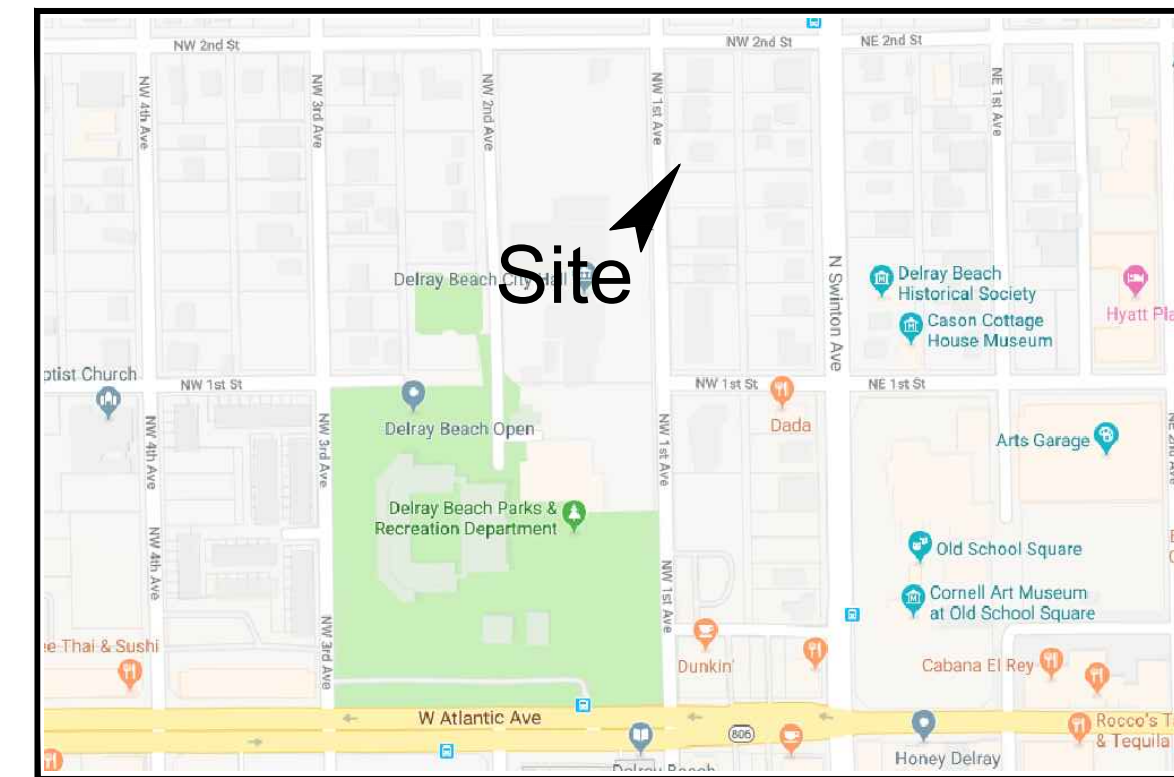
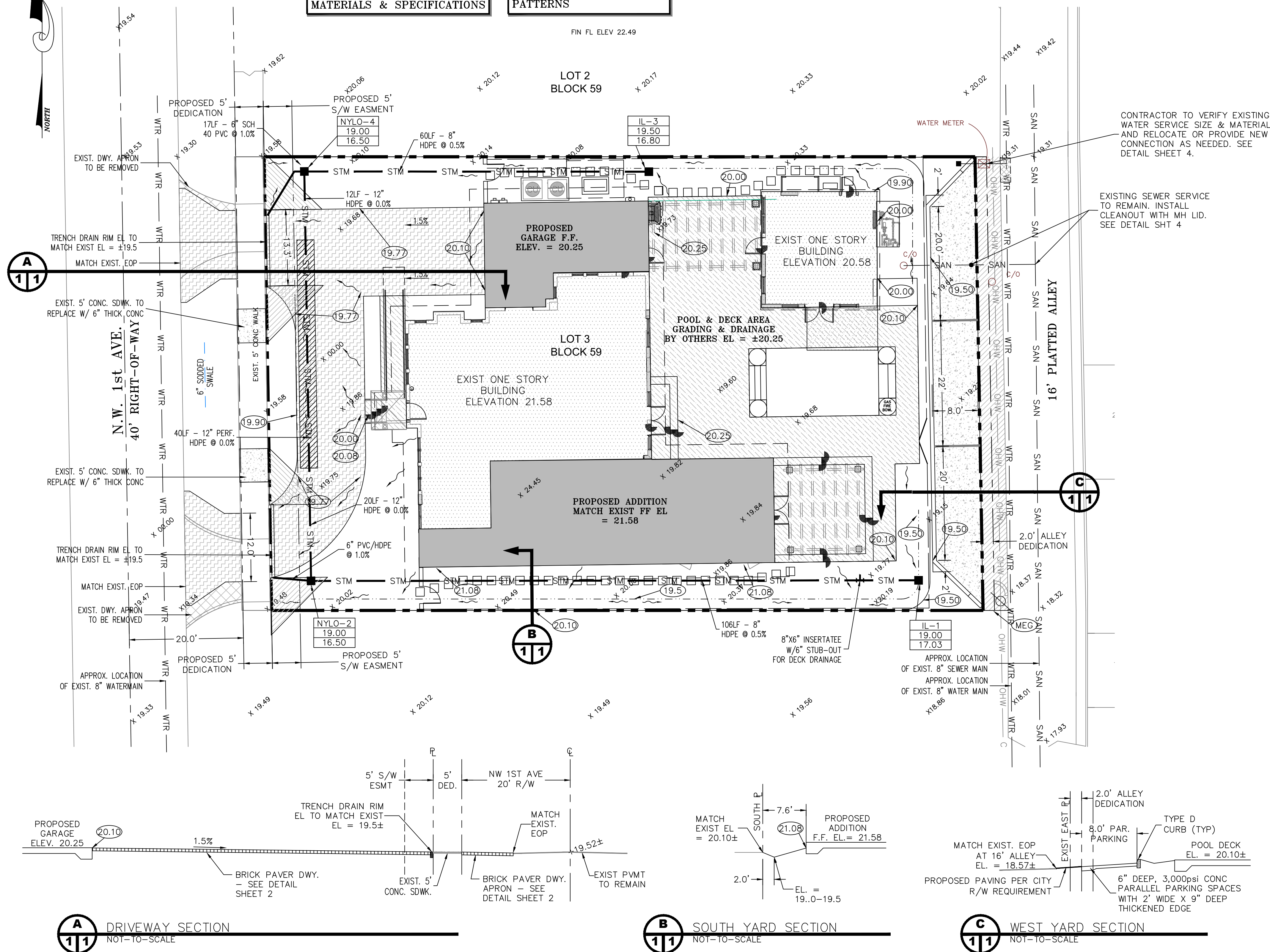
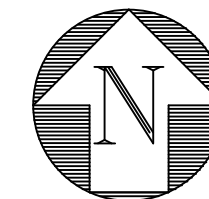


NOTE: SEE LANDSCAPE
PLANS FOR HARDSCAPE
MATERIALS & SPECIFICATIONS

NOTE: SEE LANDSCAPE
PLANS FOR BRICK PAVEMENT
PATTERNS



LOCATION MAP
N.T.S.



LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED ASPHALT PAVING
- DENOTES AREA OF PROPOSED BRICK PAVEMENTS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF PROPOSED POOL DECK BY OTHERS - SEE LANDSCAPE PLANS FOR SPECIFICATIONS
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- DENOTES AREA OF EXISTING PAVEMENT TRENCH REPAIR FOR UTILITY INSTALLATION -SEE DETAIL SHEET 2
- PROPOSED CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN X' WIDE X' X' DEEP ROCK TRENCH (BOTTOM EL= X.00)
- STRUCTURE TYPE-NUMBER
RIM ELEVATION
INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED WATER METER
- PROPOSED WATER METER WITH BACKFLOW PREVENTER
- EXISTING GATE VALVE
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT
- EXISTING MANHOLE
RIM ELEVATION
INV EL & DIRECTION
INV EL & DIRECTION

CIVIL SITE IMPROVEMENTS PLAN FOR:

MARION RESIDENCE

131 NW 1ST AVE.

DELRAY BEACH, FLORIDA



ENGINEERS • ENVIRONMENTAL CONSULTANTS

FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-8550 Fax: (561) 274-8550

DRAWN:
K.F.D.

CHECKED:
J.A.P.

DATE:
03/20/19

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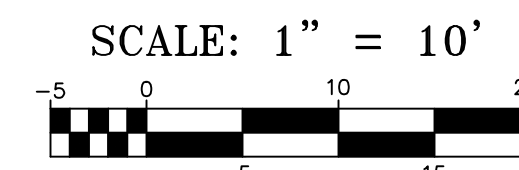
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PAVING, GRADING AND DRAINAGE NOTES	
1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.	OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.
2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.	11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.
3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTEMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.	12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.	13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-17, WHERE APPLICABLE.
5. MUCK AND PEAT -- IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.	14. SEQUENCE OF CONSTRUCTION -- THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY PRIOR TO THE CONSTRUCTION AND COMPACTION OF THE SUBGRADE.
6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.	15. INLETS AND MANHOLES -- ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.
7. CLEARING AND GRUBBING -- WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.	16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.
8. GUMBO -- WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.	17. GRADES SHOWN ARE FINISHED GRADES.
9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.	18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. N/A N.A.V.D.
10. TACK COAT -- BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE	19. REINFORCED CONCRETE PIPE -- THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.

GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
5. ALL ELEVATIONS REFER TO N.A.V.D. 1988. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION 21.58' (EXISTING).	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.i
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)

CITY OF DELRAY BEACH GENERAL NOTES	
DEFINITIONS 1. CITY -- THE CITY OF DELRAY BEACH 2. CONTRACTOR -- UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS 3. ENGINEER -- ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION PROCEDURE 1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES. 2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING. 3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91. 4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. 6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO CONSTRUCTION. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE. 7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED. 8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES. 10. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE. 11. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL. 12. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY. 13. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS. 14. PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-P-17 (LATEST REVISION) UNLESS SHOWN OTHERWISE. 15. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY. 16. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES. 17. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION. 18. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE. 19. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO	PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA, THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION. 20. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE. 21. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE. 22. CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS. 23. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED. 24. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING. 25. EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS. 26. CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY. 27. SITE INFORMATION BASED ON A SURVEY PREPARED BY: RENNER BURGESS, INC. 28. THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE RAILROAD RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION. 29. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES. 30. ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT. 31. CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC. 32. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 33. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 34. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2 35. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS. 36. CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312. 37. THE EXISTING SANITARY SEWER LINE MUST BE TELEVISED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT. 38. UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK. 39. ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION. 40. ALL CITY OF DELRAY BEACH 2016 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.



