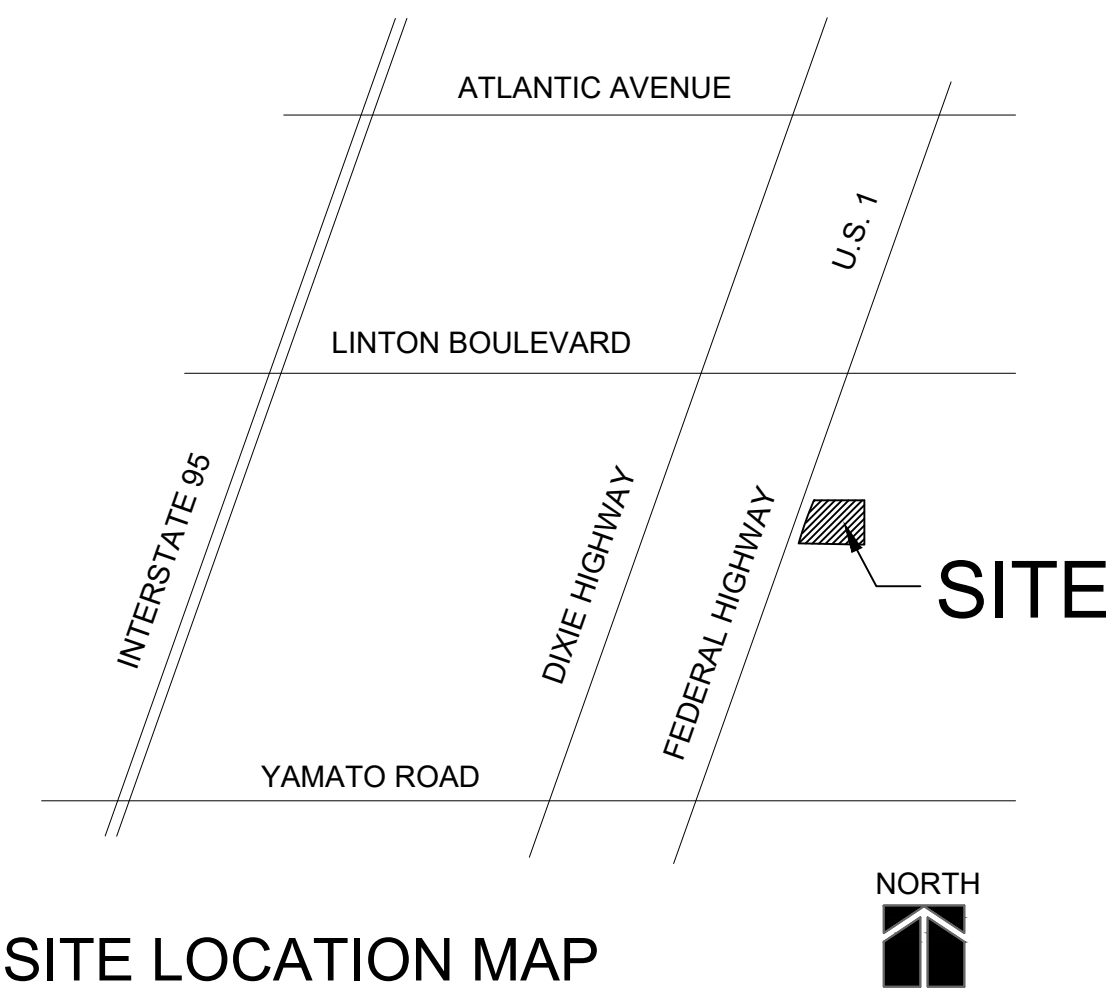
AA-0002897

**OWNER / DEVELOPER:** DELRAY PLACE, LLC  
C/O RETAIL PROPERTY GROUP  
ROYAL PALM PLACE  
101 PLAZA REAL SOUTH, SUITE 200  
BOCA RATON, FL 33432  
TELEPHONE: (561) 961-1730

**ARCHITECT:** SALTZ MICHELSON ARCHITECTS  
3501 GRIFFIN ROAD  
FORT LAUDERDALE, FLORIDA, 33312  
TELEPHONE: (954) 266-2700

## INDEX OF DRAWINGS

A0	COVER SHEET
	SURVEY
SP1	SITE PLAN
SP1.1	COMPOSITE OVERLAY PLAN
SP1.2	LANDSCAPE OVERLAY
SP1.3	FIRE TRUCK ROUTE PLAN
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A1.0	ROOF PLAN
A2.0	ELEVATIONS BUILDING #1
A2.1	ELEVATIONS BUILDING #1
A2.2	ELEVATIONS BUILDING #2
A2.3	ELEVATIONS BUILDING #2
A2.4	ELEVATIONS BUILDING #2
A2.5	ELEVATIONS BUILDING #3
A4.0	SCHEMATIC SECTIONS
E1.1	PHOTOMETRIC SITE PLAN



SITE LOCATION MAP

Mark L. Saltz AR 007171

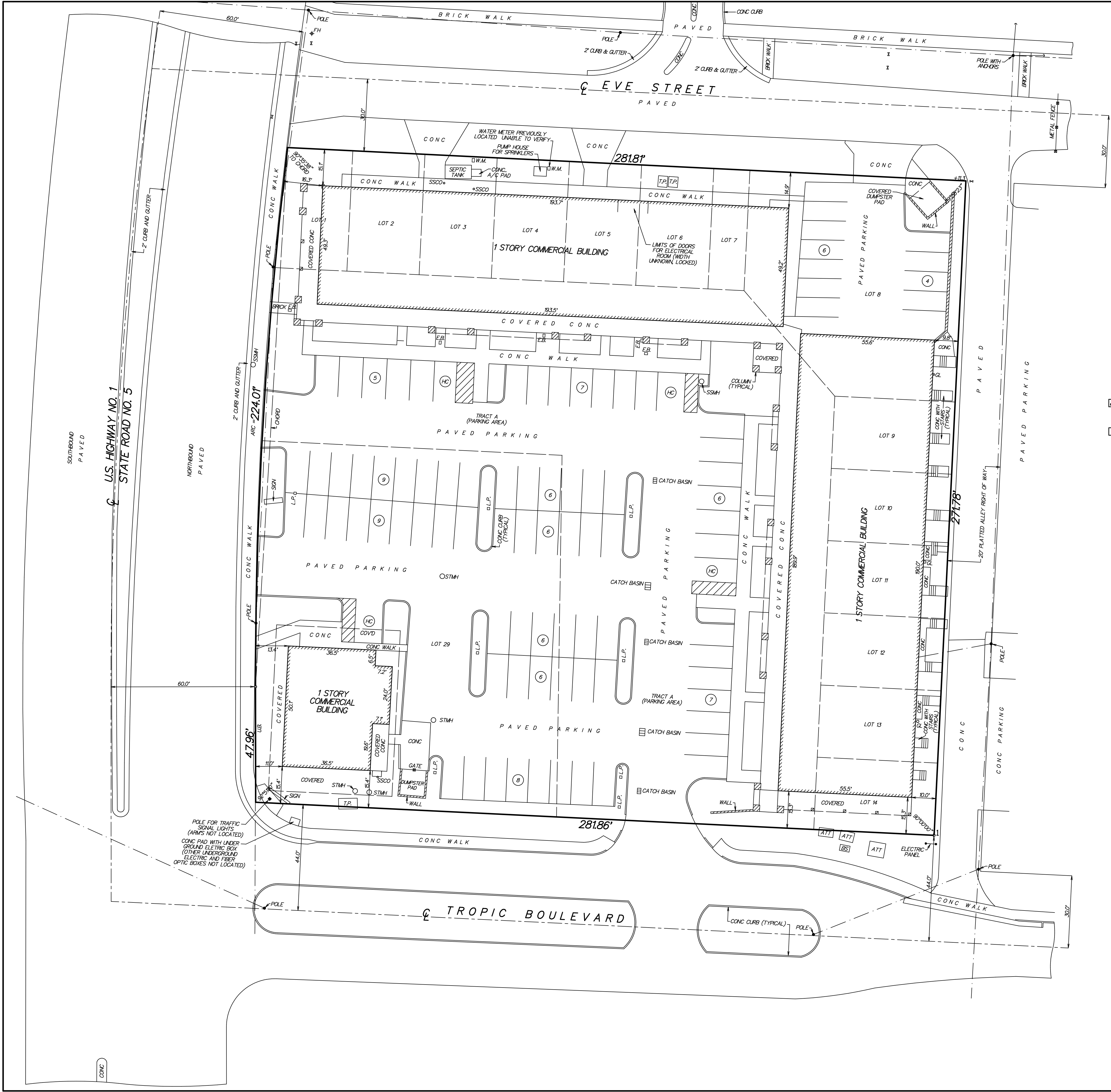
Project No.:  
2013-214  
Drawn By:  
NH-CR  
Checked By:  
MA  
Date:  
06-01-16

### REVISIONS:

△ BLDG DEPT COMM.  
02-16-16  
△ SPRAB COMM.  
07-10-19

Project name: SPRAB SUBMITTAL FOR EXTERIOR FACADE REMODEL OF DELRAY PLACE SOUTH  
Drawing title: SPRAB SUBMITTAL FOR EXTERIOR FACADE REMODEL OF DELRAY PLACE SOUTH  
Drawing number: AA-0002897  
Drawing date: 06-01-16  
Drawing by: NH-CR  
Drawing checked: MA  
Drawing scale: 1/8" = 1'-0"





DESCRIPTION:

LOTS 1 THROUGH 14, INCLUSIVE, LOT 29 AND TRACT "A", OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS:

LOTS 1 THROUGH 14, INCLUSIVE, AND LOT 29, TRACT A, OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A.

THE HEREINAFORE DESCRIBED PROPERTY IS A REPLAT OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-II OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, ORDER NO. 4391550, DATED APRIL 27, 2013.

8) PARCEL SUBJECT TO DECLARATION OF UNITY OF TITLE AS RECORDED IN O.R.B. 2468, PAGE 799

11) PARCEL SUBJECT TO TERMS, CONDITIONS, AND PROVISIONS OF ORDER AS RECORDED IN O.R.B. 2610, PAGE 271

SITE INFORMATION:

PARCEL ZONING: PC PLANNED COMMERCIAL

PROPERTY ADDRESS: 1911 SOUTH FEDERAL HIGHWAY  
DELRAY BEACH, FLORIDA 33444

PARCEL CONTROL NO. 12-43-46-28-06-001-0010

LAND AREA = 77,430 SQ. FT. (1.78 ACRES), MORE OR LESS

SETBACKS: FRONT 10'  
SIDE STREET 10'  
SIDE INTERIOR 0'  
REAR 10'

LEGEND:

C = CENTERLINE

CONC. = CONCRETE

W.M. = WATER METER

F.H. = FIRE HYDRANT

X = WATER VALVE

B.F.P. = BACK FLOW PREVENTER

— — — — — = OVERHEAD UTILITY LINES

SSCO = SANITARY SEWER CLEAN OUT

SSMH = SANITARY SEWER MANHOLE

4) = REFERS TO ITEM NUMBER IN SCHEDULE B-II OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT

T.P. = CONCRETE TRANSFORMER PAD

STMH = STORM SEWER MANHOLE

COVD = COVERED

E.B. = ELECTRIC BOX FLUSH WITH GROUND

FLOOD ZONE: X

COMMUNITY PANEL NO. 125102 0979

SUFFIX F

EFFECTIVE DATE: OCTOBER 05, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK

PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

MAP OF AS-BUILT SURVEY  
SITE ADDRESS: 1911 S. FED. HIGHWAY  
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle

PAUL D. ENGLE  
SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

O'BRIEN, SUITER & O'BRIEN, INC.  
LAND SURVEYORS

CERTIFICATE OF AUTHORIZATION #LB353  
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY  
JAN. 15, 2019  
FIELD BOOK  
D303

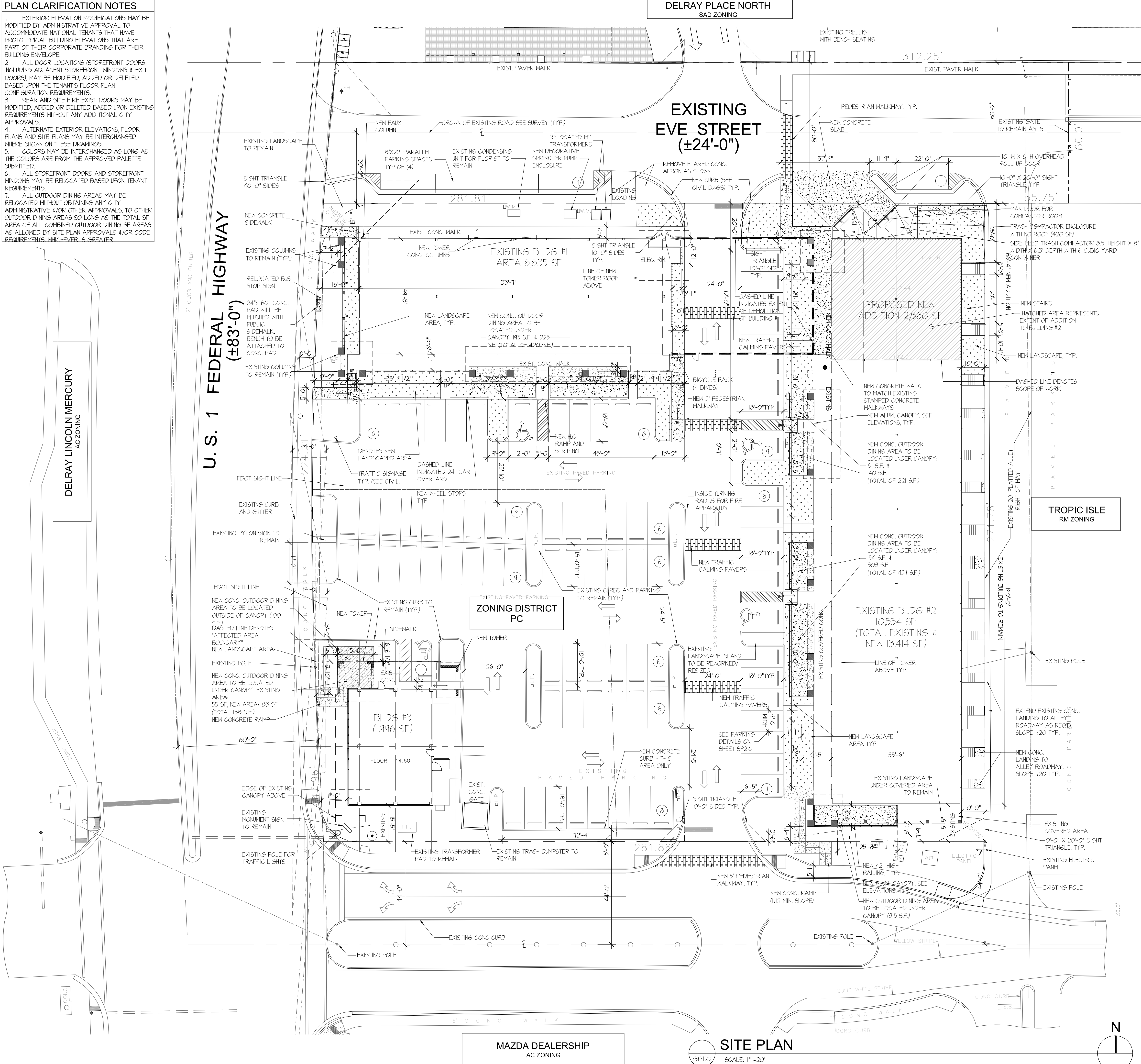
PAGE NO.  
58

SCALE: 1" = 20'  
ORDER NO.:  
13-37ab



**PLAN CLARIFICATION NOTES**

1. EXTERIOR ELEVATION MODIFICATIONS MAY BE MODIFIED BY ADMINISTRATIVE APPROVAL TO ACCOMMODATE NATIONAL TENANTS THAT HAVE PROTOTYPICAL BUILDING ELEVATIONS THAT ARE PART OF THEIR CORPORATE BRANDING FOR THEIR BUILDING ENVELOPE.
2. ALL DOOR LOCATIONS (STOREFRONT DOORS INCLUDING ADJACENT STOREFRONT WINDOWS & EXIT DOORS), MAY BE MODIFIED, ADDED OR DELETED BASED UPON THE TENANT'S FLOOR PLAN CONFIGURATION REQUIREMENTS.
3. REAR AND SITE FIRE EXIST DOORS MAY BE MODIFIED, ADDED OR DELETED BASED UPON EXISTING REQUIREMENTS WITHOUT ANY ADDITIONAL CITY APPROVALS.
4. ALTERNATE EXTERIOR ELEVATIONS, FLOOR PLANS AND SITE PLANS MAY BE INTERCHANGED WHERE SHOWN ON THESE DRAWINGS.
5. COLORS MAY BE INTERCHANGED AS LONG AS THE COLORS ARE FROM THE APPROVED PALETTE SUBMITTED.
6. ALL STOREFRONT DOORS AND STOREFRONT WINDOWS MAY BE RELOCATED BASED UPON TENANT REQUIREMENTS.
7. ALL OUTDOOR DINING AREAS MAY BE RELOCATED WITHOUT OBTAINING ANY CITY ADMINISTRATIVE &/OR OTHER APPROVALS, TO OTHER OUTDOOR DINING AREAS SO LONG AS THE TOTAL SF AREA OF ALL COMBINED OUTDOOR DINING SF AREAS AS ALLOWED BY SITE PLAN APPROVALS &/OR CODE REQUIREMENTS, WHICHEVER IS GREATER.



**SCOPE OF WORK**

THE PROPOSED SITE MODIFICATIONS UNDER THIS APPLICATION INCLUDE THE FOLLOWING KEY ITEMS:

- REMOVING THE EASTERMOST 60' (4'-) FROM THE NORTH BUILDING (BUILDING #1), REMOVING THE 10 PARKING SPACES AND DUMPSTER ENCLOSURE DIRECTLY TO THE NORTH OF THE EAST BUILDING (BUILDING #2), EXTENDING THE EASTERMOST DRIVE AISLE TO THE NORTH TO CONNECT TO EVE STREET.
- BUILDING AN ADDITION ONTO THE NORTH END OF BUILDING #2, PROVIDING NEW PARKING STALLS ALONG THE BUILDING #2 ADDITION AND REWORKING THE PARKING SPACES AFFECTED BY THE BUILDING MODIFICATIONS, ALSO PROPOSED IS AN ADA SIDEWALK CONNECTION TO THE TROPIC BOULEVARD ROW, LANDSCAPE AND SITE LIGHTING IMPROVEMENTS RELATED TO THE SITE MODIFICATIONS, DRAINAGE MODIFICATIONS RELATED TO THE SITE MODIFICATION, AND A NEW DUMPSTER ENCLOSURE TO REPLACE THE ONE IMPACTED BY THE BUILDING #2 EXPANSION.
- RENOVATION OF THE 3 BUILDING FACADES BY REMODELING THE EXISTING TOWER FEATURES, MODIFYING THE EXISTING PARAPETS, REPAIRING EXISTING STUCCO FINISH AND RE-PAINTING.
- OVERALL, THE PREVIOUSLY MENTIONED SITE MODIFICATIONS WILL RESULT IN A LOSS OF 36 SF OF BUILDING AREA ON THE SITE, AND WILL PROVIDE FOR IMPROVED CIRCULATION ACCESS FOR INGRESS AND EGRESS OUT OF THE PROPERTY. PEDESTRIAN ACCESS WILL BE IMPROVED WITH THE SIDEWALK CONNECTION ALONG TROPIC BOULEVARD.

**APPLICABLE CODES**

FLORIDA BUILDING CODE 2014, 5th EDITION  
FLORIDA FIRE PREVENTION CODE NFPA 101

**OCCUPANCY**

OCCUPANCY CLASSIFICATION: A-2, B, M  
TYPE OF CONSTRUCTION: II-B

**SITE DATA**

PROPERTY CONTROL NUMBER: 12434628060010010  
ZONING DISTRICT: PC  
FUTURE LAND USE: GC  
TOTAL SITE AREA: 17,430 SF. (1.78 ACRES)

EXISTING USE OF PROPERTY: COMMERCIAL SHOPPING CENTER & PROFESSIONAL OFFICES  
EXISTING TOTAL BUILDING AREAS: 22,084 SF

AREA CALCULATIONS (AFTER THE PROPOSED BUILDING RENOVATIONS):		
GROUND FLOOR AREA:		
BUILDING #1 (REFLECTING NET LOSS OF -2,904 SF OF BLDG AREA):		6,635 SF.
BUILDING #2 (REFLECTING NET GAIN OF +2,860 SF OF BLDG AREA.):		13,414 SF.
BUILDING #3 (NO CHANGE):		1,996 SF.
TOTAL FLOOR AREA (AFTER THE PROPOSED BUILDING RENOVATIONS):		22,045 SF. (28.58%)
TOTAL OUTDOOR DINING AREA:		1,651 SF.
TOTAL INDOOR AREA AND OUTDOOR DINING AREA:		23,696 SF.

**PROPERTY DEVELOPMENT REGULATIONS**

PC	MIN. LOT SIZE (ACRES)	MIN. LOT WIDTH (FT)	MIN. LOT DEPTH (FT)	MIN. LOT FRONTAGE (FT)	MIN. OPEN SPACE (%)	MIN. FLOOR AREA (SF)	MIN. FRONT STREET SETBACK (FT)	MIN. SIDE STREET SETBACK (FT)	MIN. REAR SETBACK (FT)	MIN. BUILDING HEIGHT (FT)
REQUIRED	0.23	50	100	50	25.00	6,000	10'	10'	10'	48'
EXISTING	1.77	271.78	281.81	835.80	18.29	1,996	7'-2"	15'-1"	10'	31'
PROPOSED	1.77	271.78	281.81	835.80	19.00	1,996	7'-2"	15'-1"	10'	24'-6"

**NOTE:**  
ITEMS IN BOLD REPRESENT PRE-EXISTING NONCONFORMITIES. PRE-EXISTING NONCONFORMITIES MAY CONTINUE BUT SHALL NOT BE MADE FURTHER NONCONFORMING.

**PARKING CALCULATIONS**

PARKING REQUIRED: 3.3 PARKING SPACES PER 1,000 SQUARE FEET OF GROSS LEASABLE FLOOR AREA, IRRESPECTIVE OF USES AND INCLUSIVE OF ALL OUTDOOR SEATING AREAS.

PARKING REQUIRED DETAILS =

INTERIOR GROSS LEASABLE FLOOR AREA =	22,045 SF
EXTERIOR OUTDOOR SEATING GROSS LEASABLE FLOOR AREA =	1,651 SF
TOTAL INTERIOR/EXTERIOR OUTDOOR SEATING GROSS LEASABLE FLOOR AREA =	23,696 SF

PARKING REQUIRED AT 3.3 PER 1,000 SQUARE FEET OF TOTAL GROSS LEASABLE FLOOR AREA = 23,696 SF / 1,000 X 3.3 = 78 PARKING SPACES

PROVIDED PARKING = 90 SPACES WITH 85 ON SITE +5 OFF SITE

EXISTING PARKING SPACES PER AS BUILT SITE = 84 PARKING SPACES

**LEGAL DESCRIPTION**

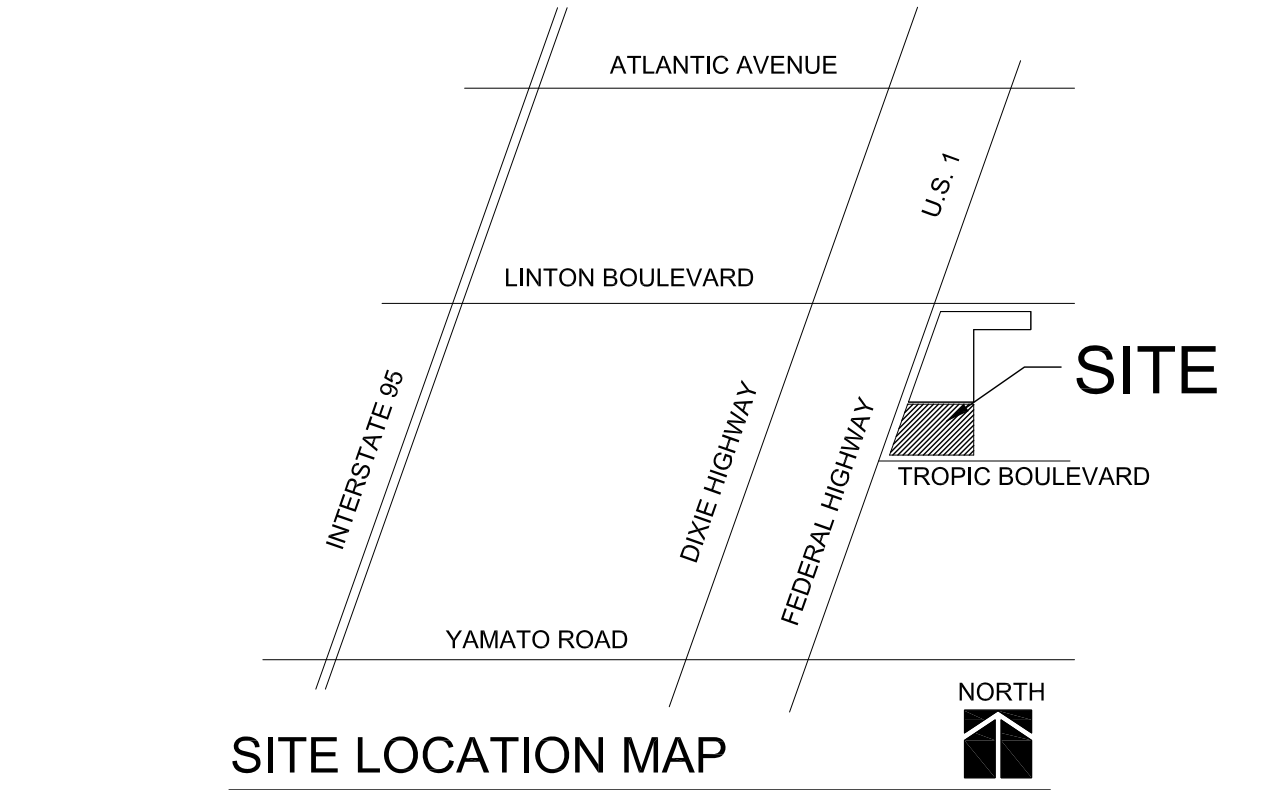
LOTS 1 THROUGH 14, INCLUSIVE, LOT 24 AND TRACT 'A', OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS:

LOTS 1 THROUGH 14, INCLUSIVE, AND LOT 24, TRACT A, OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A.

THE HEREINABOVE DESCRIBED PROPERTY IS A REPLAT OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

■ ■ ■ DENOTES BOUNDARY OF AFFECTED AREA

FIRE CODE REFERENCE: FLORIDA FIRE PREVENTION CODE 5th EDITION - FLORIDA SPECIFIC NFPA 1, FIRE CODE, CODE 2012 EDITION AND FLORIDA SPECIFIC NFPA 101, LIFE SAFETY CODE, 2012 EDITION.



**FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)**  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON  
ARCHITECTS**

3501 GRIFFIN ROAD  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR 007171

Project No.: 2013-214

Drawn By: NH-CR

Checked By: MA

Date: 06-01-16

REVISIONS:

1 BLDG DEPT. COMM. 02-16-16

2 CLIENT COMM. 04-06-16

3 CLIENT COMM. 04-15-16

4 SFRAB COMM. 08-03-16

5 SFRAB COMM. 11-11-16

6 COORDINATION 11-24-16

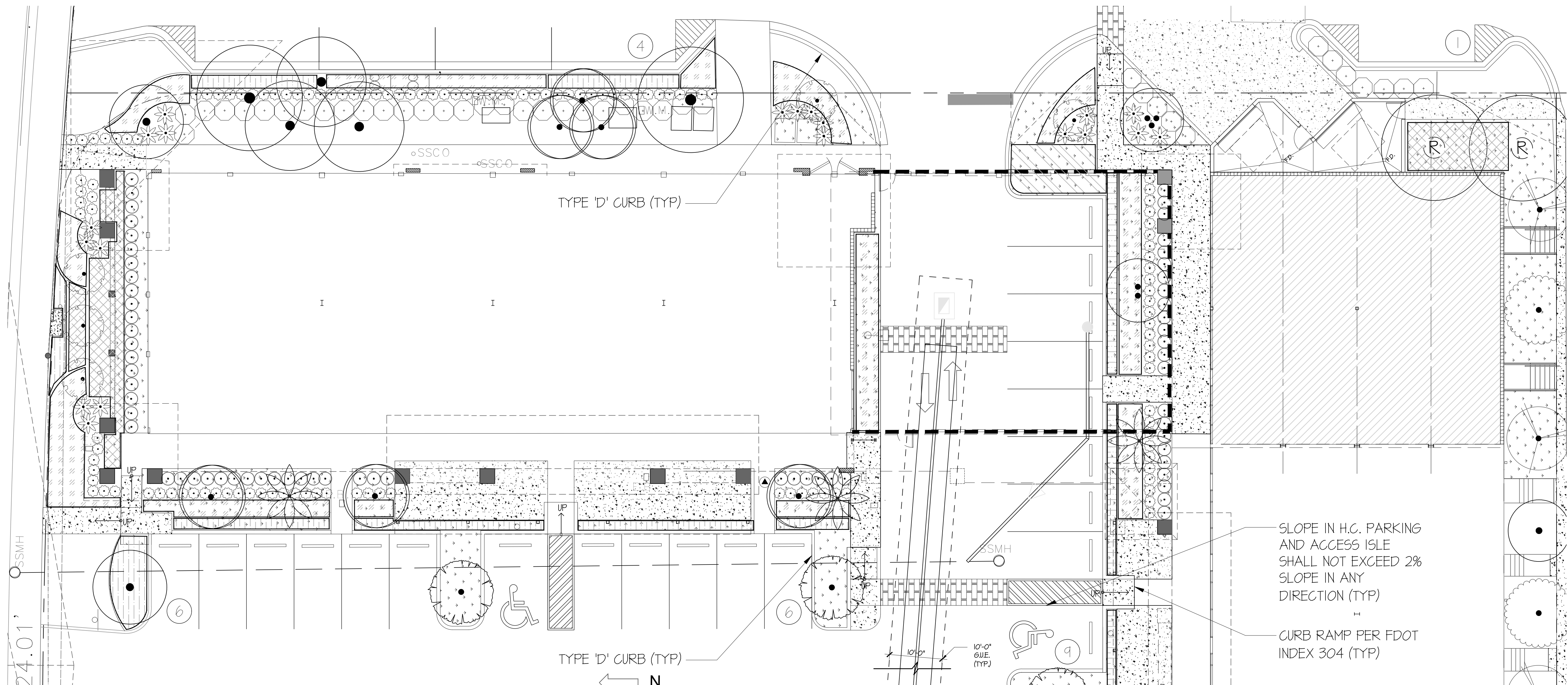
7 SFRAB COMM. 05-22-16

8 SFRAB COMM. 07-02-16

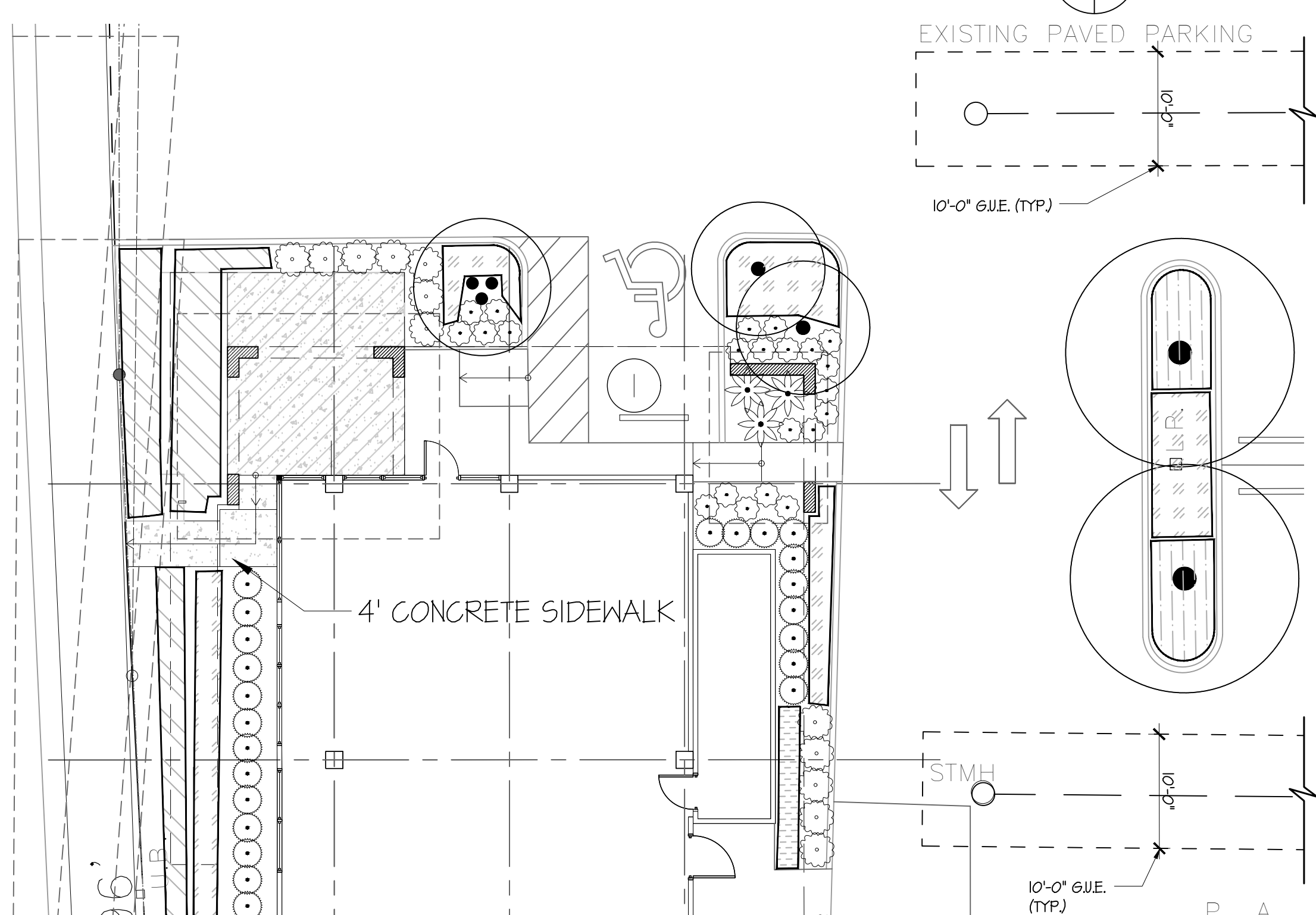
9 SFRAB COMM. 07-10-16

**SP1.0**

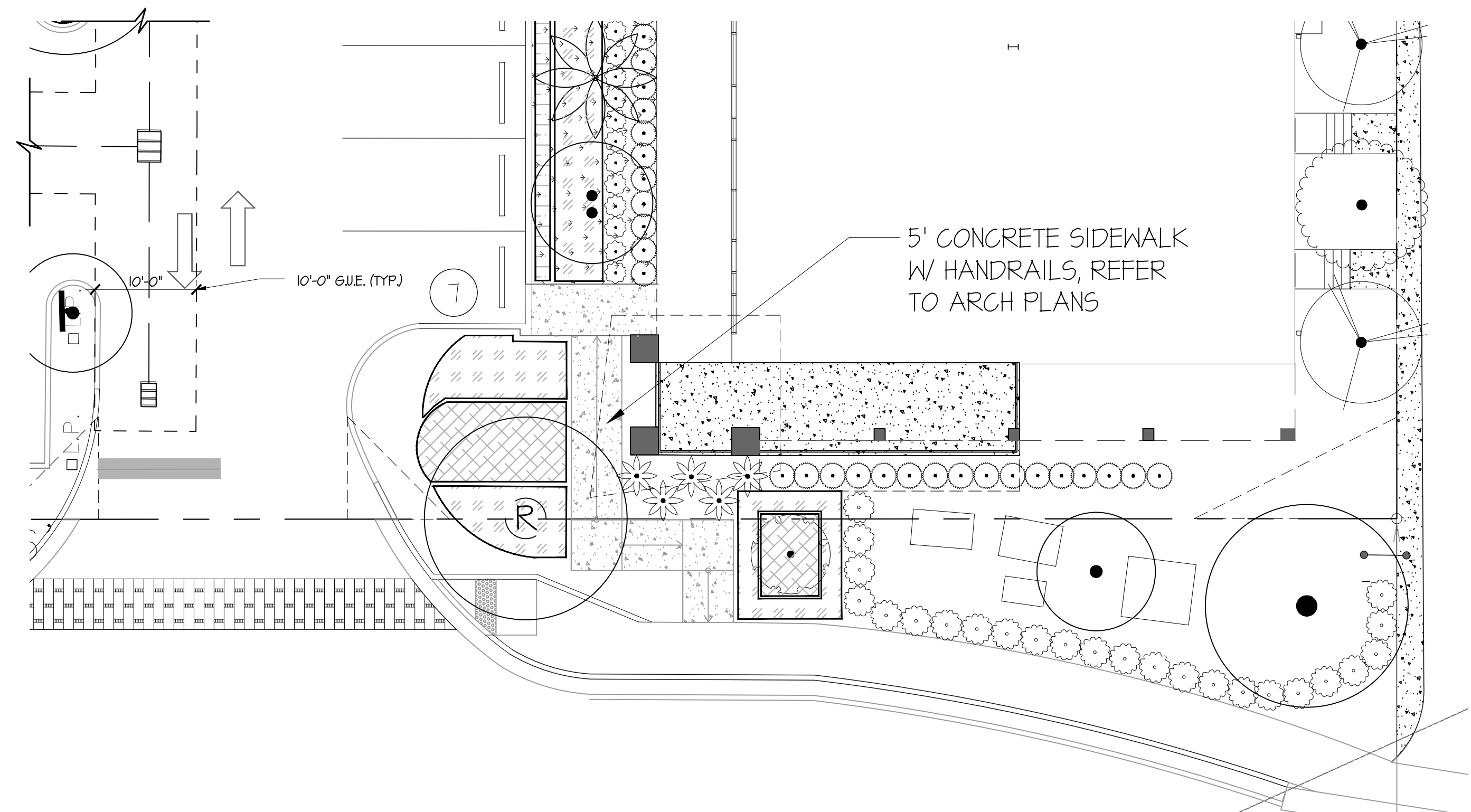




1  
SP1.1  
COMPOSITE OVERLAY PLAN - ENLARGED AFFECTED AREA  
SCALE: 1" = 10'



2  
SP1.1  
COMPOSITE OVERLAY PLAN - ENLARGED AFFECTED AREA  
SCALE: 1" = 10'



3  
SP1.1  
COMPOSITE OVERLAY PLAN - ENLARGED AFFECTED AREA  
SCALE: 1" = 10'

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON**  
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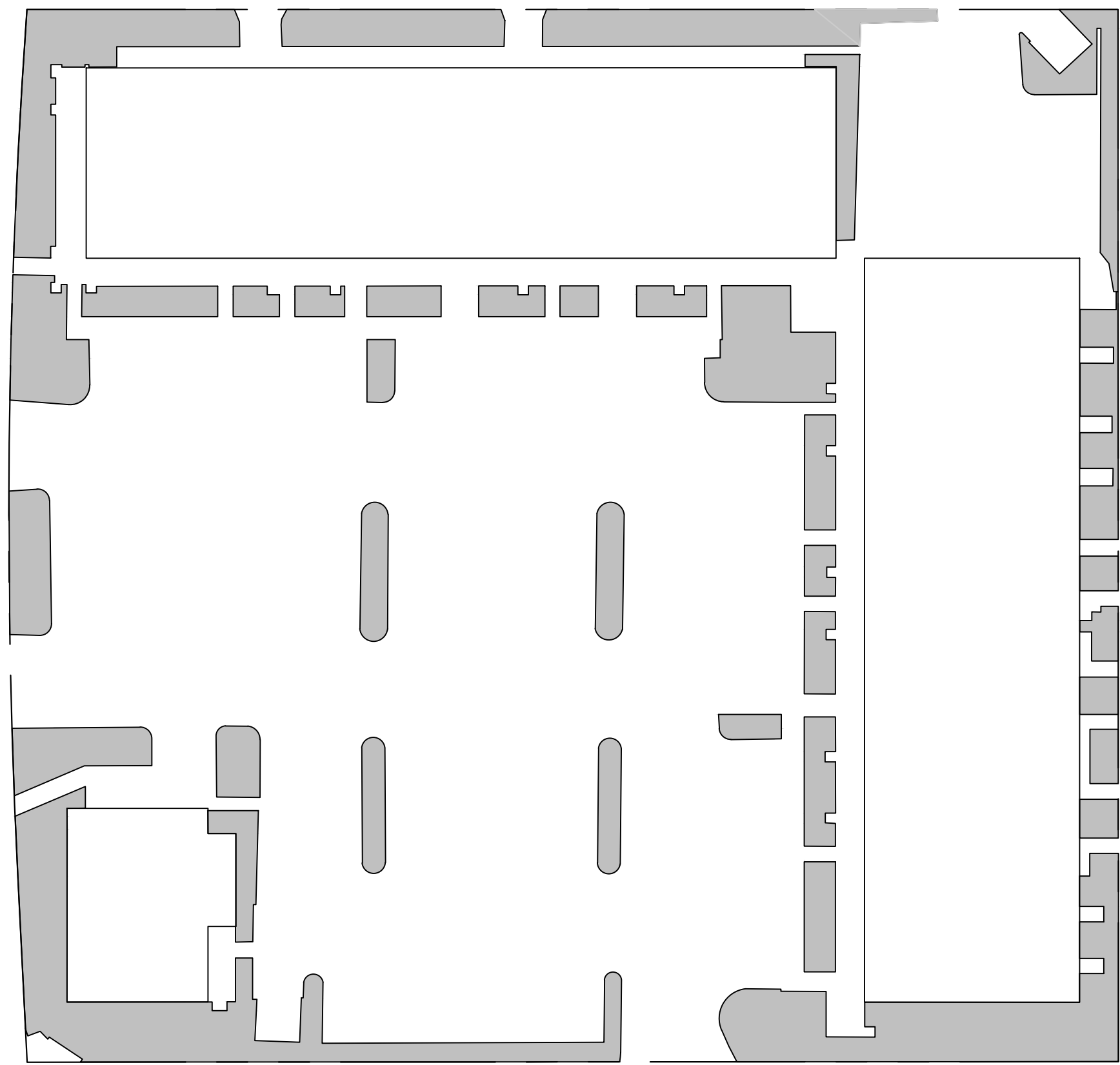
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2013-214  
Drawn By:  
NH-CR

Checked By:  
MA  
Date:  
06-01-16

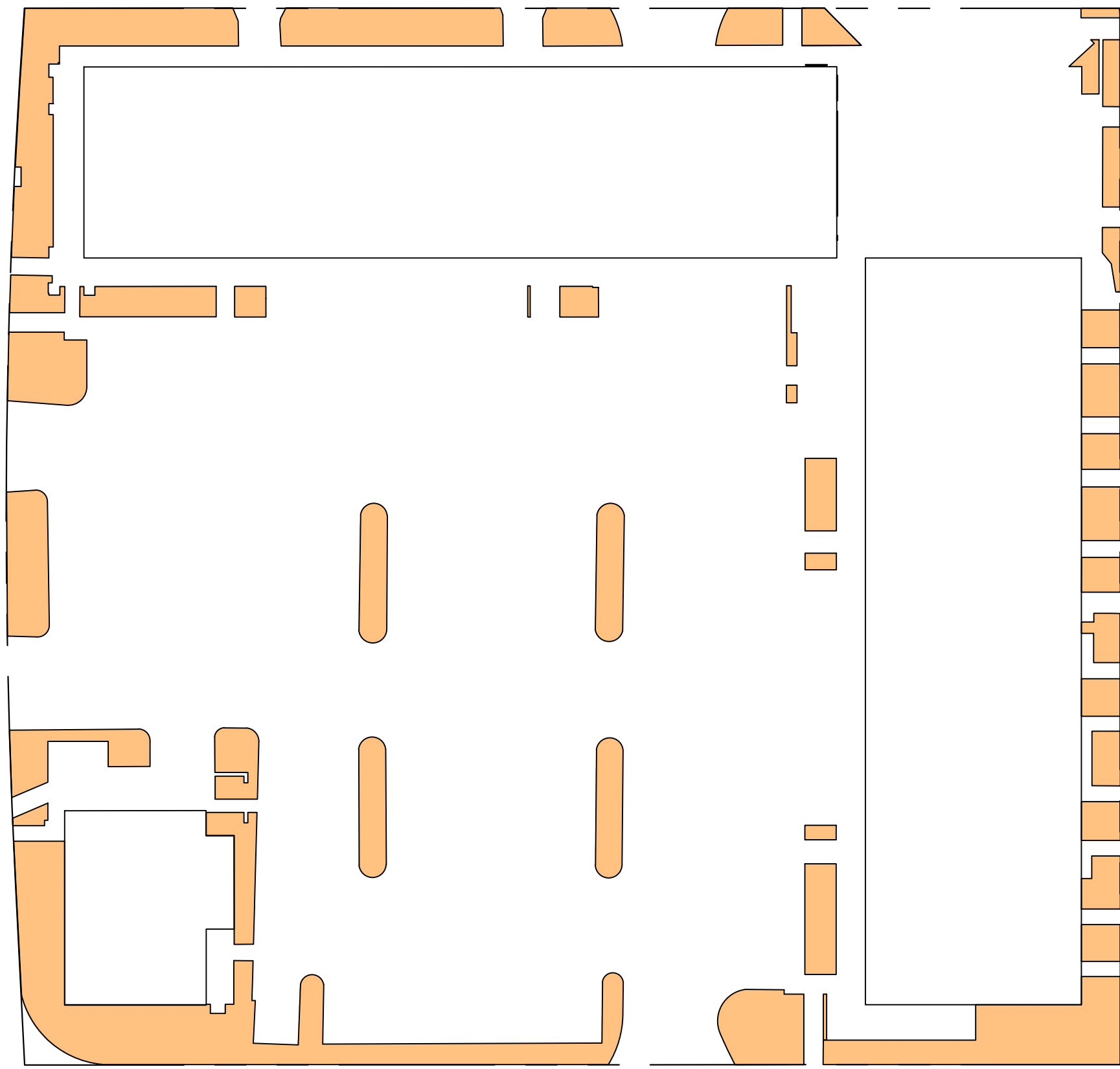
REVISIONS:

- CLIENT COMM. 04-06-16
- SPRAB COMM. 08-03-16
- COORDINATION 11-24-18
- SPRAB COMM. 05-22-19
- SPRAB COMM. 07-02-19
- SPRAB COMM. 07-10-19

SP1.1



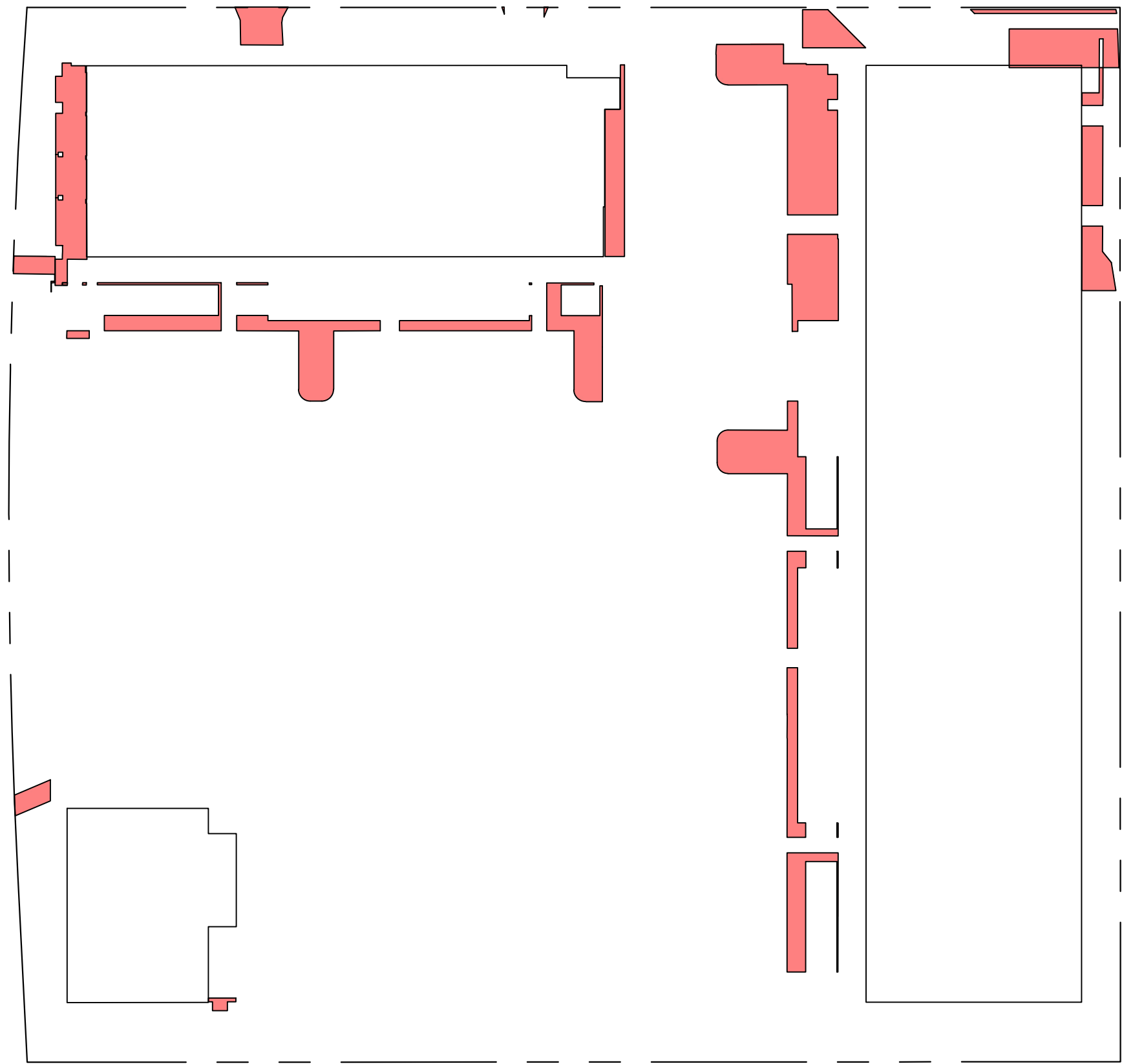
1 SITE PLAN- EXISTING LANDSCAPE AREAS  
SCALE: 1" = 20'



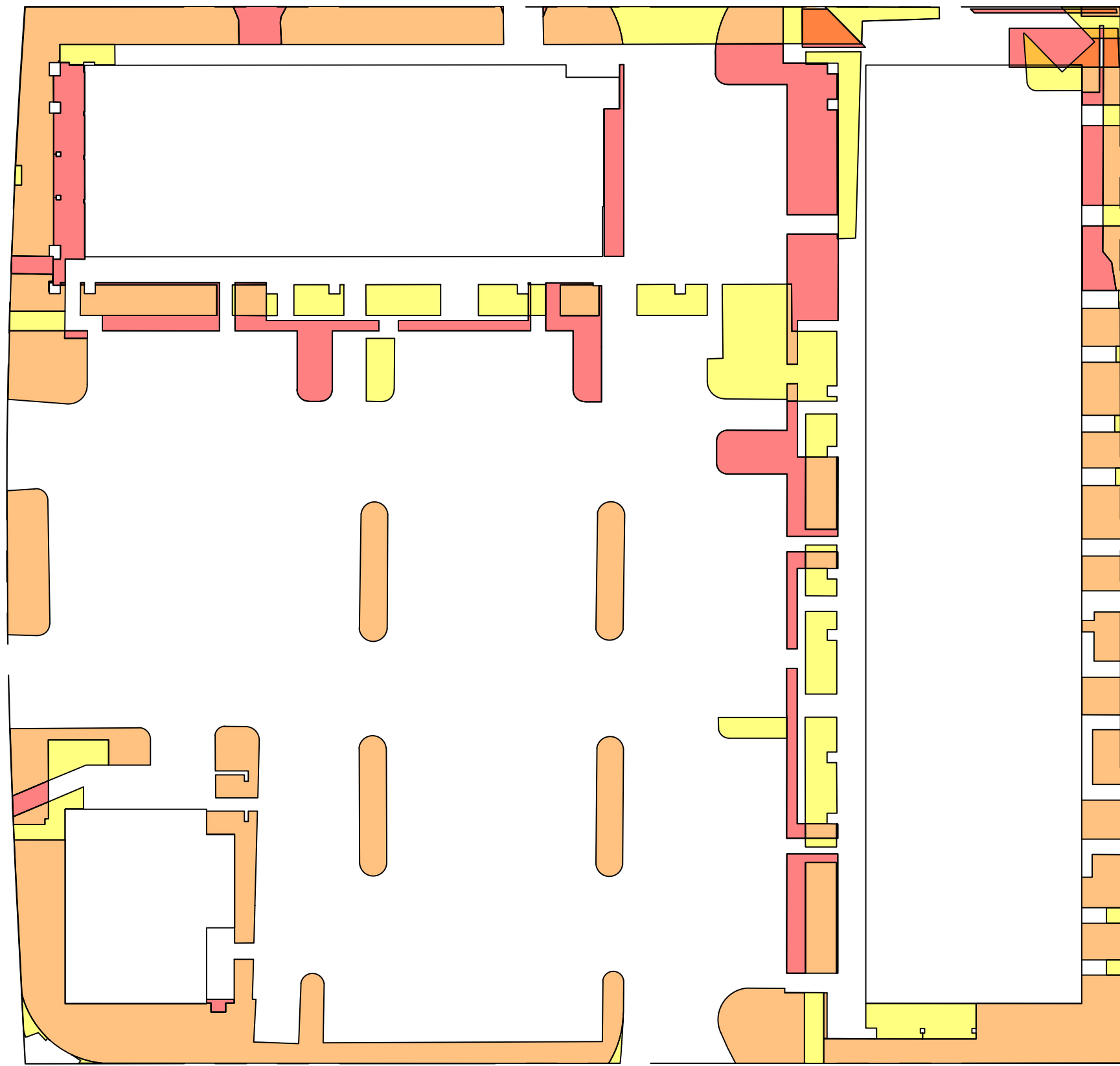
2 SITE PLAN- EXIST. LANDSCAPE TO REMAIN  
SCALE: 1" = 20'






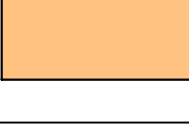
3 SITE PLAN- EXIST. LANDSCAPE TO BE REMOVED  
SCALE: 1" = 20'



4 SITE PLAN- NEW LANDSCAPE  
SCALE: 1" = 20'



5 SITE PLAN- LANDSCAPE OVERLAY  
SCALE: 1" = 20'

LEGEND	
TOTAL SITE AREA: 77,430 SF	
	TOTAL EXISTING LANDSCAPE AREA: 14,087 SF (18.2%)
	EXISTING LANDSCAPE AREA TO BE REMOVED: 3,621 SF
	PROPOSED NEW LANDSCAPE AREA: 3,632 SF
	EXISTING LANDSCAPE AREA TO REMAIN: 10,476 SF
TOTAL PROPOSED LANDSCAPE AREA: 14,108 SF (18.2%)	
TOTAL PROPOSED IMPERVIOUS AREA: 63,322 SF (81.8%)	

FACADE RENOVATION FOR  
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DELRAY BEACH, FLORIDA

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Mark L. Saltz AR 007171

Project No.:  
2013-214

Drawn By:  
NH-CR

Checked By:  
MA

Date:  
06-01-16

REVISIONS:

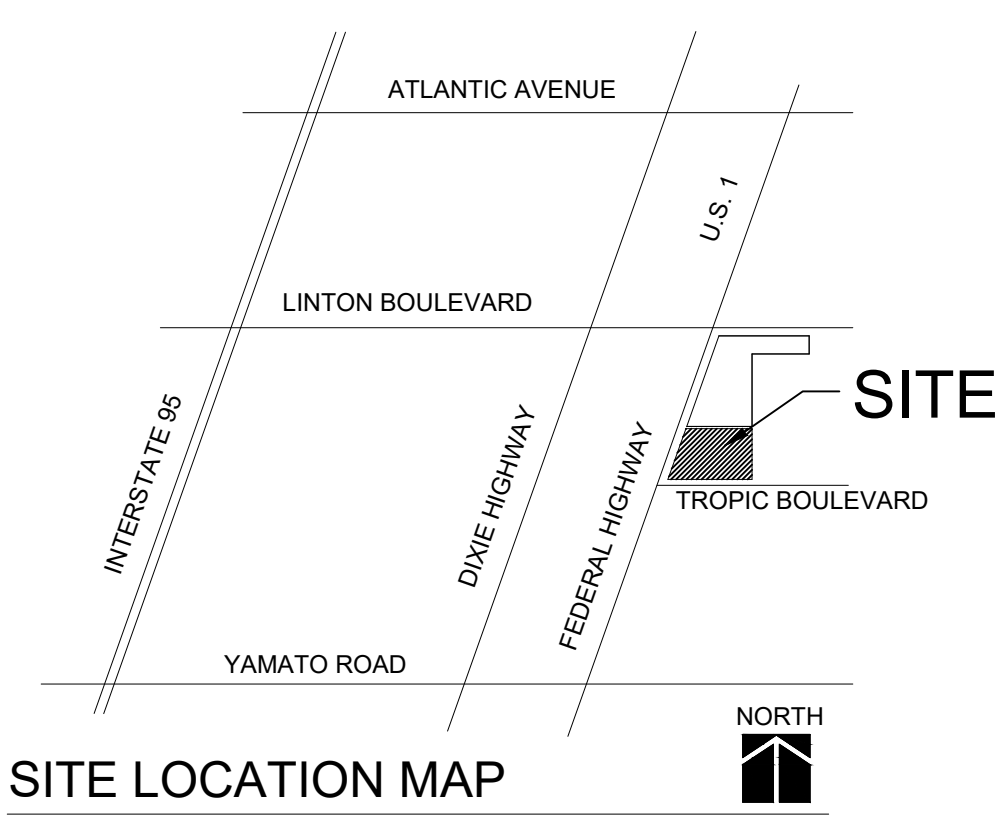
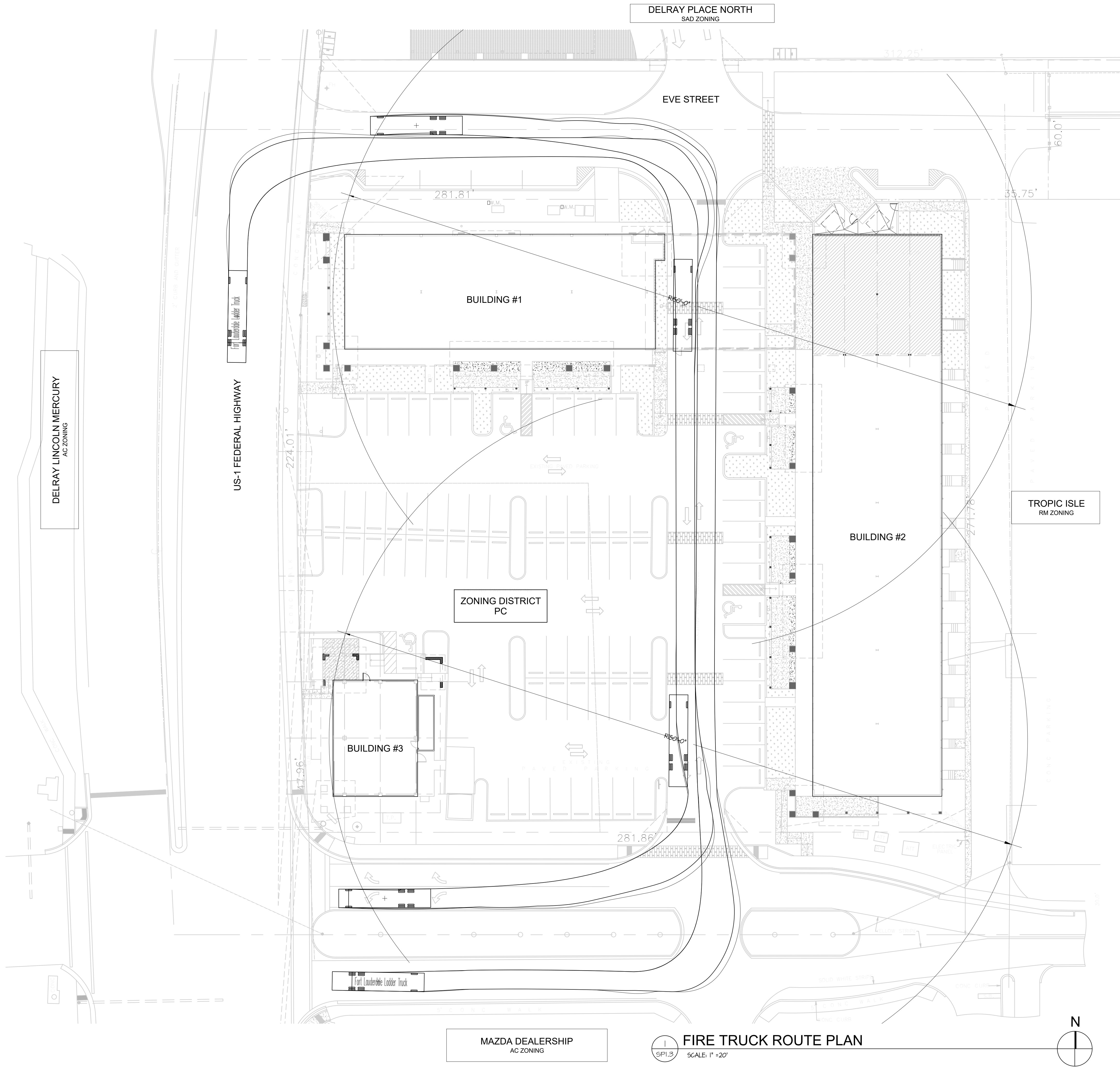
6 COORDINATION  
11-24-16

7 SPRAB COMM.  
05-22-14

8 SPRAB COMM.  
07-10-14

SP1.2





FACADE RENOVATION FOR  
DELAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

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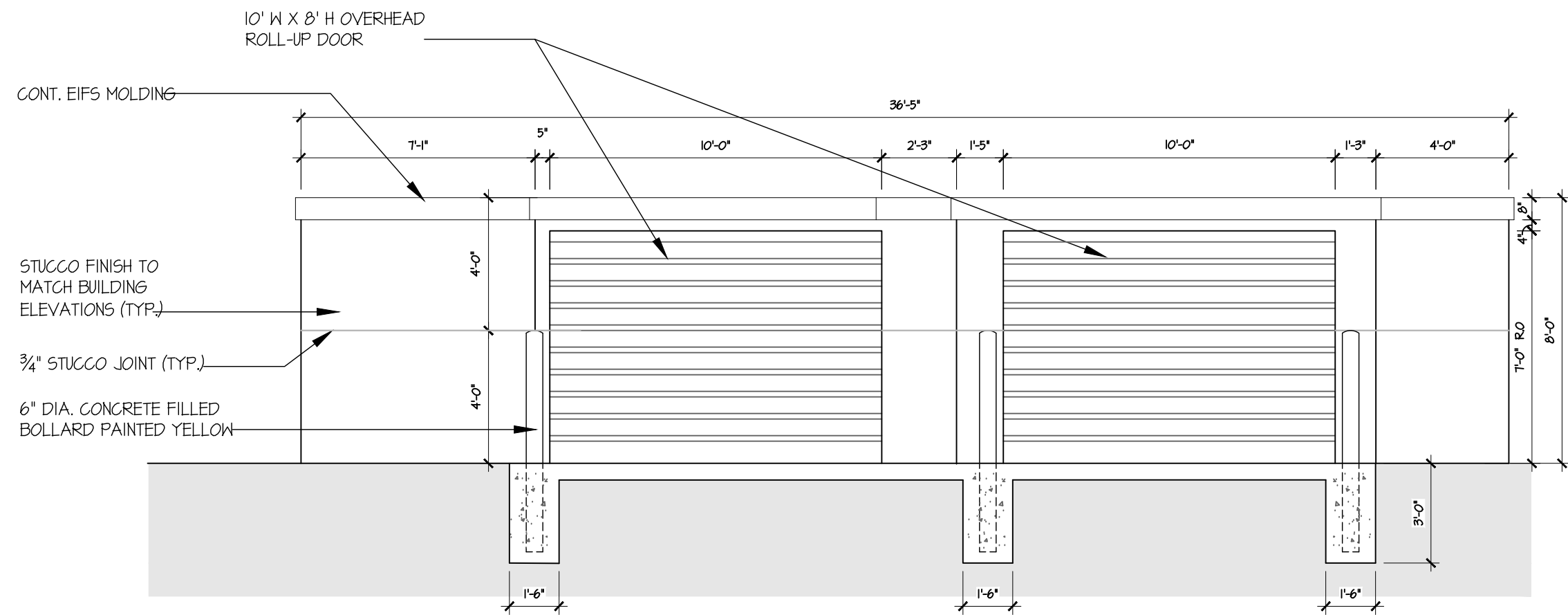
Mark L. Saltz AR 007171

Project No.:  
2013-214  
Drawn By:  
NH-CR  
Checked By:  
MA  
Date:  
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REVISIONS:

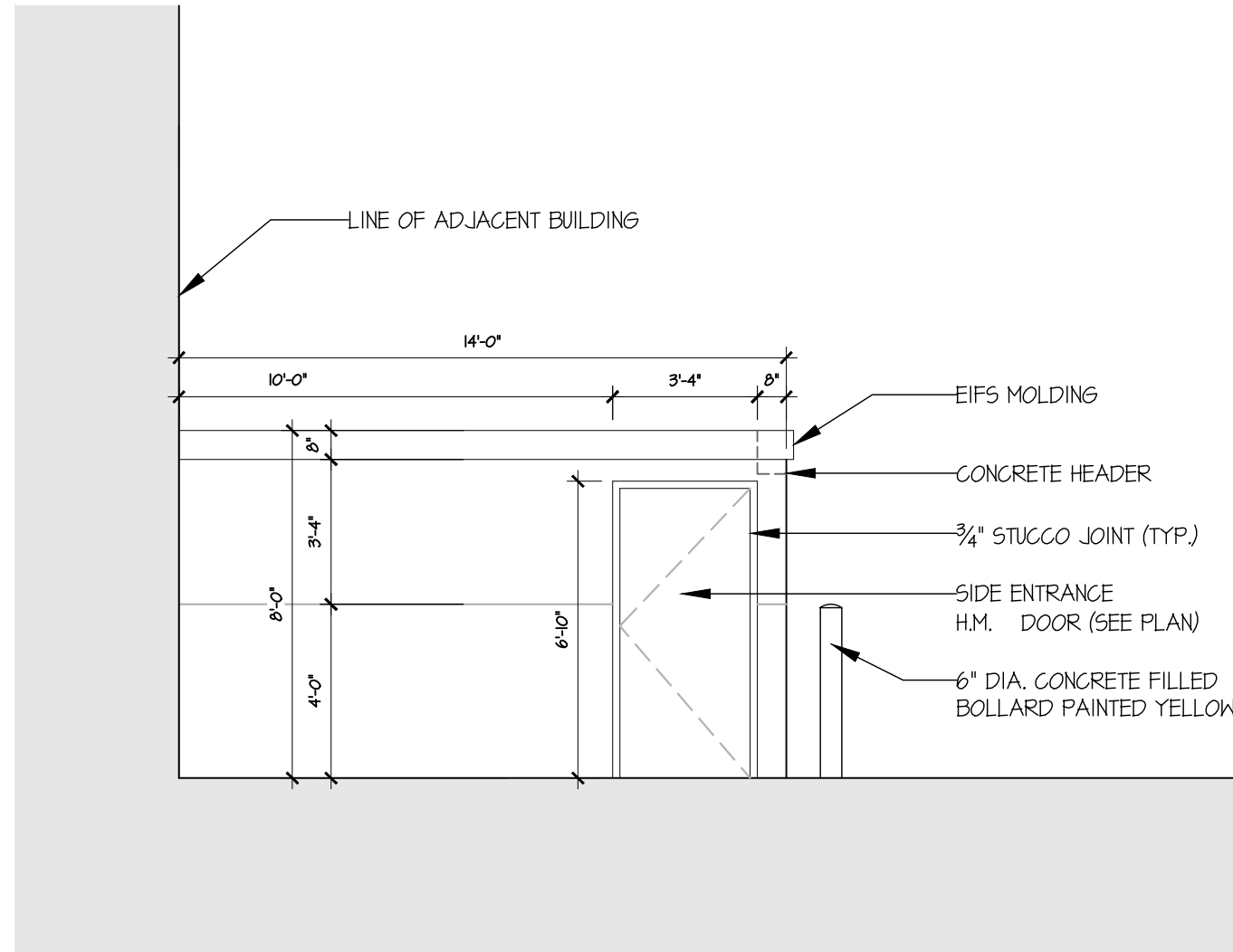
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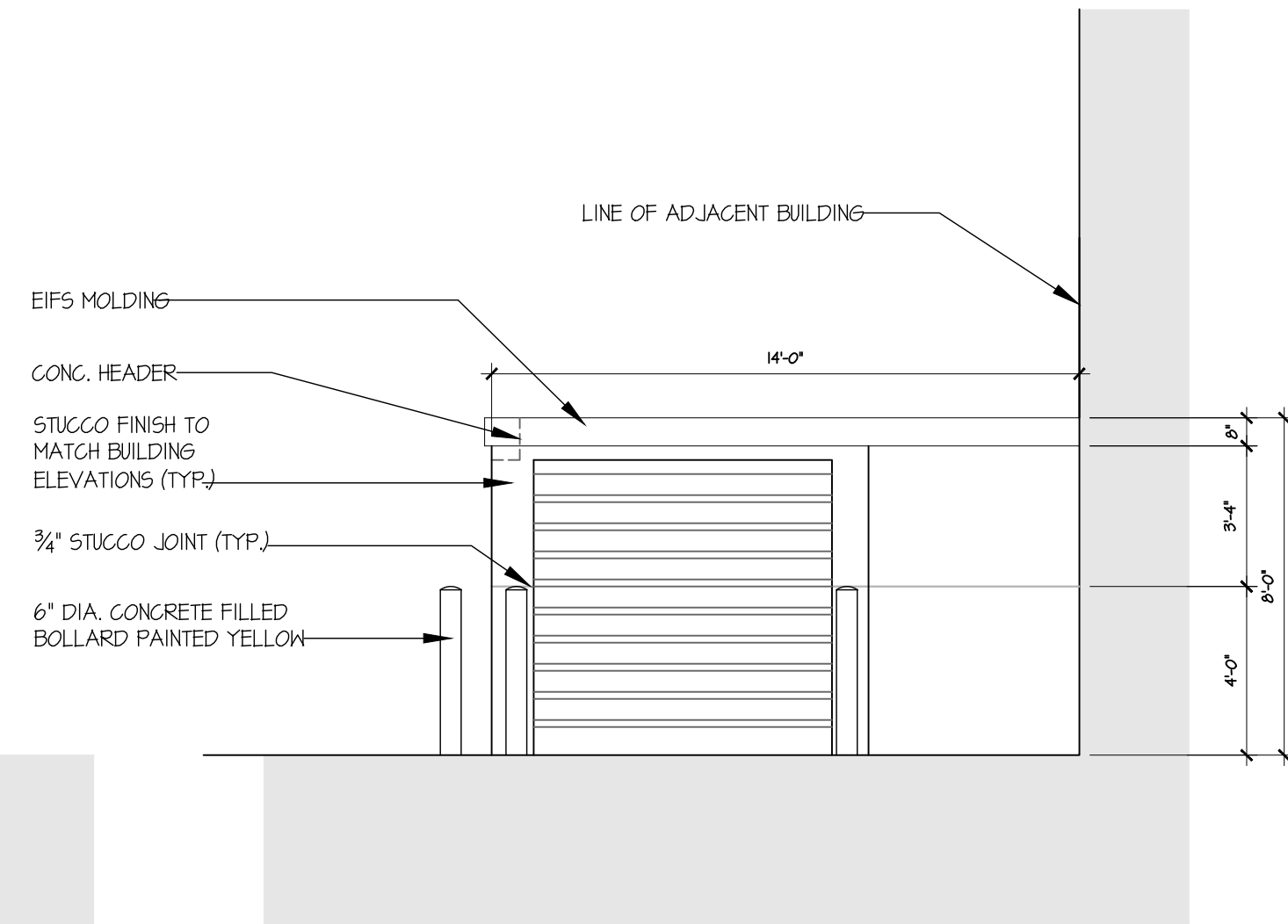
Drawn by: S.M. Date: 06/01/16 Project: 2013-214 Title: FACADE RENOVATION FOR DELAY PLACE (SOUTH) (FORMERLY KNOWN AS TROPIC SQUARE) Delray Beach, FL



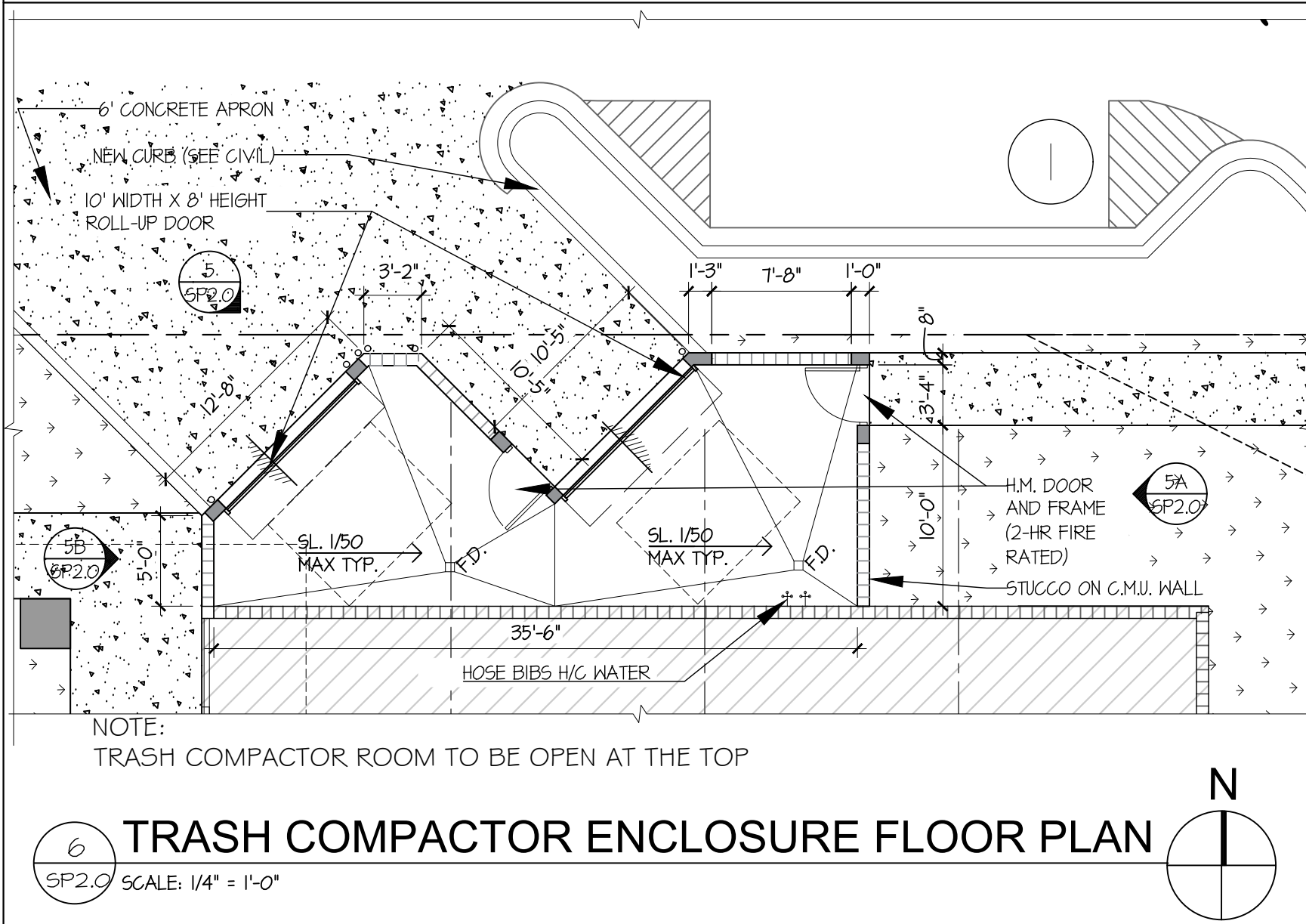
5 TRASH COMPACTOR ENCLOSURE ELEVATIONS  
SP2.0 SCALE: 1/4" = 1'-0"



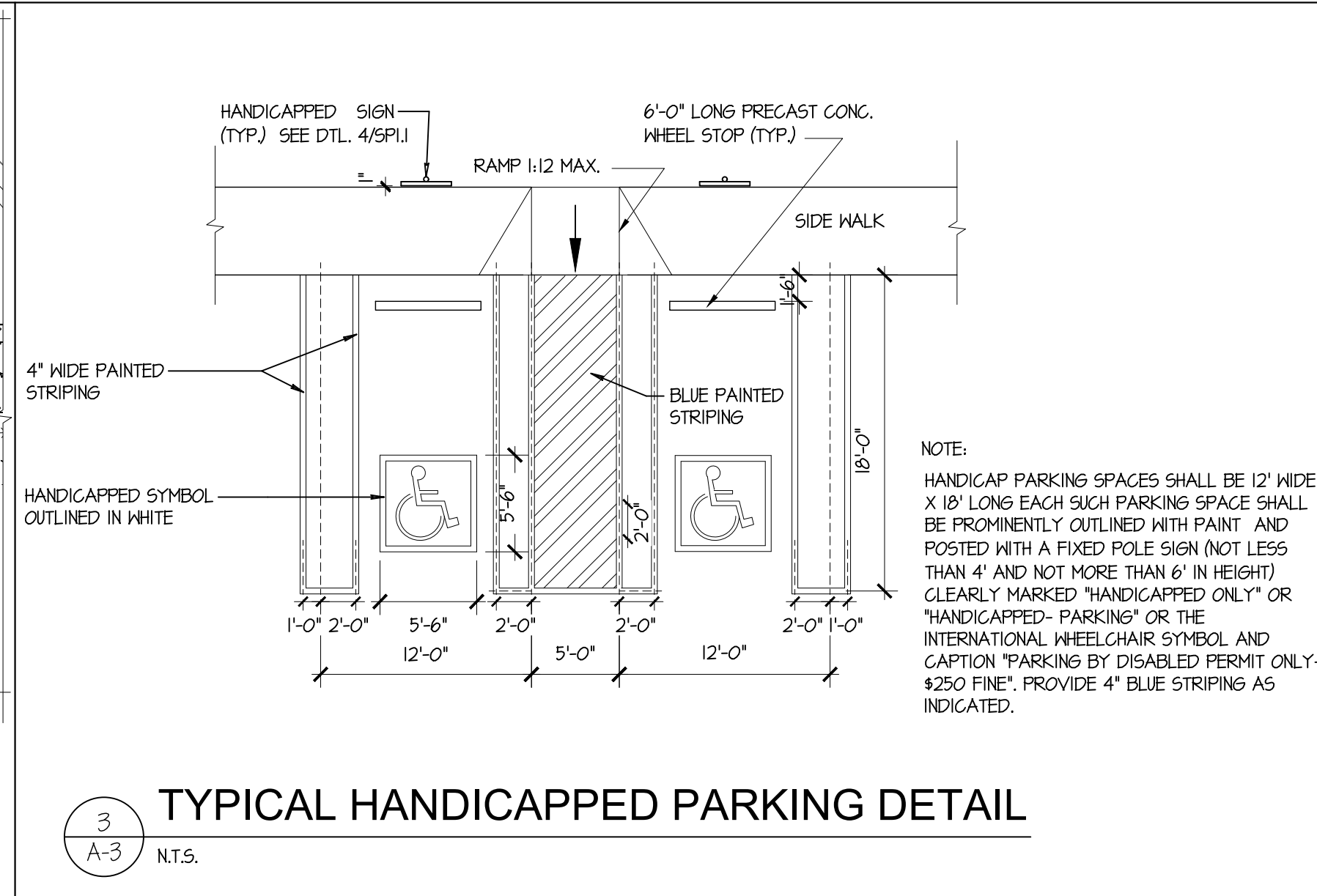
5A TRASH COMPACTOR ENCLOSURE SIDE ELEVATION  
SP2.0 SCALE: 1/4" = 1'-0"



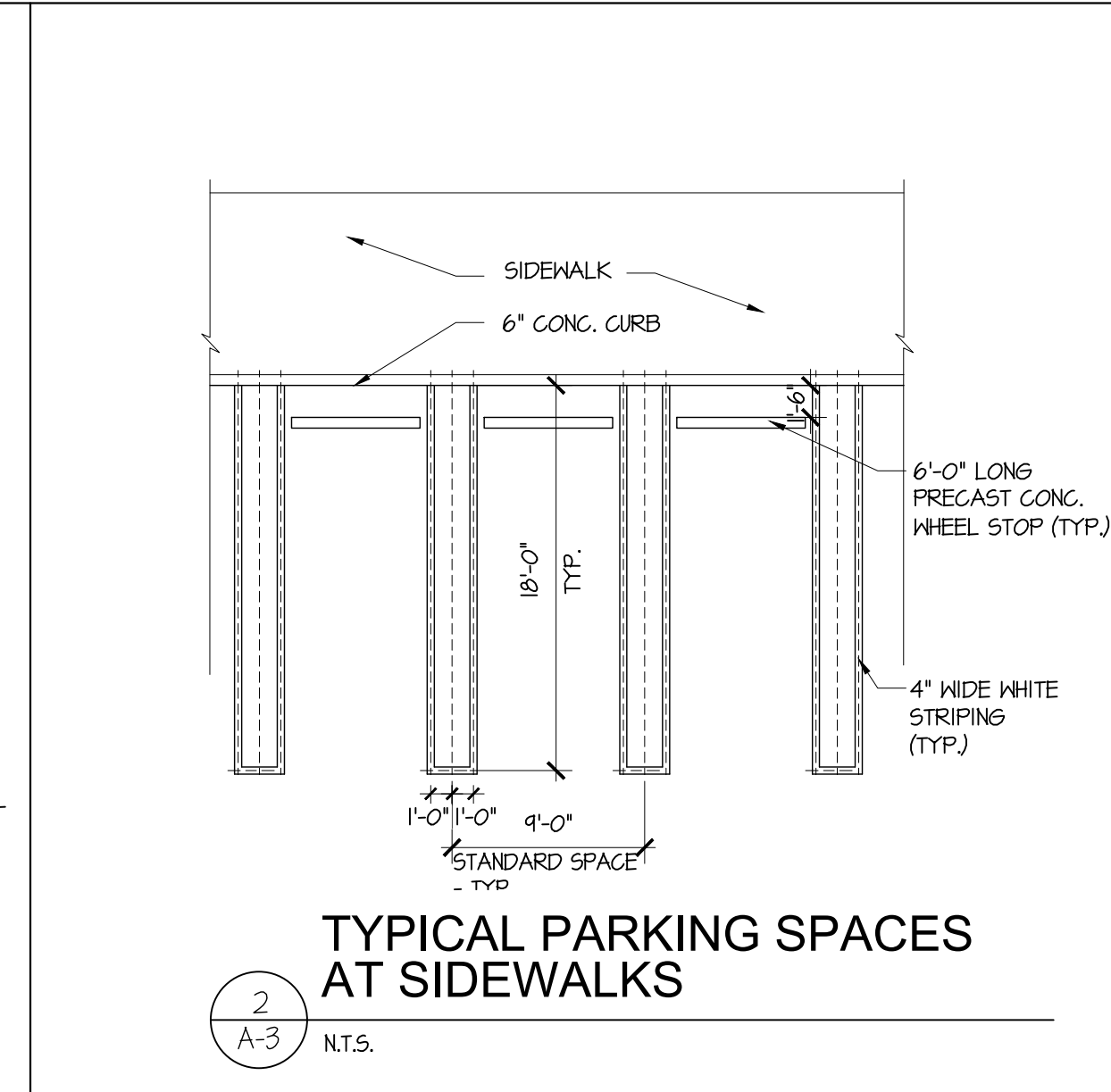
5B TRASH COMPACTOR ENCLOSURE SIDE ELEVATION  
SP2.0 SCALE: 1/4" = 1'-0"



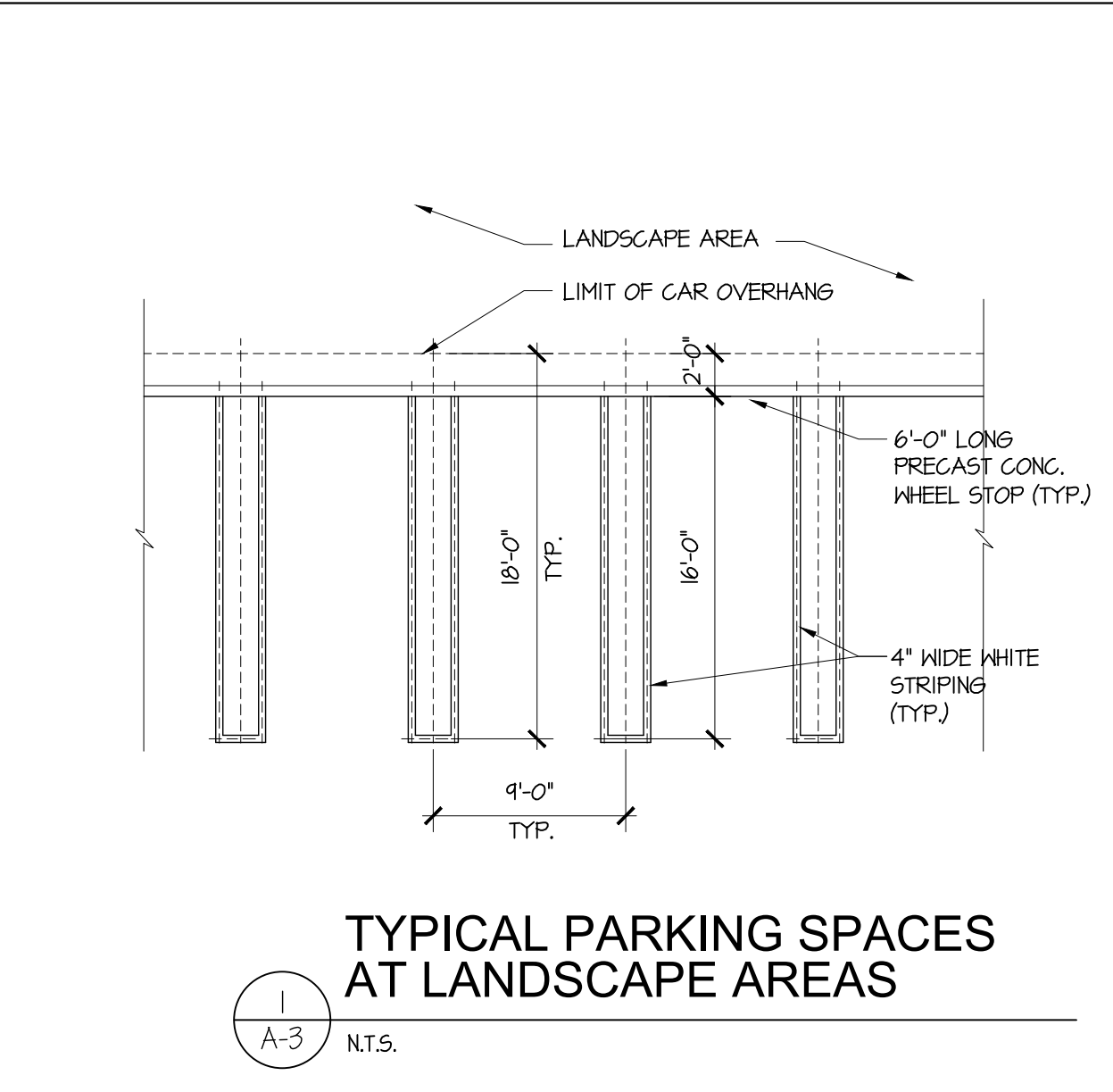
6 TRASH COMPACTOR ENCLOSURE FLOOR PLAN  
SP2.0 SCALE: 1/4" = 1'-0"