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PAVING & DRAINAGE DETAILS FOR:

MARION RESIDENCE

131 NW 1ST AVE

DELRAY BEACH, FLORIDA



ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

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K.F.D.

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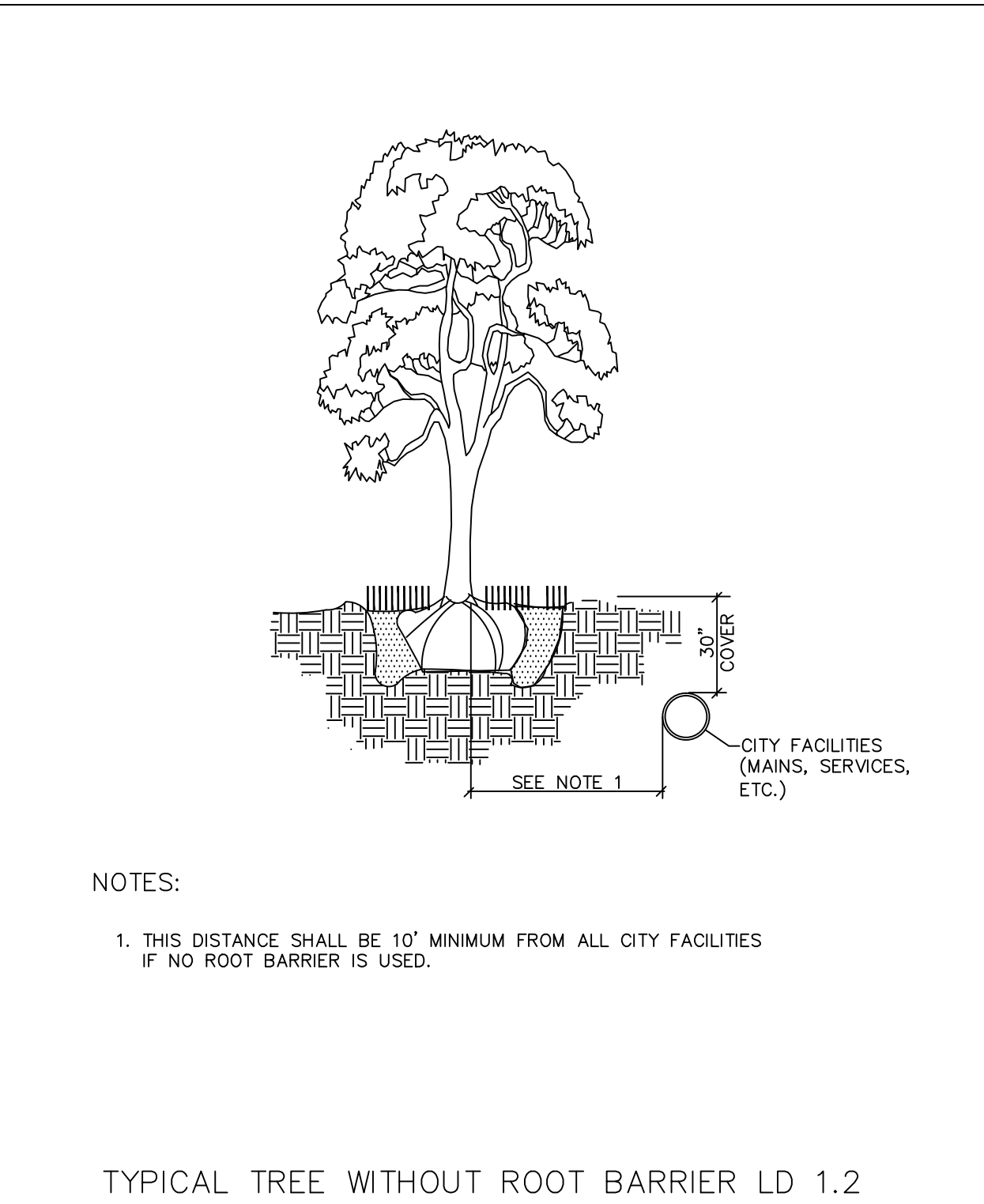