3 TYPICAL HANDICAPPED PARKING DETAIL  
A-3 N.T.S.

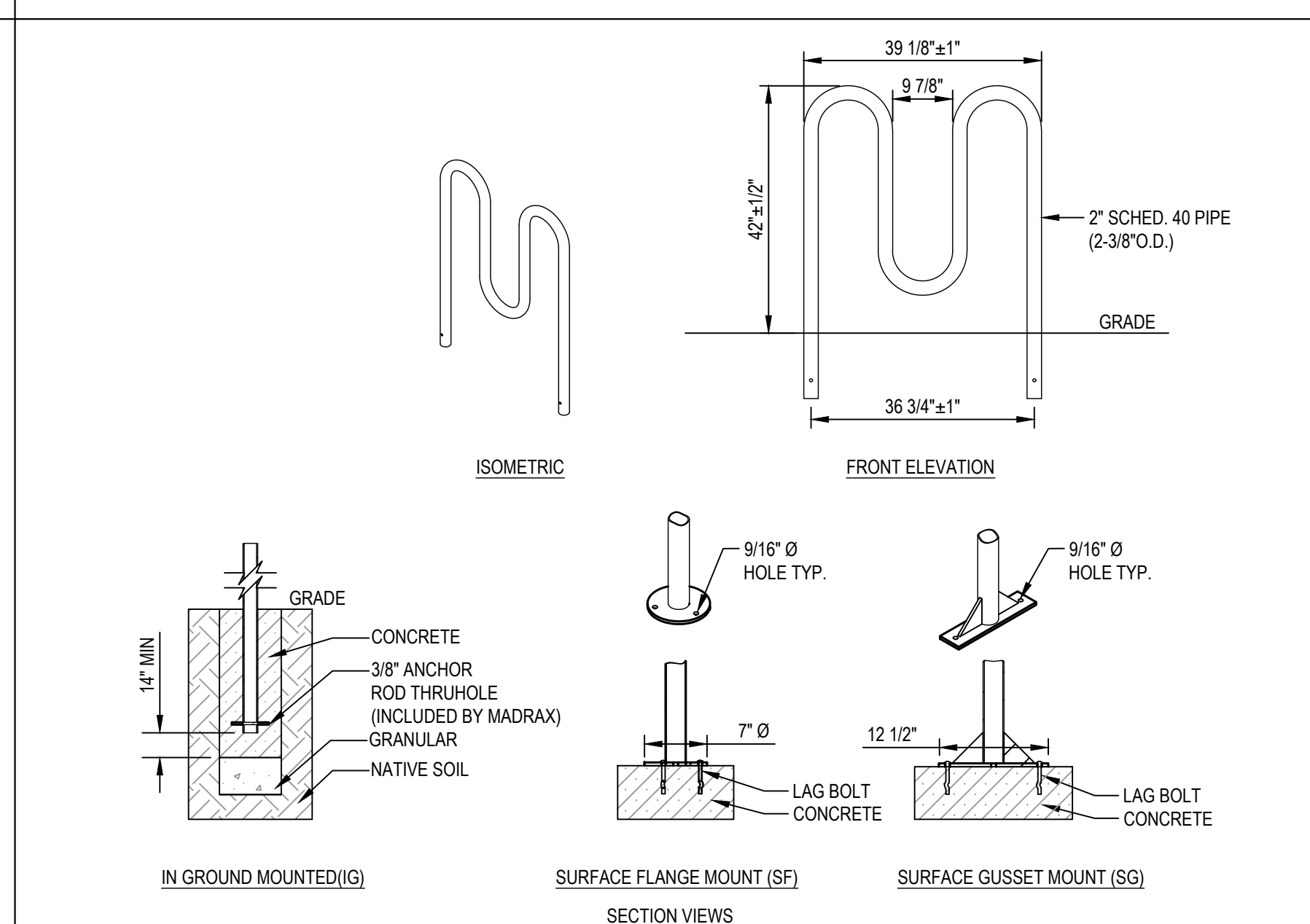


2 TYPICAL PARKING SPACES AT SIDEWALKS  
A-3 N.T.S.

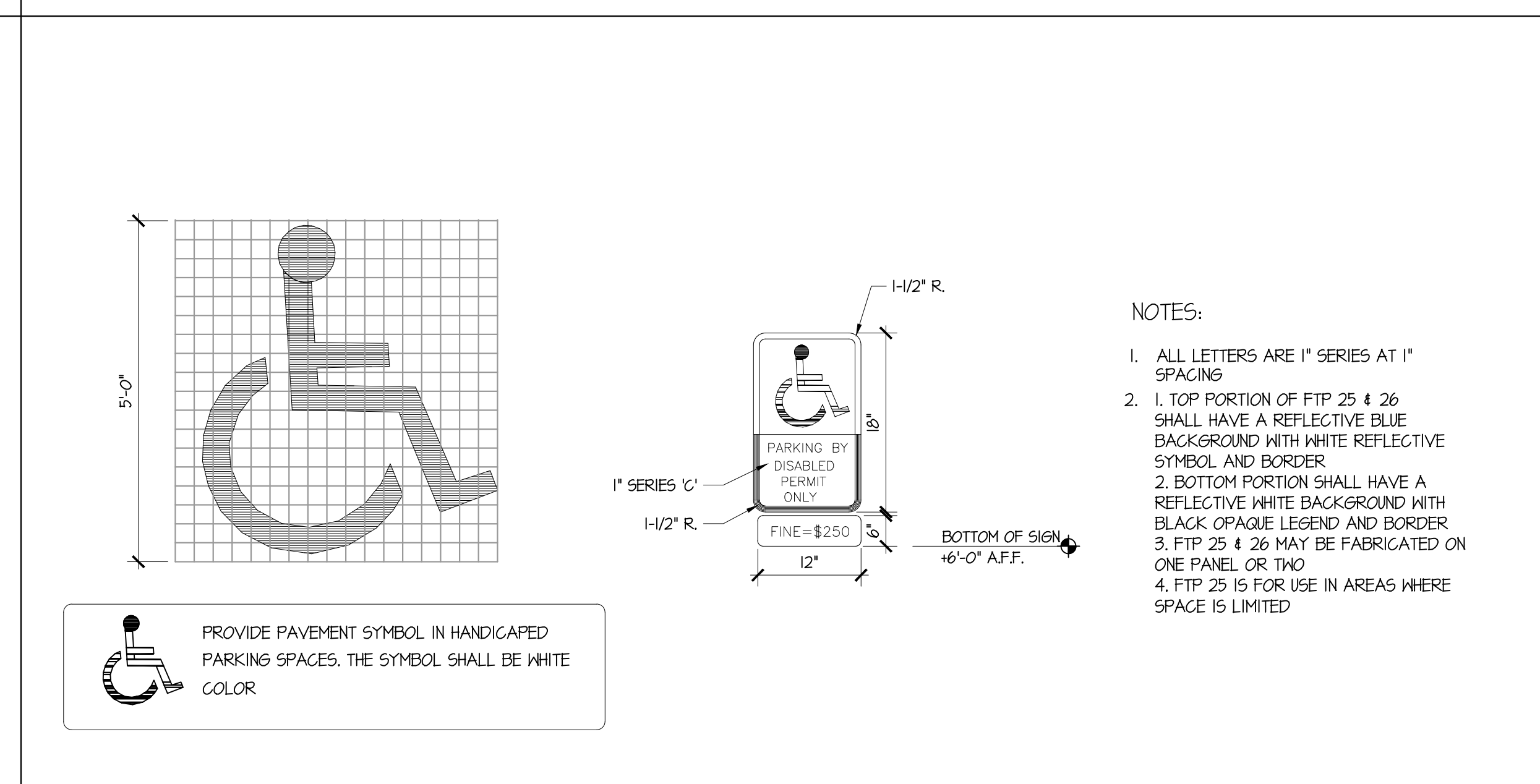


1 TYPICAL PARKING SPACES AT LANDSCAPE AREAS  
A-3 N.T.S.

- NOTES:
- EXTERIOR ELEVATION MODIFICATIONS MAY BE MODIFIED BY ADMINISTRATIVE APPROVAL TO ACCOMMODATE NATIONAL TENANTS THAT HAVE PROTOTYPICAL BUILDING ELEVATIONS THAT ARE PART OF THEIR CORPORATE BRANDING FOR THEIR BUILDING ENVELOPE.
  - REAR AND SIDE FIRE EXIT DOORS MAY BE MODIFIED, ADDED OR DELETED BASED UPON EXISTING REQUIREMENTS WITHOUT ANY ADDITIONAL CITY APPROVALS.
  - ALTERNATE EXTERIOR ELEVATIONS, FLOOR PLANS AND SITE PLANS MAY BE INTERCHANGED WHERE SHOWN ON THESE DRAWINGS.
  - COLORS MAY BE INTERCHANGED AS LONG AS THE COLORS ARE FROM THE APPROVED PALETTE SUBMITTED.
  - ALL STOREFRONT DOORS AND STOREFRONT WINDOWS MAY BE RELOCATED BASED UPON TENANT REQUIREMENTS.



7 BICYCLE RACK DETAIL  
A-3 SCALE: N.T.S.



4 HANDICAPPED SIGNAGE DETAIL  
A-3 SCALE: N.T.S.

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

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Project No.:  
2013-214

Drawn By:  
NH-CR

Checked By:  
MA

Date:  
06-01-16

REVISIONS:

BLDG DEPT COMM.  
02-15-16

CLIENT COMM.  
04-06-16

SPRAB COMM.  
08-03-16

COORDINATION  
11-29-16

SPRAB COMM.  
05-22-19

SPRAB COMM.  
07-02-19

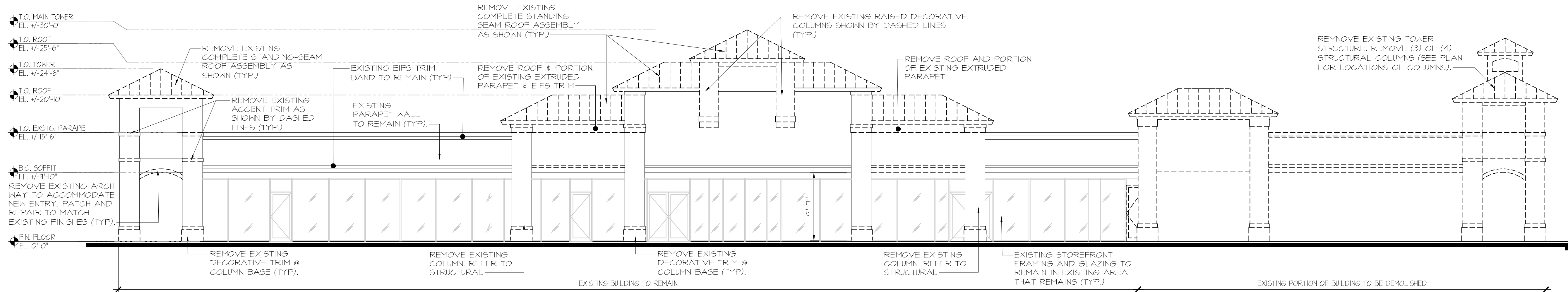
SPRAB COMM.  
07-10-19

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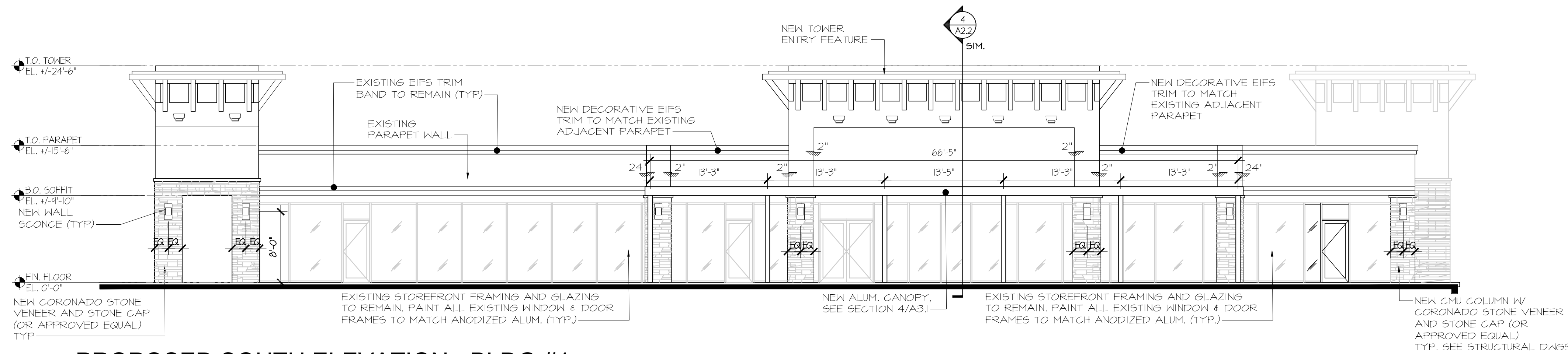


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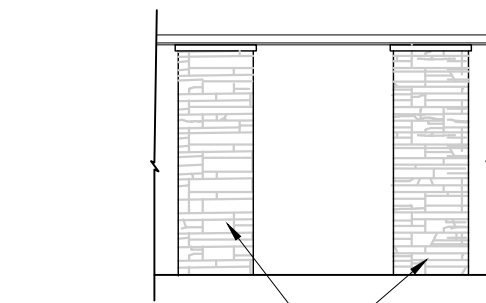
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DEMOLITION SOUTH ELEVATION - BLDG #1 (FACING TROPIC BLVD & MAIN PARKING AREA)

SCALE: 1/8" = 1'-0"



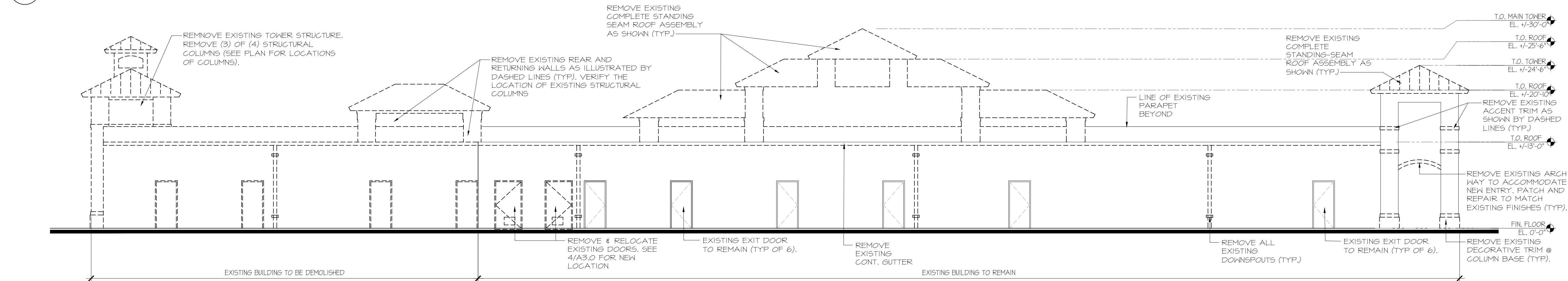
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PROPOSED SOUTH ELEVATION - BLDG #1 (FACING TROPIC BLVD & MAIN PARKING AREA)

SCALE: 1/8" = 1'-0"



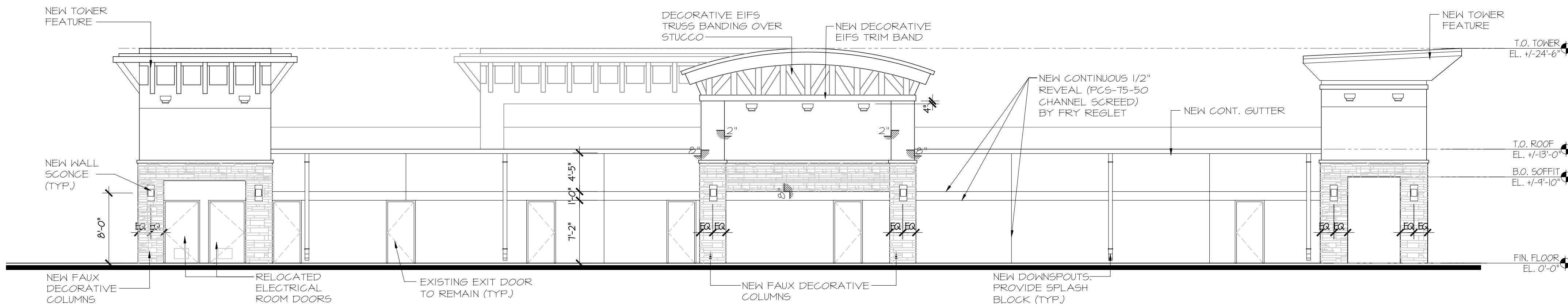
TYPICAL INTERIOR  
ELEVATION AT TOWERS

SCALE: 1/8" = 1'-0"



3  
A2.0  
DEMOLITION NORTH ELEVATION - BLDG #1 (FACING EVE STREET)

SCALE: 1/8" = 1'-0"



4  
A2.0  
PROPOSED BLDG #1 NORTH ELEVATION (FACING EVE STREET)

SCALE: 1/8" = 1'-0"

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

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NH-CR

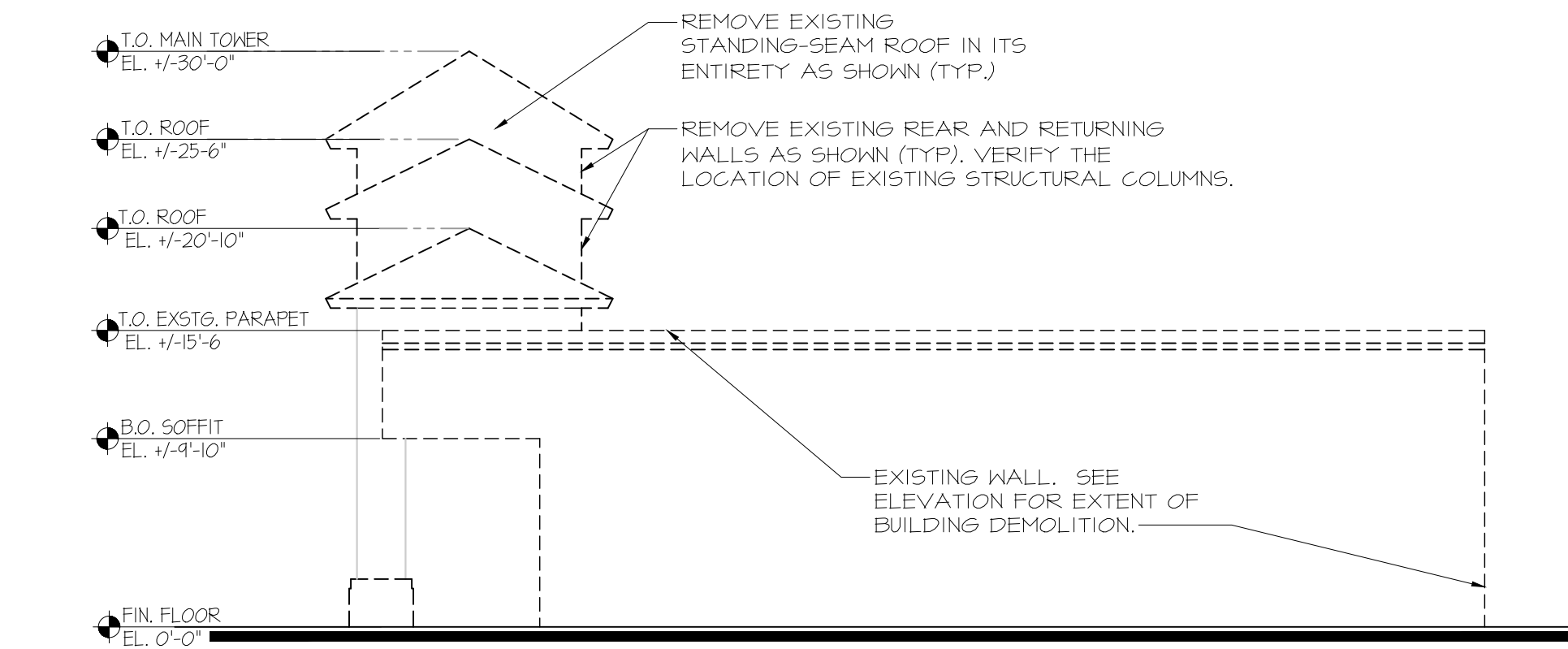
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Date:  
06-01-16

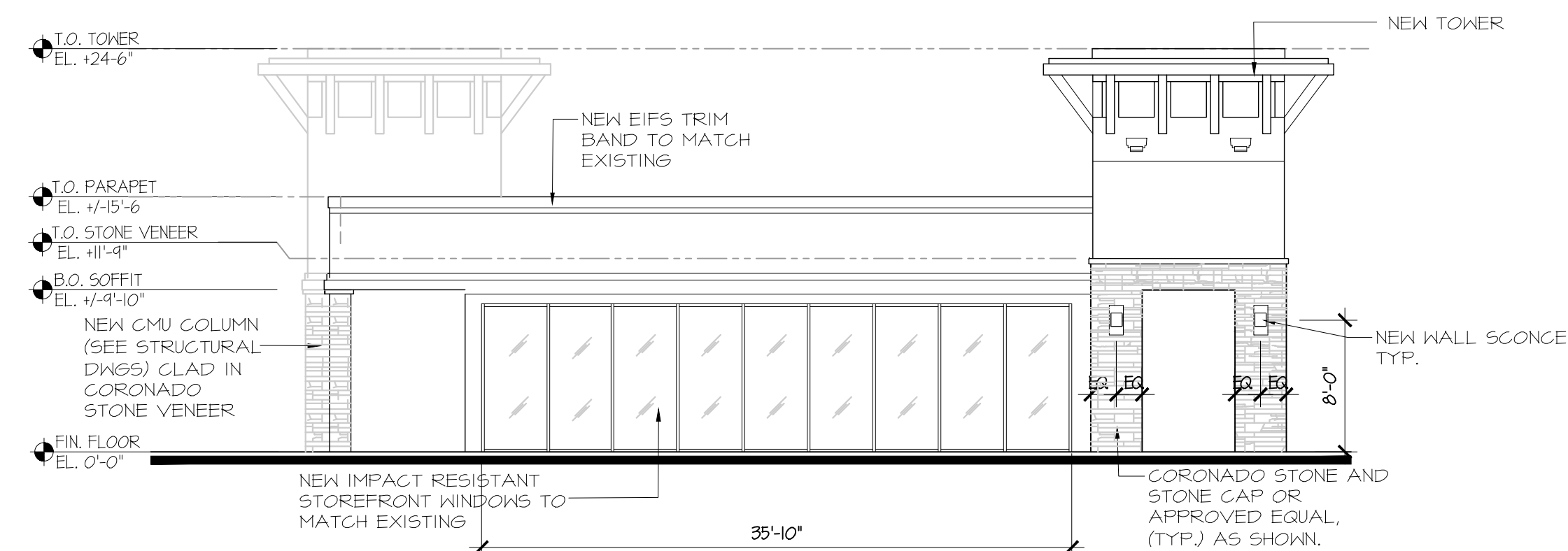
REVISIONS:

COORDINATION  
11-24-16

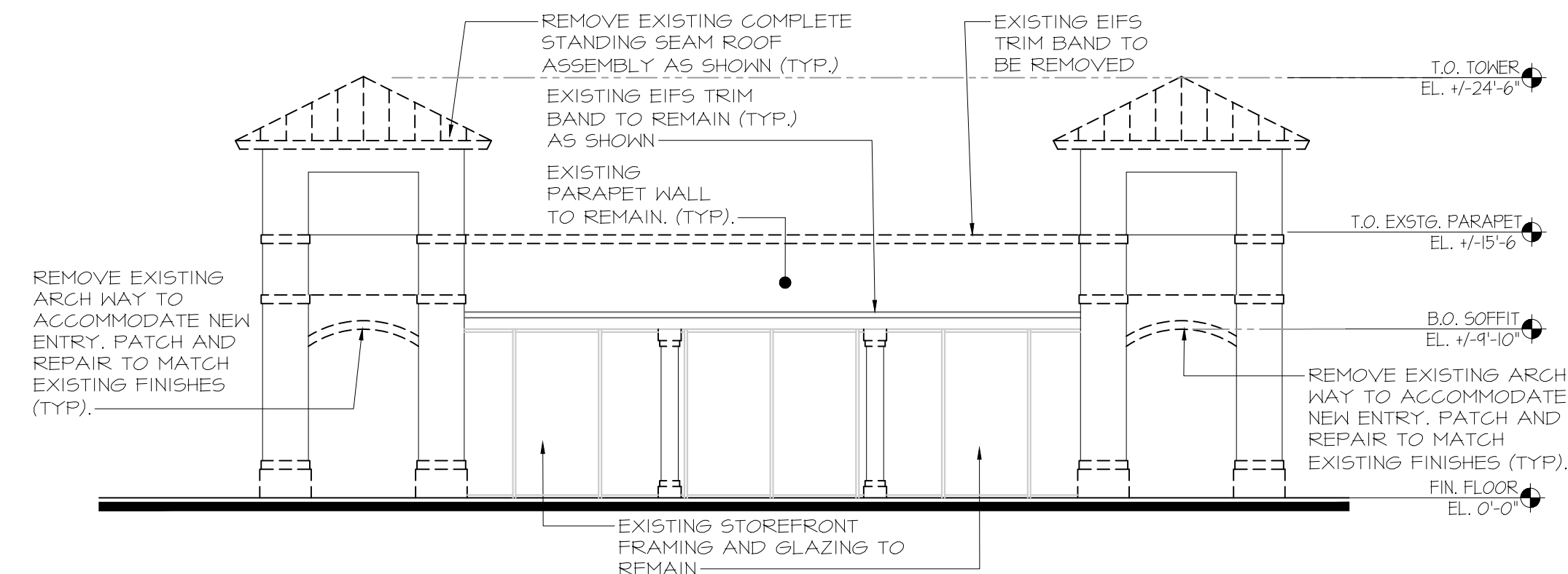
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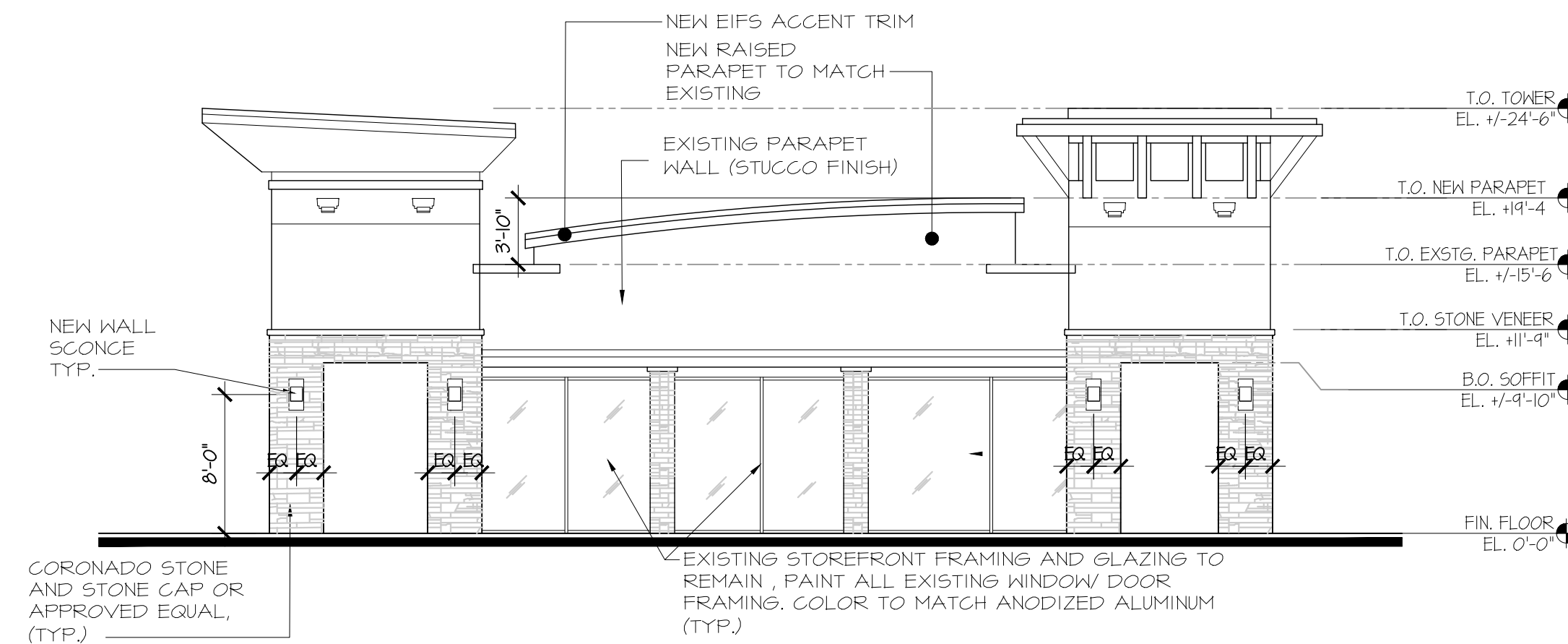
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A2.1  
**DEMOLITION EAST ELEVATION - BLDG #1** (VIEW TOWARDS BLDG #2)  
SCALE: 1/8" = 1'-0"



2  
A2.1  
**PROPOSED EAST ELEVATION - BLDG #1** (VIEW TOWARDS BLDG #2)  
SCALE: 1/8" = 1'-0"



3  
A2.1  
**DEMOLITION WEST ELEVATION - BLDG #1** (VIEW TOWARDS FEDERAL HIGHWAY)  
SCALE: 1/8" = 1'-0"



4  
A2.1  
**PROPOSED WEST ELEVATION - BLDG #1** (VIEW TOWARDS FEDERAL HIGHWAY)  
SCALE: 1/8" = 1'-0"

**FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)**  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON**  
ARCHITECTS

3501 GRIFFIN ROAD  
Ft. Lauderdale, FL 33312  
(954) 266-2700 Fx: (954) 266-2701  
sma@saltzmichelson.com

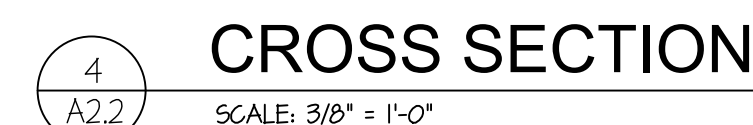
AA-0002897

Mark L. Saltz AR 007171

Project No.:  
2013-214  
Drawn By:  
NH-CR  
Checked By:  
MA  
Date:  
06-01-16

REVISIONS:

- △ BLDG DEPT. COMM.  
02-16-16
- △ CLIENT COMM.  
04-06-16
- △ SPRAB COMM.  
08-03-16
- △ COORDINATION  
11-24-16



**FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA**

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Mark L. Saltz AR 007171

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2013-214

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MA

Date:  
06-01-16

REVISIONS

BLDG DEPT COMM  
02-16-16

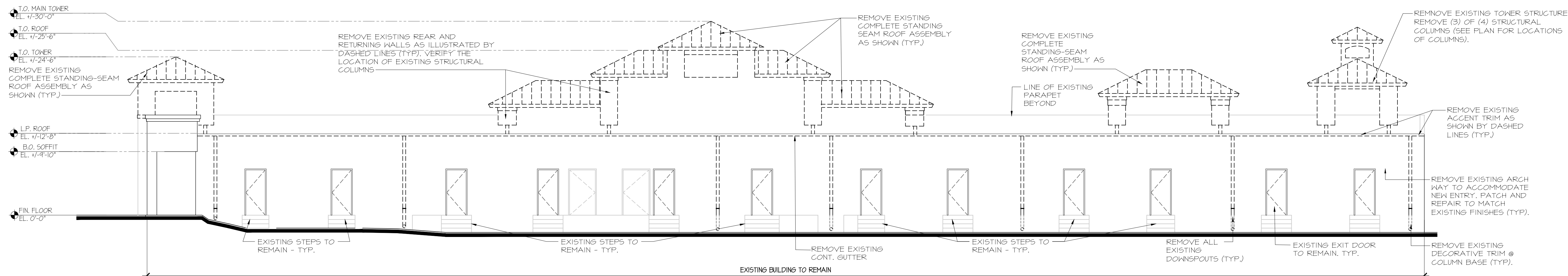
6 COORDINATION  
11-29-18

COORDINATION  
07-10-18

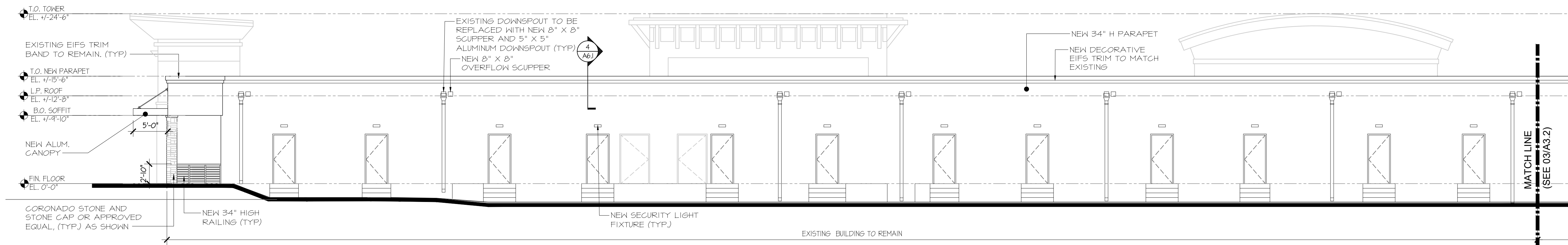
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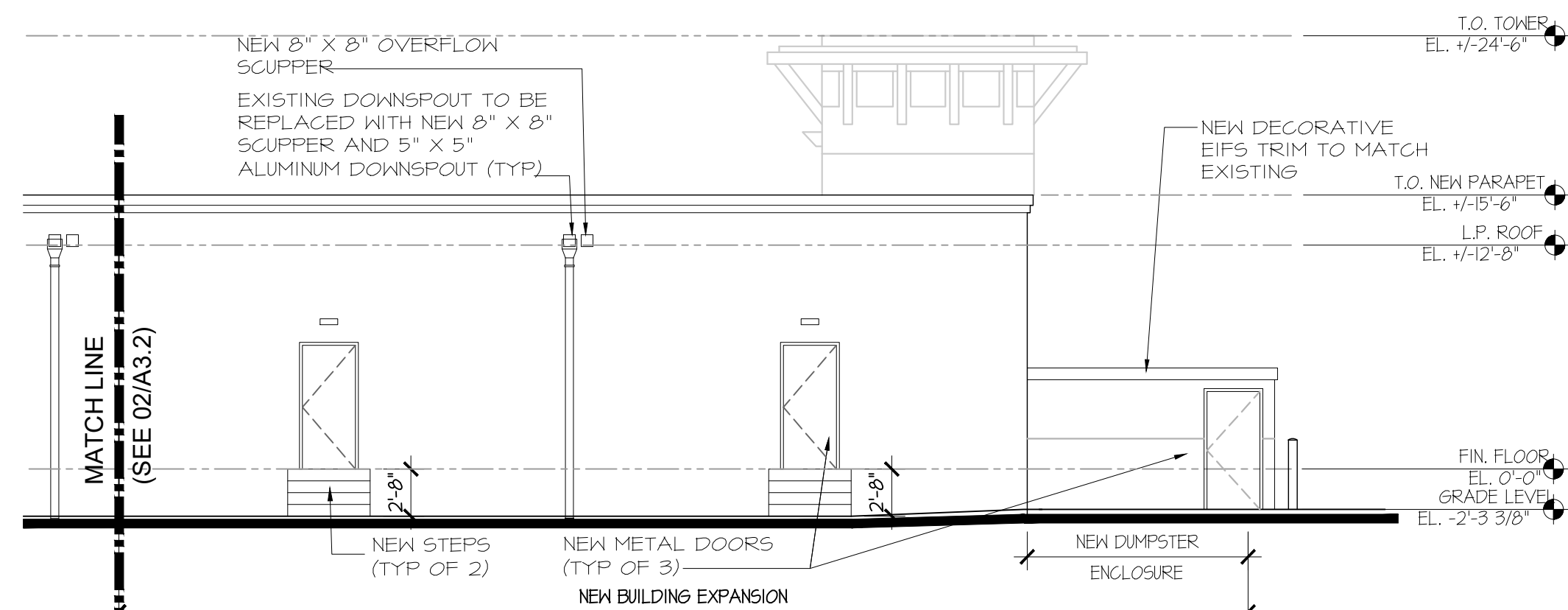




1  
A2.3  
DEMOLITION EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)  
SCALE: 1/8" = 1'-0"



2  
A2.3  
PROPOSED EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)  
SCALE: 1/8" = 1'-0"



3  
A2.3  
PROPOSED BLDG #2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON**  
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sma@saltzmichelson.com

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Mark L. Saltz AR 007171

Project No.:  
2013-214

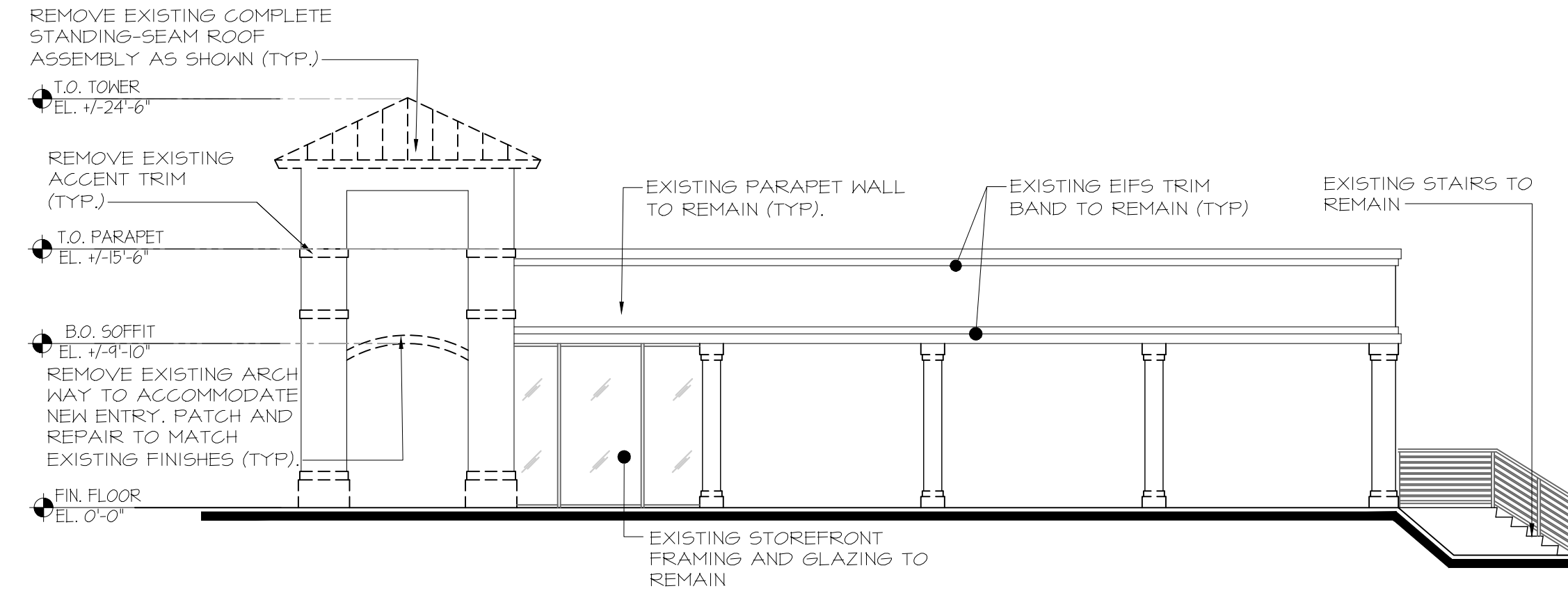
Drawn By:  
NH-CR

Checked By:  
MA

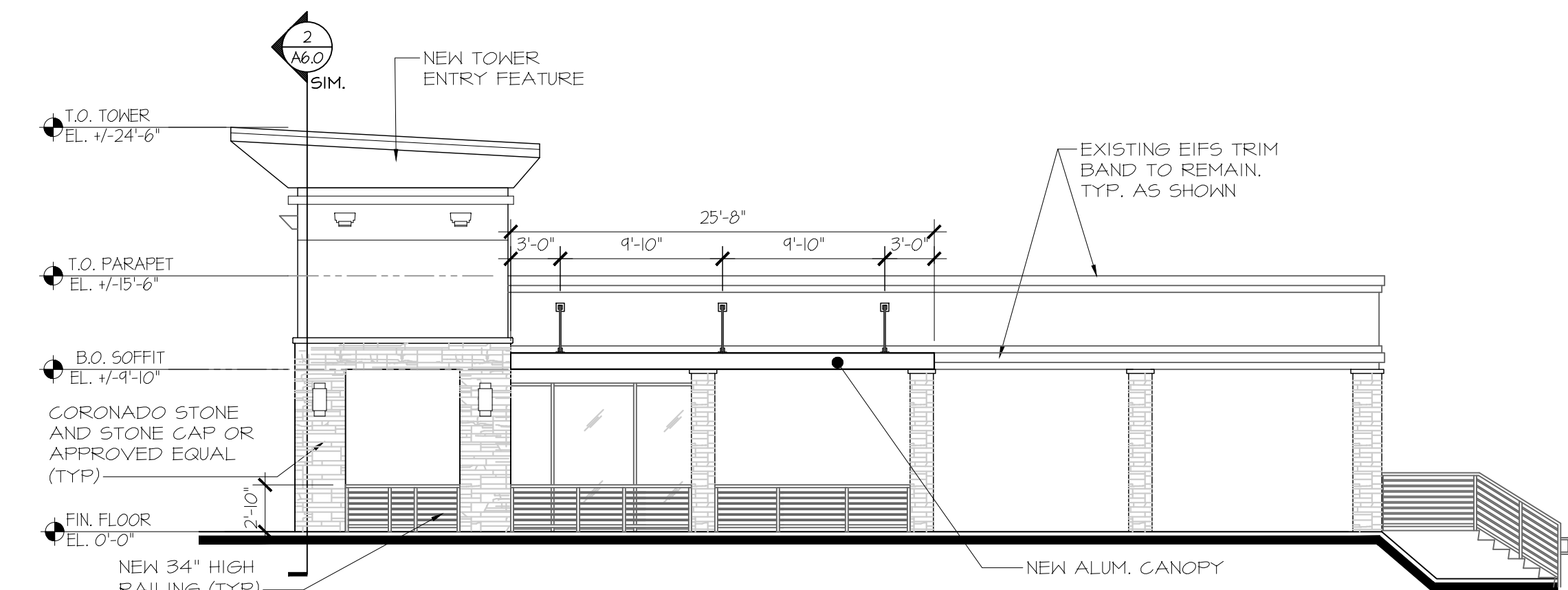
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REVISIONS:

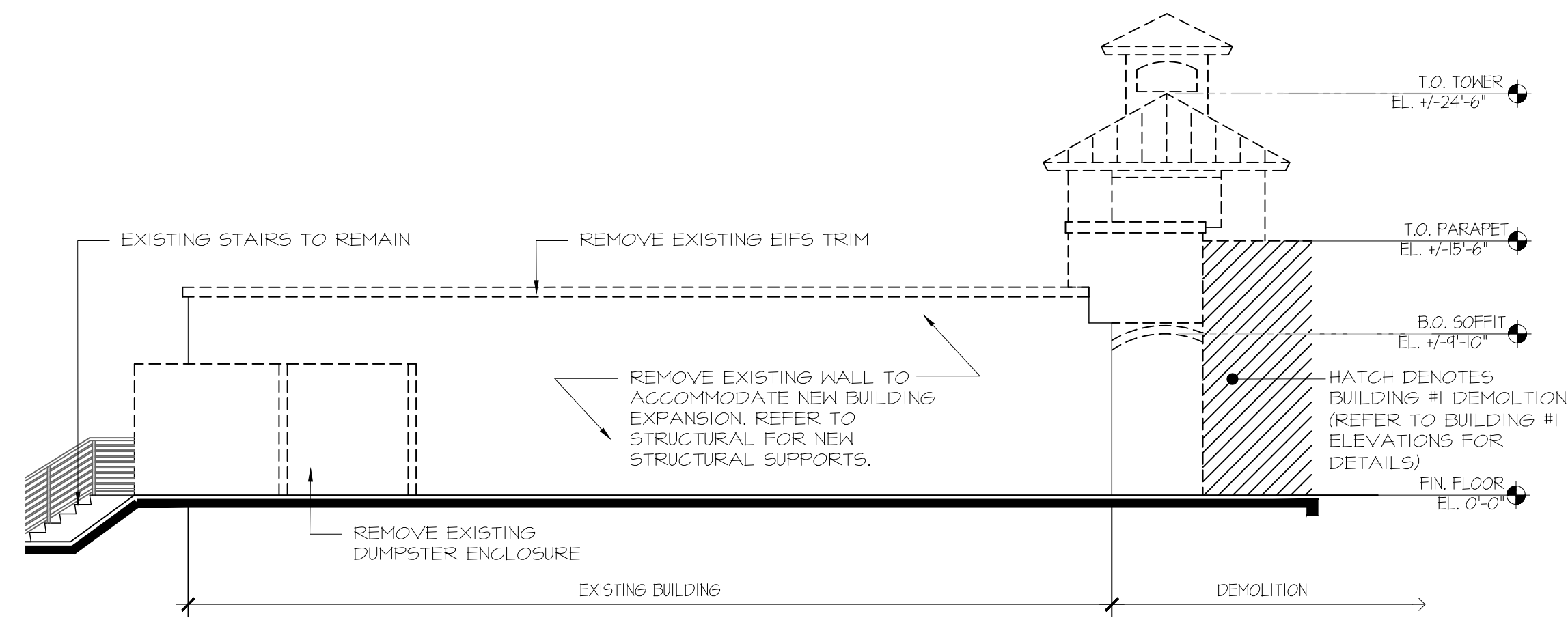
- 1 BLDG DEPT COMM. 01-29-16
- 2 BLDG DEPT COMM. 02-16-16
- 3 SPRAB COMM. 08-03-16
- 4 COORDINATION 11-24-16
- 5 SPRAB COMM. 05-22-14
- 6 SPRAB COMM. 07-10-14



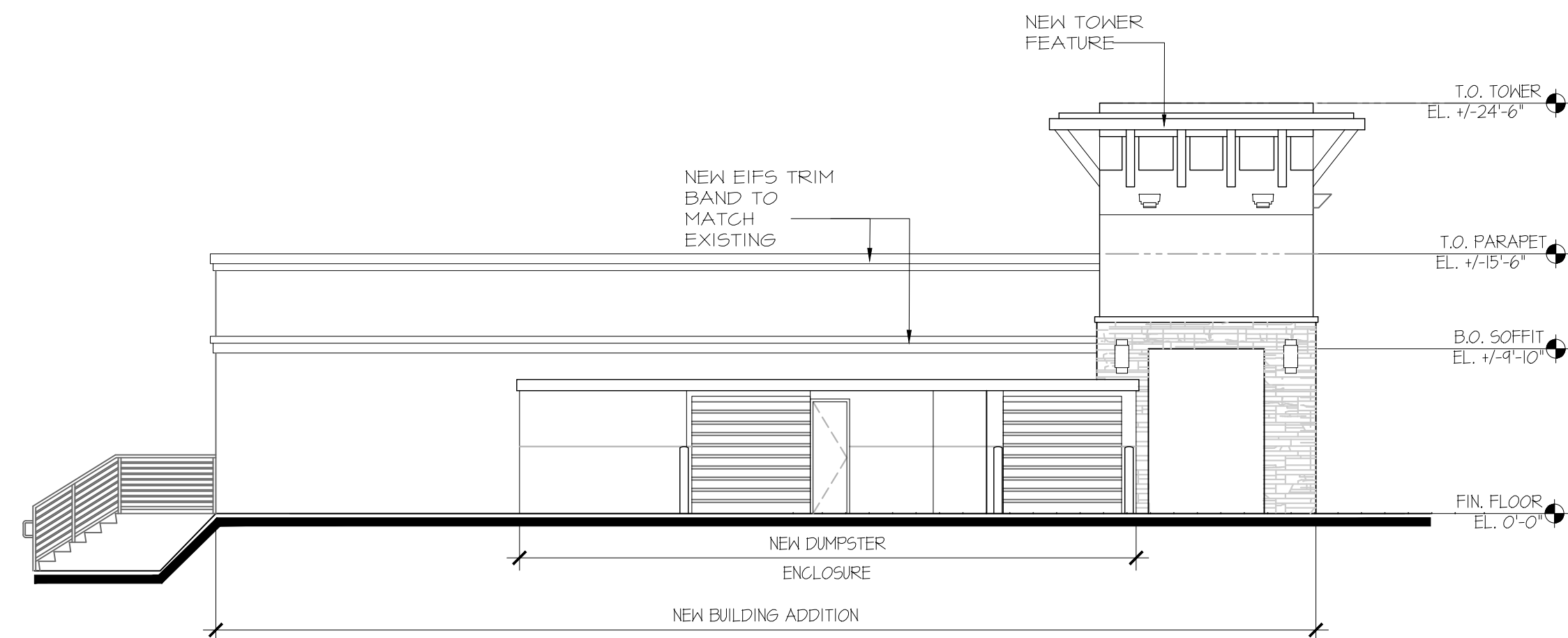
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A2.4  
DEMOLITION SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)  
SCALE: 1/8" = 1'-0"



2  
A2.4  
PROPOSED SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)  
SCALE: 1/8" = 1'-0"



3  
A2.4  
DEMOLITION NORTH ELEVATION - BLDG #2 (FACING EVE STREET)  
SCALE: 1/8" = 1'-0"



4  
A2.4  
PROPOSED NORTH ELEVATION - BLDG #2 (FACING EVE STREET)  
SCALE: 1/8" = 1'-0"

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

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Project No.:  
2013-214

Drawn By:  
NH-CR

Checked By:  
MA

Date:  
06-01-16

REVISIONS:

1 BLDG DEPT COMM.  
02-16-16

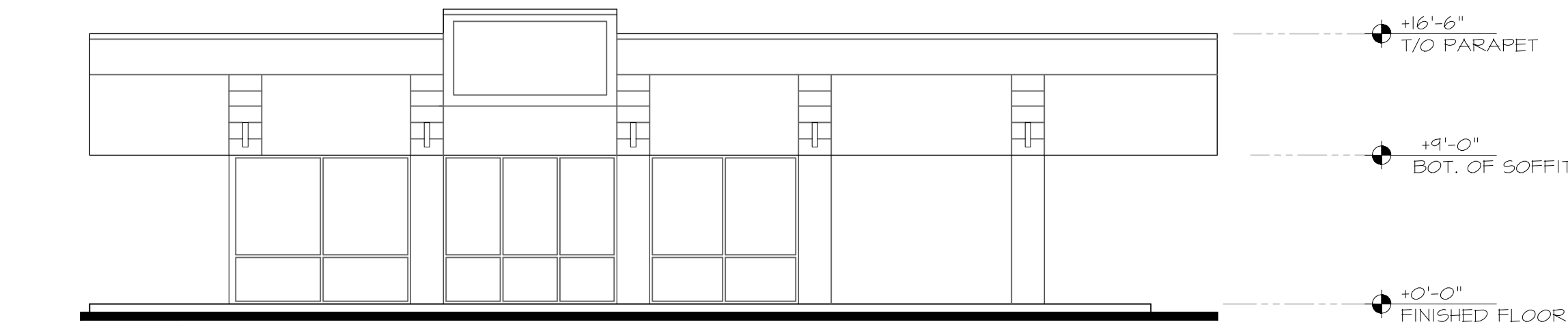
2 CLIENT COMM.  
04-06-16

3 SPRAB COMM.  
08-03-16

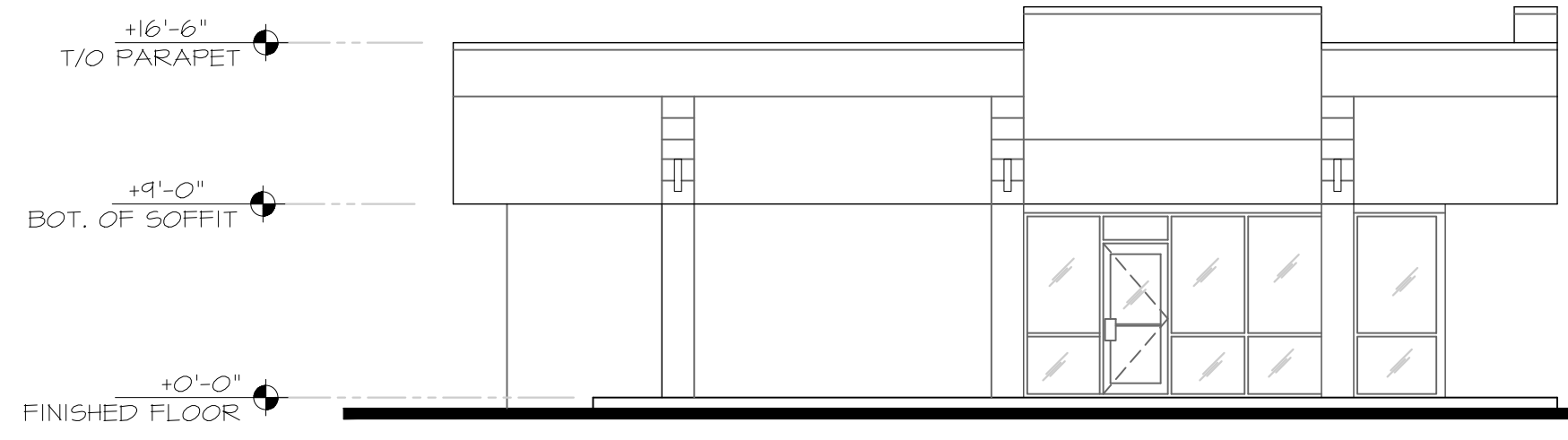
4 COORDINATION  
11-24-18

5 SPRAB COMM.  
05-22-19

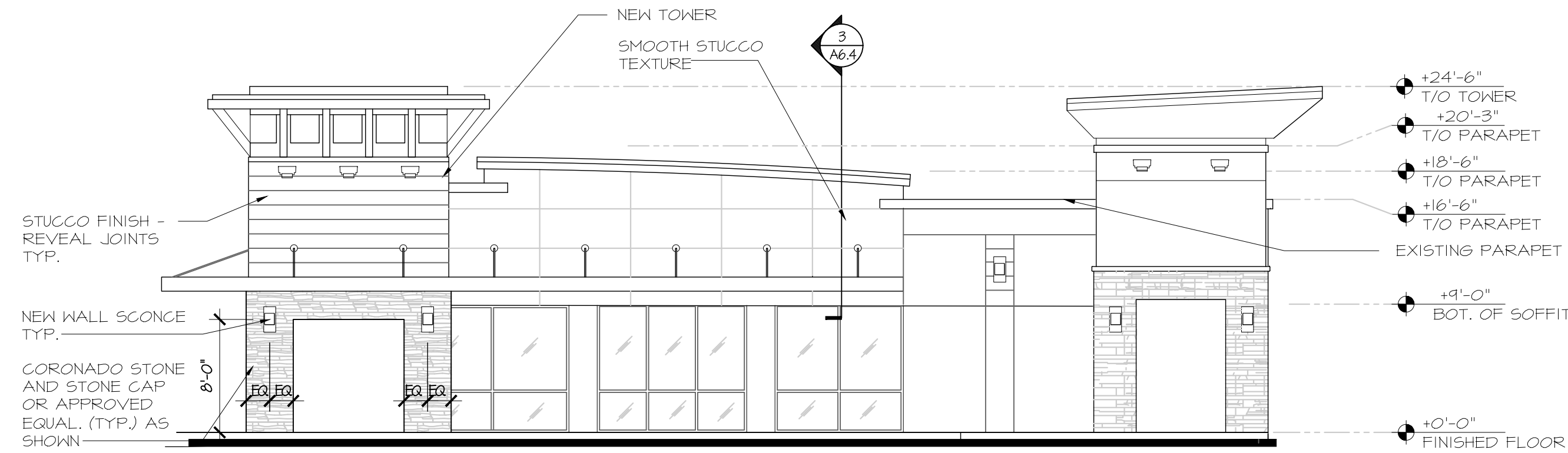
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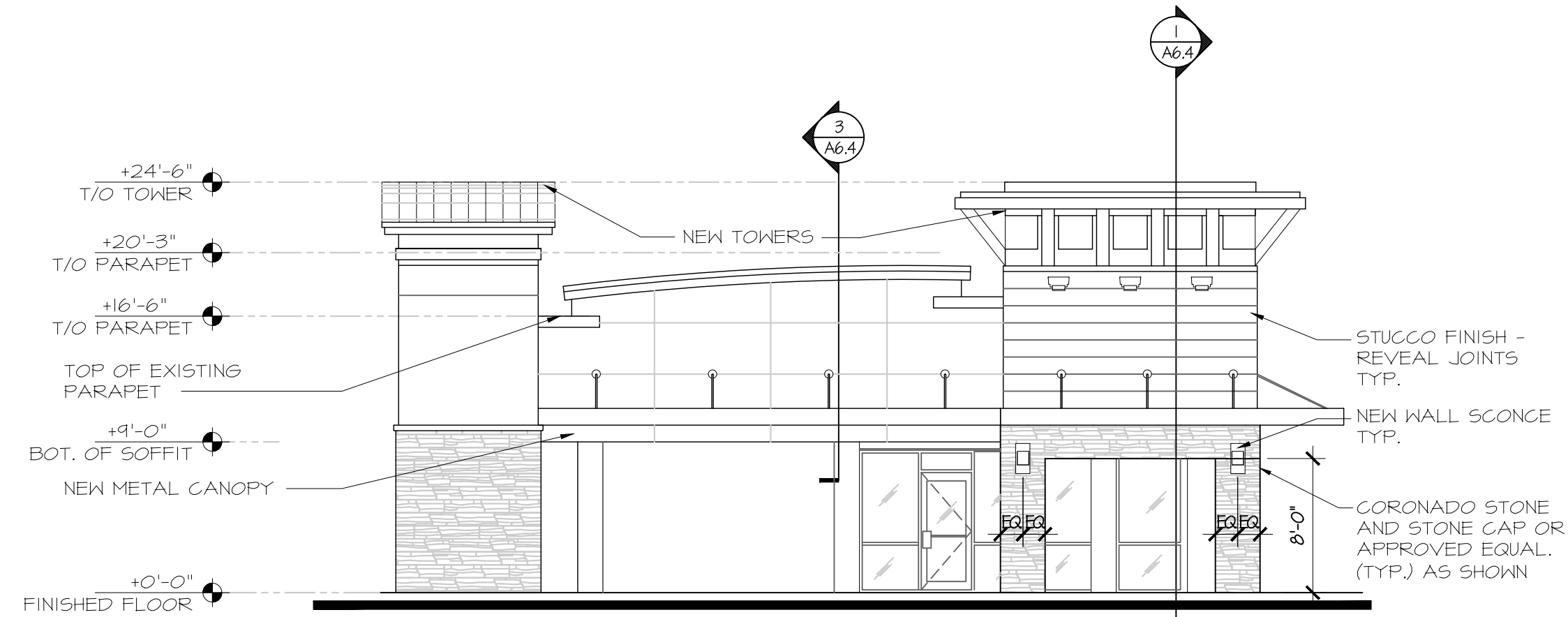
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**EXISTING WEST ELEVATION - BLDG #3** (FACING FEDERAL HIGHWAY)  
SCALE: 1/8" = 1'-0"



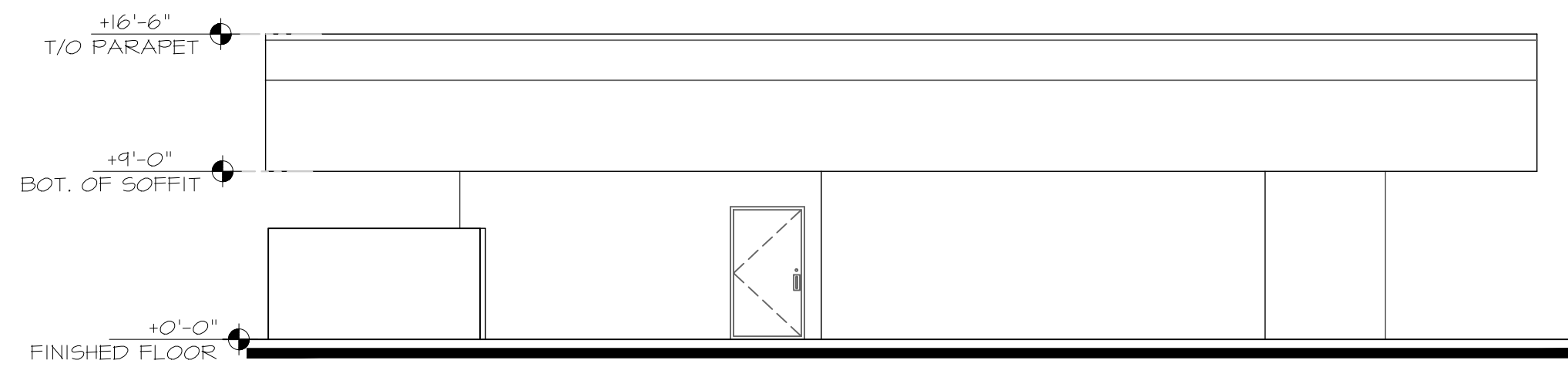
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**EXISTING NORTH ELEVATION - BLDG #3** (FACING PARKING LOT)  
SCALE: 1/8" = 1'-0"



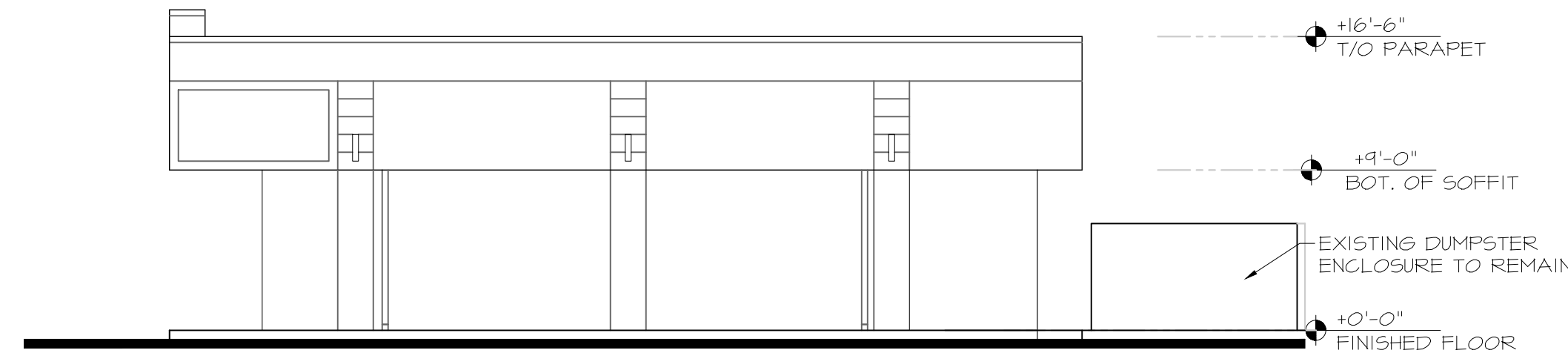
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**PROPOSED WEST ELEVATION - BLDG #3** (FACING FEDERAL HIGHWAY)  
SCALE: 1/8" = 1'-0"



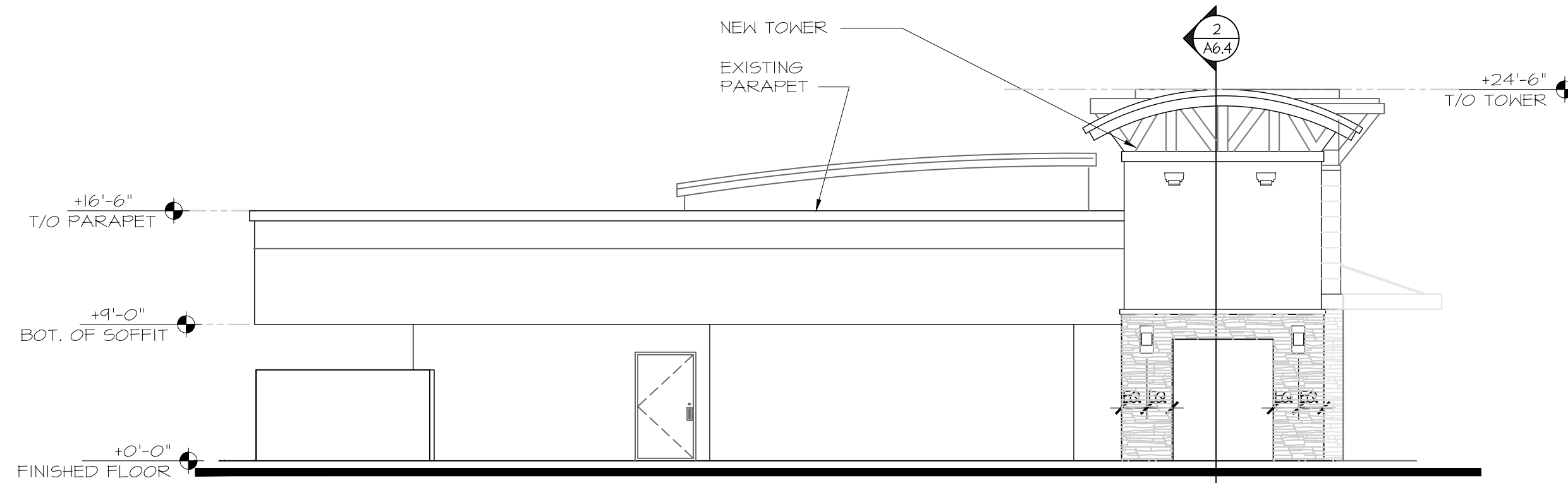
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SCALE: 1/8" = 1'-0"



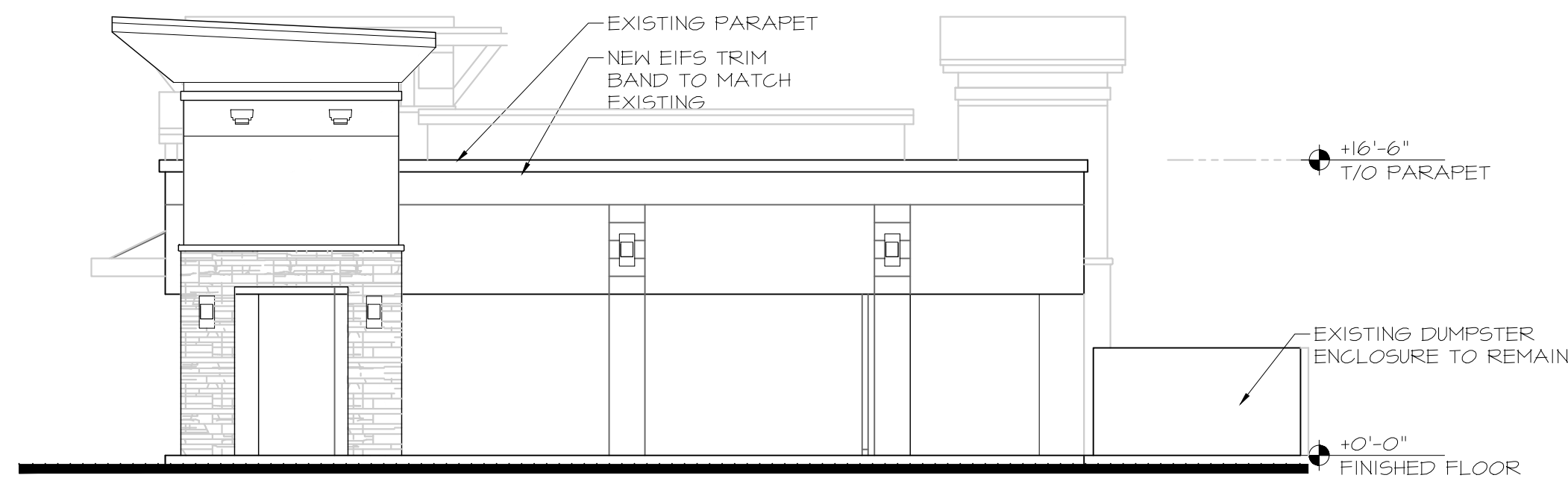
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**EXISTING EAST ELEVATION - BLDG #3** (FACING PARKING LOT)  
SCALE: 1/8" = 1'-0"



7  
A2.5  
**EXISTING SOUTH ELEVATION - BLDG #3** (FACING TROPIC BLVD)  
SCALE: 1/8" = 1'-0"



4  
A2.5  
**PROPOSED EAST ELEVATION - BLDG #3** (FACING PARKING LOT)  
SCALE: 1/8" = 1'-0"



8  
A2.5  
**PROPOSED SOUTH ELEVATION - BLDG #3** (FACING TROPIC BLVD)  
SCALE: 1/8" = 1'-0"

**FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)**  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

**SALTZ MICHELSON**  
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sma@saltzmichelson.com

AA-0002897

Mark L. Saltz AR 007171

Project No.:  
2013-214

Drawn By:  
NH-CR

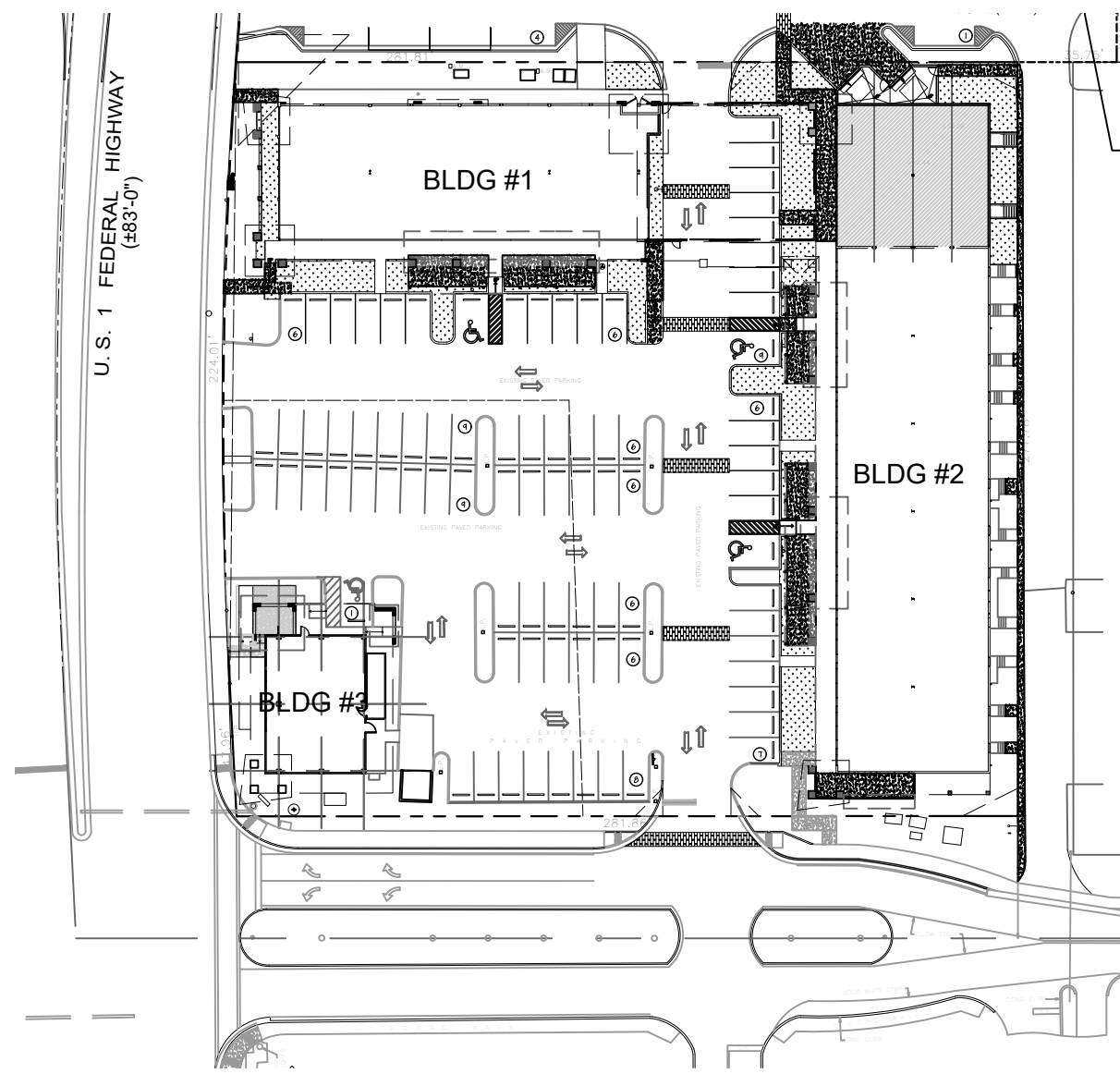
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MA

Date:  
06-01-16

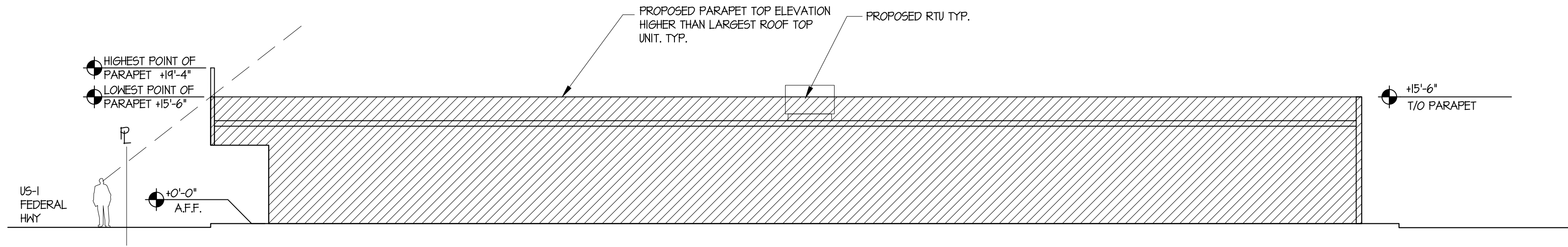
REVISIONS:

COORDINATION  
11-24-18

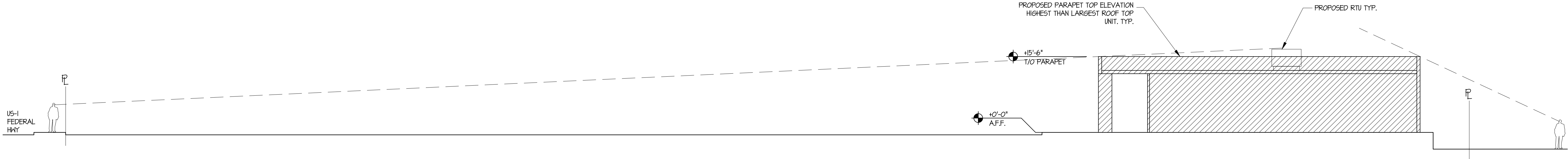
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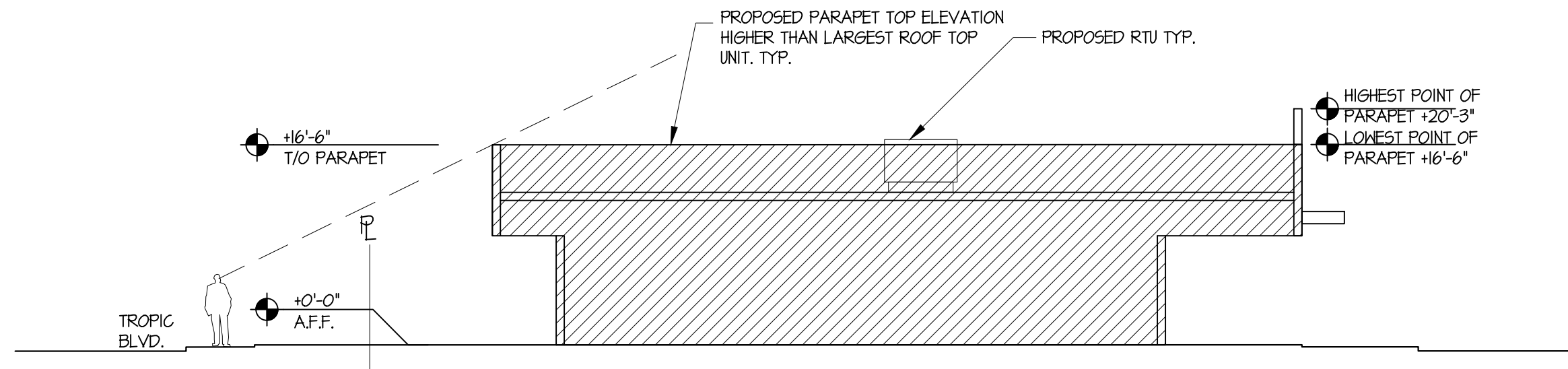
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KEY PLAN  
SCALE: 1/32" = 1'-0"



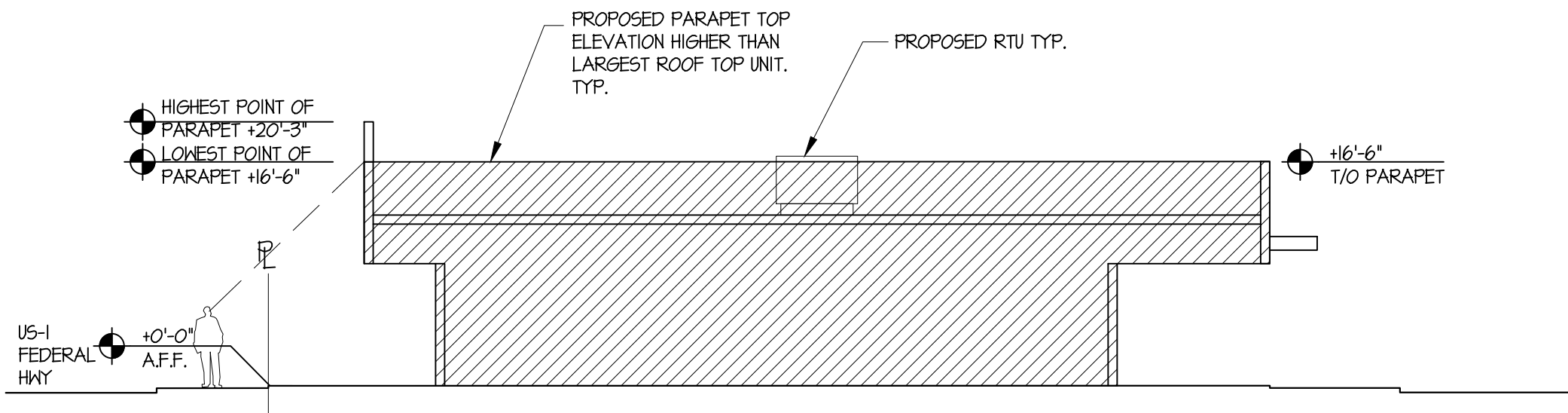
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SCHEMATIC SIGHT-LINE SECTION - BUILDING #1  
SCALE: 3/32" = 1'-0"



3  
A4.0  
SCHEMATIC SIGHT-LINE SECTION - BUILDING #2  
SCALE: 3/32" = 1'-0"



4  
A4.0  
SCHEMATIC SIGHT-LINE SECTION - BUILDING #3  
SCALE: 3/32" = 1'-0"



4.1  
A4.0  
SCHEMATIC SIGHT-LINE SECTION - BUILDING #3  
SCALE: 3/32" = 1'-0"

FACADE RENOVATION FOR  
DELRAY PLACE (SOUTH)  
(FORMERLY KNOWN AS TROPIC SQUARE)  
DELRAY BEACH, FLORIDA

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AA-0002897

Mark L. Saltz AR 007171

Project No.:  
2013-214

Drawn By:  
NH-CR

Checked By:  
MA

Date:  
06-01-16

REVISIONS:

SPRAB COMM.  
05-22-14

Project Name: SPRAB COMM. 05-22-14  
Project No.: 2013-214  
Project Date: 05-22-14  
Project Location: Delray Beach, FL  
Project Architect: Saltz Michelson Architects  
Project Engineer: Mark L. Saltz  
Project Designer: NH-CR  
Project Checker: MA  
Project Date: 06-01-16  
Project Revisions: SPRAB COMM. 05-22-14



U. S. 1 FEDERAL HIGHWAY  
(±83'-0")

TROPIC BOULEVARD  
(±65'-7")

SITE PHOTOMETRIC PLAN  
1"=20'-0" NORTH

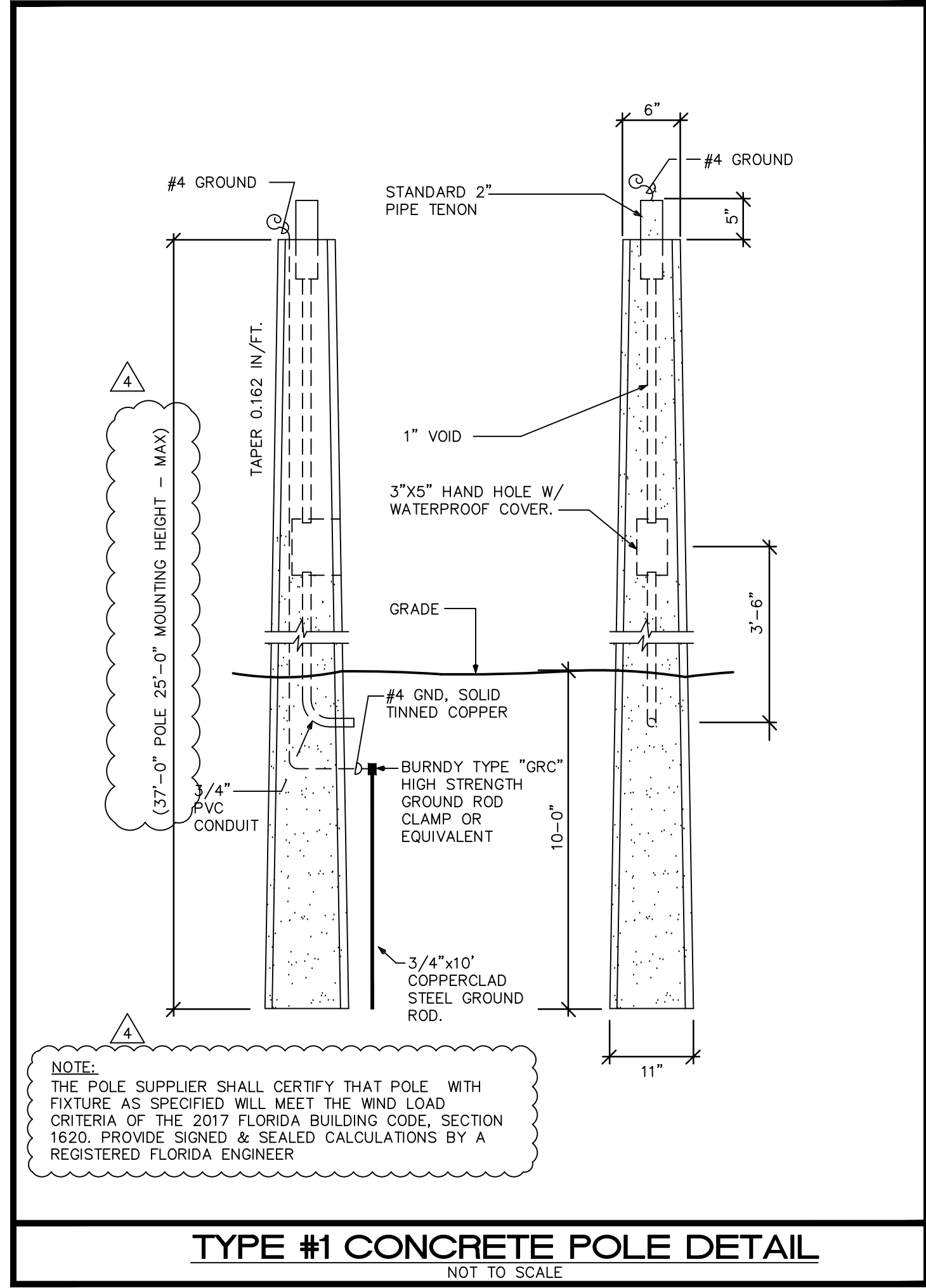
EXISTING  
EVE STREET  
(±24'-0")

- KEY NOTES**
- TRIM, REMOVE OR REPLACE VEGETATION THAT IS BLOCKING THE LIGHT FROM EXISTING FIXTURE. RELAMP AND REPAIR FIXTURES TO WORKING CONDITION.
  - RELOCATE EXISTING POLE AND FIXTURE. RELAMP AND REPAIR EXISTING LIGHTPOLE AND FIXTURE TO WORKING CONDITION. INSTALL HOUSE SIDE SHIELD TO PREVENT SPILL LIGHT ON R.O.W.
  - NEW LIGHTPOLE AND LED FIXTURE

ANY ACCEPTABLE ALTERNATE/SUBSTITUTE MUST BE APPROVED IN WRITING PRIOR TO BID DATE.  
TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING THE IES PHOTOMETRIC FILE FOR THE PROPOSED ALTERNATE/SUBSTITUTION MUST BE SUBMITTED TO KAMM CONSULTING ENGINEERS FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID.

**GENERAL NOTE**

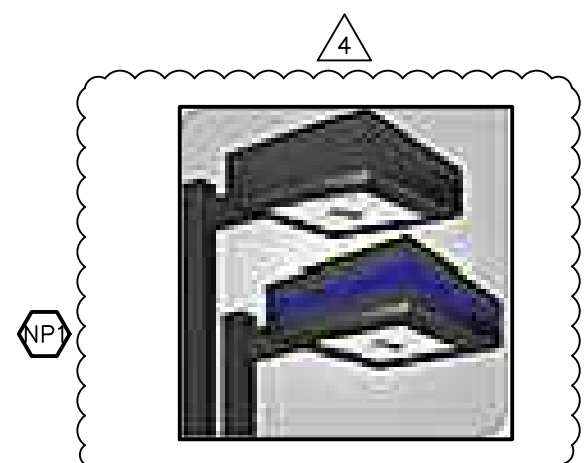
RELAMP ALL EXISTING BUILDING MOUNTED LIGHT FIXTURES AND REPAIR IF NEEDED.



Luminaire Schedule							
Symbol	Label	[MANUFAC]	Description	Arrangement	Total Lamp Lumens	LLF	Lum. Watts
	E	EXISTING	EXISTING LIGHTPOLE AND FIXTURE TO REMAIN				
	W6	Kendall Manufacturing	Millenium Round MR13EL-PP-MW-BL35K-DCC MTD @ 7'-0"	SINGLE	N.A.	0.900	11.77
	NP1	LSI LIGHTING	XGBM-FT-LED-SS-NW	SINGLE	17239	0.900	189
	W1	WLS LIGHTING SYSTEMS	WLS-WMEL-WT-LED-28-450-CW-UE MTD @ 8'-0"	SINGLE	N.A.	0.900	44

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE ALLEY	Illuminance	Fc	1.56	2.2	0.1	15.60	22.00
PROPERTY LINE EVE ST	Illuminance	Fc	0.49	0.9	0.1	4.90	9.00
PROPERTY LINE FEDERAL HWAY	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.
PROPERTY LINE TROPIC BLVD	Illuminance	Fc	0.25	0.5	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	3.19	7.9	1.0	3.19	7.90

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY - 6 FT	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
NORTH - 6 FT	Illuminance	Fc	0.09	0.2	0.0	N.A.	N.A.
TROPIC - 6 FT	Illuminance	Fc	0.23	0.5	0.0	N.A.	N.A.
US1 (EXISTING) - 6 FT	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	3.19	7.9	1.0	3.19	7.90



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COMBINED SITE PLAN  
DELRAY PLACE  
DELRAY BEACH, FLORIDA

AA-0002897

Mark L. Saltz AR 007171

Project No.: 2013-214

Drawn By: NH-CR

Checked By: MA

Date: 10-16-14

REVISIONS:

1 SITE PLAN UPDATE 6-1-16

2 SITE PLAN UPDATE 9-8-16

3 BLD DEPT COMMENT 10-26-16

4 BLD DEPT COMMENT 7-3-19

SITE PHOTOMETRIC PLAN

ISSUED FOR PERMIT  
ISSUED FOR CONSTRUCTION

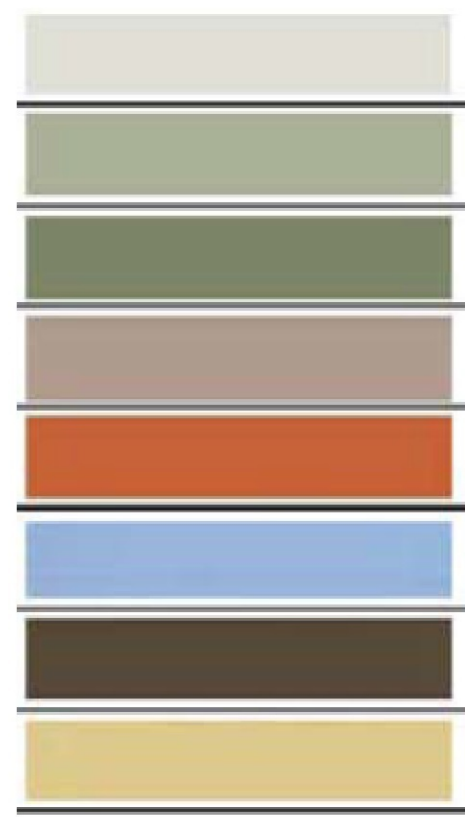
KAMM CONSULTING PROJECT #: 2016-0090  
PROJECT MANAGER: ART KAMM

**KAMM Consulting**  
1407 West Newport Center Drive  
Deerfield Beach, Florida 33442  
Phone 954-949-2200 Fax 954-949-2201  
engineering@kammconsulting.com  
Certification of Authorization #8189

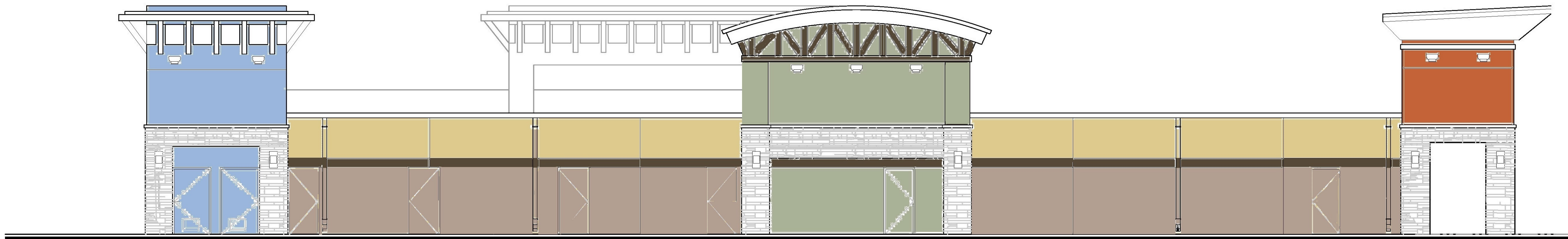
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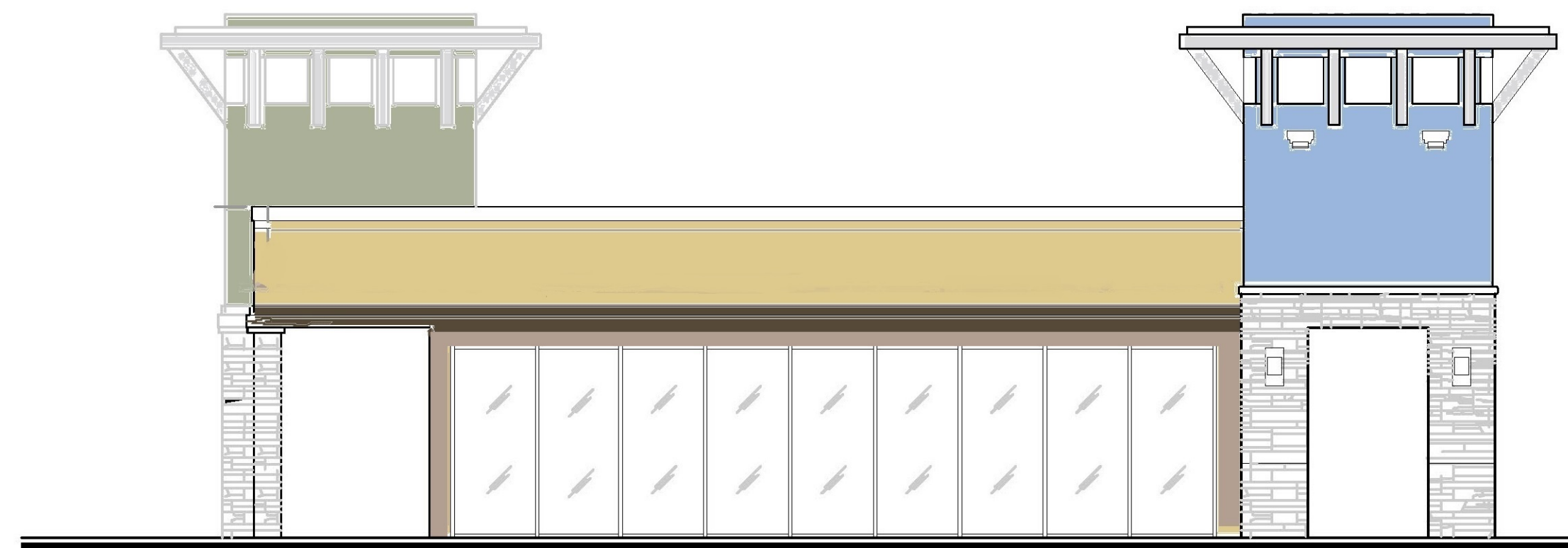




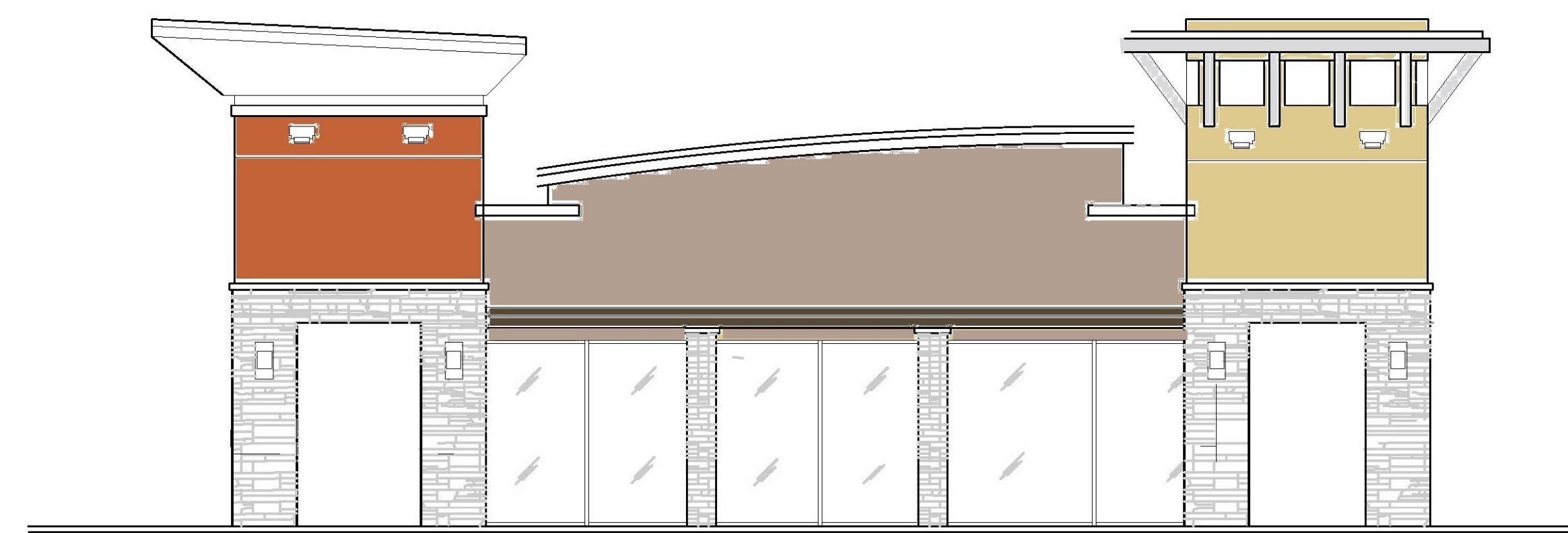
PROPOSED SOUTH ELEVATION - BLDG #1 (FACING TROPIC BLVD & MAIN PARKING AREA)



PROPOSED BLDG #1 NORTH ELEVATION (FACING EVE STREET)

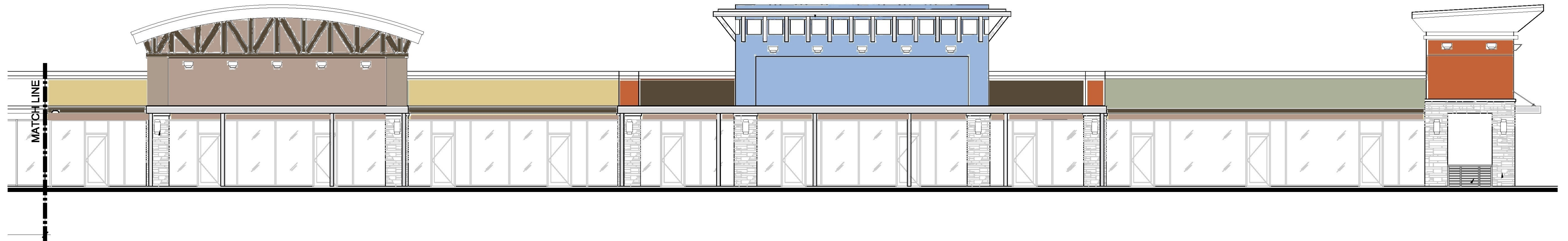
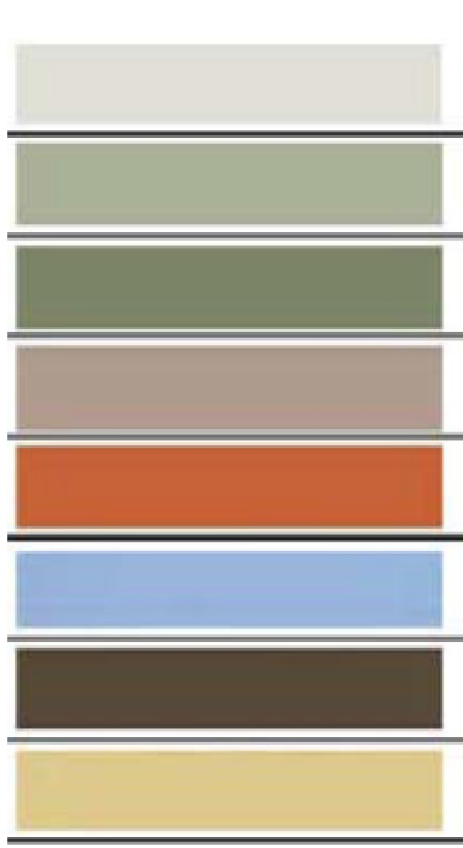


PROPOSED EAST ELEVATION - BLDG #1 (VIEW TOWARDS BLDG #2)



PROPOSED WEST ELEVATION - BLDG #1 (VIEW TOWARDS FEDERAL HWY)

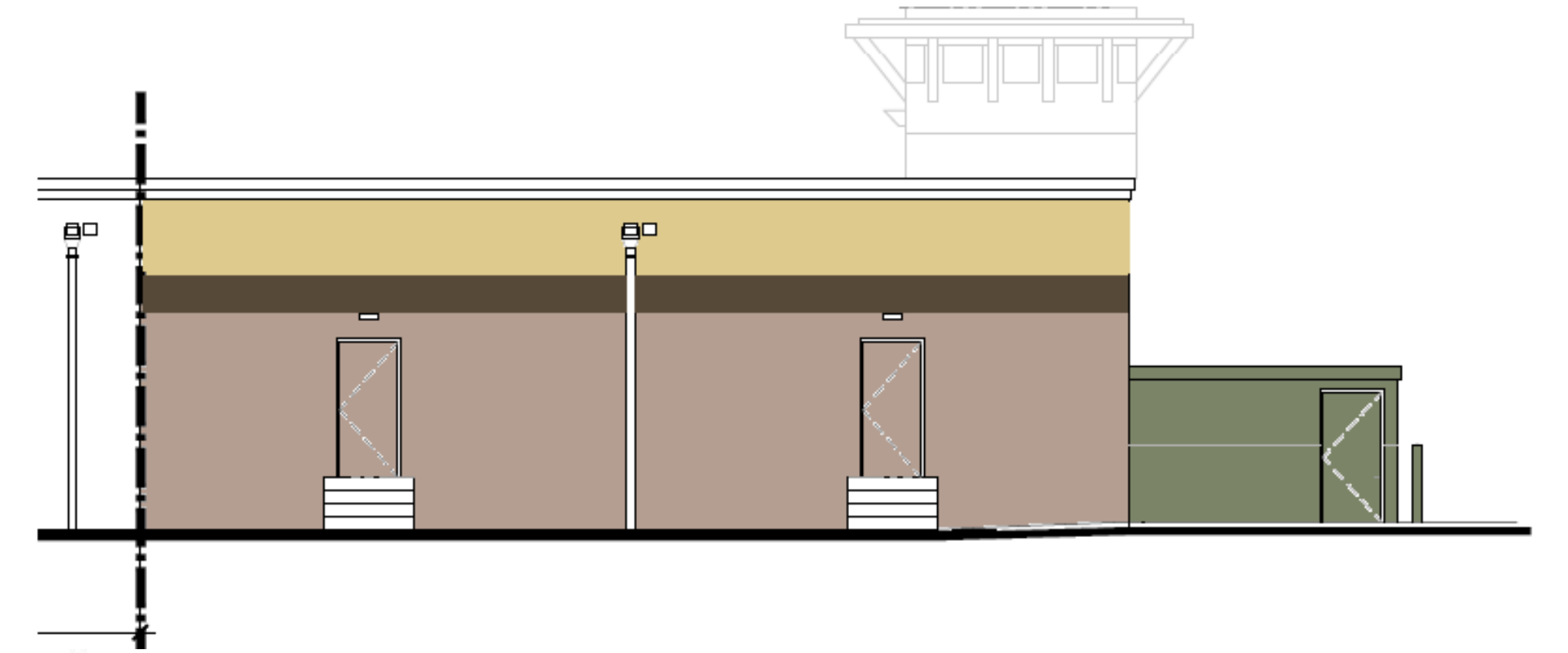




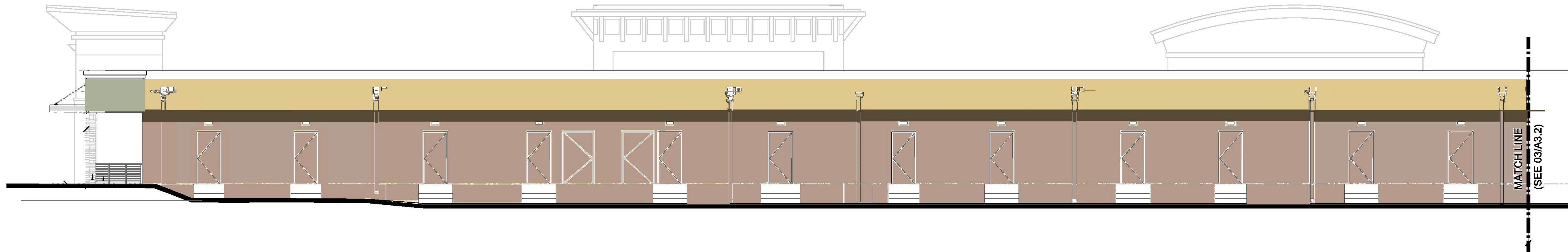
PROPOSED BLDG #2 PARTIAL WEST ELEVATION (FACING FEDERAL HIGHWAY AND MAIN PARKING AREA)



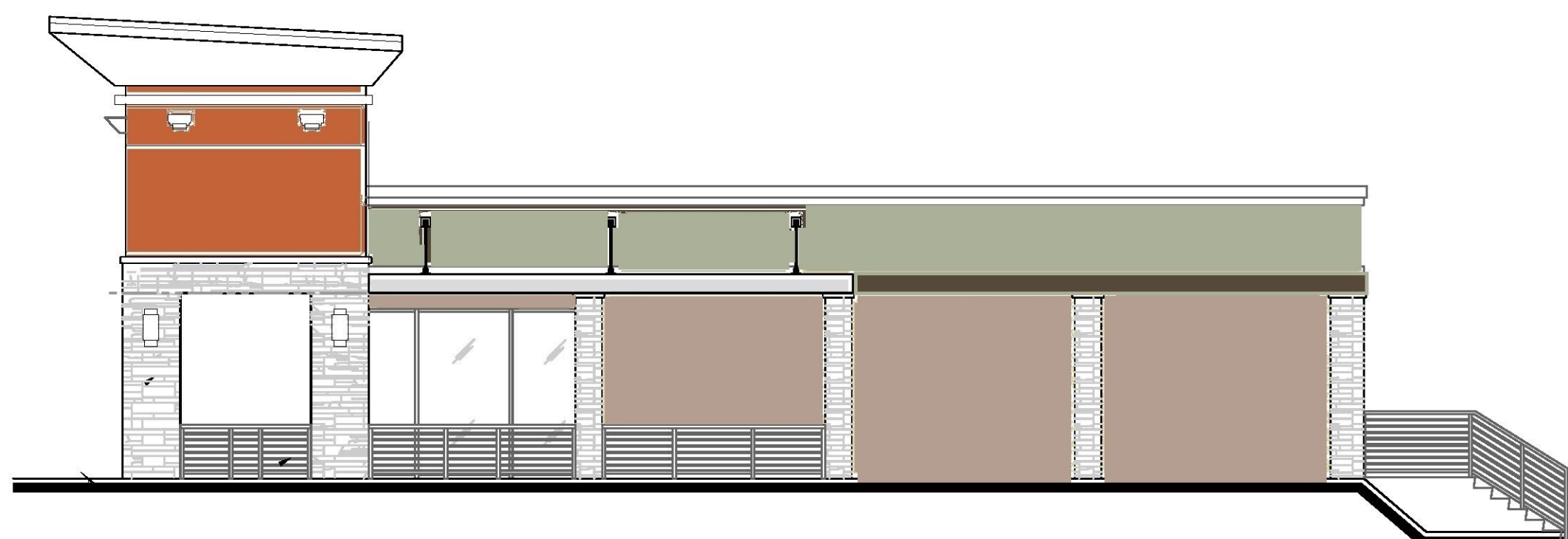
PROPOSED BLDG #2 PARTIAL WEST ELEVATION (FACING FEDERAL HIGHWAY AND MAIN PARKING AREA)



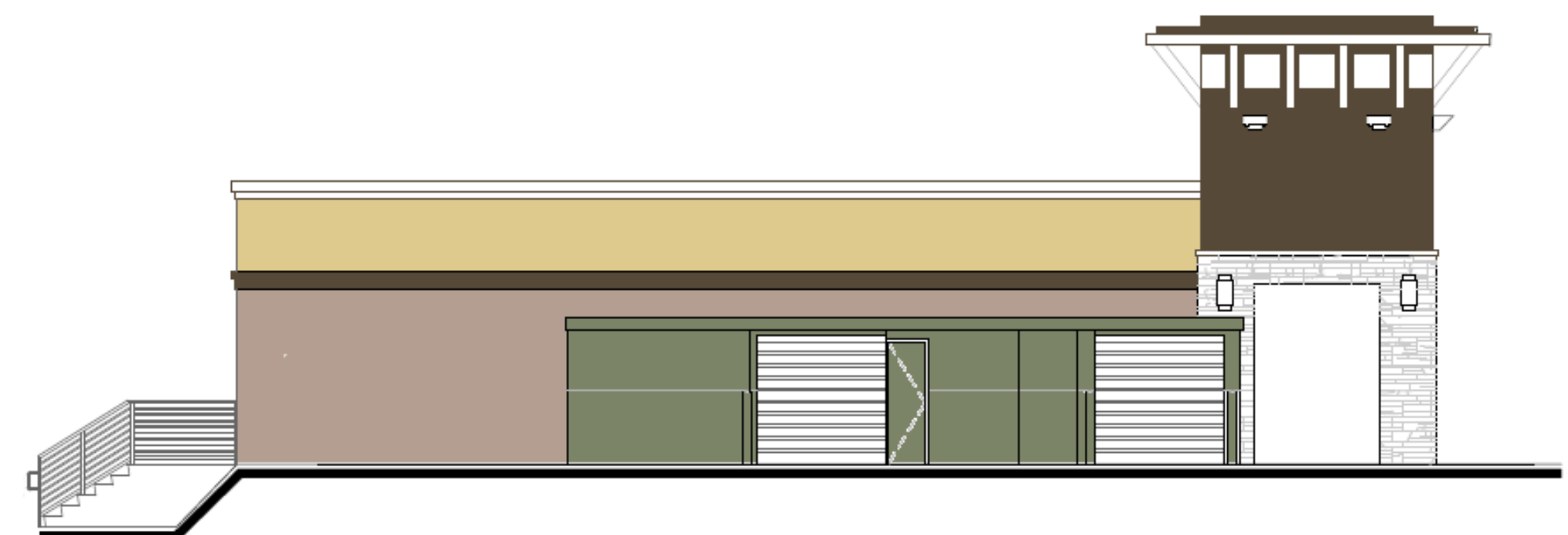
PROPOSED BLDG #2 EAST ELEVATION (FACING REAR ACCESS ALLEY)



PROPOSED EAST ELEVATION - BLDG #2 (FACING REAR ACCESS ALLEY)

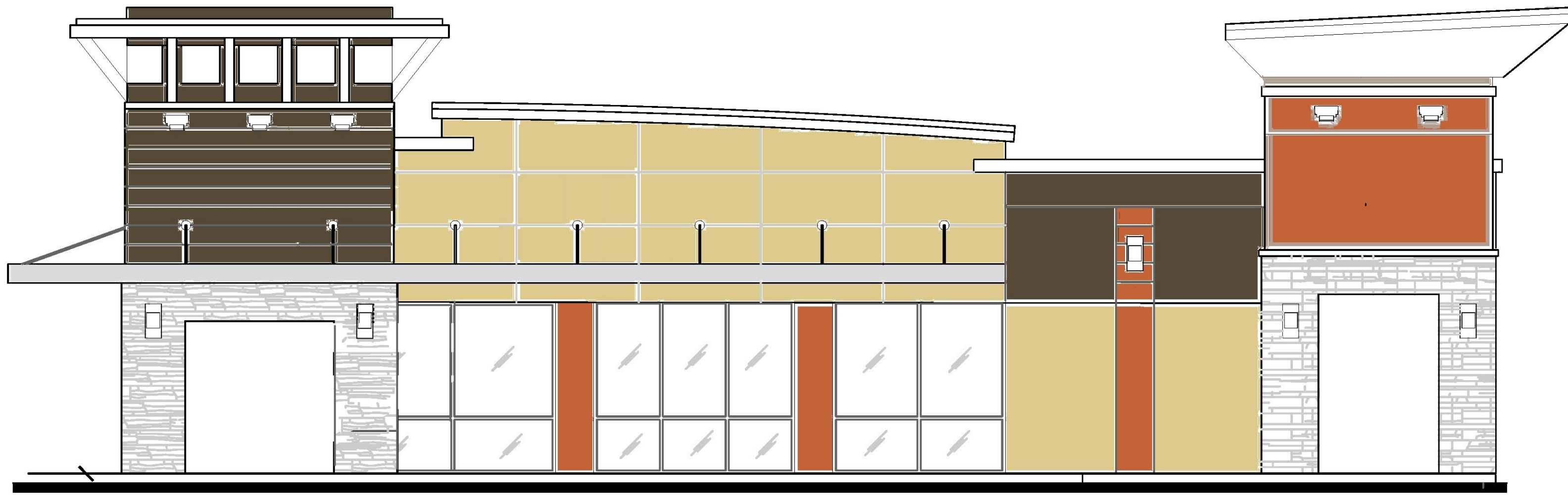


PROPOSED SOUTH ELEVATION - BLDG #2 (FACING TROPIC BLVD)

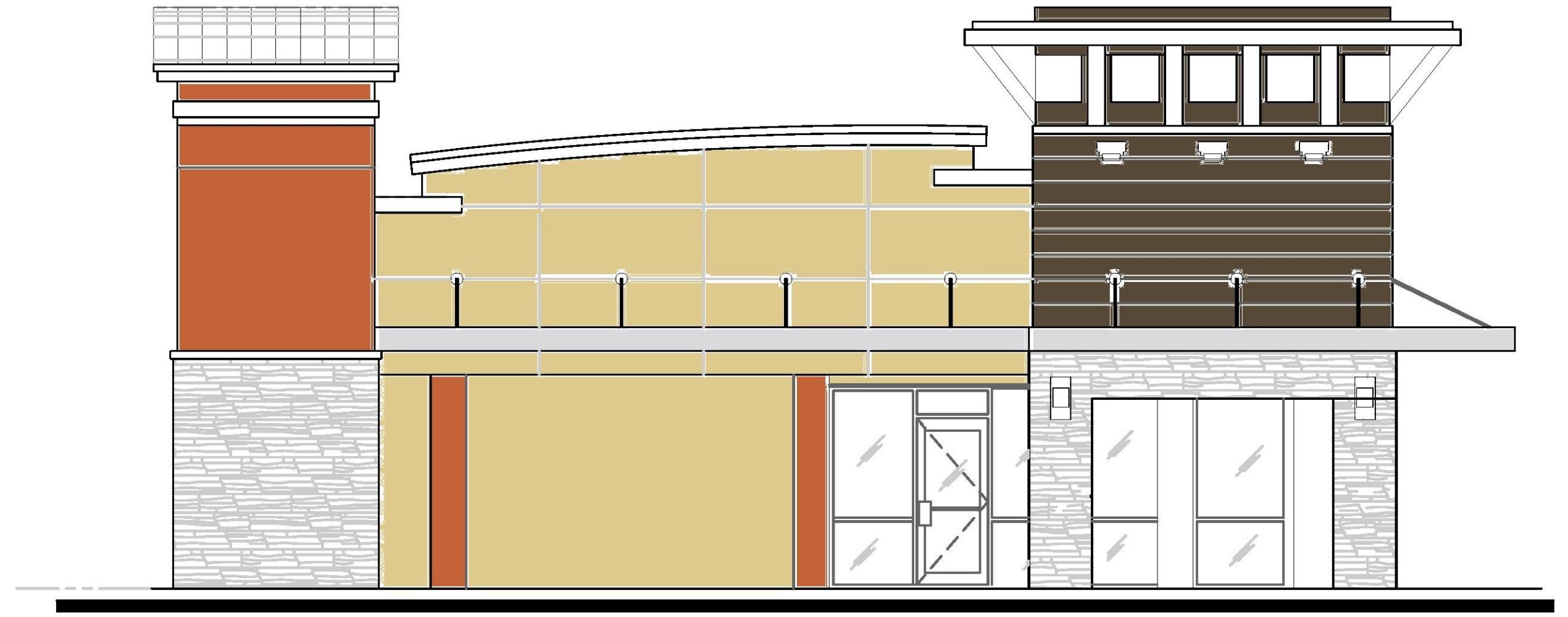


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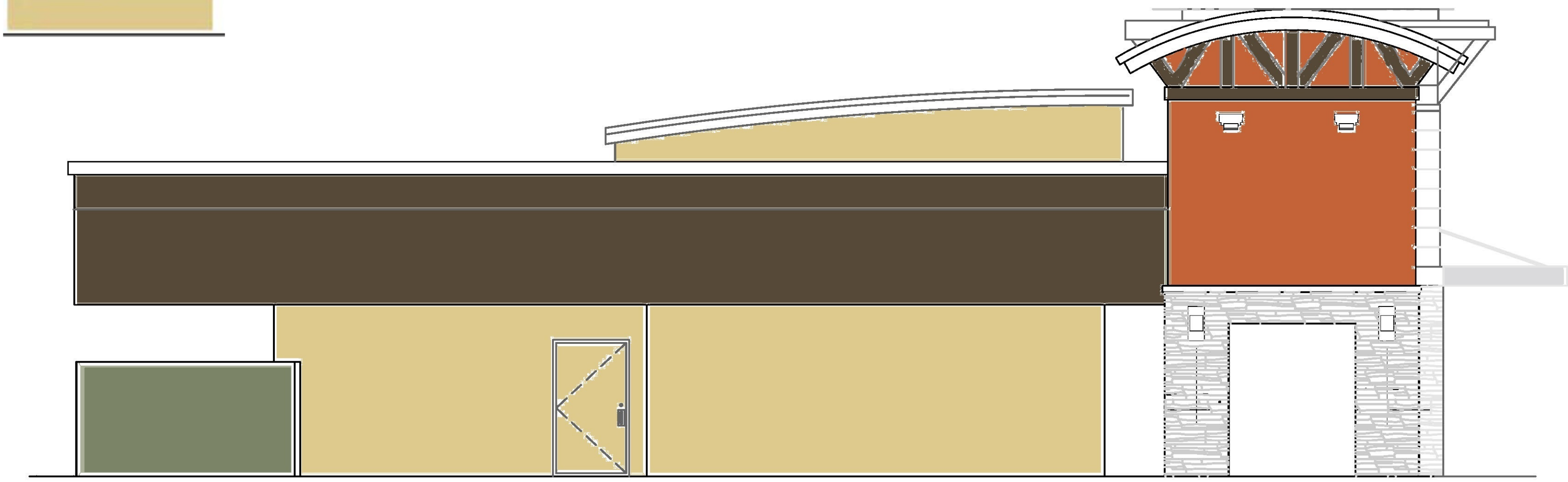
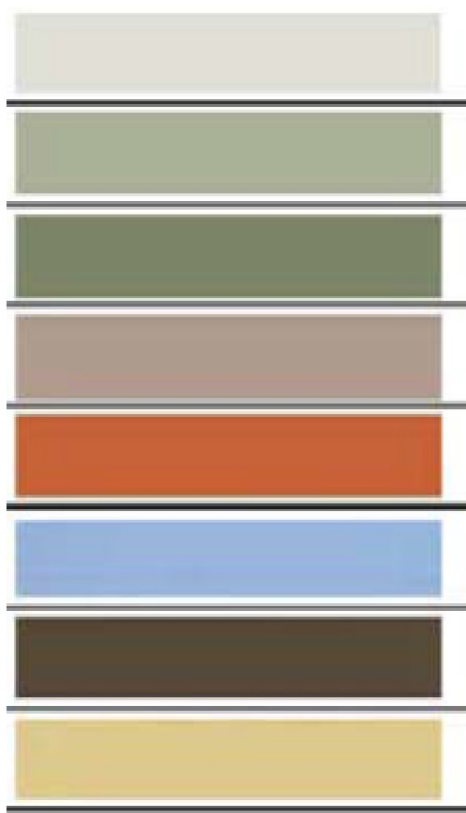




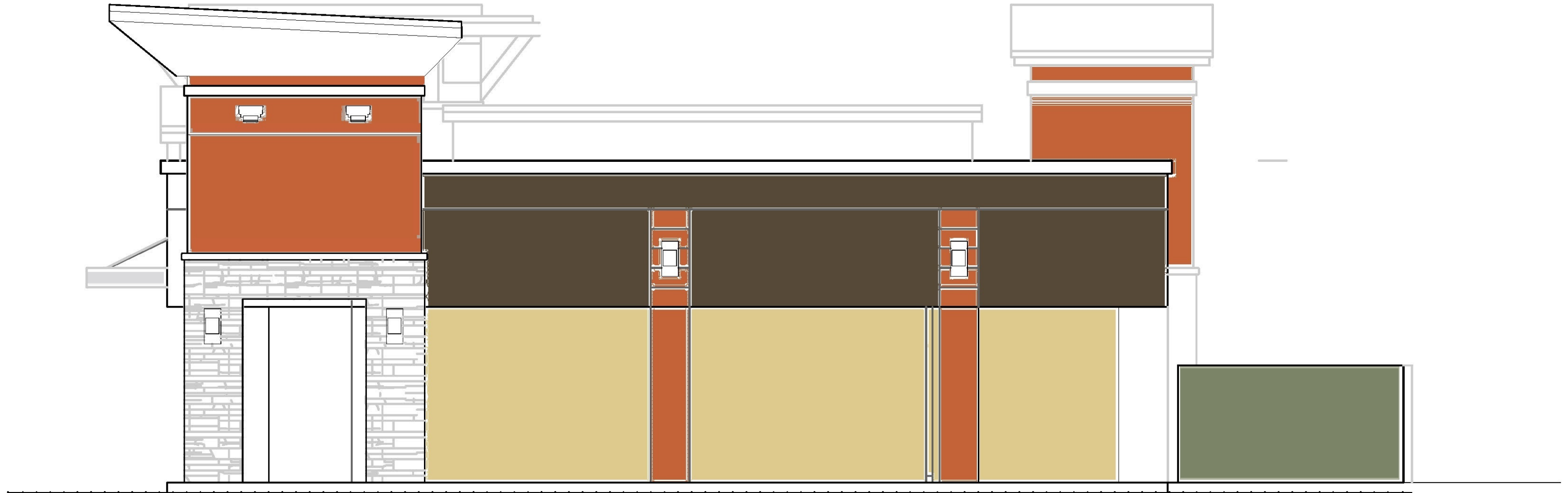
PROPOSED WEST ELEVATION - BLDG #3 (FACING FEDERAL HIGHWAY)



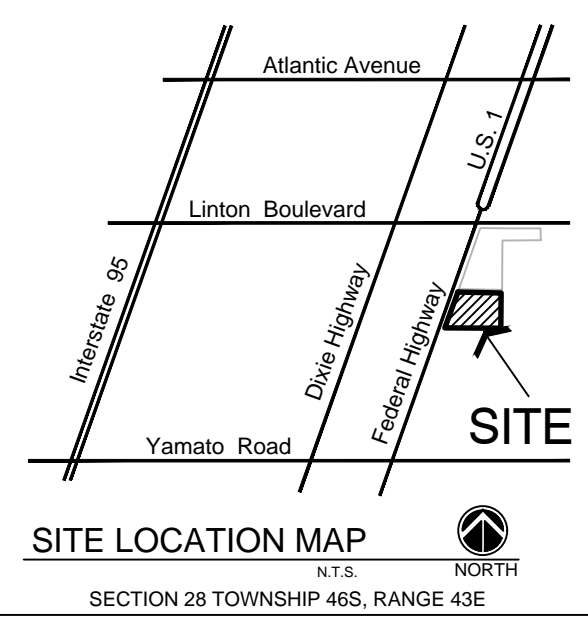
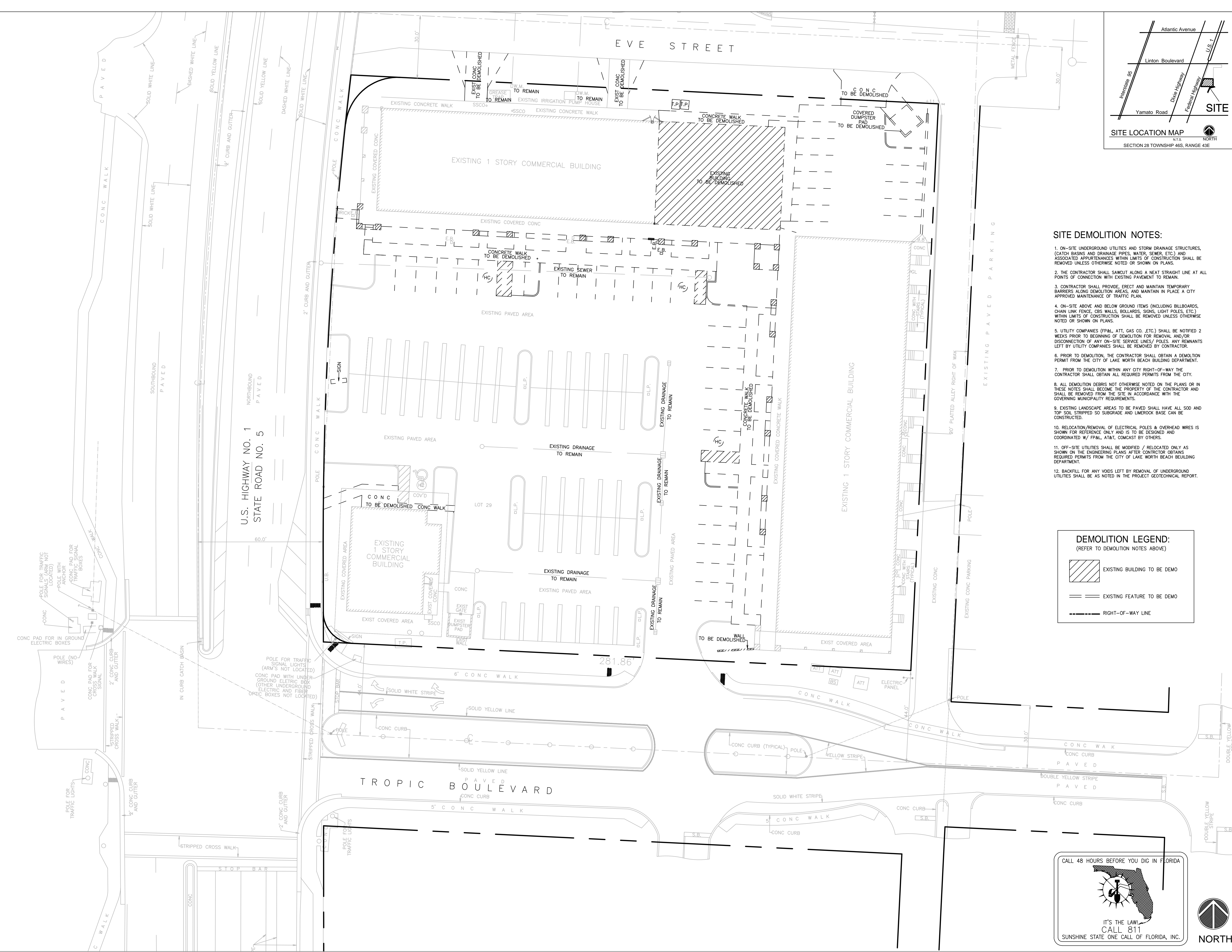
PROPOSED NORTH ELEVATION - BLDG #3 (FACING PARKING LOT)



PROPOSED EAST ELEVATION - BLDG #3 (FACING PARKING LOT)



PROPOSED SOUTH ELEVATION - BLDG #3 (FACING TROPIC BLVD)



- SITE DEMOLITION NOTES:**
1. ON-SITE UNDERGROUND UTILITIES AND STORM DRAINAGE STRUCTURES, (CATCH BASINS AND DRAINAGE PIPES, WATER, SEWER, ETC.) AND ASSOCIATED APPURTENANCES WITHIN LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.
  2. THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT TO REMAIN.
  3. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS, AND MAINTAIN IN PLACE A CITY APPROVED MAINTENANCE OF TRAFFIC PLAN.
  4. ON-SITE ABOVE AND BELOW GROUND ITEMS (INCLUDING BILLBOARDS, CHAIN LINK FENCE, CBS WALLS, BOLLARDS, SIGNS, LIGHT POLES, ETC.) WITHIN LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.
  5. UTILITY COMPANIES (FP&L, ATT, GAS CO., ETC.) SHALL BE NOTIFIED 2 WEEKS PRIOR TO BEGINNING OF DEMOLITION FOR REMOVAL AND/OR DISCONNECTION OF ANY ON-SITE SERVICE LINES/ POLES. ANY REMNANTS LEFT BY UTILITY COMPANIES SHALL BE REMOVED BY CONTRACTOR.
  6. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CITY OF LAKE WORTH BEACH BUILDING DEPARTMENT.
  7. PRIOR TO DEMOLITION WITHIN ANY CITY RIGHT-OF-WAY THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE CITY.
  8. ALL DEMOLITION DEBRIS NOT OTHERWISE NOTED ON THE PLANS OR IN THESE NOTES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY REQUIREMENTS.
  9. EXISTING LANDSCAPE AREAS TO BE PAVED SHALL HAVE ALL SOD AND TOP SOIL STRIPPED SO SUBGRADE AND LIMEROCK BASE CAN BE CONSTRUCTED.
  10. RELOCATION/REMOVAL OF ELECTRICAL POLES & OVERHEAD WIRES IS SHOWN FOR REFERENCE ONLY AND IS TO BE DESIGNED AND COORDINATED W/ FP&L, AT&T, COMCAST BY OTHERS.
  11. OFF-SITE UTILITIES SHALL BE MODIFIED / RELOCATED ONLY AS SHOWN ON THE ENGINEERING PLANS AFTER CONTRACTOR OBTAINS REQUIRED PERMITS FROM THE CITY OF LAKE WORTH BEACH BUILDING DEPARTMENT.
  12. BACKFILL FOR ANY VOIDS LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED IN THE PROJECT GEOTECHNICAL REPORT.