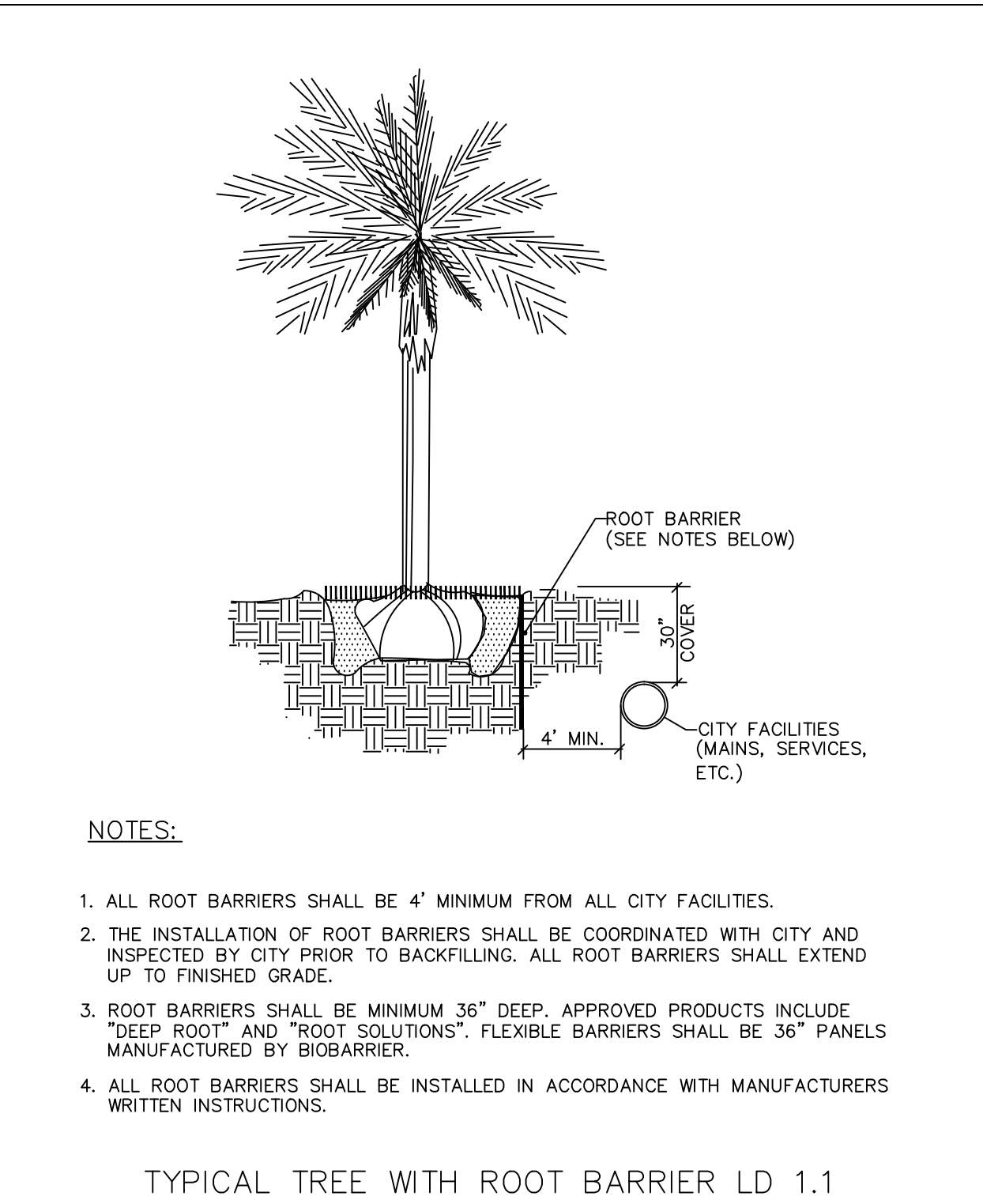
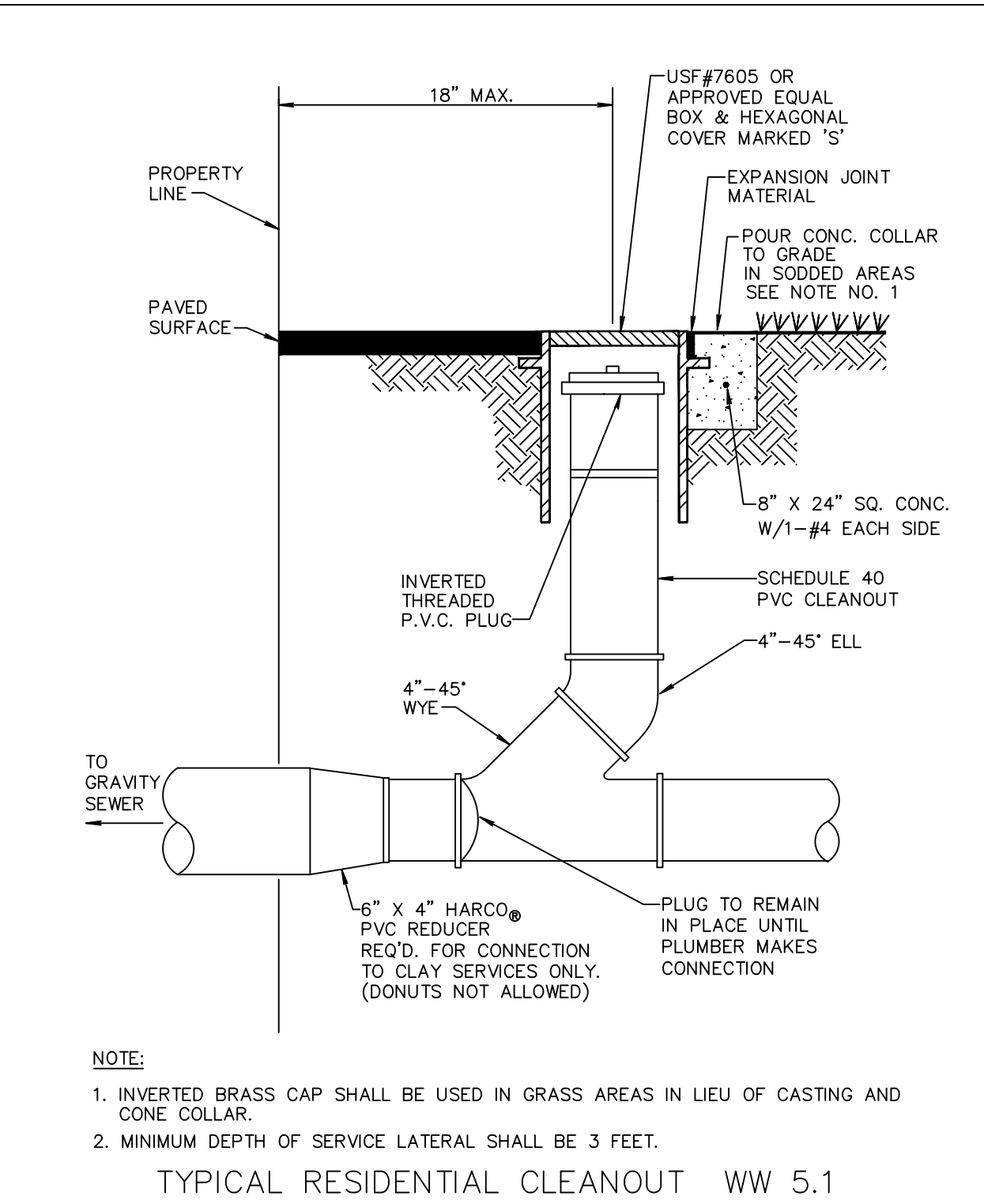
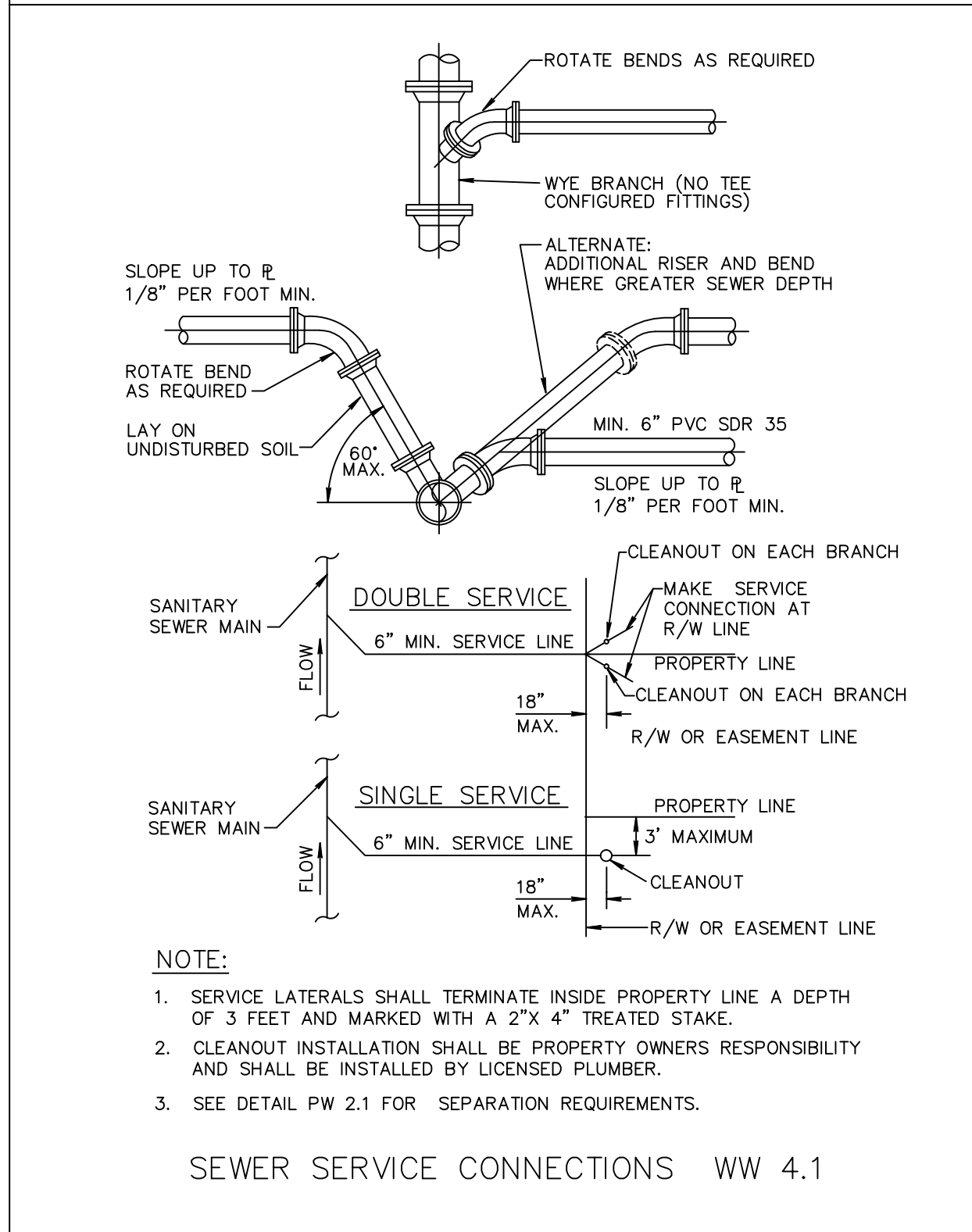
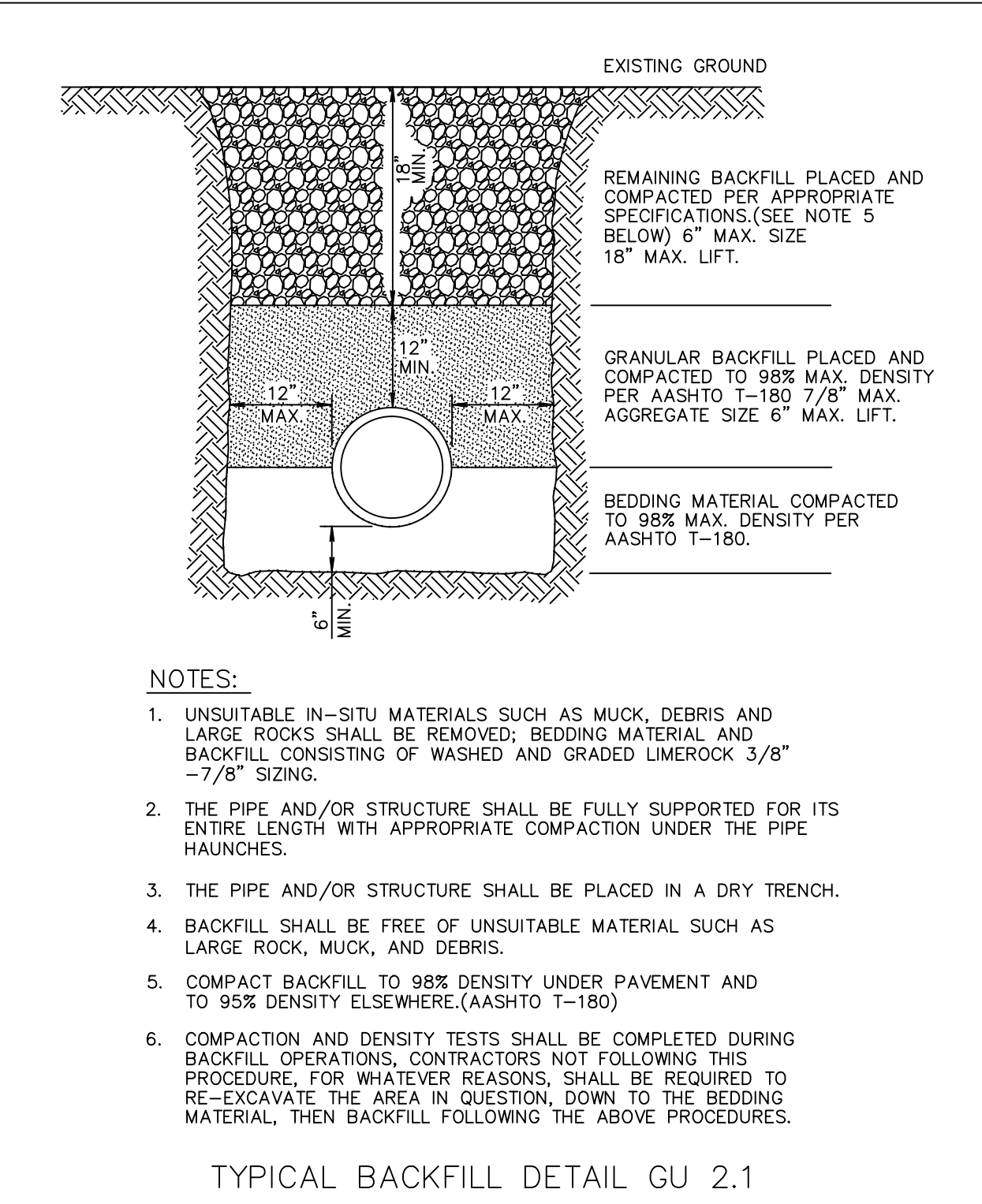
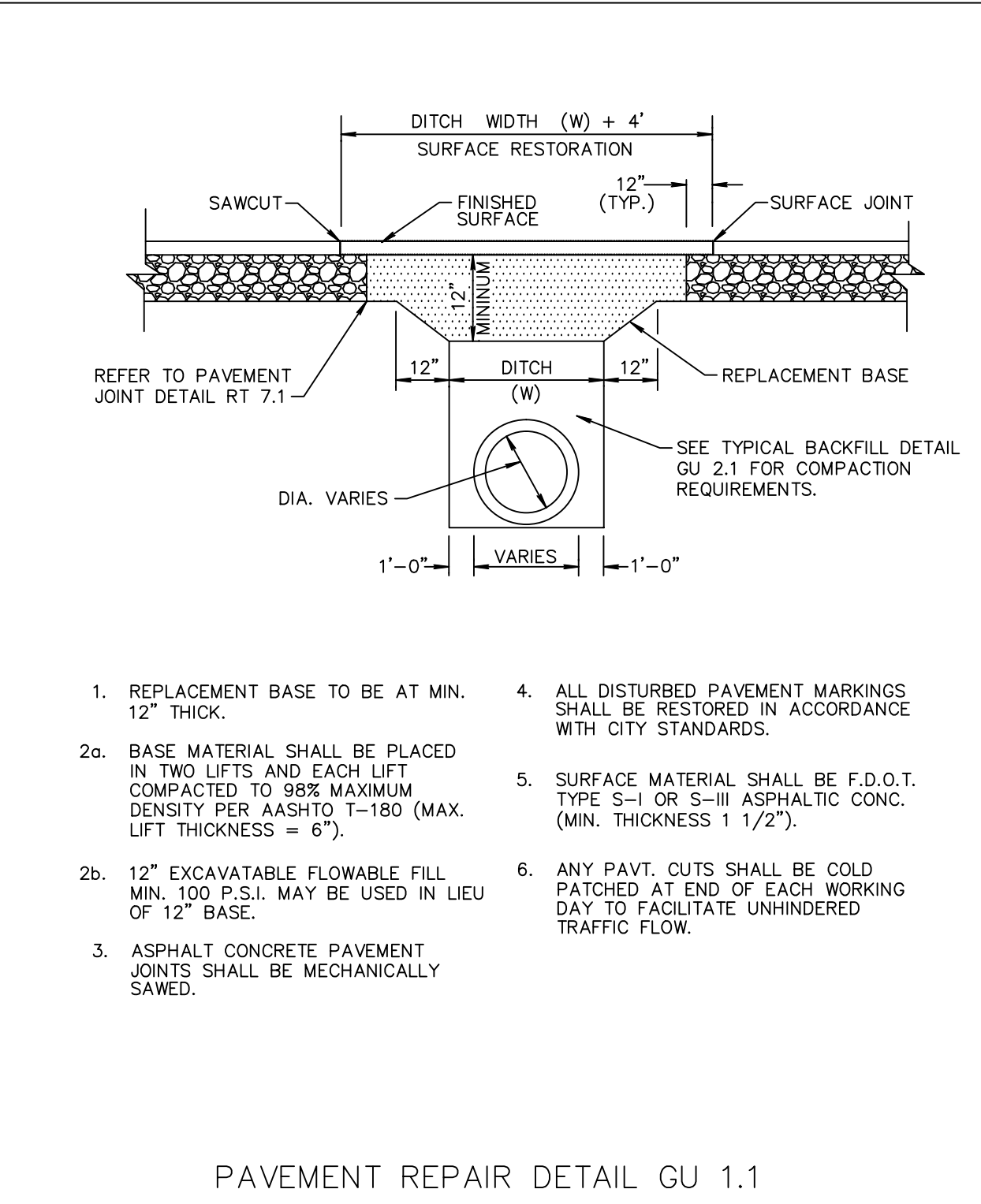
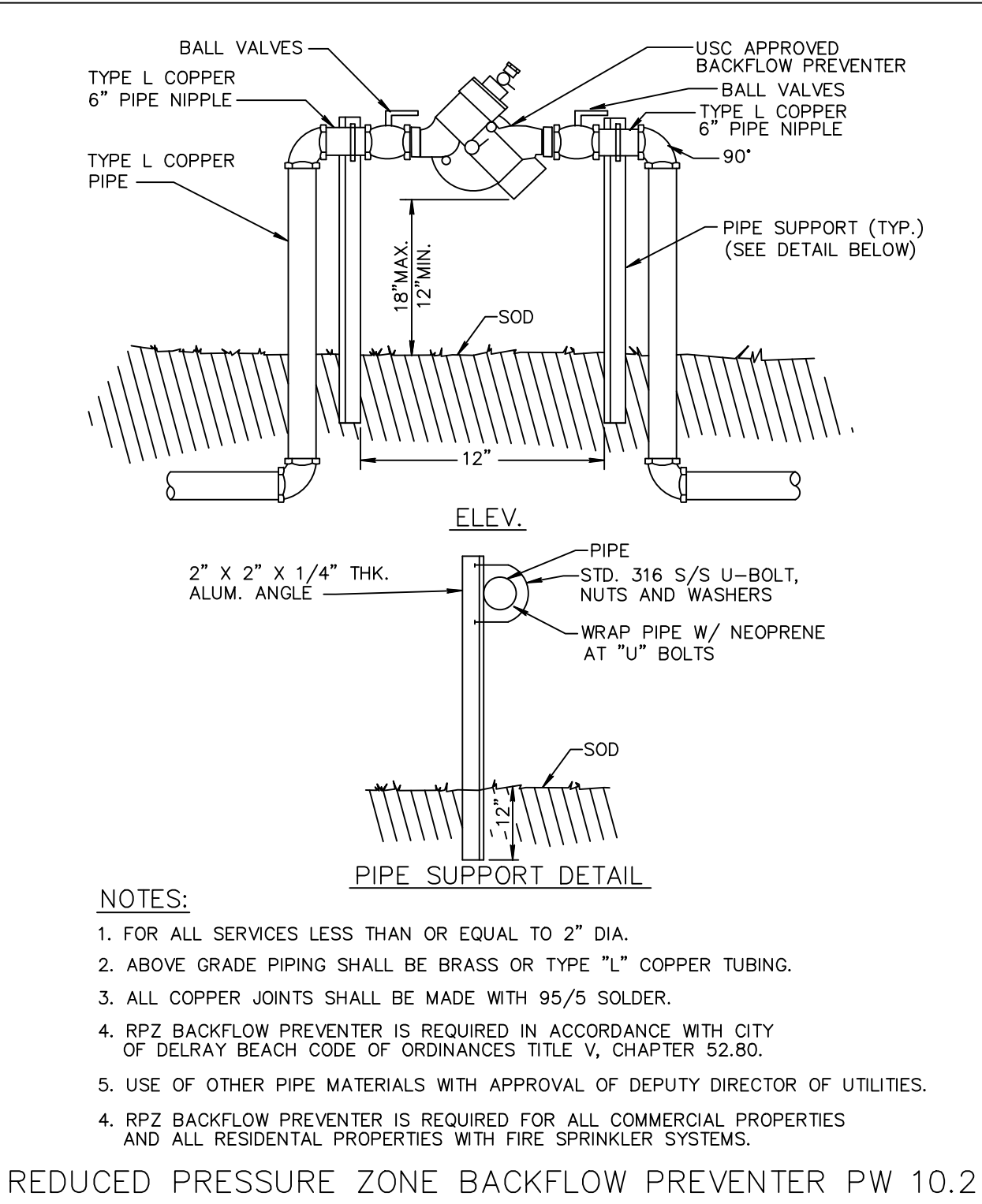
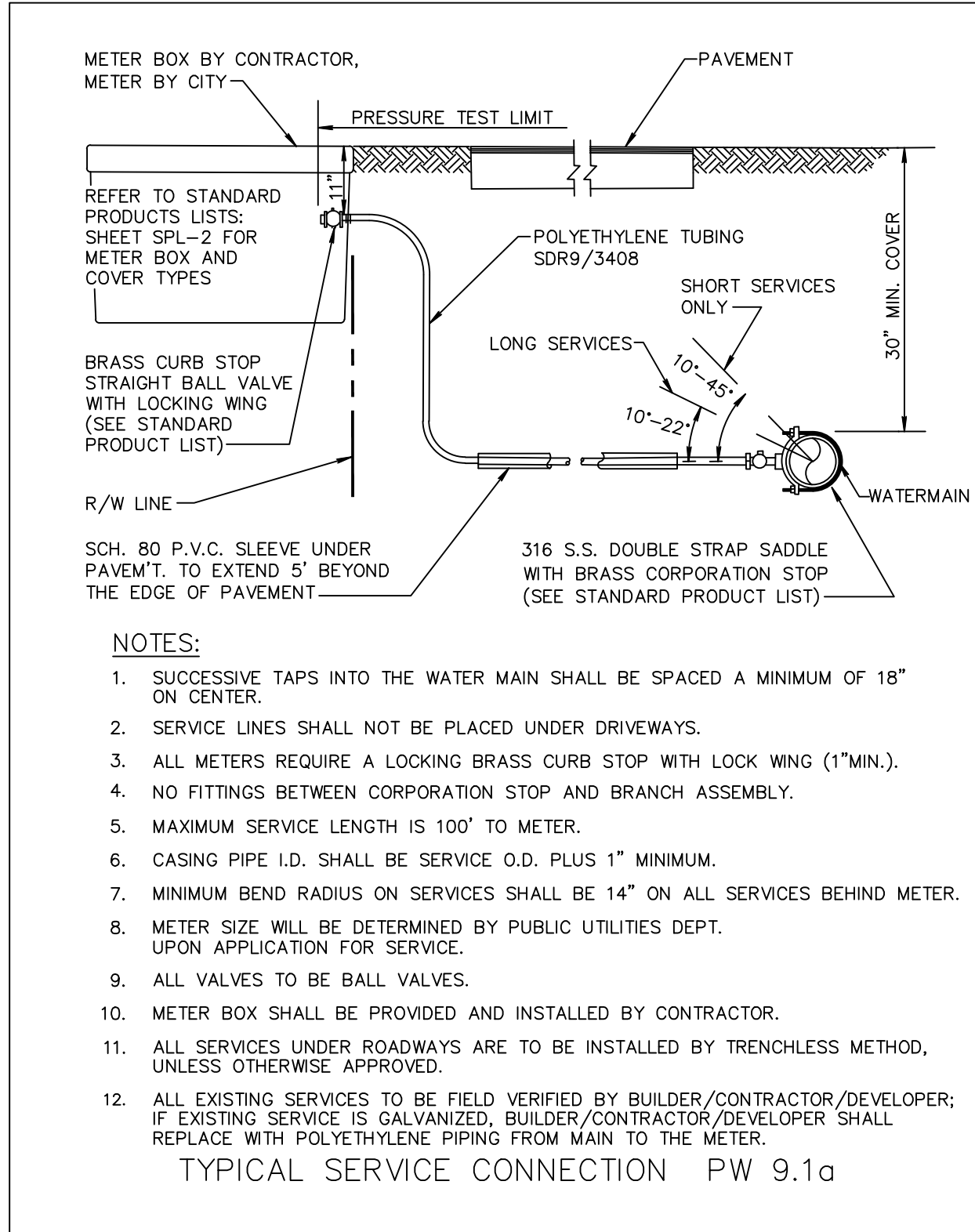
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JOSEPH A. PIKE, P.E.
FL REG # 42696



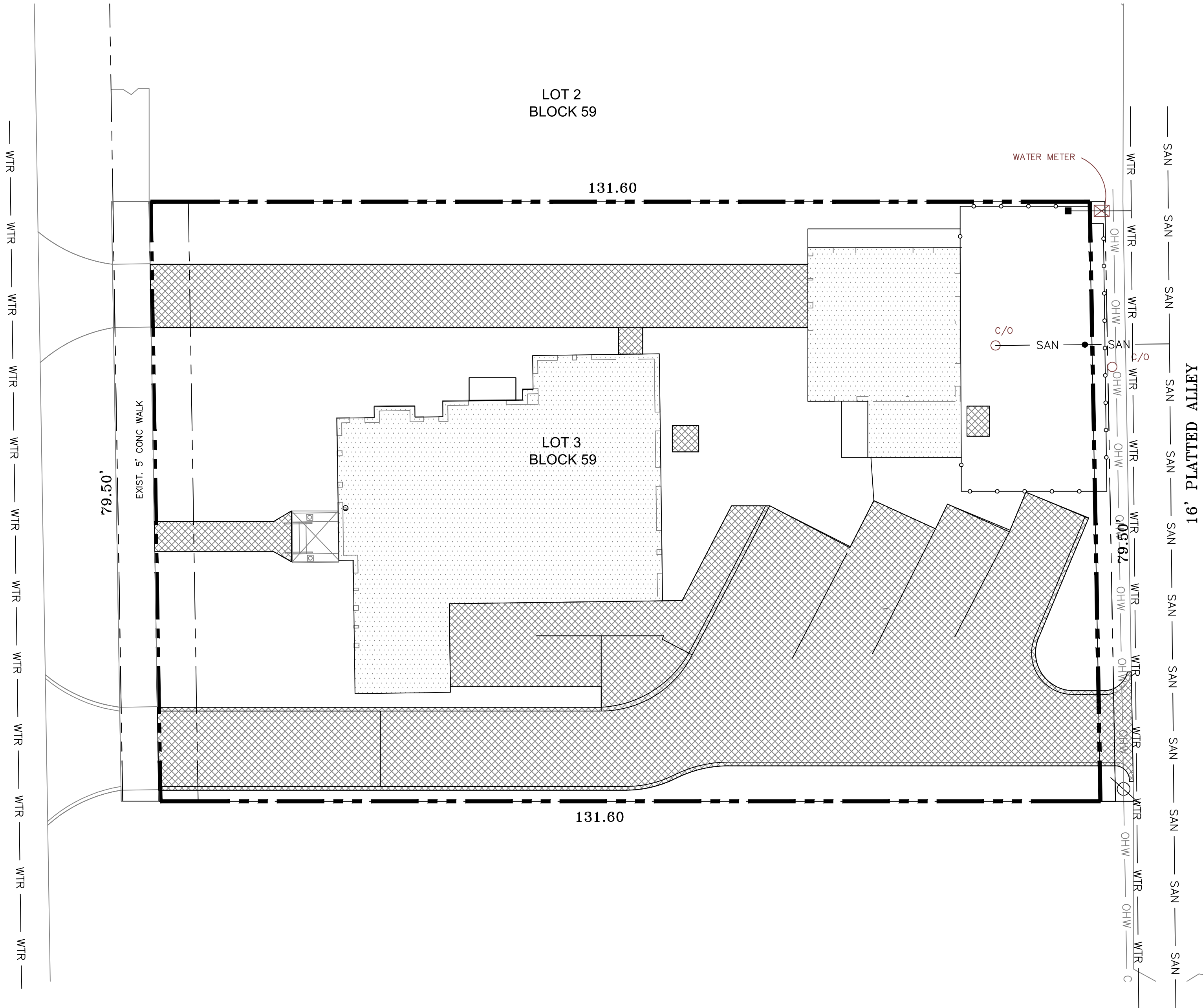
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WATER & WASTEWATER DETAILS FOR: MARION RESIDENCE 131 NW 1ST AVE DELRAY BEACH, FLORIDA			
ENVIRODesign Associates Inc. www.envirodesign.com ENGINEERS • ENVIRONMENTAL CONSULTANTS FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-6500 Fax: (561) 274-8558			
DRAWN: K.F.D.			
CHECKED: J.A.P.			
DATE: 8/16/19			
JOB NO. 19002-DTL			
SHEET NO. 4 OF 6			