**DEMOLITION LEGEND:**  
(REFER TO DEMOLITION NOTES ABOVE)

	EXISTING BUILDING TO BE DEMO
	EXISTING FEATURE TO BE DEMO
	RIGHT-OF-WAY LINE

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CALL 811  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

**NORTH**

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E# 6578

Sheet Title

**SITE DEMOLITION PLAN**

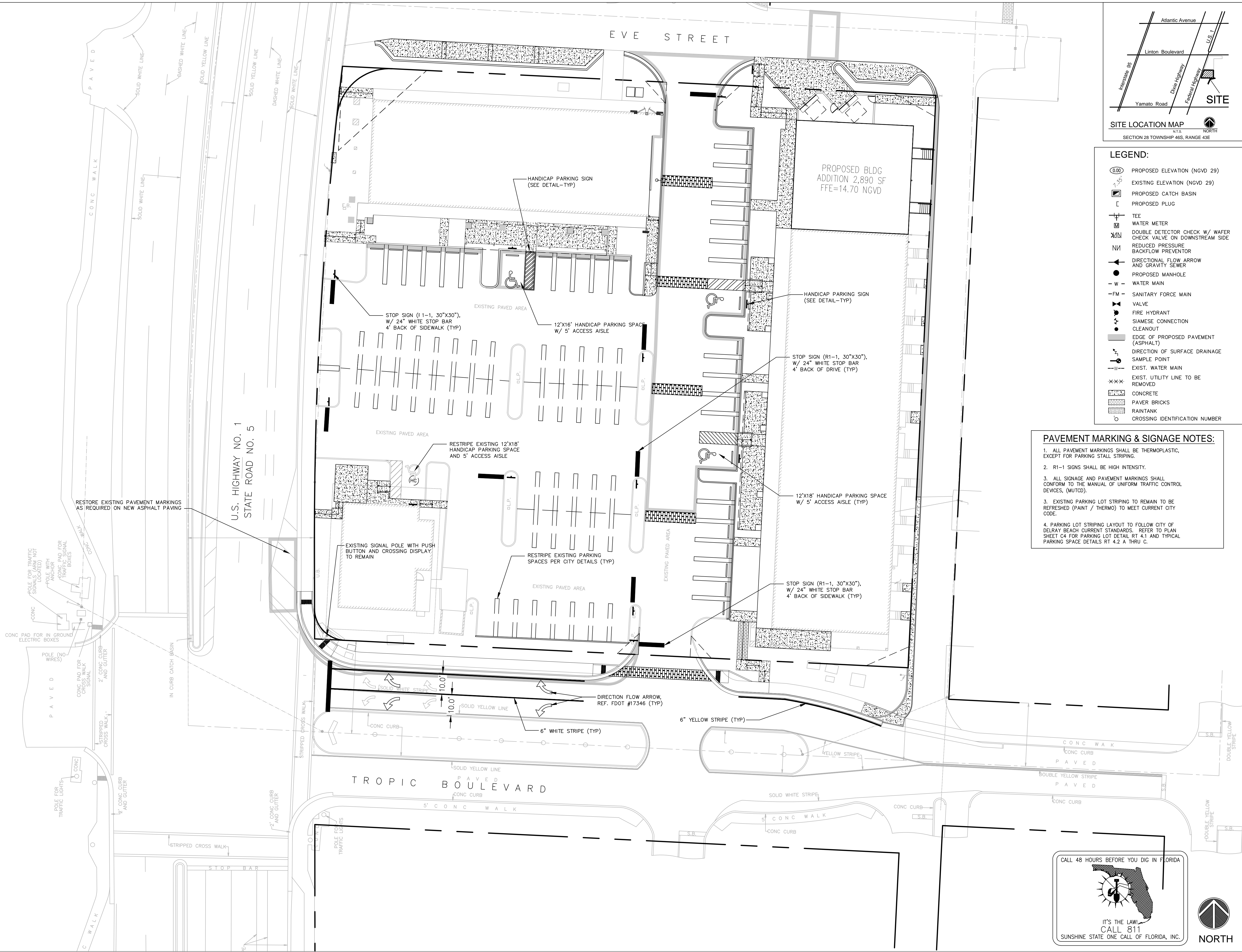
Job Title

**DELRAY PLACE SOUTH**  
(P.K.A. TROPIC SQUARE)

CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

Phase: PERMITTING DOCUMENTS	
Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plot Date 07/08/19
Drawn by DRS	Sheet No. <b>D1</b>
Proj. Engr. DRS	
Appr. by DRS	0 of 4



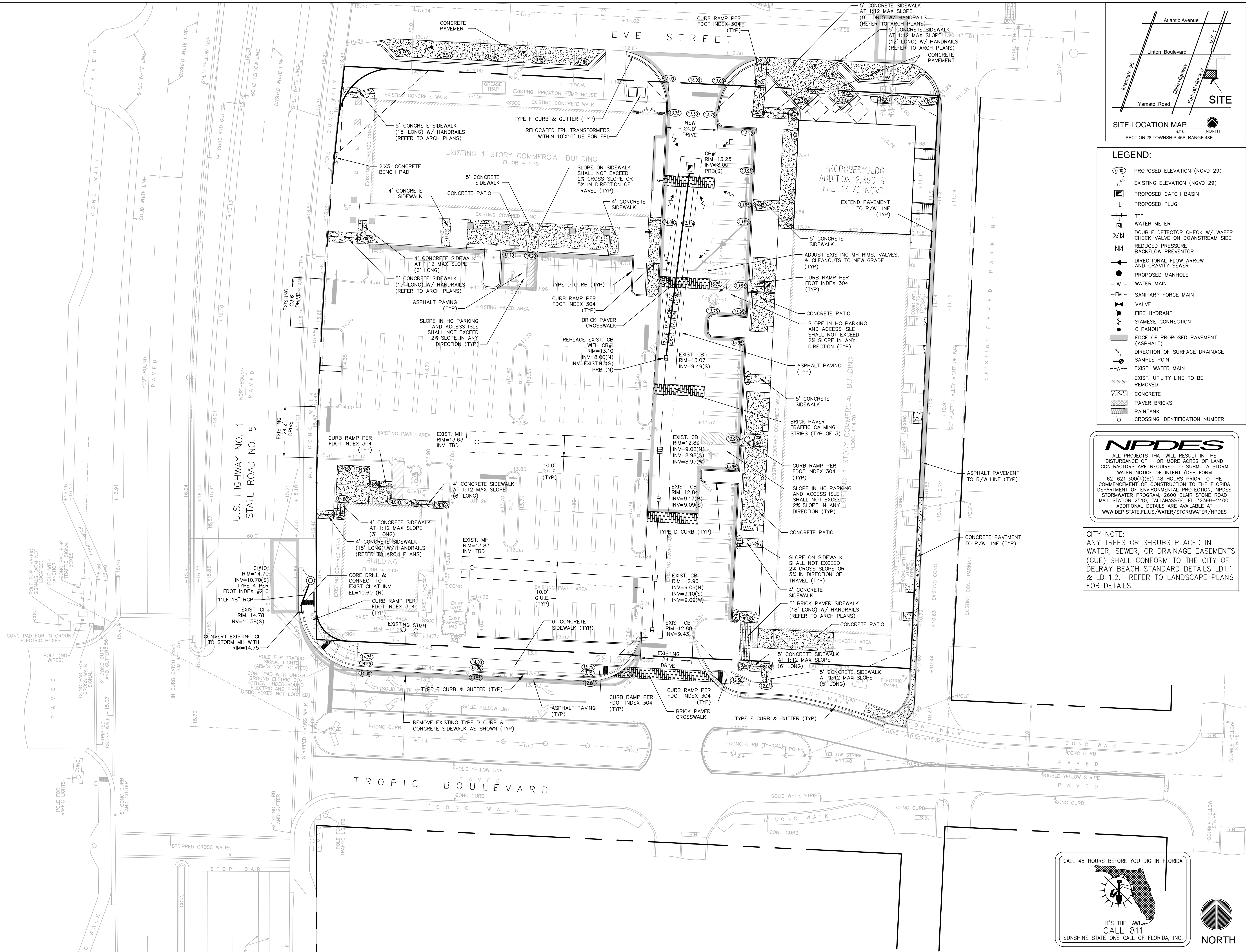


- LEGEND:**
- PROPOSED ELEVATION (NGVD 29)
  - EXISTING ELEVATION (NGVD 29)
  - PROPOSED CATCH BASIN
  - PROPOSED PLUG
  - TEE
  - WATER METER
  - DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
  - REDUCED PRESSURE BACKFLOW PREVENTOR
  - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
  - PROPOSED MANHOLE
  - WATER MAIN
  - SANITARY FORCE MAIN
  - VALVE
  - FIRE HYDRANT
  - SIAMESE CONNECTION
  - CLEANOUT
  - EDGE OF PROPOSED PAVEMENT (ASPHALT)
  - DIRECTION OF SURFACE DRAINAGE
  - SAMPLE POINT
  - EXIST. WATER MAIN
  - EXIST. UTILITY LINE TO BE REMOVED
  - CONCRETE
  - PAVER BRICKS
  - RAINTANK
  - CROSSING IDENTIFICATION NUMBER

- PAVEMENT MARKING & SIGNAGE NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
  - R1-1 SIGNS SHALL BE HIGH INTENSITY.
  - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).
  - EXISTING PARKING LOT STRIPING TO REMAIN TO BE REFRESHED (PAINT / THERMO) TO MEET CURRENT CITY CODE.
  - PARKING LOT STRIPING LAYOUT TO FOLLOW CITY OF DELRAY BEACH CURRENT STANDARDS. REFER TO PLAN SHEET C4 FOR PARKING LOT DETAIL RT 4.1 AND TYPICAL PARKING SPACE DETAILS RT 4.2 A THRU C.

Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plt Date 07/12/19
Drawn by DRS	Sheet No. <b>C1</b>
Proj. Engr. DRS	
Appr. by DRS	1 of 4





- LEGEND:**
- PROPOSED ELEVATION (NGVD 29)
  - EXISTING ELEVATION (NGVD 29)
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  - TEE
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  - DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
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  - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
  - PROPOSED MANHOLE
  - WATER MAIN
  - SANITARY FORCE MAIN
  - VALVE
  - FIRE HYDRANT
  - SIAMSE CONNECTION CLEANOUT
  - EDGE OF PROPOSED PAVEMENT (ASPHALT)
  - DIRECTION OF SURFACE DRAINAGE
  - SAMPLE POINT
  - EXIST. WATER MAIN
  - EXIST. UTILITY LINE TO BE REMOVED
  - CONCRETE
  - PAVER BRICKS
  - RAINTANK
  - CROSSING IDENTIFICATION NUMBER

**NPDES**

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

**CITY NOTE:**  
ANY TREES OR SHRUBS PLACED IN WATER, SEWER, OR DRAINAGE EASEMENTS (GUE) SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD1.1 & LD 1.2. REFER TO LANDSCAPE PLANS FOR DETAILS.

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Sheet Title  
**PAVING AND DRAINAGE PLAN**

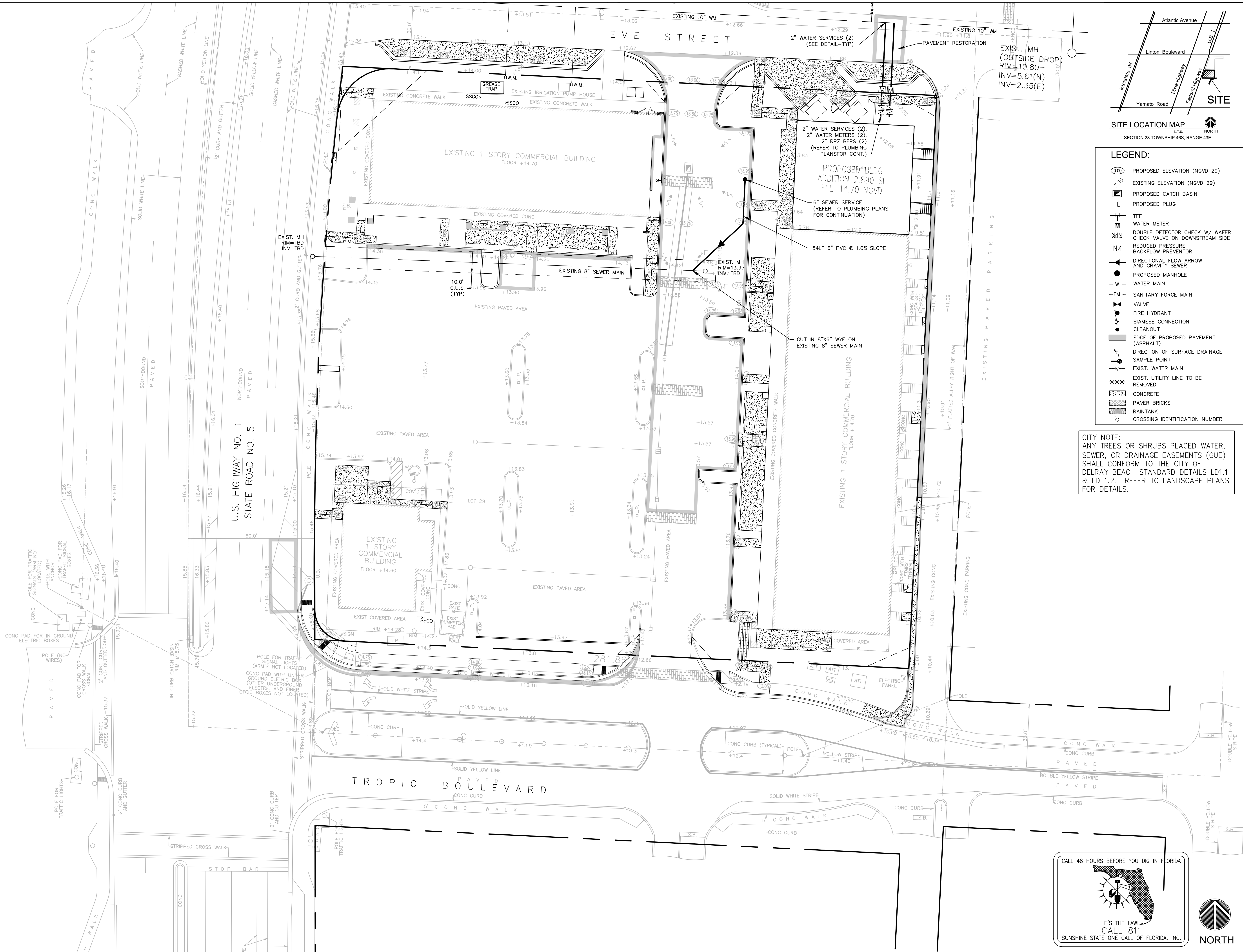
Job Title  
**DELRAY PLACE SOUTH**  
(P.K.A. TROPIC SQUARE)

CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

Phase:  
PERMITTING  
DOCUMENTS

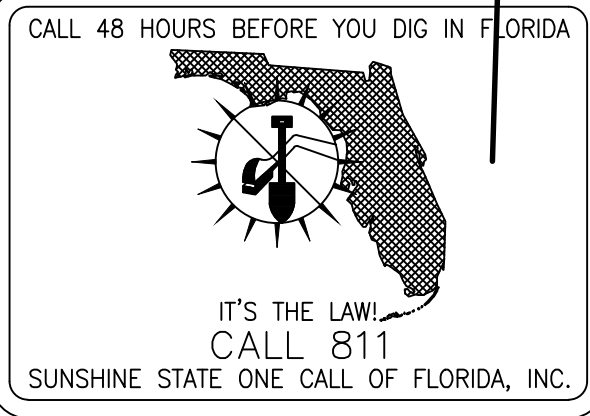
Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plot Date 07/12/19
Drawn by DRS	Sheet No. <b>C2</b>
Proj. Engr. DRS	
Appr. by DRS	2 of 4





- LEGEND:**
- PROPOSED ELEVATION (NGVD 29)
  - EXISTING ELEVATION (NGVD 29)
  - PROPOSED CATCH BASIN
  - PROPOSED PLUG
  - TEE
  - WATER METER
  - DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
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  - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
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  - WATER MAIN
  - SANITARY FORCE MAIN
  - VALVE
  - FIRE HYDRANT
  - SIAMSE CONNECTION
  - CLEANOUT
  - EDGE OF PROPOSED PAVEMENT (ASPHALT)
  - DIRECTION OF SURFACE DRAINAGE
  - SAMPLE POINT
  - EXIST. WATER MAIN
  - EXIST. UTILITY LINE TO BE REMOVED
  - CONCRETE
  - PAVER BRICKS
  - RAINTANK
  - CROSSING IDENTIFICATION NUMBER

**CITY NOTE:**  
ANY TREES OR SHRUBS PLACED WATER, SEWER, OR DRAINAGE EASEMENTS (GUE) SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD.1 & LD.2. REFER TO LANDSCAPE PLANS FOR DETAILS.



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E# 6578

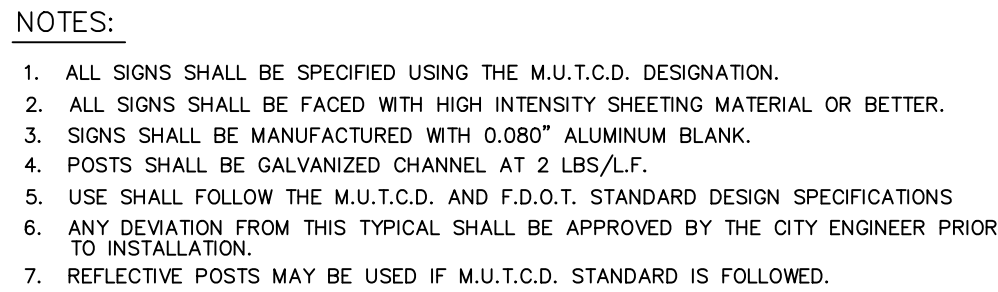
Sheet Title  
**WATER AND SEWER PLAN**

Job Title  
**DELRAY PLACE SOUTH**  
(F.K.A. TROPIC SQUARE)

CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

Phase:  
PERMITTING  
DOCUMENTS

Scale: 1"=20'	Date 08/11/14
Job No. 12-1005.03	Plot Date 07/12/19
Drawn by DRS	Sheet No. <b>C3</b>
Proj. Engr. DRS	
Appr. by DRS	3 of 4



**UNDIVIDED:**

12" WIDE

CROSSWALK (SEE CROSSWALK DETAIL RT. 3.3)

VARIES

4' BEHIND CROSSWALK OR CROSSING LOCATION

"SIDEWALK"

4' STRIPING MARKING (TYP.)

24" WHITE STOP BAR

TRAFFIC SIGN R1-1 (TYP.)

EDGE OF PAVEMENT

BI-DIRECTION YELLOW CLASS "B" R.P.M. SPACED 20' O.C.

6" DOUBLE YELLOW (W/4" GAP)

**DIVIDED:**

BI-DIRECTION YELLOW CLASS "B" RPM'S

24" WHITE

6" WHITE

R4-7 W/CASE 1 MARKER

R1-1

6" YELLOW EDGE LINE

EDGE OF PAVEMENT

12" MIN. 50" MAX.

R1-1

SEE STREET SIGNS DETAIL (RT. 2.1)

PAVEMENT ARROW TO BE PLACED PER FOOT STANDARD INDEX 17346.

MONO-DIRECTION WHITE CLASS "B" RPM'S SPACED 20' O.C.

NOTE: ALL STRIPING AND DELINEATION TO CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST ED.

**INTERSECTION TRAFFIC CONTROL STOP CONDITION**

**DETAIL RT. 3.2**

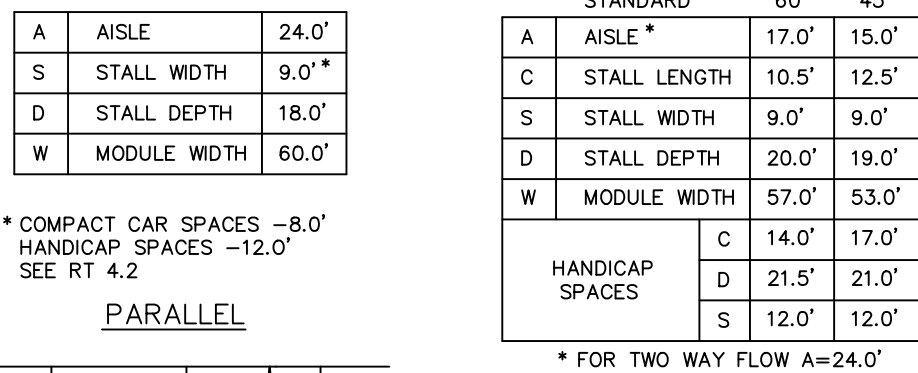
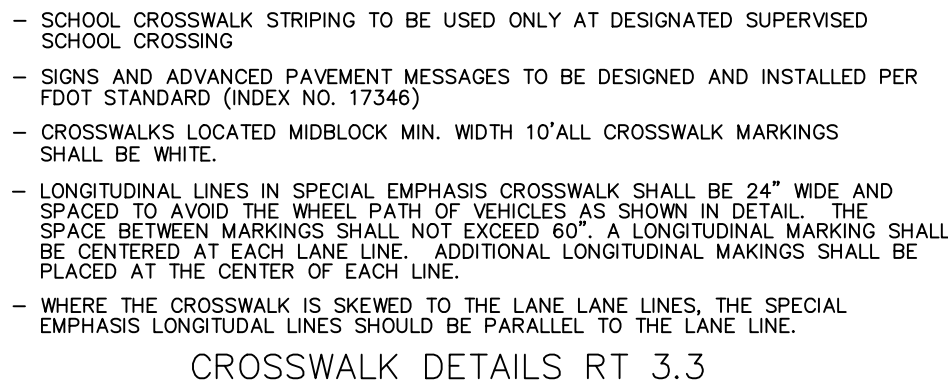
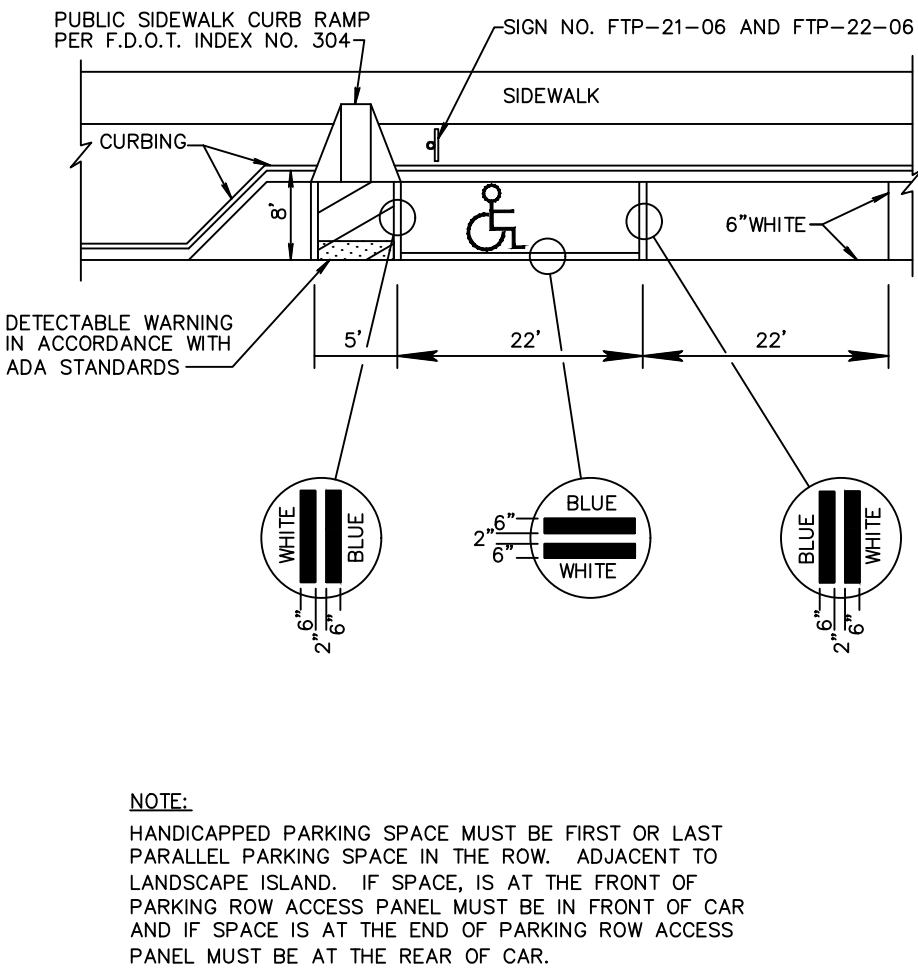
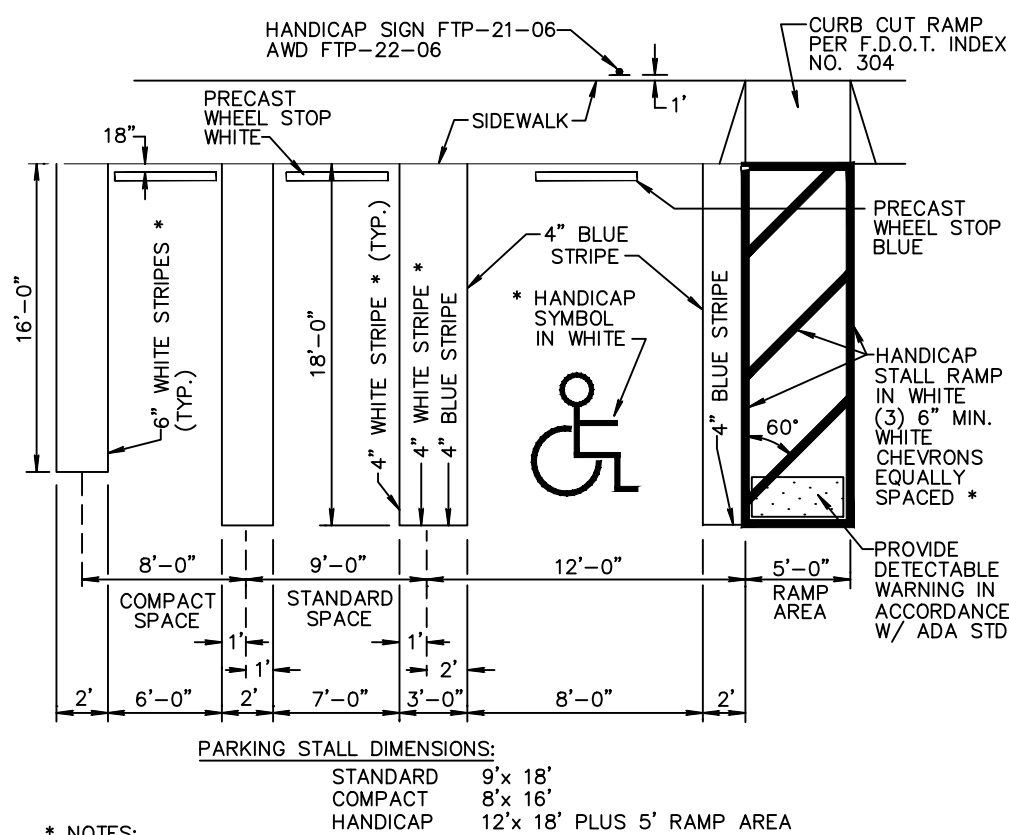


Figure 1: Plan view of a proposed parking lot layout. The diagram shows a central access road (16'-0" wide) flanked by parking spaces. On the left side, there are 10 parking spaces, each 12'-0" wide, with a 16'-0" wide access road on the far left. On the right side, there are 10 parking spaces, each 12'-0" wide, with a 16'-0" wide access road on the far right. The total width of the parking lot is 44'-0". The diagram includes various dimensions and labels for parking spaces, access roads, and vehicle types (e.g., "WHITE STROKE", "BLUE STROKE", "WHITE STROKE", "BLUE STROKE"). It also includes a note: "NOTE: REFER TO SPECIAL PARKING SPACE DIMENSIONS AND NOTES."



TYPICAL PARKING SPACES  
(3 OF 3)  
DETAIL RT 4.2c



TYPICAL PARKING SP  
(1 OF 3)  
DETAIL RT 4.2a

## PAVEMENT MARKING SPECIFICATIONS

All Pavement markings to be installed per these typicals, plans and specifications, and as directed by the City Engineer and shall conform to the requirements of F.D.O.T. and the manual on uniform traffic control devices, (MUTCD)

PERMANENT MARKINGS

**Installation:**

Installation:

- All markings shall be installed by the extrusion method.

- Chalk shall be used for all layout markings
- All materials shall be alkyd or hydrocarbon thermoplastic meeting all FDOT specifications.

## Thickness

Thickness:

- All markings shall be installed to yield 90 mils of material measured above the pavement surface.

Spheres:

- Reflective glass spheres are to be applied to all stripes and markings per FDOT specifications.

### Alternate

- STAYMARK marking tape, or equivalent may be used as approved or directed by the City Engineer.

—

- It is recommended that marking layout be inspected by the City Engineer prior to the placement of

### TEMPORARY MARKINGS

### TEMPORARY MARKINGS

section, or as approved

Final Pavement Surface:  
Only self-healed marking tape is allowed

- All tape should be permanent

**Other Pavement Surfaces:**

- Intermediate p  
FDOT approves

FDOT approved materials, designs, and specifications.

PAVEMENT MARKING SPECIFICATIONS RT 8.1a  
(Sheet 1 of 2)

ALL PAVEMENT MARKINGS

All paved surfaces shall be properly marked prior to the hours of darkness.

## RAISED PAVEMENT MARKERS

- R.P.M.s shall be installed on all lane lines and centerlines, spaced at 20' or 40'.
- R.P.M.s shall be a 4 x 4 type class "B" marker meeting F.D.O.T. specifications and shall be approved by the City Engineer prior to use.
- R.P.M.'s shall be installed using alkdy thermoplastic on asphalt and epoxy on concrete.

## OTHER NOTES

- All Materials within right-of-way shall be thermoplastic and per F.D.O.T. specifications.
- Pavement marking within private parking lots may be painted according to F.D.O.T. specifications, except for all stop bars adjacent to public right-of-way.

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E# 6578

## PAVING MARKING AND SIGNAGE DETAILS

DELRAY PLACE SOUTH  
(F.K.A. TROPIC SQUARE)

CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA

Phase:  
PERMITTING  
DOCUMENTS

## Revisions

Scale: NTS	Date 02/15/16
Job No. 12-1005.03	Plot Date 06/14/19
Drawn by DRS	Sheet No.  <b>C4</b>
Proj. Mgr. DRS	
Appr. by DRS	4 of 4



U.S. 1 FEDERAL HIGHWAY (±83'-0")

EVE STREET (±24'-0")

TROPIC BOULEVARD

#### TREES & PALMS REMOVALS/REPLACEMENTS

TYPE	QTY	DESCRIPTION	SHEET NUMBER
PALM	25	REMOVE	TD.1 (TREE DISPOSITION)
PALM	20	REPLACEMENT (NEW)	LP.1 (THIS SHEET)
TREE	4*	REMOVE	TD.1 (TREE DISPOSITION)
TREE	20	REPLACEMENT (NEW)	LP.1 (THIS SHEET)

\*5 TOTAL TREES ARE SHOWN FOR REMOVAL ON TD.1 BUT ONE TREE IS AN INVASIVE CARROTWOOD TREE AND IS NOT INCLUDED IN THE TOTAL ABOVE.

#### EXISTING TREES & PALMS TO REMAIN SCHEDULE

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
BB-EX	2	BLACK OLIVE	BUCIDA BUCERAS	TO REMAIN ON SITE
CA-EX	1	CARPENTER PALM	CARPENTARIA ACUMINATA	TO REMAIN ON SITE
DL-EX	1	ARECA PALM	DYSPIS LUTESCENS	TO REMAIN ON SITE
FE-EX	1	SOLITAIRE PALM	PTYCHOSPERMA ELEGANS	TO REMAIN ON SITE
PR-EX	2	PYGMY DATE PALM	PHOENIX ROEBELENI	TO REMAIN ON SITE
QV-EX	1	LIVE OAK	QUERCUS VIRGINIANA	TO REMAIN ON SITE
RR-EX	10	ROYAL PALM	ROYSTONIA REGIA	TO REMAIN ON SITE
SM-EX	2	MAHOGANY	SWietenia mahagoni	TO REMAIN ON SITE
SP-EX	7	SABAL PALM	SABAL PALMETTO	TO REMAIN ON SITE

#### EXISTING TREES & PALMS TO BE RELOCATED SCHEDULE

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
RR-RE	5	ROYAL PALM	ROYSTONIA REGIA	TRANSPLANTED ON SITE

#### PLANT SCHEDULE

TREES			
SYMBOL	QTY	COMMON NAME	REMARKS
CE	6	GREEN BUTTWOOD	1'6" HT. X 7' SPR. MIN./ 6' C.T.
IC	7	DAHOON HOLLY	1'6" HT. X 7' SPR. MIN./ 6' C.T.
JAT	7	JATROPHA	5' HT. X 4' SPR.
PALMS			
PE2	4	SOLITAIRE PALM	1'8" C.T./ DOUBLE-TRUNK
PR3	2	PYGMY DATE PALM	6' OA HT./ TRIPLE-TRUNK
PS	4	SYLVESTER PALM	1'8" C.T./ Diamond Cut/ FL#1/ Matched
RE	3	ROYAL PALM	14' G.W. MIN./ 20' C.T. MIN. CONTINUOUS TRUNK DIAMETER
SP	3	SABAL PALM	20' OA HT./ 8' C.T.
VM	3	MONTGOMERY PALM	20' C.T./ 8" CAL. MIN./ Matched
SHRUBS			
CHR	142	REDTIP COCOPLUM	30" HT. X 24" SPRD. 30-36" O.C.
CLS	12	CLUSIA	60" HT. X 30" SPRD. 30" O.C.
CLU	49	CLUSIA	36" HT. X 24" SPRD. 36-42" O.C.
CRI	28	GREEN CRINUM LILY	36" HT. X 24" SPRD. AS SHOWN
CRO	606	MAGNIFICENT CROTON	24" HT. X 18" SPRD. 24" O.C.
PMD	40	PODOCARPUS	42" HT. X 30" SPRD. 36-42" O.C.
POD	218	PODOCARPUS	24" HT. X 18" SPRD. 18" O.C.
SCH	245	VARIEGATED SCHEFFLERA	24" HT. X 24" SPRD. 24" O.C.
THR	87	THYLLIS	24" HT. X 24" SPRD. 30" O.C.
GROUNDCOVERS			
DIA	940	FLAX LILY	12" HT. X 12" SPRD. 12" O.C.
PEN	180	PENTAS	12" HT. X 12" SPRD. 12" O.C.
POP	270	'PRINGLES' PODOCARPUS	12" HT. X 12" SPRD. 12" O.C.
SOD	T.B.D.	ST. AUGUSTINE SOD	CONTRACTOR TO DETERMINE QTY.

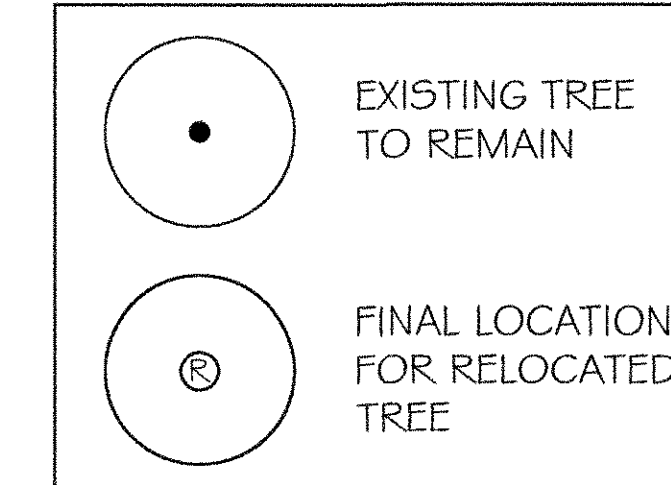
#### LANDSCAPE NOTES:

- ALL PLANTS TO BE FLORIDA #1 QUALITY OR BETTER AS DEFINED IN THE LATEST EDITION OF THE FLORIDA GRADES AND STANDARDS FOR NURSEY PLANTS, UNLESS OTHERWISE NOTED.
- ALL PLANTING AND SOD AREAS SHALL RECEIVE 100% IRRIGATION COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR.
- ALL PLANTING BEDS/ ISLANDS SHALL BE FREE OF SHELLROCK, CONSTRUCTION DEBRIS, OR OTHER MISCELLANEOUS DEBRIS, EXCAVATED TO A DEPTH OF 30" OR TO CLEAN NATIVE SOILS, AND BACKFILLED WITH THE SPECIFIED SOIL MIXTURE.
- TREES SHALL NOT BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITIES. ROOT BARRIER IS REQUIRED, IF ANY TREE OR PALM IS TO BE PLANTED WITHIN FOUR (4) FEET OF ANY UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED APPROVALS AND PERMITS FROM LOCAL MUNICIPALITY AND GOVERNING AGENCIES PRIOR TO REMOVAL OF ANY EXISTING VEGETATION OR BEGINNING INSTALLATION.
- IN THE EVENT OF A CONFLICT BETWEEN THE QUANTITIES SHOWN IN THE PLANT SCHEDULE AND GRAPHICALLY DEPICTED AND LABELED ON THE PLAN, THE PLAN WILL PREVAIL. IF SUCH CONFLICT IS DISCOVERED, CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT.
- ALL TREES PLANTED UNDER OR NEAR OVERHEAD POWER LINES SHALL COMPLY WITH FPL RIGHT TREE, RIGHT PLACE REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO CALL SUNSHINE 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING, EXCAVATION, OR UNDERGROUND WORK. IF PROPOSED DESIGN CONFLICTS WITH EXISTING OR PROPOSED UTILITY LOCATIONS, CONTRACTOR SHALL IMMEDIATELY CONTACT LANDSCAPE ARCHITECT TO DEVELOP A SOLUTION FOR THE CONFLICT.

#### PLAN REVIEW NOTE:

- THE LANDSCAPE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CITY OF DELRAY BEACH LANDSCAPE REQUIREMENTS AND IN ACCORDANCE WITH THE PREVIOUSLY APPROVED LANDSCAPE PLAN. SPECIFIC LANDSCAPE REQUIREMENTS PER THE CITY OF DELRAY BEACH CODE ARE NOT PROVIDED AS THIS IS AN EXISTING SITE WITH A SMALL AREA AFFECTED BY THE PROPOSED IMPROVEMENTS.