N.W. 1st AVE.
40' RIGHT-OF-WAY

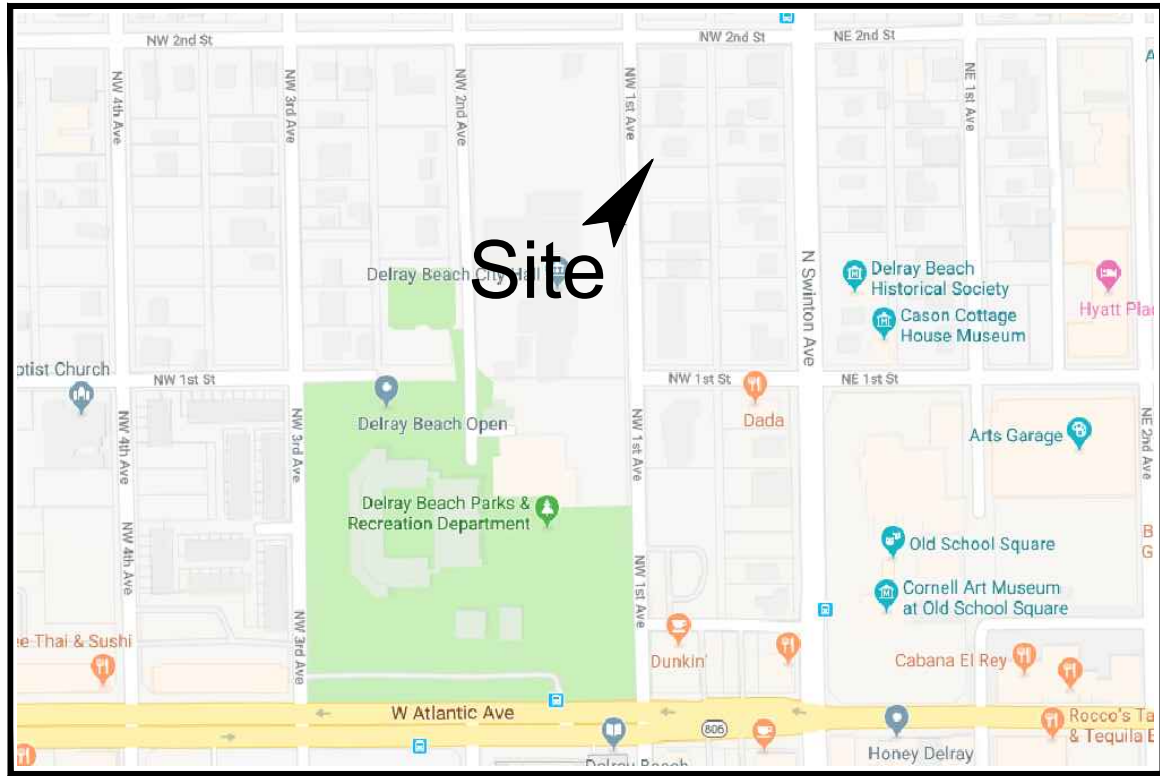


NOTE: CONTRACTOR TO FIELD
VERIFY EXACT LOCATION, SIZE, AND
ELEVATION OF ALL IMPROVEMENTS
AT TIME OF CONSTRUCTION AND
REPORT ANY DISCREPANCIES TO
ENVIRODESIGN ASSOCIATES, INC.

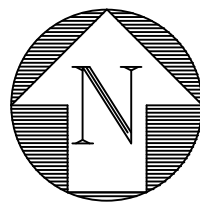


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1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'
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LOCATION MAP
N.T.S.




LEGEND:

- PROPERTY LINE
- DENOTES EXIST IMPROVEMENTS TO BE REMOVED
- DENOTES EXIST STRUCTURES TO REMAIN

DEMOLITION NOTES:

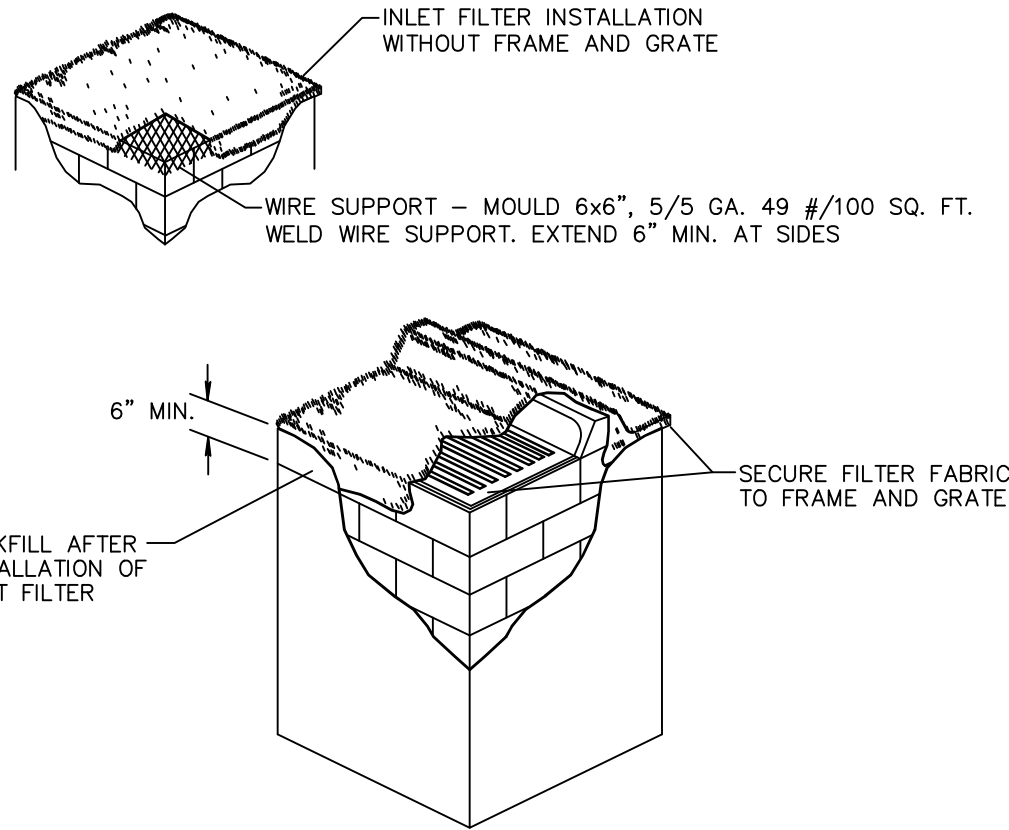
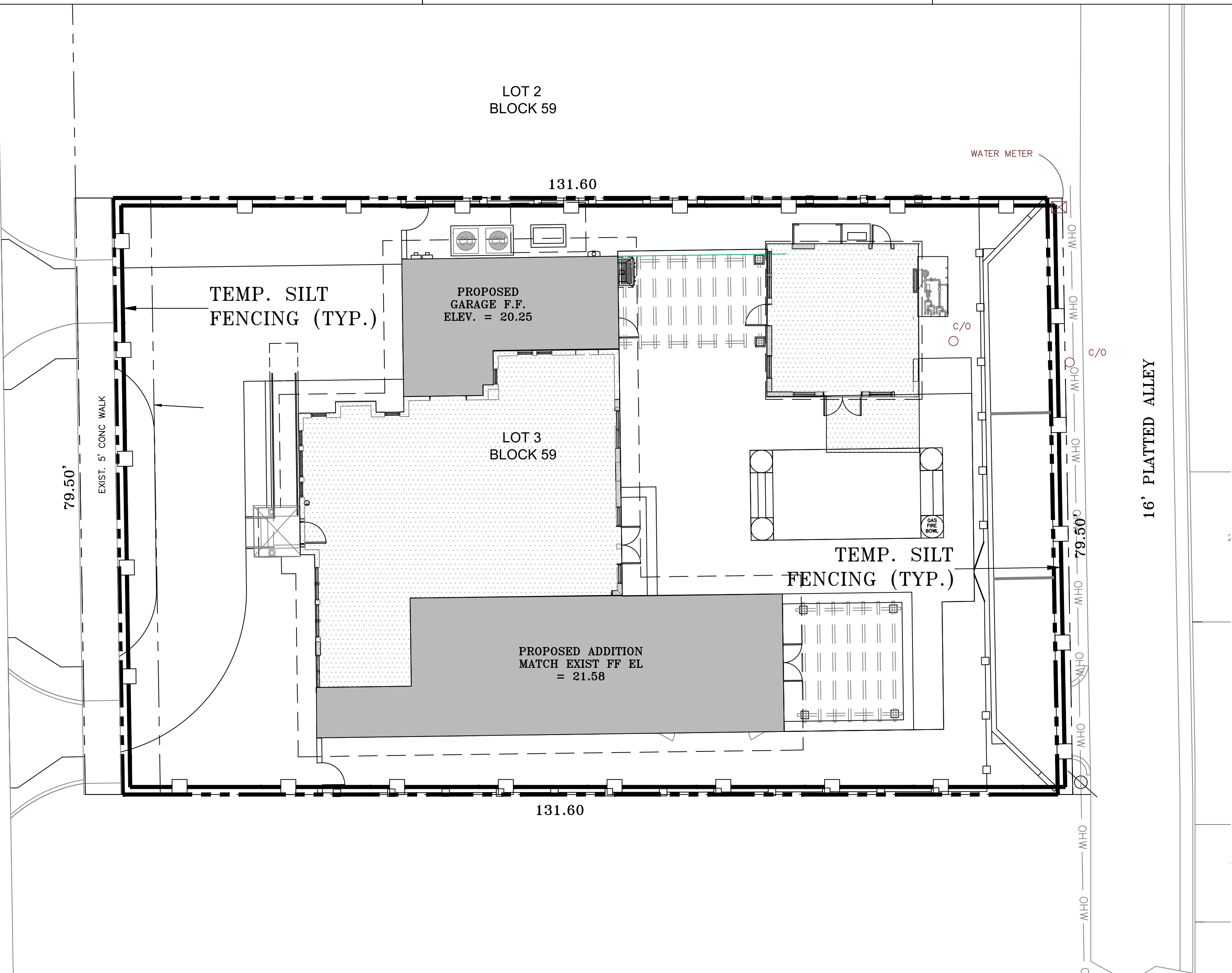
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL EXISTING ON-SITE UTILITIES WITH THE UTILITY PROVIDERS PRIOR TO REMOVAL OF ANY UTILITIES.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISNG ON-SITE IMPROVEMENTS IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCY REQUIREMENTS. NO DEBRIS SHALL BE BURIED ON-SITE.
- THE CONTRACTOR SHALL PLUG/CAP ALL EXISTING WATER AND SEWER SERVICES NOT TO REMAIN AT THE MAIN AND REMOVE ALL ABANDONED LINES.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PRIVATE DRAINAGE. NO EXISTING DRAINAGE SHALL REMAIN UNDERGROUND, INCLUDING, BUT NOT LIMITED TO, ANY EXISTING EXFILTRATION TRENCH, STORM PIPE, OR CATCH BASINS.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXISTING PAVEMENT AND BASE MATERIALS. EXISTING BASE MATERIALS MAY BE RECYCLED ON-SITE AS SUBGRADE STABILIZER BUT SHALL NOT BE REUTILIZED AS A PAVING BASE MATERIAL.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS.
- THE CONTRACTOR SHALL PROVIDE DUST AND POLLUTION PREVENTION MEASURES PRIOR TO, AND MAINTAIN DURING, ANY DEMOLITION WORK. SEE DETAILS ON SHEET 6.
- TRENCH RESTORATION ASSOCIATED WITH DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH THE TRENCH RESTORATION DETAILS INCLUDED ON SHEET 4.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ANY CONTAMINATED SOILS, AS DESIGNATED BY OTHERS, ARE HANDLED AS REQUIRED BY REGULATORY AGENCIES. NO WORK SHALL BE PERFORMED IN THESE AREAS WITHOUT PRIOR APPROVAL FROM REGULATORY AGENCIES.

BY: KFD		REVISE PER NEW SITE PLAN & LANDSCAPE PLAN	
NO. 1		DATE: 07/08/19	
NOT VALID WITHOUT ENGINEER'S SEAL		JOSEPH A. PIKE, P.E. FL REG # 42696	
DEMOLITION PLAN FOR: MARION RESIDENCE 131 NW 1ST AVE. DELRAY BEACH, FLORIDA			
 EnviroDesign Associates Inc. www.envirodesign.com		ENGINEERS • ENVIRONMENTAL CONSULTANTS FLORIDA CERTIFICATE OF AUTHORIZATION NO. 6506 298 Pineapple Grove Way Delray Beach, Florida 33444 Phone: (561) 274-6500 Fax: (561) 274-8558	
DRAWN: K.F.D.		CHECKED: J.A.P.	
DATE: 03/20/19		JOB NO. 19002-ENG	
SHEET NO. 5 OF 6			



CONSTRUCTION ENTRANCE
LOCATION TO BE DETERMINED
BY CONTRACTOR AS NEEDED

N.W. 1st AVE.
40' RIGHT-OF-WAY

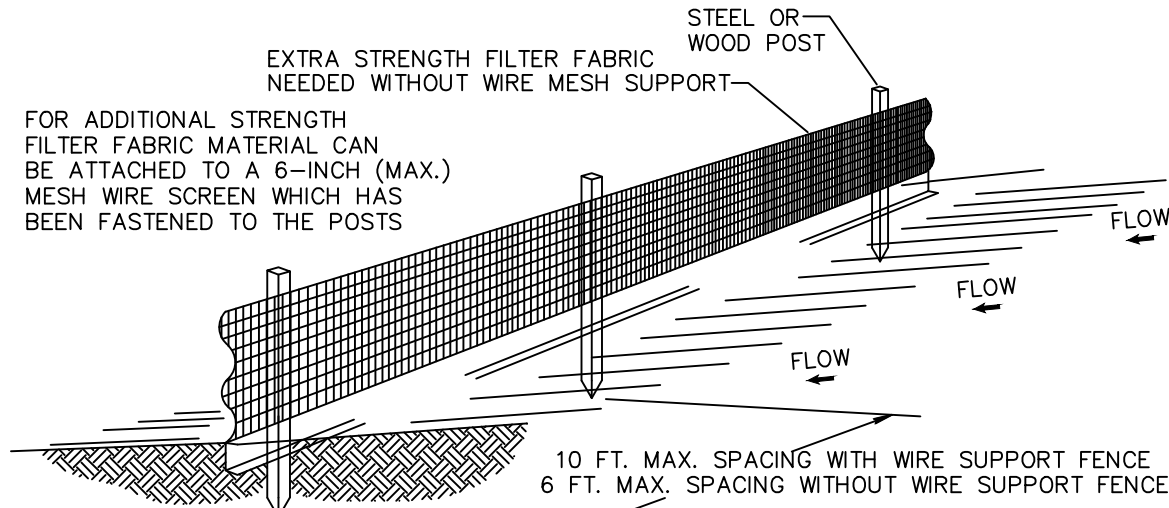


- NOTES:
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.
- STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL D 8.1

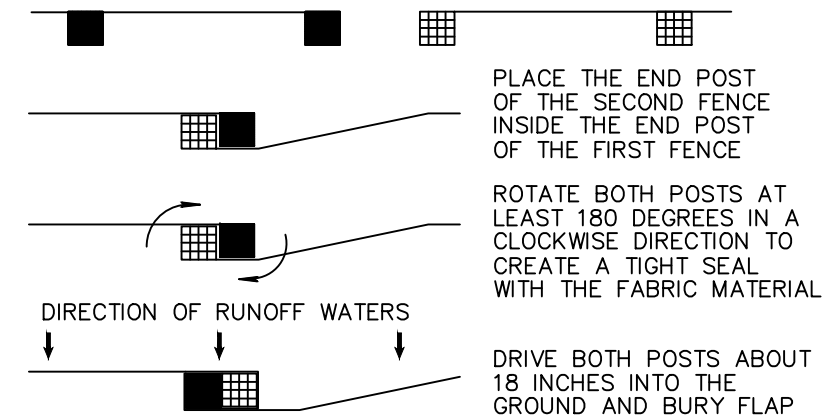
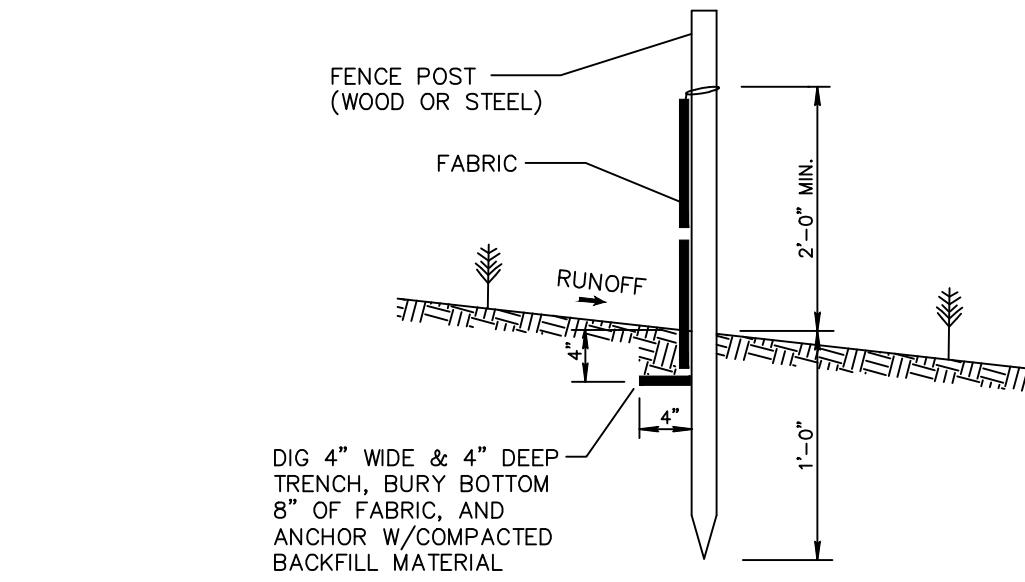
EROSION CONTROL NOTES DETAIL D9.1

1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

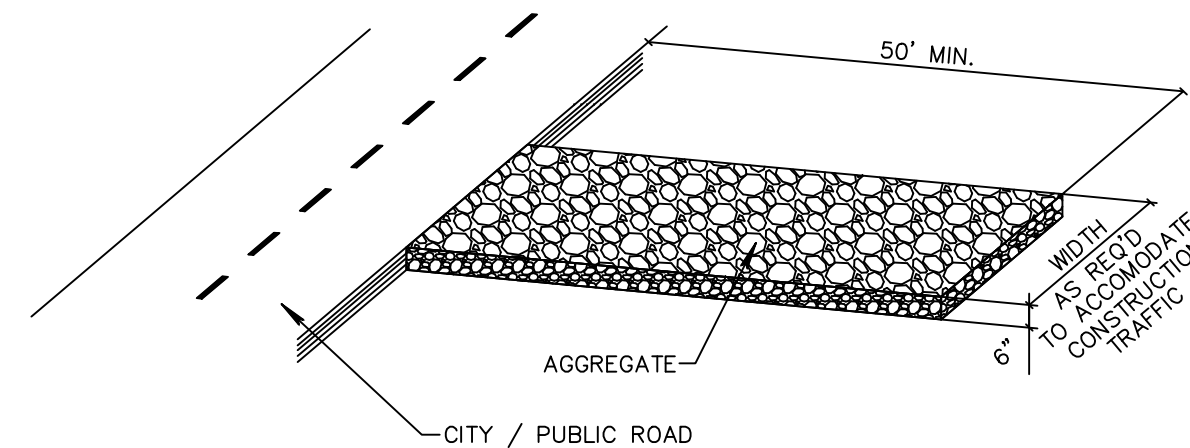


- NOTES:
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
 9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2



ATTACHING TWO SILT FENCES
NOT TO SCALE
SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C

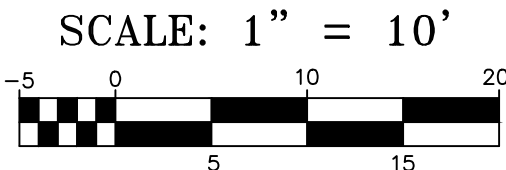
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POLLUTION PREVENTION PLAN FOR:
MARION RESIDENCE
131 NW 1ST AVE.
DELRAY BEACH, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
K.F.D.

CHECKED:
J.A.P.

DATE:
08/26/19

JOB NO.
19002-ENG

SHEET NO.
6 OF 6

PLANT LIST

KEY	QTY	PLANT AND SPECIFICATION
TREES AND PALMS		

N BS	2	Bursera simaruba (Gumbo Limbo) 6" straight single trunk, 8" c.t., 16' ht., 7' spr., 4" cal.
N CES	2	Conocarpus erectus 'sericeus' (Silver Buttonwood) 6" straight single trunk, 8" c.t., 12' ht., 7' spr., 2" cal.
N CE	4	Conocarpus erectus (Green Buttonwood) 6" straight single trunk, 8" c.t., 12' ht., 7' spr., 2" cal.
PE2	1	Ptychosperma elegans (Double Alexander Palm) 16" o.a. ht., double, full
PE3	1	Ptychosperma elegans (Triple Alexander Palm) 14" o.a. ht., triple, full

KEY	QTY	PLANT AND SPECIFICATION
SHRUBS, GROUNDCOVERS AND ACCENTS		

ALP	2	Alpinia zerumbet 'Variegata' (Variegated Shell Ginger) 4'-5' ht., 30" spr., full to ground
ALO	3	Alocasia gagoena 'California' (Dwarf Elephant Ears) 3'-4' ht., 30" spr., full, matched
BAM	8	Bambusa textilis gracilis (Graceful Bamboo) 5'-6' ht., 3' spr., full, matched
BEG	3	Begonia 'Angel Wing' (Angel Wing Begonia) 30" ht., 24" spr., 24" o.c.
CON	18	Trachelospermum jasminoides (Confederate Jasmine) 12"-24" ht., 12" spr., 24" o.c.
CRO	3	Croton 'Dreadlocks' (Dreadlock Croton) 3' o.a. ht., 24" spr., standard, full
CYC	3	Cycas revoluta (Sago Palm) 3'-4' ht., 3' spr., full, matched
DIE	28	Dietes iridioides (African Iris) 18" ht., 12" spr., 18" o.c.
FGI	35	Ficus macrophyllus 'Green Island' (Ficus Green Island) 14" ht., 14" spr., 18" o.c.
N IVS	44	Ilex vomitoria 'Schillings Dwarf' (Schillings Dwarf Holly) 14" ht., 14" spr., 18" o.c.
IXO	33	Ixora 'Nora Grant' (Ixora) 18" ht., 18" spr., 24" o.c.
IXT	9	Ixora 'Petite' (Taiwanese Ixora) 24" ht., 18" spr., 18" o.c.
LIR	50	Liriope muscari (Liriope) 12" ht., 12" spr., 18" o.c.
N ERN	35	Ernodea littoralis (Golden Beach Creeper) 18" ht., 18" spr., 24" o.c.
POD	45	Podocarpus macrophyllus (Podocarpus Hedge) 4'-5' ht., 24" spr., 24" o.c.
PRC	3	Philodendron 'Rajo Congo' (Rajo Congo) 3' ht., 24" spr., 24" o.c.
SPA	21	Spathoglottis plicata (Groud Orchids) 18" ht., 12" spr., 18" o.c.
TRA	220	Trachelospermum asiaticum (Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.
TRV	80	Trachelospermum asiaticum 'variegatum' (Variegated Asiatic Jasmine) 4" ht., 8" spr., 12" o.c.

'N' DENOTES NATIVE SPECIES

MULCH	Dark Brown Mulch, non cypress – Contractor to determine quantity, 3" depth
ARTIFICIAL TURF	Contractor to determine quantity.

STEPPING STONES: (54) 18" x 18"

NOTES

All plant material to be Florida #1 or better.
Sod to be St. Augustine 'Floratum', contractor to determine quantity.
All sod and landscape to receive 100% coverage from automatic irrigation system using approved water source.

Contractor responsible for all conditions and landscape specifications attached to this plant list. Plan and specifications shall be considered Contract Documents.
Mulch, topsoil, and fertilizer to be applied according to specifications.

SPECIFICATIONS

NOMENCLATURE: All plant material used shall be true to name and size in conformity with the Florida Nurserymen's Grades and Standards, and shall be Florida Grade #1 or better. Plants which do not meet specifications will not be accepted.

PLANT LISTS: Quantities, sizes, and location of plants will be determined by plan and plant lists. Size of plant shall take precedent over container size. Spacing of ground covers will be determined by plant lists. Quantities shown on plant lists are to be used as a guideline only. Contractor will be responsible for verification of actual quantities called for on plans. Discrepancies should be brought to the attention of the Landscape Architect.

SUBSTITUTIONS: No substitutions shall be accepted without consent of Landscape Architect. Any intended substitutions shall be detailed on the bid.

PLANTING SOIL: Topsoil shall be clean, sterile, and free of debris or other foreign material. Trees and palms shall be planted with a min. of 8" topsoil (50% muck, 50% sand) on sides and bottom of root ball. Rooted cuttings shall be planted in beds with a min. of 4" of topsoil worked into the top 6" of existing soil.

FERTILIZER: Palm and Tropical fertilizer (12-4-12) or approved equal shall be applied after planting and prior to mulching per manufacturers recommended application rates.

MULCH: All trees shall be mulched with 3" of approved shredded mulch in a 3 foot dia. circle. All shrubs and groundcover beds shall be mulched with 3" of approved shredded mulch in beds shown on plan or in beds 3' wide for hedges. Mulch should be Grade 'A' unless otherwise approved.

PLANTING PROCEDURE: All plants shall be planted at soil levels at which they were previously grown. Shrub and hedge material shall be planted a min. 2' away from walls or other obstructions. Material with a mature size greater than any overhangs shall be planted away from overhangs so as not to impede the natural growth habit. Sabal Palms are to be planted directly in sand. If necessary, excavate through any compacted building subgrade to undisturbed soil and backfill with planting soil.

WATERING: All plant material shall be watered in thoroughly after installation so as to remove all air pockets. B&B material shall be watered every day for a minimum one week period and thereafter so as to keep continually moist until final acceptance of the landscape installation. Contractor shall notify owner of other watering requirements after installation.

GUINING: All trees 8' or taller shall be guyed or staked to provide ample support such that the material will stay straight and true through the guarantee period. Methods used will be such that no injury is caused to plants. Guying shall be done at the option of the Contractor unless specifically requested by the Landscape Architect, however, Contractor shall still be responsible for all trees and palms remaining straight and true throughout the guarantee period.

SOD: Sod shall be dense, green, and well rooted, and free of debris, weeds, objectionable grasses, disease, or injurious insects. A complete 6-6-6 fertilizer shall be spread at a rate of 5 lbs. per 1000 sq. ft. Sod shall be watered to a depth of 4" after laying. All areas to be sodded shall be raked smooth and all debris removed prior to installation.

GURARANTEE: All plant materials shall be guaranteed for 1 year after completion of project. Palms are to be guaranteed for 1 year. Guarantee applies to health, position, and size. Replacement cost will be carried by Contractor.

CITY OF DELRAY BEACH STANDARD REQUIREMENTS

All plant material shall be grade #1 or better.

Mulch shall be applied to a minimum depth of three (3) inches in all planting beds.

All prohibited plant species shall be eradicated from site.

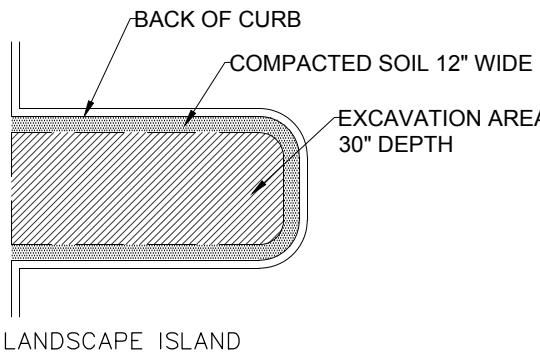
All landscape areas shall be provided with an irrigation system, automatically operated, to provide complete coverage to all plant materials and grass to be maintained. System shall be equipped with proper pressure release valves / backflow system and a rain sensor / automatic cutoff.

Sod and irrigation shall be provided within the unpaved portion of the right-of-way adjacent to the Property Line.

Reinforced concrete curbing at least six (6) inches in height shall be provided around all landscape islands and as a separator between all landscape areas that are adjacent to vehicular use areas unless such curbing will interfere with drainage.

No trees or shrubs shall be planted in Water, Sewer or Drainage Easements.