#### EXISTING TREE LEGEND



#### LOCATION MAP



Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine811.com

Consultants:

Revisions:

Per Client Comments: 12/13/18  
Per Client Comments: 12/18/18  
Per City Comments: 6/13/19  
Per Site Plan Revisions: 7/8/19  
Per Site Plan Revisions: 7/9/19  
Per Site Plan Revisions: 7/11/19

Delray Place South  
City of Delray Beach, Florida

BRYAN ROBERT DONAHUE, PLA  
LICENSE # LA6667130

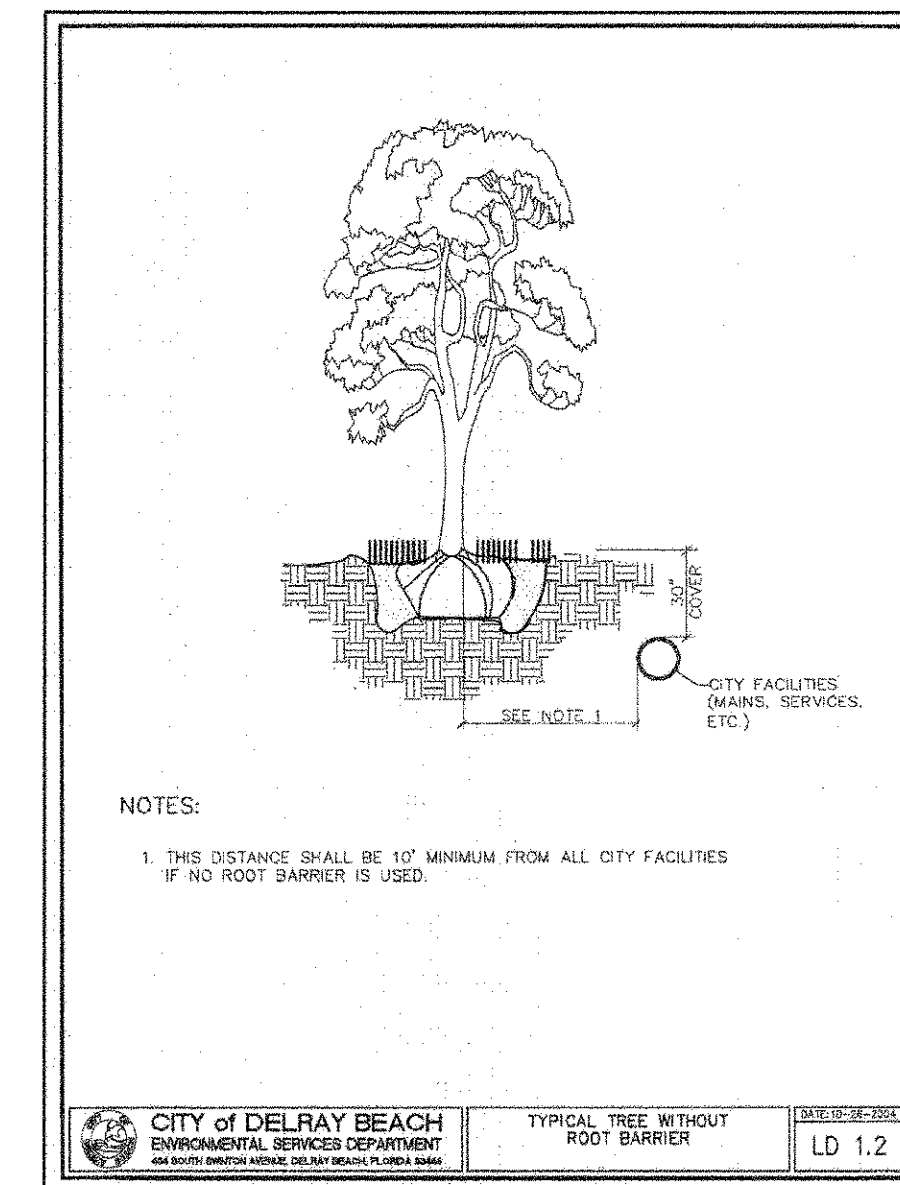
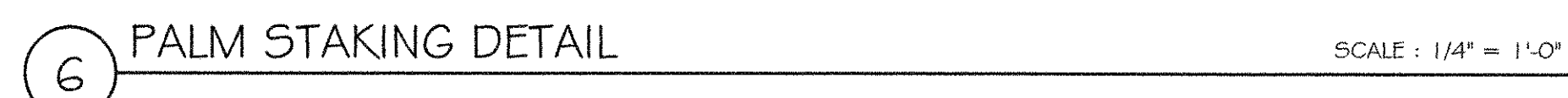
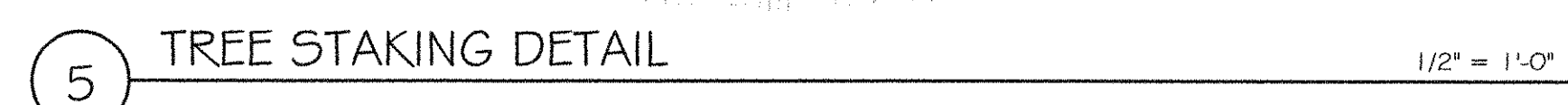
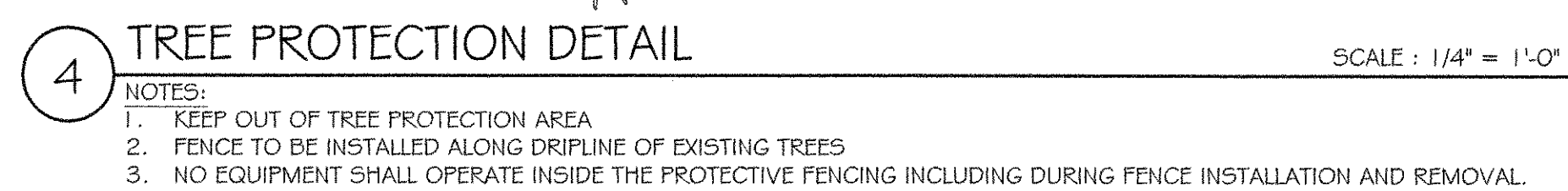
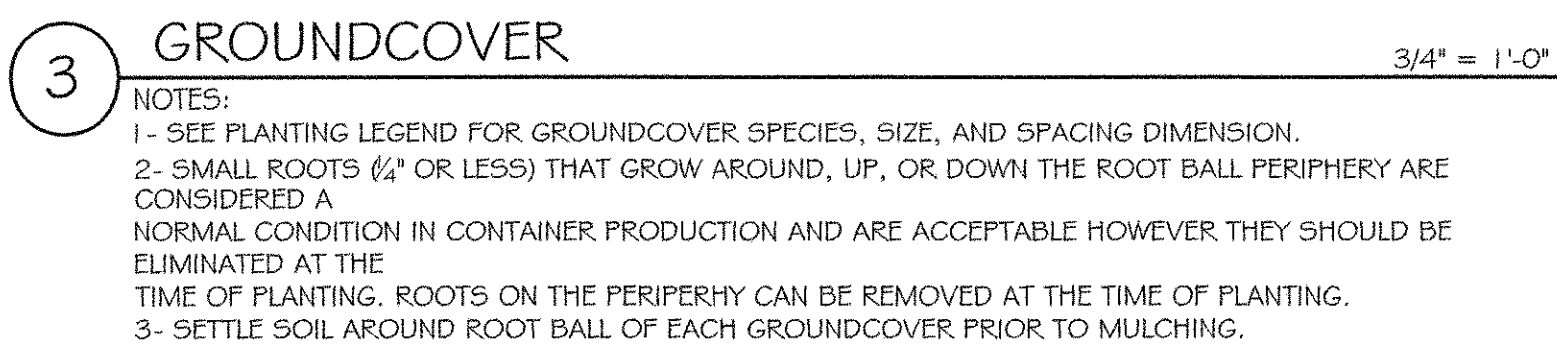
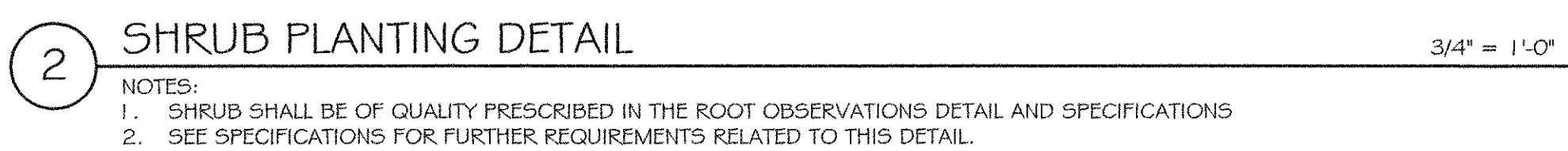
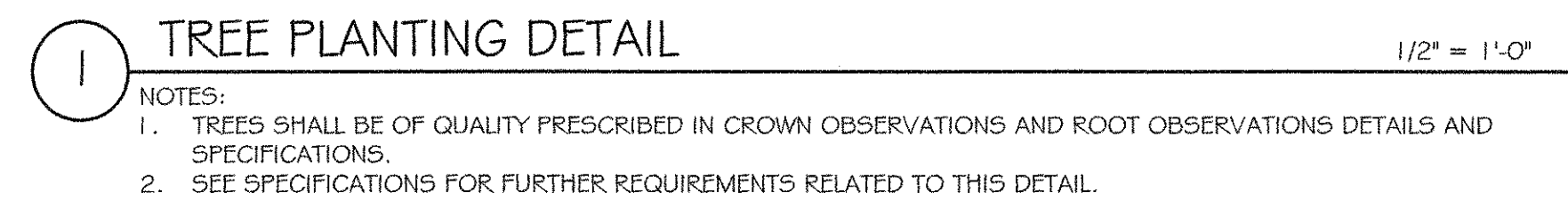
0 10' 20' 40'  
SCALE: 1" = 20'-0"

Drawn By: SMT  
Drawing #: 1049  
Date: 12/3/2018

Landscape Plan

SHEET # LP.1







GENERAL CONDITIONS

- A. CONTRACT DOCUMENTS: Shall consist of specifications and its general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. VERIFICATION: The Contractor shall verify measurements on the drawings before beginning work. In case of error or discrepancy in the drawings or specifications or in the work of others affecting his/her work, he/she shall notify the Owner's Representative immediately. The Contractor shall be held responsible for any damages or loss due to his/her failure to observe these instructions.
- C. MATERIALS, MACHINERY, EMPLOYEES: Except as otherwise noted, the Contractor shall provide and pay for all materials, labor, tools, and other items necessary and incidental to the completion of his/her work.
- D. SURVEYS, PERMITS, REGULATIONS: The Owner shall furnish an adequate survey of the property. The Contractor shall obtain and pay for all permits and comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a variance exists therewith he/she shall promptly notify the Owner's Representative in writing and any necessary changes shall be adjusted as provided in the contract for changes in the work.
- E. PROTECTION OF WORK, PROPERTY AND PERSON: The Contractor shall adequately protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- F. CHANGES IN THE WORK: The owner may order changes in the work, and the contract sum being adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extras must be made in writing before executing the work involved.
- G. CORRECTION OF WORK: The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative for a period of ninety (90) days from the date of completion of the contract.
- H. Owner's Authorized Representative: The Owner's authorized representative acts as the authorized representative of the Owner in conjunction with the project manager, and has authority to accept or reject materials or workmanship and to make minor changes in the work not involving extra cost. He will also interpret the meaning of the contract documents and may stop the work if necessary to ensure its proper execution.
- I. CLARIFICATION OF DRAWINGS BEFORE BIDDING: After reviewing the drawings thoroughly it is the Contractor's responsibility to clarify with the Owner's Representative any questions the Contractor may have regarding the method of construction, quantities, or quality of materials included or called out. If the Contractor cannot contact the Owner's Representative, the Contractor must qualify his/her bid or accept the interpretation of the Owner's Representative on the questionable areas as they develop during construction.
- J. SAMPLES: The Owner's Representative reserves the right to take and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request by the Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the Contractor's expense. The cost of testing materials not meeting specifications shall be paid by the Contractor.
- K. PRE-CONSTRUCTION CONFERENCE: Schedule a pre-construction meeting with the Owner's Representative at least seven (7) days before beginning work. The purpose of this conference is to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

015639  
Tree and Plant Protection

PART 1 GENERAL

1.1 SUMMARY

The scope of work includes all labor, materials, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with protection of existing trees and other plants as shown on the drawings and as specified herein.

1. Provide preconstruction evaluations
2. Provide tree and plant protection fencing.
3. Provide protection of root zones and above ground tree and plants
4. Provide pruning of existing trees and plants.
5. Coordinate with the requirements of Section Planting Soil for modifications to the soil within the root zone of existing trees and plants.
6. Provide all insect and disease control.
7. Provide maintenance of existing trees and plants including irrigation during the construction period as recommended by the arborist report.
8. Provide maintenance of existing trees and plants including irrigation during the post construction plant maintenance period.
9. Remove tree protection fencing and other protection from around and under trees and plants.
10. Clean up and disposal of all excess and surplus material.

1.2 CONTRACT DOCUMENTS

- A. Shall consist of specifications and general conditions and the drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.
- B. It is the intent of this section that the requirements apply to all sections of the project specification such that any subcontractor must comply with the restrictions on work within designated Tree and Plant Protection Areas.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. Related Documents:
1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section.
  2. Section -Planting
- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail.
1. ANSI A300 (Part 5) - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current editions.
  2. Pruning practices shall conform with recommendations "Structural Pruning: A Guide For The Green Industry", Published by Urban Tree Foundation, Visalia, California; most current edition.
  3. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.

1.4 VERIFICATION

- A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.

1.5 PERMITS AND REGULATIONS

- A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.
- B. Wherever references are made to standards or codes in accordance with which work is to be performed or tested, the edition or revision of the standards and codes current on the effective date of this contract shall apply, unless otherwise expressly set forth.
- C. In case of conflict among any referenced standards or codes or between any referenced standards and codes and the specifications, the more restrictive standard shall apply or Owner's Representative shall determine which shall govern.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. The Contractor shall protect the work, adjacent property, and the public, and shall be responsible for any damages or injury due to his/her actions.
- 1.7 CHANGES IN THE WORK
- A. The Owner's Representative may order changes in the work, and the contract sum should be adjusted accordingly. All such orders and adjustments plus claims by the Contractor for extra compensation must be made and approved in writing before executing the work involved.
- 1.8 CORRECTION OF WORK
- A. The Contractor shall re-execute any work that fails to conform to the requirements of the contract and shall remedy defects due to faulty materials or workmanship upon written notice from the Owner's Representative, at the soonest possible time that can be coordinated with other work and seasonal weather demands.

1.9 DEFINITIONS

- All terms in this specification shall be as defined in the "Glossary of Arboricultural Terms" or as modified below.
- Owner's Representative: The person appointed by the Owner to represent their interest in the review and approval of the work and to serve as the contracting authority with the Contractor. The Owner's Representative or Owner may appoint other persons to review and approve any aspects of the work, such as the landscape architect who prepared the plans.
- B. Reasonable and reasonably: When used in this specification is intended to mean that the conditions cited will not affect the establishment or long term stability, health or growth of the plant. This specification recognizes that plants are not free of defects, and that plant conditions change with time. This specification also recognizes that some decisions cannot be totally based on measured findings and that professional judgment is required. In cases of differing opinion, the Owner's Representative expert shall determine when conditions within the plant are judged as reasonable.
- C. Shrub: Woody plants with mature height approximately less than 25 feet.
- D. Tree and Plant Protection Area: Area surrounding individual trees, groups of trees, shrubs, or other vegetation to be protected during construction, and defined by a circle centered on the trunk with each tree with a radius equal to the crown dripline unless otherwise indicated by the Owner's representative.
- E. Tree: Single and multi-stemmed plants, including palms with anticipated mature height approximately greater than 25 feet or any plant identified on the plans as a tree.

1.10 SUBMITTALS

- A. PRODUCT DATA: Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative for approval. Provide submittal four weeks before the start of any work at the site.

1.11 OBSERVATION OF THE WORK

- A. The Owner's Representative may inspect the work at any time.

1.12 PRE-CONSTRUCTION CONFERENCE

- A. Schedule a pre - construction meeting with the Owner's Representative at least seven (7) days before beginning work to review any questions the Contractor may have regarding the work, administrative procedures during construction and project work schedule.

1. The following Contractors shall attend the preconstruction conference:
- a. General Contractor.
  - b. Consulting Arborist.
  - c. Subcontractor assigned to install Tree and Plant Protection measures.
  - d. Earthwork Contractor.
  - e. All site utility Contractors that may be required to dig or trench into the soil.
  - f. Landscape subcontractor.
  - g. Irrigation subcontractor.

- B. Prior to this meeting, mark all trees and plants to remain and/or be removed as described in this specification for review and approval by the Owner's Representative.

1.13 QUALITY ASSURANCE

- A. Contractor qualifications:
1. All pruning, branch tie back, tree removal, root pruning, and fertilizing required by this section shall be performed by or under the direct supervision of ISA Certified Arborist. Submit aforementioned individual's qualifications for approval by the Owner's Representative.
  2. All applications of pesticide or herbicide shall be performed by a person maintaining a current state license to apply chemical pesticides valid in the jurisdiction of the project. Submit copies of all required state licensing certificates including applicable chemical applicator licenses.

PART 2 PRODUCTS

2.3 TREE PROTECTION FENCING:

- A. PLASTIC MESH FENCE: Heavy - duty orange plastic mesh fencing fabric 48 inches wide. Fencing shall be attached to metal "U" or "T" post or wooden post driven into the ground of sufficient depth to hold the fabric solidly in place with out sagging. The fabric shall be attached to the post using attaching ties of sufficient number and strength to hold up the fabric without sagging. The Owner's Representative may request, at any time, additional post, deeper post depths and/or additional fabric attachments if the fabric begins to sag, lean or otherwise not present a sufficient barrier to access.
- C. GATES: For each fence type and in each separate fenced area, provide a minimum of one 3 foot wide gate. Gates shall be lockable. The location of the gates shall be approved by the Owner's Representative.
- D. Submit suppliers product data that product meets the requirements for approval.

2.4 tree protection sign:

- A. Heavy-duty cardboard signs, 8.5 inches x 11 inches, white colored background with black 2 inch high or larger letters block letters. The signs shall be attached to the tree protection fence every 50 feet o.c. The tree protection sign shall read "Tree and Plant Protection Area- Keep Out".

2.5 TREE GROWTH REGULATOR (TGR)

- A. Cambistat 25C.
- B. Submit suppliers product data that product meets the requirements for approval.

2.6 MATTING

- A. Matting for vehicle and work protection shall be heavy duty matting designed for vehicle loading over tree roots, aluminum as manufactured by Alburanets, Inc, Franklin, PA 15035, or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

2.7 GEOGRID

- A. Geogrid shall be woven polyester fabric with PVC coating, Uni-axial or bi-axial geogrid, inert to biological degradation, resistant to naturally occurring chemicals, alkalis, acids.
1. Geogrid shall be Miragrid 2XT as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.
- 2.8 FILTER FABRIC
- A. Filter Fabric shall be nonwoven polypropylene fibers, inert to biological degradation and resistant of naturally occurring chemicals, alkalis and acids.
1. Mirafit 135 N as manufactured by Ten Cate Nicolon, Norcross, GA. <http://www.tencate.com> or approved equal.
- B. Submit suppliers product data that product meets the requirements for approval.

PART 3 EXECUTION

3.1 SITE EXAMINATION

- A. Examine the site, tree, plant and soil conditions. Notify the Owner's Representative in writing of any conditions that may impact the successful Tree and Plant Protections that is the intent of this section.

3.2 COORDINATION WITH PROJECT WORK

- A. The Contractor shall coordinate with all other work that may impact the completion of the work.
- B. Prior to the start of Work, prepare a detailed schedule of the work for coordination with other trades.
- C. Coordinate the relocation of any irrigation lines currently present on the irrigation plan, heads or the conduits of other utility lines or structures that are in conflict with tree locations. Root balls shall not be altered to fit around lines. Notify the Owner's Representative of any conflicts encountered.

- 3.3 TREE AND PLANT PROTECTION AREA: The Tree and Plant Protection Area is defined as all areas indicated on the tree protection plan. Where no limit of the Tree and Plant Protection area is defined on the drawings, the limit shall be the dip line (outer edge of the branch crown) of each tree.

3.4 Preparation:

- A. Prior to the preconstruction meeting, layout the limits of the Tree and Plant Protection Area and then alignments of required Tree and Plant Protection Fencing and root pruning. Obtain the Owner's Representative's approval of the limits of the protection area and the alignment of all fencing and root pruning.
- B. Flag all trees and shrubs to be removed by wrapping orange plastic ribbon around the trunk and obtain the Owner's Representative's approval of all trees and shrubs to be removed prior to the start of tree and shrub removal. After approval, mark all trees and shrubs to be removed with orange paint in a band completely around the base of the tree or shrub 4.5 feet above the ground.
- C. Flag all trees and shrubs to remain with white plastic ribbon tied completely around the trunk or each tree and on a prominent branch for each shrub. Obtain the Owner's Representative's approval of all trees and shrubs to be remain prior to the start of tree and shrub removal.
- D. Prior to any construction activity at the site including utility work, grading, storage of materials, or installation of temporary construction facilities, install all tree protection fencing, Filter Fabric, silk fence, tree protection signs, Geogrid, Mulch and or Wood Chips as shown on the drawings.

3.5 SOIL MOISTURE

- A. Volumetric soil moisture level, in all soils within the Tree and Plant Protection Area shall be maintained above permanent wilt point to a depth of at least 8 inches. No soil work or other activity shall be permitted within the Tree and Plant Protection Area when the volumetric soil moisture is above field capacity. The permanent wilt point and field capacity for each type of soil texture shall be defined as follows (numbers indicate percentage volumetric soil moisture).

Soil type	Permanent wilt point v/v	Field capacity v/v
Sand, Loamy sand, Sandy loam	5 - 8%	12 - 18%
Loam, Sandy clay, Sandy clay loam	14 - 25%	27 - 36%
Clay loam, Silty loam	11 - 22%	31 - 36%
Silty clay, Silty clay loam	22 - 27%	38 - 41%

1. Volumetric soil moisture shall be measured with a digital, electric conductivity meter. The meter shall be the Digital Soil Moisture Meter, DMSM500 by General Specialty Tools and Instruments, or approved equivalent meter.
- B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend operations until the soil moisture drains to below field capacity.

3.6 ROOT PRUNING:

- A. Prior to any excavating into the existing soil grade within 25 feet of the limit of the Tree and Plant Protection Area or trees to remain, root prune all existing trees to a depth of 24 inches below existing grade in alignment following the edge of the Tree and Plant Protection Area or as directed by the Owner's Representative. Root pruning shall be in conformance with ANSI A300 (part 8) latest edition.

1. Using a rock saw, chain trencher or similar trenching device, make a vertical cut within 2 feet of the limit of grading.
2. After completion of the cut, make clean cuts with a lopper, saw or pruner to remove all torn root ends on the tree side of the excavation, and backfill the trench immediately with existing soil, filling all voids.

- 3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, WOOD CHIPS AND OR MULCH
- A. Install Geogrids, Filter Fabric, Matting, Wood Chips and or Mulch in areas and depths shown on the plans and details or as directed by the Owner's representative. In general it is the intent of this specification to provide the following levels of protection:

1. All areas within the Tree and Plant Protection area provide a minimum of 5 inches of Wood Chips or Mulch.
2. Areas where foot traffic or storage of lightweight materials is anticipated to be unavoidable provide a layer of Filter Fabric under the 5 inches of Wood Chips or Mulch.
3. Areas where occasional light vehicle traffic is anticipated to be unavoidable provide a layer of Geogrids under 8

inches of Wood Chips or Mulch.

4. Areas where heavy vehicle traffic is unavoidable provide a layer of Geogrids under 8 - 12 inches of Wood Chips or Mulch and a layer of matting over the Wood Chips or Mulch.
- B. The Owner's Representative shall approve the appropriate level of protection.
- C. In the above requirements, light vehicle is defined as a track sled steer with a ground pressure of 4 psi or lighter. A heavy vehicle is any vehicle with a tire or track pressure of greater than 4 psi. Lightweight materials are any packaged materials that can be physically moved and placed into the location. Bulk materials such as soil, or aggregate shall never be stored within the Tree and Plant Protection Area.
- 3.8 PROTECTION:
- A. Protect the Tree and Plant Protection Area at all times from compaction of the soil, damage of any kind to trunks, bark, branches, leaves and roots of all plants; and contamination of the soil, bark or leaves with construction materials, debris, silt, fuels, oils, and any chemicals substance. Notify the Owner's Representative of any spills, compaction or damage and take corrective action immediately using methods approved by the Owner's Representative.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:

- A. The Contractor shall not engage in any construction activity within the Tree and Plant Protection Area without the approval of the Owner's Representative including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity, if any, within the Tree and Plant Protection Area maybe indicated on the drawings along with any required remedial activity as listed below.
- B. In the event that construction activity is unavoidable within the Tree and Plant Protection Area, notify the Owner's Representative and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not suited; a description of the proposed activity; the time period for the activity, and a list of remedial actions that will reduce the impact on the Tree and Plant Protection Area from the activity. Remedial actions shall include but shall not be limited to the following:

1. In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either by the use of hand tools, directional boring and or Air Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots or soil.

2. When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent wilt point at all times. Roots one inch and larger in diameter shall not be cut with out the approval of the owners representative. Excavation shall be tunneled under these roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
3. Tree branches that interfere with the construction may be tied back or pruned to clear only to the point necessary to complete the work. Other branches shall only be removed when specifically indicated by the Owner's Representative. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboricultural practices (ANSI A300, part 8) and be performed under supervision of the arborist.

4. Matting: Install temporary matting over the Wood Chips or Mulch to the extent indicated. Do not permit foot traffic, scaffolding or the storage of materials within the Tree and Plant Protection Area to occur off of the temporary matting.

5. Trunk Protection: Protect the trunk of each tree to remain by covering it with a ring of 8 foot long 2 inch x 6 - inch planks loosely banded onto the tree with 3 steel bands. Staple the bands to the planks as necessary to hold them securely in place. Trunk protection must be kept in place no longer than 12 months. If construction requires work near a particular tree to continue longer than 12 months, the steel bands shall be inspected every six months and loosened if they are found to have become tight.

6. Air Excavation Tool: If excavation for footings or utilities is required within the Tree and Plant Protection Area, air excavation tool techniques shall be used where practical or as designed on the drawings.

- a. Remove the Wood Chips from an area approximately 18 inches beyond the limits of the hole or trench to be excavated. Cover the Wood Chips for a distance of not less than 15 feet around the limit of the excavation area with Filter Fabric or plastic sheeting to protect the Wood Chips from silt. Mount the Wood Chips so that the plastic slopes towards the excavation.
- b. Using a sprinkler or soaker hose, apply water slowly to the area of the excavation for a period of at least 4 hours, approximately 12 hours prior to the work so that the ground water level is at or near field capacity at the beginning of the work. For excavations that go beyond the damp soil, reveal the soil as necessary to keep soil moisture near field capacity.

- c. Using an air excavation tool specifically designed and manufactured for the intended purpose, and at pressures recommended by the manufacturer of the equipment, fracture the existing soil to the shape and the depths required. Work at rates and using techniques that do not harm tree roots. Air pressure shall be a maximum of 90-100 psi.

1. The air excavation tool shall be "Air-Spade" as manufactured by Concept Engineering Group, Inc., Verona, PA (412) 825-8800, or Air Knife as manufactured by Easy Use Air Tools, Inc. Allison Park, Pa (866) 528-5723 or approved equal.

- d. Using a commercial, high-powered vacuum truck if required, remove the soil from the excavation produced by the Air Knife excavation. The vacuum truck should generally operate simultaneously with the hose operator, such that the soil produced is picked up from the excavation hole, and the exposed roots can be observed and not damaged by the ongoing operation. Do not drive the vacuum truck into the Tree and Plant Protection Area unless the area is protected from compaction by the Owner's Representative.

- a. Remove all excavated soil and excavated Wood Chips, and contaminated soil at the end of the excavation.
1. Schedule the work so that foundations or utility work is completed immediately after the excavation. Do not let the roots dry out. Mist the roots several times during the day. If the excavated area must remain open over night, mist the roots and cover the excavation with black plastic.

- 3.10 TREE REMOVAL:
- A. Remove all trees indicated by the drawings and specifications, as requiring removal, in a manner that will not damage adjacent trees or structures or compacts the soil.
- B. Remove trees that are adjacent to trees or structures to remain, in sections, to limit the opportunity of damage to adjacent crowns, trunks, ground plane elements and structures.
- C. Do not drop trees with a single cut unless the tree will fall in an area not included in the Tree and Plant Protection Area. No trees to be removed within 50 feet of the Tree and Plant Protection Area shall be pushed over or up-rooted using a piece of grading equipment.
- D. Protect adjacent paving, soil, trees, shrubs, ground cover plantings and understory plants to remain from damage during all tree removal operations, and from construction operations. Protection shall include the root system, trunk, limbs, and crown from breakage or scarring, and the soil from compaction.
- E. Remove stumps and immediate root plate from existing trees to be removed. Grind trunk bases and large buttress roots to a depth of the largest buttress root or at least 18 inches below the top most roots which ever is less and over the area of three times the diameter of the trunk (DBH).
1. For trees where the stump will fall under new paved areas, grind roots to a total depth of 18 inches below the existing grade. If the sides of the stump hole still have greater than approximately 20% wood visible, continue grinding operation deeper and or wider until the resulting hole has less than 20% wood. Remove all wood chips produced from the grinding operation and back fill in 8 inch layers with controlled fill of a quality acceptable to the site engineer for fill material under structures, compacted to 95% of the maximum dry density standard proctor. The Owner's Representative shall approve each hole at the end of the grinding operation.

2. In areas where the tree location is to be a planting bed or lawn, remove all woodchips and backfill stump holes with planting soil as defined in Specification Section Planting Soil. In maximum of 12 inch layers and compact to 90 - 85% of the maximum dry density standard proctor.

3.11 PRUNING:

- A. Within six months of the estimated date of substantial completion, prune all dead or hazardous branches larger than 2 inch in diameter from all trees to remain.
- B. Implement all pruning recommendations found in the arborist report.
- C. Prune any low, hanging branches and vines from existing trees and shrubs that overhang walks, streets and drives, or parking areas as follows:
1. Walks - within 8 feet vertically of the proposed walk elevation.
  2. Parking areas - within 12 feet vertically of the proposed parking surface elevation.
  3. Streets and drives - within 14 feet vertically of the proposed drive surface elevation.

- D. All pruning shall be done in accordance with ANSI A300 (part 1), ISA BMP Tree Pruning (latest edition) and the "Structural Pruning: A Guide for the Green Industry", Edward Gilman, Brian Kamp, Nedia Mathias and Jim Clark, 2013 Urban Tree Foundation, Visalia, CA.
- E. Perform other pruning task as indicated on the drawings or requested by the Owner's Representative.
- F. Where tree specific disease vectors require, sterilize all pruning tools between the work in individual trees.

3.13 WATERING

- A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants to be preserved during the entire construction period. Adequate water is defined to be maintaining soil moisture above the permanent wilt point to a depth of 8 inches or greater.
- B. The Contractor shall adjust the automatic irrigation system, if available, and apply additional water, using hoses or water tanks as required.
- C. Periodically test the moisture content in the soil within the root zone to determine the water content.

3.14 WEED REMOVAL

- A. During the construction period, control any plants that seed in and around the fenced Tree and Plant Protection area at least three times a year.

1. All plants that are not shown on the planting plan or on the Tree and Plant Protection Plan to remain shall be considered as weeds.
- B. At the end of the construction period provide one final weeding of the Tree and Plant Protection Area.

3.15 INSECT AND DISEASE CONTROLLER

- A. Monitor all plants to remain for disease and insect infestations during the entire construction period. Provide all disease and insect control required to keep the plants in a healthy state using the principles of Integrated Plant Management (IPM). All pesticides shall be applied by a certified pesticide applicator.
- C. Periodically test the moisture content in the soil within the root zone to determine the water content.

3.16 CLEAN-UP

- A. During tree and plant protection work, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than once a week.

1. Immediately clean up any spilled or tracked soil, fuel, oil, trash or debris deposited by the Contractor from all surfaces within the project or on public right of way and neighboring property.

- B. Once tree protection work is complete, wash all soil from pavements and other structures. Ensure that Mulch is confined to planting beds.
- C. Make all repairs to grades, ruts, and damage to the work or other work at the site.

- D. Remove and dispose of all excess Mulch, Wood Chips, packaging, and other material brought to the site by the Contractor.

- 3.17 Removal of fencing and other Tree and plant protection
- A. At the end of the construction period or when requested by the Owner's Representative remove all fencing, Wood Chips or Mulch, Geogrids and Filter Fabric, trunk protection and or any other Tree and Plant Protection material.
- 3.18 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN
- B. Any trees or plants designated to remain and which are damaged by the Contractor shall be replaced in kind by the Contractor at their own expense. Trees shall be replaced with a tree of similar species and of equal size or 1 inch caliper which ever is less. Shrubs shall be replaced with a plant of similar species and equal size or the largest size plant reasonably available which ever is less. Where replacement plants are to be less than the size of the plant that is damaged, the Owner's Representative shall approve the size and quality of the replacement plant.
1. All trees and plants shall be installed per the requirements of Specification Section Planting.
- C. Plants that are damaged shall be considered as requiring replacement or appraisal in the event that the damage affects more than 25 % of the crown, 25% of the trunk circumference, or root protection area, or the tree is damaged in such a manner that the tree could develop into a potential hazard. Trees and shrubs to be replaced shall be removed by the Contractor at his own expense.

1. The Owner's Representative may engage an independent arborist to assess any tree or plant that appears to have been damaged to determine their health or condition.
- C. Any tree that is determined to be dead, damaged or potentially hazardous by the Owner's arborist and upon the request of the Owner's Representative shall be immediately removed by the Contractor at an additional expense to the owner. Tree removal shall include all clean up of all wood parts and grinding of the stump to a depth sufficient to plant the replacement tree or plant, removal of all chips from the stump site and filling the resulting hole with topsoil.
- D. Any remedial work on damaged existing plants recommended by the consulting arborist shall be completed by the Contractor at no cost to the owner. Remedial work shall include but is not limited to: soil compaction remediation and vertical mulching, pruning and/or cabling, insect and disease control including injections, compensatory watering, additional mulching, and could include application tree growth regulators (TGR).
- E. Remedial work may extend up to two years following the completion of construction to allow for any requirements of multiple applications or the need to undertake applications at required seasons of the year.

END OF SECTION 015639

SECTION 32 9300  
PLANTING

PART 1 GENERAL

1.1 SUMMARY

- A. The scope of work includes all labor, materials, appliances, tools, equipment, facilities, transportation and services necessary for, and incidental to performing all operations in connection with furnishing, delivery, and installation of plant (also known as "landscaping") complete as shown on the drawings and as specified herein.
- B. The scope of work in this section includes, but is not limited to: soil compaction remediation and vertical mulching, pruning and/or cabling, insect and disease control including injections, compensatory watering, additional mulching, and could include application tree growth regulators (TGR).

1. Locate, purchase, deliver and install all specified plants.
2. Water all specified plants.
3. Mulch, fertilize, stake, and prune all specified plants.
4. Maintenance of all specified plants until the beginning of the warranty period.
5. Plant warranty.
6. Clean up and disposal of all excess and surplus material.
7. Maintenance of all specified plants during the warranty period.

1.2 CONTRACT DOCUMENTS

- A. Shall consist of specifications and general conditions and the construction drawings. The intent of these documents is to include all labor, materials, and services necessary for the proper execution of the work. The documents are to be considered as one. Whatever is called for by any parts shall be as binding as if called for in all parts.

1.3 RELATED DOCUMENTS AND REFERENCES

A. Related Documents:

1. Drawings and general provisions of contract including general and supplementary conditions and Division I specifications apply to work of this section
2. Related Specification Sections
  - a. Section - Tree Protection and Plant Protection

- B. References: The following specifications and standards of the organizations and documents listed in this paragraph form a part of the specification to the extent required by the references therein. In the event that the requirements of the following referenced standards and specification conflict with this specification section the requirements of this specification shall prevail. In the event that the requirements of any of the following referenced standards and specifications conflict with each other the more stringent requirement shall prevail or as determined by the Owners Representative.

1. State of California, Department of Food and Agriculture, Regulations for Nursery Inspections, Rules and Grading.
2. ANSI Z60.1 American Standard for Nursery Stock, most current edition.
3. ANSI A 300 - Standard Practices for Tree, Shrub and other Woody Plant Maintenance, most current edition and parts.
4. Florida Grades and Standards for Nursery Stock, current edition (Florida Department of Agriculture, Tallahassee FL).
5. Interpretation of plant names and descriptions shall reference the following documents. Where the names or plant descriptions disagree between the several documents, the most current document shall prevail.
  - a. USDA - The Germplasm Resources Information Network (<http://www.ars-grin.gov/npgs/searchgrin.html>)
  - b. Manual of Woody Landscape Plants; Michael Dirr; Stipes Publishing, Champaign, Illinois; Most Current Edition.
  - c. The New Sunset Western Garden Book, Oomoor House, most current edition.
6. Pruning practices shall conform to recommendations "Structural Pruning: A Guide For The Green Industry" most current edition; published by Urban Tree Foundation, Visalia, California.
7. Glossary of Arboricultural Terms, International Society of Arboriculture, Champaign IL, most current edition.

1.4 VERIFICATION

- A. All scaled dimensions on the drawings are approximate. Before proceeding with any work, the Contractor shall carefully check and verify all dimensions and quantities, and shall immediately inform the Owner's Representative of any discrepancies between the information on the drawings and the actual conditions, refraining from doing any work in said areas until given approval to do so by the Owner's Representative.
- B. In the case of a discrepancy in the plant quantities between the plan drawings and the plant call outs, list or plant schedule, the number of plants or square footage of the planting bed actually drawn on the plan drawings shall be deemed correct and prevail.

1.5 PERMITS AND REGULATIONS

- A. The Contractor shall obtain and pay for all permits related to this section of the work unless previously excluded under provision of the contract or general conditions. The Contractor shall comply with all laws and ordinances bearing on the operation or conduct of the work as drawn and specified. If the Contractor observes that a conflict exists between permit requirements and the work outlined in the contract documents, the Contractor shall promptly notify the Owner's Representative in writing including a description of any necessary changes and changes to the contract price resulting from changes in the work.



- 1.15 SELECTION AND OBSERVATION OF PLANTS
- A. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
- B. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substandard element can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor provided that the correction allows the plant to meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.
1. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
2. Corrections are to be undertaken at the nursery prior to shipping.
- C. The Contractor shall bear all cost related to plant corrections.
- D. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
- E. Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.
- F. The Contractor shall require the grower or re-wholesaler supply to permit the Owner's Representative to observe the root system of all job-site prior to planting or job-site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.
- G. Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.
- 1.16 PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE
- A. Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may require meet the requirements of the specifications, but which may be available for substitution.
- 1.17 SITE CONDITIONS
- A. It is the responsibility of the Contractor to be aware of all surface and sub-surface conditions, and to notify the Owner's Representative, in writing, of any circumstances that would negatively impact the health of plantings. Do not proceed with work until unsatisfactory conditions have been corrected.
1. Should subsurface drainage or soil conditions be encountered which would be detrimental to growth or survival of plant material, the Contractor shall notify the Owner's Representative in writing, stating the conditions and submit a proposal covering cost of correction. If the Contractor fails to notify the Owner's Representative of such conditions, he/she shall remain responsible for plant material under the warranty clause of the specifications.
- B. It is the responsibility of the Contractor to be familiar with the local growing conditions, and if any specified plants will be in conflict with these conditions. Report any potential conflicts, in writing, to the Owner's Representative.
- C. This specification requires that all Planting Soil and Irrigation (if applicable) work be completed and accepted prior to the installation of any plants.
1. Planting operations shall not begin until such time that the irrigation system is completely operational for the area(s) to be planted, and the irrigation system for that area has been preliminarily observed and approved by the Owner's Representative.
- D. Actual planting shall be performed during those periods when weather and soil conditions are suitable in accordance with locally accepted horticultural practices.
1. Do not install plants into saturated or frozen soils. Do not install plants during inclement weather, such as rain or snow or during extremely hot, cold or windy conditions.

- 1.18 PLANTING AROUND UTILITIES
- A. Contractor shall carefully examine the civil, record, and survey drawings to become familiar with the existing underground conditions before digging.
- B. Determine location of underground utilities and perform work in a manner that will avoid possible damage. Hand excavate, as required. Maintain grade stakes set by others until parties concerned mutually agree upon removal.
- C. Notification of Local Utility Locator Service, Sunshine 811, is required for all planting areas. The Contractor is responsible for knowing the location and avoiding utilities that are not covered by Sunshine 811.
- PART 2 PRODUCTS**
- 2.1 PLANTS: GENERAL
- A. Standards and measurement: Provide plants of quantity, size, genus, species, and variety or cultivars as shown and scheduled in contract documents.
1. All plants including the root ball dimensions or container size to trunk caliper ratio shall conform to ANSI Z60.1 "American Standard for Nursery Stock" latest edition, unless modified by provisions in this specification. When there is a conflict between this specification and ANSI Z60.1, this specification section shall be considered correct.
2. Plants larger than specified may be used if acceptable to the Owner's Representative. Use of such plants shall not increase the contract price. If larger plants are accepted the root ball size shall be in accordance with ANSI Z-60.1. Larger plants may not be acceptable if the resulting root ball cannot be fit into the required planting space.
3. If a range of size is given, no plant shall be less than the minimum size and not less than 50 percent of the plants shall be as large as the maximum size specified. The measurements specified are the minimum and maximum size acceptable and are the measurements after pruning, where pruning is required.
- B. Proper Identification: All trees shall be true to name as ordered or shown on planting plans.
- C. Compliance: All trees shall comply with federal and state laws and regulations requiring observation for plant disease, pests, and weeds. Observation certificates required by law shall accompany each shipment of plants.
- D. Plant Quality:
1. **General:** Provide healthy stock, grown in a nursery and reasonably free of die-back, disease, insects, eggs, borers, and larvae. At the time of planting all plants shall have a root system, stem, and branch form that will not restrict normal growth, stability and health for the expected life of the plant.
2. **Plant quality above the soil line:**
- a. Plants shall be healthy with the color, shape, size and distribution of trunk, stems, branches, buds and leaves normal to the plant type specified. Tree quality above the soil line shall comply with the Florida Grades and Standards tree grade Florida Fancy or Florida #1 and the following:
- 1.) Crown: The form and density of the crown shall be typical for a young specimen of the species or cultivar pruned to a central and dominant leader.
- a.) Crown specifications do not apply to plants that have been specifically trained in the nursery as topiary, espalier, multi-trunked, or unique selections such as contorted or weeping cultivars.
- 2.) Leaves: The size, color, and appearance of leaves shall be typical for the time of year and stage of growth of the species or cultivar. Trees shall not show signs of prolonged moisture stress or over watering as indicated by wilted, shriveled, or dead leaves.
- 3.) Branches: Shoot growth (length and diameter) throughout the crown should be appropriate for the age and size of the species or cultivar. Trees shall not have dead, diseased, broken, distorted, or otherwise injured branches.
- a.) Main branches shall be distributed along the central leader not clustered together. They shall form a balanced crown appropriate for the cultivar/species.
- b.) Branch diameter shall be no larger than two-thirds (one-half is preferred) the diameter of the central leader measured 1 inch above the branch union.
- c.) The attachment of the largest branches (scaffold branches) shall be free of included bark.
- 4.) Trunk: The tree trunk shall be relatively straight, vertical, and free of wounds that penetrate to the wood (properly made pruning cuts, closed or not, are acceptable and are not considered wounds), sunburned areas, conks (fungal fruiting bodies), wood cracks, sap leakage, signs of boring insects, galls, cankers, girdling ties, or lesions (mechanical injury).
3. Trees shall have one central leader. If the leader was headed, a new leader (with a live terminal bud) at least one-half the diameter of the pruning cut shall be present.
- 1.) All trees are assumed to have one central leader trees unless a different form is specified in the plant list or drawings.
4. All graft unions, where applicable, shall be completely closed without visible sign of graft rejection. All grafts shall be visible above the soil line.
5. Trunk caliper and taper shall be sufficient so that the lower five feet of the trunk remains vertical without a stake. Auxiliary stake may be used to maintain a straight leader in the upper half of the tree.
3. **Plant quality at or below the soil line:**
- a. Plant roots shall be normal to the plant type specified. Root observations shall take place without impacting tree health. Root quality at or below the soil line shall comply with the project Root Acceptance details and the following:
- 1.) The roots shall be reasonably free of scrapes, broken or split wood.
- 2.) The root system shall be reasonably free of injury from biotic (e.g., insects and pathogens) and abiotic (e.g., herbicide toxicity and salt injury) agents. Wounds resulting from root pruning used to produce a high quality root system are not considered injuries.
- 3.) A minimum of three structural roots reasonably distributed around the trunk (not clustered on one side) shall be found in each plant. Root distribution shall be uniform throughout the root ball, and growth shall be appropriate for the species.
- a.) Plants with structural roots on only one side of the trunk (J roots) shall be rejected.
- 4.) The root collar shall be within the upper 2 inches of the substrate/soil. Two structural roots shall reach the side of the root ball near the top surface of the root ball. The grower may request a modification to this requirement for species with roots that rapidly descend, provided that the grower removes all stem girdling roots above the structural roots across the top of the root ball.

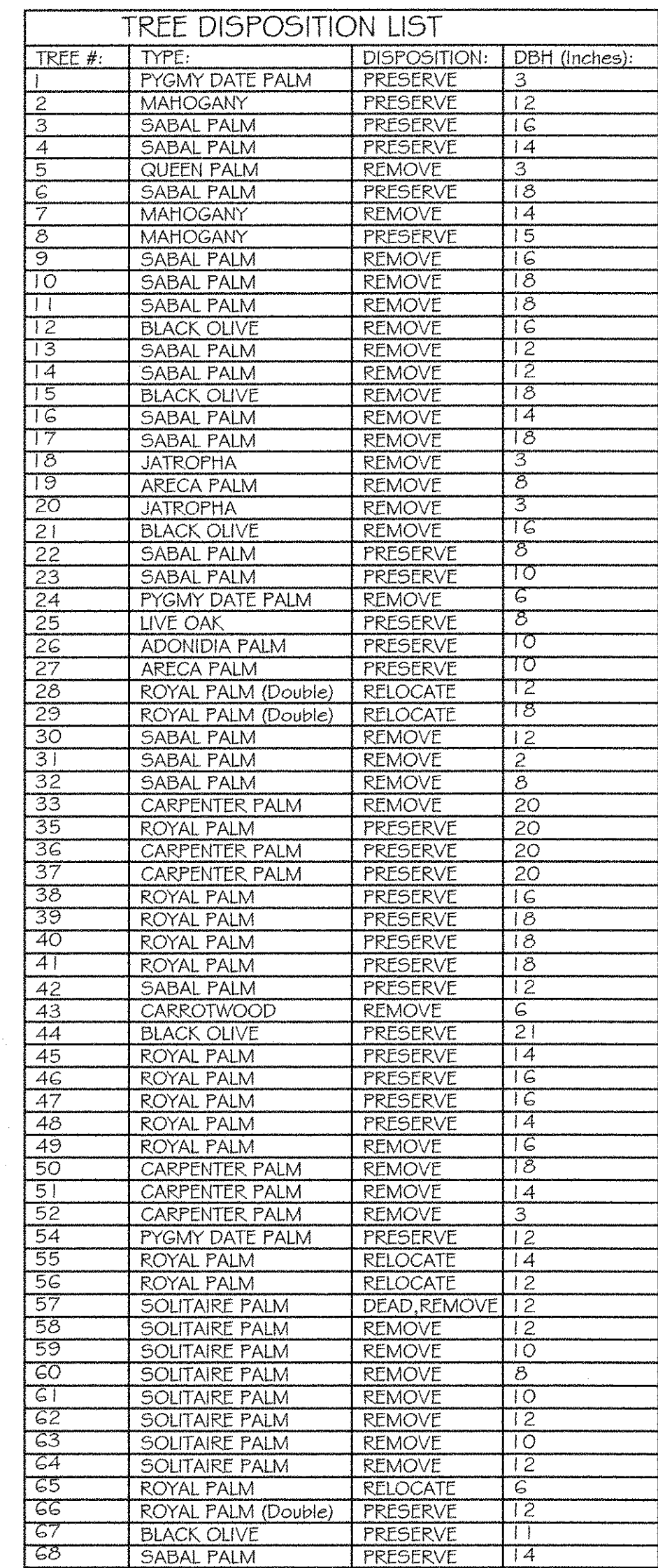
- 5.) The root system shall be reasonably free of stem girdling roots over the root collar or linked roots from nursery production practices.
- 6.) At time of observations and delivery, the root ball shall be moist throughout. Roots shall not show signs of excess soil moisture conditions as indicated by stunted, discolored, distorted, or dead roots.
- E. **Submittals:** Submit for approval the required plant quality certifications from the grower where plants are to be purchased, for each plant type. The certification must state that each plant meets all the above plant quality requirements.
1. The grower's certification of plant quality does not prohibit the Owner's Representative from observing any plant or rejecting the plant if it is found to not meet the specification requirements.
- 2.2 ROOT BALL PACKAGE OPTIONS: The following root ball packages are permitted. Specific root ball packages shall be required where indicated on the plant list or in this specification. Any type of root ball packages that is not specifically defined in this specification shall not be permitted.
- A. **BALLED AND BURLAPPED PLANTS**
1. All Balled and Burlapped Plants shall be field grown, and the root ball packaged in a burlap and twine and/or burlap and wire basket package.
2. Plants shall be harvested with the following modifications to standard nursery practices.
- a. Prior to digging any tree that fails to meet the requirement for maximum soil and roots above the root collar, carefully removed the soil from the top of the root ball of each plant, using hand tools, water or an air spade, to locate the root collar and attain the soil depth over the structural roots requirements. Remove all stem girdling roots above the root collar. Care must be exercised not to damage the surface of the root collar and the top of the structural roots.
- b. Trees shall be dug for a minimum of 4 weeks and a maximum of 52 weeks prior to shipping. Trees dug 4 to 42 weeks prior to shipping are defined as hardened-off. Digging is defined as cutting all roots and lifting the tree out of the ground and either moving it to a new location in the nursery or placing it back into the same hole. Trees that are stored out of the ground shall be placed in a holding area protected from extremes of wind and sun with the root ball protected by covering with mulch or straw and irrigated sufficiently to keep moisture in the root ball above wilt point and below saturation
- c. If wire baskets are used to support the root ball, a "low profile" basket shall be used. A low profile basket is defined as having the top of the highest loops on the basket no less than 4 inches and no greater than 8 inches below the shoulder of the root ball package. The basket shall be removed completely at time of planting.
- 1.) At nurseries where sandy soils prevent the use of "low profile baskets", baskets that support the entire root ball, including the top, are allowable.
- d. Twine and burlap used for wrapping the root ball package shall be natural, biodegradable material. If the burlap decomposes after digging the tree then the root ball shall be re-wrapped prior to shipping if roots have not yet grown to keep root ball intact during shipping.
- SPADE HARVESTED AND TRANSPLANTED
1. Spade Harvested and Transplanted Plants shall meet all the requirements for field grown trees. Root ball diameters shall be of similar size as the ANSI Z60.1 requirements for Balled and Burlapped plants.
2. Trees shall be harvested prior to leafing out (bud break) in the spring or during the fall planting period except for plants known to be considered as fall planting hazards. Plants that are fall planting hazards shall only be harvested prior to leafing out in the spring.
3. Trees shall be moved and planted within 48 hours of the initial harvesting and shall remain in the spade machine until planted.
- C. **CONTAINER (INCLUDING ABOVE-GROUND FABRIC CONTAINERS AND BOXES) PLANTS**
4. Container plants may be permitted only when indicated on the drawing, in this specification, or approved by the Owner's Representative.
5. Provide plants shall be established and well rooted in removable containers.
6. Container class size shall conform to ANSI Z60.1 for container plants for each size and type of plant.
- D. **BARE ROOT PLANTS**
7. Harvest bare root plants while the plant is dormant and a minimum of 4 weeks prior to leaf out (bud break).
8. The root spread dimensions of the harvested plants shall conform to ANSI Z60.1 for nursery grown bare root plants for each size and type of plant. Just prior to shipping to the job site, dip the root system into a slurry of hydrogel (cross linked polyacrylamide) and water mixed at a rate of 15 oz. of hydrogel in 25 gallons of water. Do not shake off the excess hydrogel. Place the root system in a sealed black plastic bag and tie the bag snugly around the trunk. Bundle and tie the upper branches together.
9. Keep the trees in a cool dark space for storage and delivery. If daytime outside temperatures exceeds 70 degrees F, utilize a refrigerated storage area with temperature between 35 and 50 degrees.
10. Where possible, plan time of planting to be before bud break. For trees to be planted after bud break, place the trees before bud break in an irrigated bed of pea gravel.
- a. The pea gravel bed shall be 18 inches deep over a sheet of plastic.
- b. Space trees to allow the unbundled branches to grow without shading each other.
- c. Once stored in pea gravel, allow the trees sufficient time for the new root system to flush and spring growth to leaves to fully develop before planting.
- d. Pea gravel stored trees may be kept for up to one growing season.
- e. Pea gravel stored trees shall be dipped, packaged and shipped similar to the requirements for freshly dug bare root trees above.
- 2.3 ANNUAL FLOWERING AND SEASONAL COLOR PLANTS
- E. Container or flat-grown plants should be sized as noted in the planting plan. Plants shall be well-rooted and healthy.
- 2.4 PALMS
- F. Except as modified below or where the requirements are not appropriate to the specification of palms, palms shall meet all the requirements of the plant quality section above.
- G. Defolting, tying, and hedging:
1. In preparing palm trees for relocation, all dead fronds shall be removed.
2. All remaining fronds above horizontal shall be lifted up and tied together around the crown in an upright position. Do not tie too tightly, bind or injure the bud. Jute binder twine shall be used in tying up the fronds; wire will not be permitted. Fronds shall be untied immediately after planting.
- C. Digging the root ball:
1. When digging out the root ball, no excavation shall be done closer than 24 inches to the trunk at ground level and the excavation shall extend below the major root system to a minimum depth of 3.5 feet. The bottom of the root ball shall be cut off square and perpendicular to the trunk below the major root system.
- D. The Contractor shall not free-fall, drag, roll or abuse the tree or put a strain on the crown (bud area) at any time. A protective device shall be used around the trunk of the tree while lifting and relocating so as not to injure the bud, or scar or skin the trunk in any way.
- 2.5 PLANTING SOIL
- Planting Soil shall contain a mixture of 1/3 sand, 2/3 topsoil and 1/2 peat humus. Sand shall be clean, salt-free and containing no extraneous matter. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy silt, stone, excess lime, shell rock, plant roots, debris or other foreign matter. It shall not contain noxious plant growth (such as bermuda, torpedo or nut grass). It shall test between the pH range of 5.0 to 7.0 unless otherwise specified and contain no toxic residue or substances that would endanger plant growth. If topsoil is not available on site, it shall be imported from local sources with similar soil characteristics to that found at project site, obtained topsoil only from naturally, well-drained sites where topsoil occurs in a depth not less than 4". Peat humus shall be decomposed peat with no identifiable fibers or if available, muck may be substituted and shall be free from stones, excessive plant roots, debris or other foreign matter. Muck shall not be overly saturated with water.
- 2.6 MULCH
- A. Mulch shall be Melaleuca or Eucalyptus and shall cover all landscape bed areas in a 3" minimum layer. Do not let mulch pile up on root ball or around trunks of trees plants. Submit supplier's product specification data sheet and a one gallon sample for approval.
- 2.7 TREE STAKING AND GUYING MATERIAL
- A. Tree guying to be flat woven polypropylene material, 3/4 inch wide, and 900 lb. break strength. Color to be Green. Product to be ArboTie manufactured by Deep Root Partners, L.P. or approved equal.
- B. Stakes shall be lodge pole stakes free of knots and of diameters and lengths appropriate to the size of the plant as required to adequately support the plant.
- 2.8 WATERING BAGS
- E. Plastic tree watering bags holding a minimum of 15 gallons of water and with a slow drip hole(s) water release system, specifically designed to water establishing trees. Water should release over a several day period, not within a few hours
- F. Watering bags shall be:
1. Treeguard Irrigation Bags sized to the appropriate model for the requirements of the plant, manufactured by Spectrum Products, Inc., Youngsville, NC 27596.
2. Ooze Tube sized to the appropriate model for the requirements of the plant, manufactured by Engineered Water Solutions, Atlanta, GA.
3. Or approved equal.
- C. Submit manufacturer's product data for approval.
- PART 3 EXECUTION**
- 3.1 DELIVERY, STORAGE AND HANDLING
- A. Protect materials from deterioration during delivery and storage. Adequately protect plants from drying out, exposure of roots to sun, wind or extremes of heat and cold temperatures. If planting is delayed more than 24 hours after

- delivery, set plants in a location protected from sun and wind. Provide adequate water to the root ball package during the shipping and storage period.
1. All plant materials must be available for observation prior to planting.
2. Using a soil moisture meter, periodically check the soil moisture in the root balls of all plants to assure that the plants are being adequately watered. Volumetric soil moisture shall be maintained above wilting point and below field capacity for the root ball substrate or soil.
- B. Do not deliver more plants to the site than there is space with adequate storage conditions. Provide a suitable remote staging area for plants and other supplies.
1. The Owner's Representative or Contractor shall approve the duration, method and location of storage of plants.
- C. Provide protective covering over all plants during transporting.
- 3.2 ADVERSE WEATHER CONDITIONS
- A. No planting shall take place during extremely hot, dry, windy or freezing weather.
- 3.3 COORDINATION WITH PROJECT WORK
- A. The Contractor shall coordinate with all other work that may impact the completion of the work.
- B. Prior to the start of work, prepare a detailed schedule of the work for coordination with other trades.
- C. Coordinate the relocation of any irrigation lines, heads or the conduits of other utility lines that are in conflict with tree locations. Root balls shall not be taller to fit around lines. Notify the Owner's Representative of any conflicts encountered.
- 3.4 LAYOUT AND PLANTING SEQUENCE
- A. Relative positions of all plants and trees are subject to approval of the Owner's Representative.
- B. Notify the Owner's Representative, one (1) week prior to layout. Layout all individual tree and shrub locations. Place plants above surface at planting location or place a labeled stake at planting location. Layout bed lines with paint for the Owner's Representative's approval. Secure the Owner's Representative's acceptance before digging and start of planting work.
- C. When applicable, plant trees before other plants are installed.
- D. It is understood that plants are not precise objects and that minor adjustments in the layout will be required as the planting plan is constructed. These adjustments may not be apparent until some or all of the plants are installed. Make adjustments as required by the Owner's Representative including relocating previously installed plants.
- 3.5 SOIL PROTECTION DURING PLANT DELIVERY AND INSTALLATION
- A. Protect soil from compaction during the delivery of plants to the planting locations, digging of planting holes and installing plants.
1. Where possible deliver and plant trees that require the use of heavy mechanized equipment prior to final soil preparation and tilling. Where possible, restrict the driving lanes to one area instead of driving over and compacting a large area of soil.
2. Till to a depth of 6 inches, all soil that has been driven over during the installation of plants.
- 3.6 SOIL MOISTURE
- A. Volumetric soil moisture level, in both the planting soil and the root balls of all plants, prior to, during and after planting shall be above permanent wilting point and below field capacity for each type of soil texture within the following ranges.
- | Soil type                         | Permanent wilting point | Field capacity |
|-----------------------------------|-------------------------|----------------|
| Sand, Loamy sand, Sandy loam      | 5 - 8%                  | 12-18%         |
| Loam, Sandy clay, Sandy clay loam | 14 - 25%                | 27-36%         |
| Clay loam, Silt loam              | 11 - 22%                | 31 - 36%       |
| Silty clay, Silty clay loam       | 22 - 27%                | 38 - 41%       |
1. Volumetric soil moisture shall be measured with a digital moisture meter. The meter shall be the Digital Soil Moisture Meter, DSM500 by General Specialty Tools and Instruments, or approved equivalent.
- B. The Contractor shall confirm the soil moisture levels with a moisture meter. If the moisture is too high, suspend planting operations until the soil moisture drains to below field capacity.
- 3.7 INSTALLATION OF PLANTS: GENERAL
- C. Observe each plant after delivery and prior to installation for damage of other characteristics that may cause rejection of the plant. Notify the Owner's Representative of any condition observed.
- D. No more plants shall be distributed about the planting bed area than can be planted and watered on the same day.
- E. The root system of each plant, regardless of root ball package type, shall be observed by the Contractor, at the time of planting to confirm that the roots meet the requirements for plant root quality in Part 2 Products: Plants General: Plant Quality. The Contractor shall undertake at the time of planting, all modifications to the root system required by the Owner's Representative to meet these quality standards.
1. Modifications, at the time of planting, to meet the specifications for the depth of the root collar and removal of stem girdling roots and circling roots may make the plant unstable or stress the plant to the point that the Owner's Representative may choose to reject the plant rather than permitting the modification.
2. Any modifications required by the Owner's Representative to make the root system conform to the plant quality standards outlined in Part 2 Products: Plants General: Quality, or other requirements related to the permitted root ball package, shall not be considered as grounds to modify or void the plant warranty.
3. The resulting root ball may need additional staking and water after planting. The Owner's Representative may reject the plant if the root modification process makes the tree unstable or if the tree is not healthy at the end of the warranty period. Such plants shall still be covered under the warranty
4. The Contractor remains responsible to confirm that the grower has made all required root modifications noted during any nursery observations.
- F. Container and Boxed Root Ball Shaving: The outer surfaces of ALL plants in containers and boxes, including the top, sides and bottom of the root ball shall be shaved to remove all circling, descending, and matted roots. Shaving shall be performed using saws, knives, sharp shovels or other suitable equipment that is capable of making clean cuts on the roots. Shaving shall remove a minimum of one inch of root mat or up to 2 inches as required to remove all root segments that are not growing reasonably radially outward.
- G. Exposed Stem Tissue after Modification: The required root ball modifications may result in stem tissue that has not formed trunk bark being exposed above the soil line. If such condition occurs, wrap the exposed portion of the stem in a protective wrapping with a white fabric barrier. Secure the fabric with biodegradable masking tape. DO NOT USE string, twine, green nursery ties or any other material that may girdle the trunk if not removed.
- H. Excavation of the Planting Space: Using hand tools or tracked mini-excavator, excavate the planting hole into the Planting Soil to the depth of the root ball measured after the root ball modification to correct root problems, and wide enough for working room around the root ball or to the size indicated on the drawing or as noted below.
1. For trees and shrubs planted in soil areas that are NOT tilted or otherwise modified to a depth of at least 12 inches over a distance of more than 10 feet radius from each tree, or 5 feet radius from each shrub, the soil around the root ball shall be loosened as defined below or as indicated on the drawings.
- a. The area of loosening shall be a minimum of 3 times the diameter of the root ball at the surface sloping to 2 lines the diameter of the root ball at the depth of the root ball.
- b. Loosening is defined as digging into the soil and turning the soil to reduce the compaction. The soil does not have to be removed from the hole, just dug, lifted and turned. Lifting and turning may be accomplished with a tracked mini excavator, or hand shovels.
2. If an auger is used to dig the initial planting hole, the soil around the auger hole shall be loosened as defined above for trees and shrubs planted in soil areas that are NOT tilted or otherwise modified.
3. The measuring point for root ball depth shall be the average height of the outer edge of the root ball after any required root ball modification.
4. If motorized equipment is used to deliver plants to the planting area over exposed planting beds, or to loosen the soil or dig the planting holes, all soil that has been driven over shall be tilled to a depth of 6 inches.
- H. For trees to be planted in prepared Planting Soil that is deeper than the root ball depth, compact the soil under the root ball using a mechanical tamper to assure a firm bedding for the root ball. If there is more than 12 inches of planting soil under the root ball excavate and tamp the planting soil in lifts not to exceed 12 inches.
- I. Set top outer edge of the root ball at the average elevation of the proposed finish. Set the plant plumb and upright in the center of the planting hole. The tree graft, if applicable, shall be visible above the grade. Do not place soil on top of the root ball.
- J. The Owner's Representative may request that plants orientation be rotated when planted based on the form of the plant.
- K. Backfill the space around the root ball with the same planting soil or existing soil that was excavated for the planting space. See Specification Section Planting Soil, for requirements to modify the soil within the planting bed.
- L. Brace root balls by tamping Planting Soil around the lower portion of the root ball. Place additional Planting Soil around beds and sides of ball in six-inch (6") lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. DO NOT over compact the backfill using air mechanical or pneumatic tamping equipment. Over compaction shall be defined as greater than 85% of maximum dry density, standard proctor or greater than 250 psi as measured by a cone penetrometer when the volumetric soil moisture is within field capacity.
2. When the planting hole has been backfilled to three quarters of its depth, water shall be poured around the root ball and allowed to soak into the soil to settle the soil. Do not flood the planting space. If the soil is above field capacity, allow the soil to drain to below field capacity before finishing the planting. Air pockets shall be eliminated and backfill continued until the planting soil is brought to grade level.
- M. Where indicated on the drawings, build a 4 inch high, level berm of Planting Soil around the outside of the root ball to retain water. Tamp the berm to reduce leaking and erosion of the sealer.
- N. Thoroughly water the Planting Soil and root ball immediately after planting.
- O. Remove all nursery plant identification tags and ribbons as per Owner's Representative instructions. The Owner's Representative's seals are to remain on plants until the end of the warranty period.
- P. Remove corrugated cardboard trunk protection after planting.
- Q. Follow additional requirements for the permitted root ball packages.
- 3.8 PERMITTED ROOT BALL PACKAGES AND SPECIAL PLANTING REQUIREMENTS
- A. The following are permitted root ball packages and special planting requirements that shall be followed during the planting process in addition to the above General planting requirements.
- B. **BALLED AND BURLAPPED PLANTS**
1. After the root ball has been backfilled, remove all twine and burlap from the top of the root ball. Cut the burlap

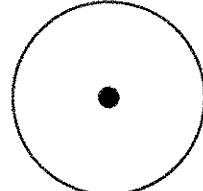
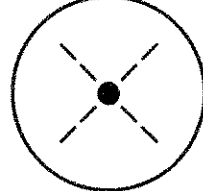
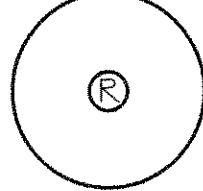
- away; do not fold down onto the Planting Soil.
2. If the plant is shipped with a wire basket that does not meet the requirements of a "Low Rise" basket, remove the top 6 - 8 inches of the basket wires just before the final backfilling of the tree.
3. Earth root balls shall be kept intact except for any modifications required by the Owner's Representative to make root package comply with the requirement in Part 2 Products.
- C. **SPADE HARVESTED AND TRANSPLANTED PLANTS**
1. After installing the tree, loosen the soil along the seam between the root ball and the surrounding soil out to a radius from the root ball edge equal to the diameter of the root ball to a depth of 6 - 10 inches by hand digging to disturb the soil surface.
2. Fill any gaps below this level with loose soil.
- D. **CONTAINER (INCLUDES BOXED AND ABOVE-GROUND FABRIC CONTAINERS) PLANTS**
1. This specification assumes that most container plants have significant stem girdling and circling roots, and that the root collar is too low in the root ball.
2. Remove the container.
3. Perform root ball shaving as defined in Installation of Plants: General above.
4. Remove all roots and substrate above the root collar and the main structural roots according to root correction details so root system conforms to root observations detail.
5. Remove all substrate at the bottom of the root ball that does not contain roots.
6. Using a hose, power washer or air excavation device, wash out the substrate from around the trunk and top of the remaining root ball and find and remove all stem girdling roots within the root ball above the top of the structural roots.
- E. **BAFER ROOT PLANTS**
1. Dig the planting hole to the diameter of the spread of the roots to a depth in the center that maintains the root collar at the elevation of the surrounding finished grade and slightly deeper along the edges of the hole.
2. Spread all roots out radial to the trunk in the prepared hole making the hole wider where needed to accommodate long roots. Root tips shall be directed away from the trunk. Prune any broken roots removing the least amount of tissue possible.
3. Maintain the trunk plumb while backfilling soil around the roots.
4. Lightly tamp the soil around the roots to eliminate voids and reduce settlement.
- 3.9 GROUND COVER, PERENNIAL AND ANNUAL PLANTS
- A. Assume that soil moisture is within the required levels prior to planting. Irrigation, if required, shall be applied at least 12 hours prior to planting to avoid planting in muddy soils.
- B. Assume that soil grades in the beds are smooth and as shown on the plans.
- C. Plants shall be planted in even, triangularly spaced rows, at the intervals called out for on the drawings, unless otherwise noted. The first row of Annual flower plants shall be 6 inches from the bed edge unless otherwise directed.
- D. Dig planting holes sufficiently large enough to insert the root system without deforming the roots. Set the top of the root system at the grade of the soil.
- E. Schedule the planting to occur prior to application of the mulch. If the bed is already mulched, pull the mulch from around the hole and plant into the soil. Do not plant the root system in the mulch. Pull mulch back so it is not on the root ball surface.
- F. Press soil to bring the root system in contact with the soil.
- G. Spread any excess soil around in the spaces between plants.
- H. Apply mulch to the bed being sure not to cover the tops of the plants with or the tops of the root ball with mulch.
- I. Water each planting area as soon as the planting is completed. Apply additional water to keep the soil moisture at the required levels. Do not over water.
- 3.10 PALM PLANTING
- A. Palm trees shall be placed at grade making sure not to plant the tree any deeper in the ground than the palm trees originally stood.
- B. The trees shall be placed with their vertical axis in a plumb position.
- C. All backfill shall be native soil except in cases where planting in rock. Water-settle the back fill.
- D. Do not cover root ball with mulch or topsoil.
- E. Provide a watering berm at each palm. Berms shall extend a minimum of 18 inches out from the trunk all around and shall be a minimum of (6) inches high.
- F. Remove twine which ties fronds together after placing palm in planting hole and securing it in the upright position.
- 3.11 STAKING AND GUYING
- A. Do not stake or guy trees unless specifically required by the Contract Documents, or in the event that the Contractor feels that staking is the only alternative way to keep particular trees plumb.
6. The Owner's Representative shall have the authority to require that trees are staked or to reject staking as an alternative way to stabilize the tree.
7. Trees that require heavily modified root balls to meet the root quality standards may become unstable. The Owner's Representative may choose to reject these trees rather than utilize staking to temporarily support the tree.
- B. Trees that are guyed shall have their guys and stakes removed after one full growing season or at other times as required by the Owner's Representative.
- C. Tree guying shall utilize the tree staking and guying materials specified. Guying to be tied in such a manner as to create a minimum 12-inch loop to prevent girdling. Refer to manufacturer's recommendations and the planting detail for installation.
1. Plants shall stand plumb after staking or guying.
2. Stakes shall be driven to sufficient depth to hold the tree rigid.
- D. For trees planted in planting mix over waterproofed membrane, use dead men buried 24 inches to the top of the dead man, in the soil. Tie the guy to the dead man with a double wrap of line around the dead man followed by a double half hitch. When guys are removed, leave the dead men in place and cut the guy tape 12 inches above the ground, leaving the tape and covered in mulch.
- 3.12 SHADING TREES AND SHRUBS
- A. Maintain all plants in a plumb position throughout the warranty period. Straighten all trees that move out of plumb including those not staked. Plants to be straightened shall be excavated and the root ball moved to a plumb position, and then re-backfilled.
- B. Do not straighten plants by pulling the trunk with guys.
- 3.13 INSTALLATION OF FERTILIZER AND OTHER CHEMICAL ADDITIVES
- A. Do not apply any soluble fertilizer to plantings during the first year after transplanting unless soil test determines that fertilizer or other chemical additives is required. Apply chemical additives only upon the approval of the Owner's Representative.
- B. Controlled release fertilizers shall be applied according to the manufacturer's instructions and standard horticultural practices.
- 3.14 PRUNING OF TREES AND SHRUBS
- A. Prune plants as directed by the Owner's Representative. Pruning trees shall be limited to addressing structural defects as shown in details; follow recommendations in "Structural Pruning: A Guide For The Green Industry" published by Urban Tree Foundation, Visalia CA.
- B. All pruning shall be performed by a person experienced in structural tree pruning.
- C. Except for plants specified as multi-stemmed or as otherwise instructed by the Owner's Representative, preserve or create a central leader.
- D. Pruning of large trees shall be done using pole pruners or if needed, from a ladder or hydraulic lift to gain access to the top of the tree. Do not climb in newly planted trees. Small trees can be structurally pruned by laying them over before planting. Pruning may also be performed at the nursery prior to shipping.
- E. Remove and replace excessively pruned or malformed stock resulting from improper pruning that occurred in the nursery or after.
- F. Pruning shall be done with clean, sharp tools.
- G. No tree paint or sealants shall be used.
- 3.15 MULCHING OF PLANTS
- A. Apply 3 inches of mulch before settlement, covering the entire planting bed area. Install no more than 1 inch of mulch over the top of the root balls of all plants. Taper to 2 inches when abutting pavement.
- B. For trees planted in lawn areas the mulch shall extend to a 5 foot radius around the tree or to the extent indicated on the plans.
- C. Lift all leaves, low hanging stems and other green portions of small plants out of the mulch if covered.
- 3.16 PLANTING BED FINISHING
- A. After planting, smooth out all grades between plants before mulching.
- B. Separate the edges of planting beds and lawn areas with a smooth, formed edge cut into the turf with the bed mulch level slightly lower, 1 and 2 inches, than the adjacent turf sod or as directed by the Owner's Representative. Bed edge lines shall be depicted on the drawings.
- 3.17 WATERING
- A. The Contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of Substantial Completion Acceptance. The Contractor shall adjust the automatic irrigation system, if available, and apply additional or adjust for less water using hoses as required.
- B. Hand water root balls of all plants to assure that the root balls have moisture above wilt point and below field capacity. Test the moisture content in each root ball and the soil outside the root ball to determine the water content.
- 3.18 CLEAN-UP
- A. During installation, keep the site free of trash, pavements reasonably clean and work area in an orderly condition at the end of each day. Remove trash and debris in containers from the site no less than once an week.
1. Immediately clean up any spilled or tracked soil, fuel, oil, trash or debris deposited by the Contractor from all surfaces within the project or on public right of ways and neighboring property.

- B. Once installation is complete, wash all soil from pavements and other structures. Ensure that mulch is confined to planting beds and that all tags and flagging tape are removed from the site. The Owner's Representative's seals are to remain on the trees and removed at the end of the warranty period.
- C. Make all repairs to grades, ruts, and damage by the plant installer to the work or other work on the site.
- D. Remove and dispose of all excess planting soil, subsoil, mulch, plants, packaging, and other material brought to the site by the Contractor.
- 3.19 PROTECTION DURING CONSTRUCTION
- A. The Contractor shall protect planting and related work and other site work from damage due to planting operations, operations by other Contractors or trades, or by trespassers. Maintain protection during installation until Substantial Completion Acceptance. Treat, repair or replace damaged work immediately.
- B. Damage done by the Contractor, or any of their sub-contractors to existing or installed plants, or any other parts of the work or existing features to remain, including roots, trunk or branches of large existing trees, soil, paving, utilities, lighting, irrigation, other finished work and surfaces including those on adjacent property, shall be cleaned, repaired or replaced by the Contractor at no expense to the Owner. The Owner's Representative shall determine when such cleaning, replacement or repair is satisfactory.
- 3.20 PLANT MAINTENANCE PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE
- A. During the project work period and prior to Substantial Completion Acceptance, the Contractor shall maintain all plants.
- B. Maintenance during the period prior to Substantial Completion Acceptance shall consist of pruning, watering, cultivating, weeding, mulching, removal of dead material, repairing and replacing of tree stakes, lightning and repairing of guys, repairing and replacing of damaged tree wrap material, resetting plants to proper grades and uniform positions, and fertilizing and applying such sprays as are necessary to keep plantings reasonably free of damaging insects and disease, and in healthy condition. The threshold for applying insecticides and herbicide shall follow established Integrated Pest Management (IPM) procedures. Mulch areas shall be kept reasonably free of weeds, grass.
- 3.21 SUBSTANTIAL COMPLETION ACCEPTANCE
- A. Upon written notice from the Contractor, the Owners Representative shall review the work and make a determination if the work is substantially complete.
1. Notification shall be at least 7 days prior to the date the contractor is requesting the review.
- B. The date of substantial completion of the planting shall be the date when the Owner's Representative accepts that all work in Planting, Planting Soil, and Irrigation installation sections is complete.
- C. The Plant Warranty period begins at date of written notification of substantial completion from the Owner's Representative. The date of substantial completion may be different than the date of substantial completion for the other sections of the project.
- 3.22 MAINTENANCE DURING THE WARRANTY PERIOD BY OTHERS
- A. After Substantial Completion Acceptance, the Contractor shall make sufficient site visits to observe the Owner's maintenance and become aware of problems with the maintenance in time to request actions, until the date of End of Warranty Final Acceptance.
1. Notify the Owner's Representative in writing if maintenance, including watering, is not sufficient to maintain plants in a healthy condition. Such notification must be made in a timely period so that the Owner's Representative may take corrective action.
- a. Notification must define the maintenance needs and describe any corrective action required.
2. In the event that the Contractor fails to visit the site and/or to notify, in writing, the Owner's Representative of maintenance needs, lack of maintenance shall not be used as grounds for voiding or modifying the provisions of the warranty.
- 3.23 MAINTENANCE DURING THE WARRANTY PERIOD BY THE PLANT INSTALLER
- A. During the warranty period, provide all maintenance for all plantings to keep the plants in a healthy state and the planting areas clean and neat.
- B. General requirements:
1. All work shall be undertaken by trained planting crews under the supervision of a foreman with a minimum of 5 years experience supervising commercial plant maintenance crews.
2. All chemical and fertilizer applications shall be applied by licensed applicators for the type of chemicals to be used. All work and chemical use shall comply with all applicable local, provincial and federal requirements.
3. Assume that hoses and watering equipment and other maintenance equipment does not block paths or be placed in a manner that may create tripping hazards. Use standard safety warning barriers and other procedures to maintain the site in a safe manner for visitors at all times.
4. All workers shall wear required safety equipment and apparel appropriate for the tasks being undertaken.
5. The Contractor shall not store maintenance equipment at the site at times when they are not in use unless authorized in writing by the Owner's Representative.
6. Maintenance vehicles shall not park on the site including walks and lawn areas at any time without the Owner's Representative's written permission.
7. Maintain a detailed log of all maintenance activities including types of tasks, date of task, types and quantities of materials and products used, watering times and amounts, and number of each crew. Periodically review the logs with the Owner's Representative, and submit a copy of the logs at the end of each year of the maintenance agreement.
8. Meet with the Owner's Representative a minimum of three times a year to review the progress and discuss any changes that are needed in the maintenance program. At the end of the warranty period attend a hand over meeting to formally transfer the responsibilities of maintenance to the Owner's Representative. Provide all information on past maintenance activities and provide a list of critical tasks that will be needed over the next 12 months. Provide all maintenance logs and soil test data. Make the Contractor's supervisor available for a minimum of one year after the end of the warranty period to answer questions about past maintenance.
- C. Provide the following maintenance tasks:
1. **Watering:** Provide all water required to keep soil within and around the root balls at optimum moisture content for plant growth.
- a. Maintain all watering systems and equipment and keep them operational.
- b. Monitor soil moisture to provide sufficient water. Check soil moisture and root ball moisture with a soil moisture meter on a regular basis and record moisture readings. Do not over water.
2. **Soil nutrient levels:** Take a minimum of 4 soil samples from around the site in the spring and fall and have them tested by an accredited agricultural soil testing lab for chemical composition of plant required nutrients, pH, salt and % organic matter. Test results shall include laboratory recommendations for nutrient applications. Apply fertilizers at rates recommended by the soil test.
- a. Make any other soil test and/or plant tissue test that may be indicated by plant conditions that may not be related to soil nutrient levels such as soil contaminated by other chemicals or lack of chemical uptake by the plant.
3. **Plant pruning:** Remove cross over branching, shorten or remove developing co dominant leaders, dead wood and winter-damaged branches. Unless directed by the Owner's Representative, do not shear plants or make heading cuts.
- a. Maintain all watering systems and equipment and keep them operational.
- b. Monitor soil moisture to provide sufficient water. Check soil moisture and root ball moisture with a soil moisture meter on a regular basis and record moisture readings. Do not over water.
4. **Soil nutrient levels:** Take a minimum of 4 soil samples from around the site in the spring and fall and have them tested by an accredited agricultural soil testing lab for chemical composition of plant required nutrients, pH, salt and % organic matter. Test results shall include laboratory recommendations for nutrient applications. Apply fertilizers at rates recommended by the soil test.
- a. Make any other soil test and/or plant tissue test that may be indicated by plant conditions that may not be related to soil nutrient levels such as soil contaminated by other chemicals or lack of chemical uptake by the plant.
5. **Guying and staking:** Maintain plant guys in a taught position. Remove tree guys and staking after the first full growing season unless directed by Owner's Representative.
6. **Weed control:** Keep all beds free of weeds. Hand-remove all weeds and any plants that do not appear on the planting plan. Chemical weed control is permitted only with the approval of the Owner's Representative. Schedule weeding as needed to maintain weed free beds.
7. **Trash removal:** Remove all trash and debris from all planting beds and maintain the beds in a neat and tidy appearance.
8. **Plant pest control:** Maintain disease, insects and other pests at manageable levels. Manageable levels shall be defined as damage to plants that may be noticeable to a professional but not to the average person. Use least invasive methods to control plant disease and insect outbreaks.
- a. The Owner's Representative must approve in advance the use of all chemical pesticide applications.
9. **Plant replacement:** Replace all plants that are defective as defined in the Warranty provisions, as soon as the plant decline is obvious and in suitable weather and season for planting as outlined in above sections. Plants that become defective during the maintenance period shall be covered and replaced under the warranty provisions.
10. **Mulch:** Refresh mulch once a year to maintain complete coverage but do not over mulch. At no time shall the overall mulch thickness be greater than 3 inches. Do not apply mulch within 6 inches of the trunks or stems of any plants. Replacement mulch shall meet the requirements of the original approved material. Mulch shall be no more than one inch on top of the root ball surface.
11. **Bed edging:** Check and maintain edges between mulch and lawn areas in smooth neat lines as originally shown on the drawings.
12. **Leaf, fruit and other**





**LEGEND**

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RELOCATED



**Always call 811 two full business days before you dig to have underground utilities located and marked.**

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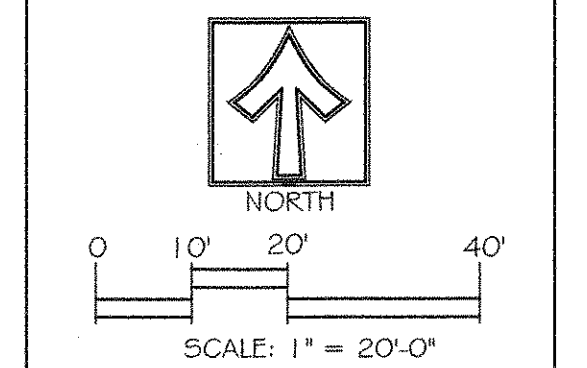
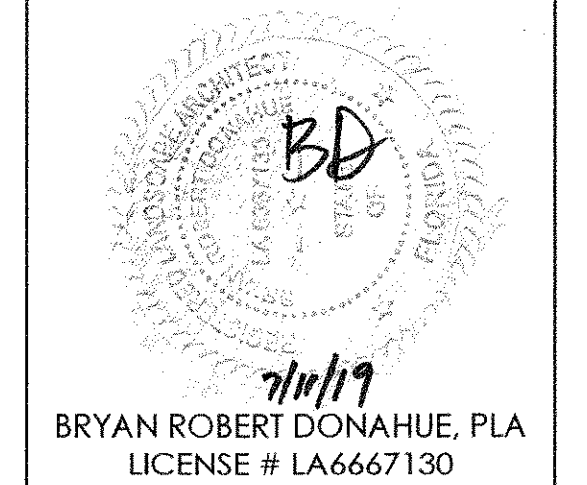
planning + landscape architecture

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phone: 561-249-0940 | email: info@insitestudio.com  
www.insitestudio.com | License# 1C26000606

Consultants:

Revisions:	
Per Client Comments:	12/13/18
Per Site Plan Revisions:	7/8/19
Per Site Plan Revisions:	7/9/19
Per Site Plan Revisions:	7/11/19

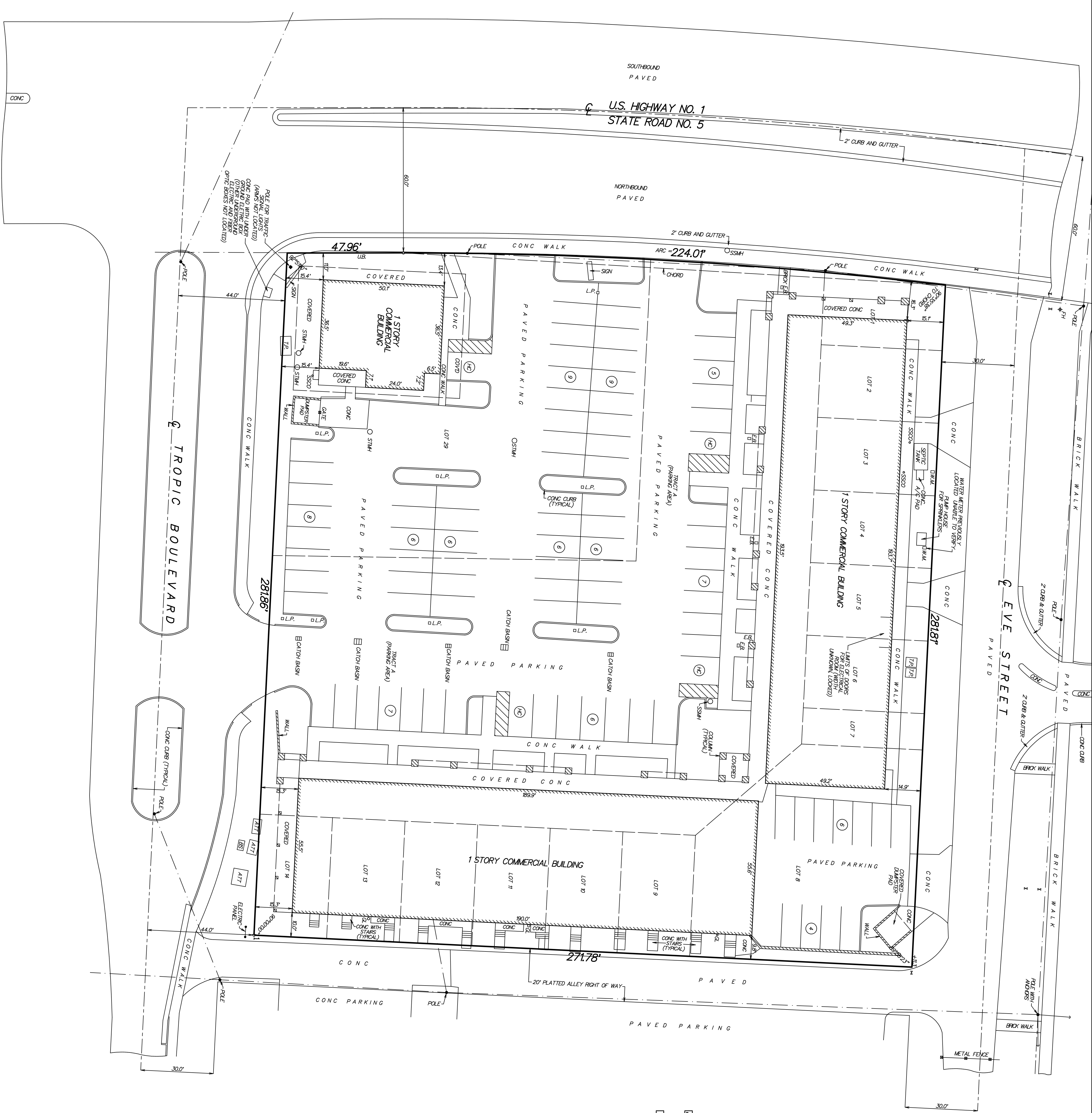
**Delray Place South**  
City of Delray Beach, Florida



Drawn By:	SMT
Drawing #:	1049
Date:	12/3/2018
Tree Disposition Plan	

SHEET # TD.1





DESCRIPTION:

LOTS 1 THROUGH 14, INCLUDING LOT 29 AND TRACT "A" OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID PROPERTY ALSO SOMETIMES DESCRIBED AS: LOTS 1 THROUGH 14, INCLUDING AND LOT 29, TRACT A OF GATEWAY SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25, PAGE 76, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH PARKING AREA TRACT A.

THE HEREABOVE DESCRIBED PROPERTY IS A BEAT OF TRACT A AS SHOWN ON THE PLAT OF TROPIC ISLE, RECORDED IN PLAT BOOK 24, PAGE 235, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TITLE NOTES:

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B-1 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, ORDER NO. 439550, DATED APRIL 27, 2013.

PARCEL SUBJECT TO DECLARATION OF UNITY OF TITLE AS RECORDED IN ORDER 24063, PAGE 799.

PARCEL SUBJECT TO TERMS, CONDITIONS, AND PROVISIONS OF ORDER AS RECORDED IN ORDER 2601, PAGE 271.

SITE INFORMATION:

PARCEL ZONING: PC PLANNED COMMERCIAL  
PROPERTY ADDRESS: 1911 SOUTH FEDERAL HIGHWAY  
DELRAY BEACH, FLORIDA 33444

PARCEL CONTROL NO. 12-43-46-28-06-001-000

LAND AREA = 77,430 SQ. FT. (1.78 ACRES), MORE OR LESS

SETBACKS: FRONT 10'  
SIDE STREET 10'  
SIDE INTERIOR 10'  
REAR 10'

LEGEND:

☐ = CENTERLINE  
CONC. = CONCRETE  
W.M. = WATER METER  
F.H. = FIRE HYDRANT  
X = WATER VALVE  
B-F-P = BACK FLOW PREVENTER  
— — — — — = OVERHEAD UTILITY LINES  
SSCO = SANITARY SEWER CLEAN OUT  
SSMH = SANITARY SEWER MANHOLE  
☐ = REFERS TO ITEM NUMBER IN SCHEDULE B-1 OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT  
T.P. = CONCRETE TRANSFORMER PAD  
STMH = STORM SEWER MANHOLE  
COVD = COVERED  
E.B. = ELECTRIC BOX FLUSH WITH GROUND  
FLOOD ZONE: X  
COMMUNITY PANEL NO. 12502 0879  
SUFFIX F  
EFFECTIVE DATE: OCTOBER 05, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.  
ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.  
THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL PAPER REVISIONS. DIMENSIONS SHOWN ARE BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.  
NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN ORDER TO ENSURE THAT NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

NOT VALID WITHOUT THE SIGNATURE AND LICENSED SURVEYOR AND MAPPER

MAP OF AS-BUILT SURVEY  
SITE ADDRESS: 1911 S. FED. HIGHWAY  
DELRAY BEACH, FLORIDA 33483

LAND SURVEYORS  
O'BRIEN, SUTER & O'BRIEN, INC.  
CERTIFICATE OF AUTHORIZATION #18333  
SUPERVISOR AND REGISTERED SURVEYOR PAUL D. ENGLE  
955 NW 7TH AVENUE, SUITE 100 DELRAY BEACH, FLORIDA 33445  
(561) 276-4901 / 732-3279 FAX 276-2390

Paul D. Engle

DATE OF SURVEY: JAN. 15, 2019  
FIELD BOOK: 58  
SCALE: 1" = 20'  
SHEET NO.: 13-370b