Existing native soil within all landscape islands, interior landscape strips and perimeter strips, adjacent to vehicular use areas, shall be excavated down to a depth of thirty (30) inches below existing grade, except for a 12" buffer from the inside of the curb or pavement (see diagram below). A suitable planting soil mixture of 50/50 (sand/topsoil) shall either be backfilled in place of the native soil or efficiently mixed with the native soil to create an optimum environment for successful root development. If native soil is to be mixed, it shall first be screened to remove rocks and debris larger than 1/2" dia. prior to mixing. All properties under this section shall be required to have an open landscape bed inspection prior to backfilling to insure the thirty (30) inch depth has been met.



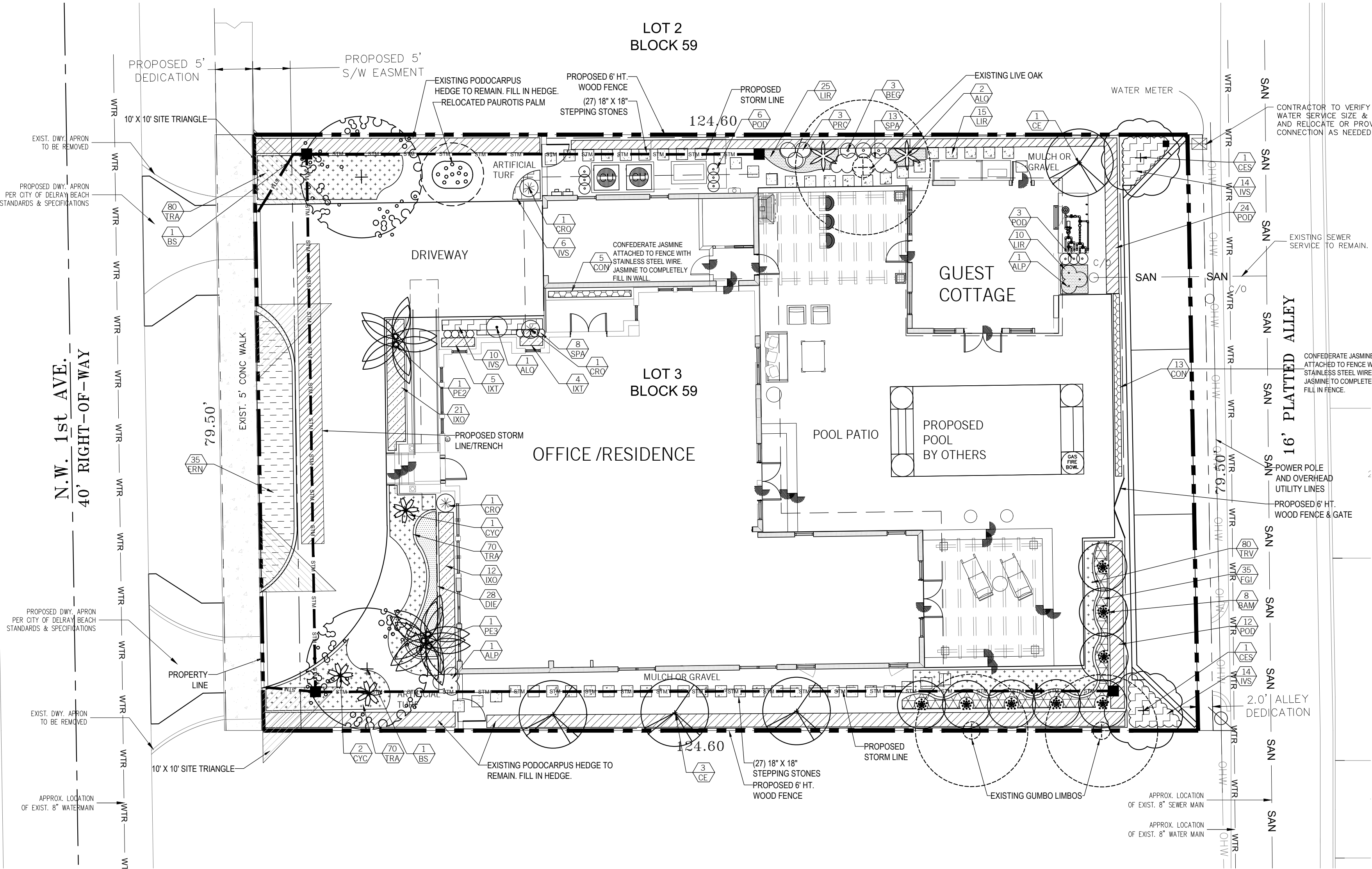
LANDSCAPE CALCS-DELRAY BEACH

A. TOTAL LOT AREA	9,905	SQ. FT.
B. STRUCTURES, PARKING, WALKWAYS, DRIVES, ETC.	7,142	SQ. FT.
C. TOTAL PERVIOUS LOT AREA	C=(A-B) 2,763	SQ. FT.
D. AREA OF SHRUBS AND GROUND COVER REQUIRED	D=(C x .30) 828	SQ. FT.
E. AREA OF SHRUBS AND GROUNDCOVERS PROVIDED	1,436	SQ. FT.
F. NATIVE VEGETATION REQUIRED	F=(D x .25) 207	SQ. FT.
G. NATIVE VEGETATION PROVIDED	240	SQ. FT.
H. TOTAL PAVED VEHICULAR USE AREA	616	SQ. FT.
I. TOTAL INTERIOR LANDSCAPE AREA REQUIRED	I=(H X .10) 62	SQ. FT.
J. TOTAL INTERIOR LANDSCAPE AREA PROVIDED	285	SQ. FT.
K. TOTAL INTERIOR SHADE TREES REQUIRED	K=(I / 125 S.F.) 1	TREES
L. TOTAL INTERIOR SHADE TREES PROVIDED	1	TREES
M. TOTAL LINEAR FEET SURROUNDING PARKING OR VEHICULAR USE AREA	241	L.F.
N. TOTAL NUMBER OF PERIMETER TREES REQUIRED	N=(M / 30) 8	TREES
O. TOTAL NUMBER OF PERIMETER TREES PROVIDED	12	TREES
P. TOTAL NUMBER OF TREES TO BE SAVED OF SITE	4	TREES
Q. TOTAL NUMBER OF NATIVE TREES REQUIRED	Q=(K + N) x .50 5	TREES
R. TOTAL NUMBER OF NATIVE TREES PROVIDED	12	TREES
S. TOTAL NUMBER OF TREES ON PLAN PROVIDED	13	TREES

EXISTING TREES ON SITE

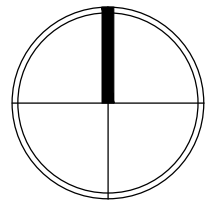
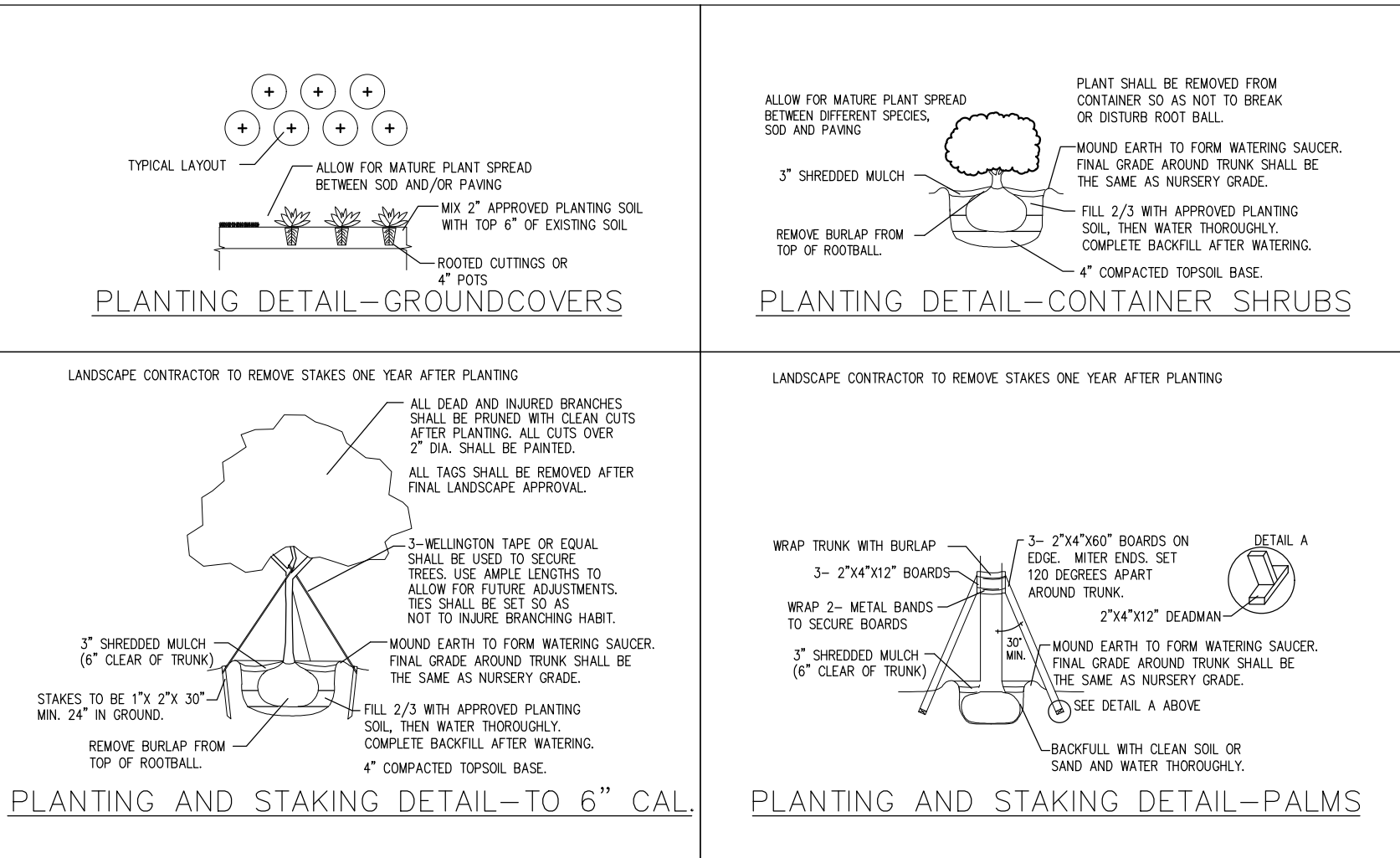
NAME	TO REMAIN QTY.
LIVE OAK	1
GUMBO LIMBO	2
PAUROTIS PALM	1

TREE KEY



IRRIGATION NOTES

Contractor to modify existing irrigation system to provide 100% coverage to all plants using approved water source. Rain sensor required as per City code.



SCALE: 1"=10'-0"

PROJECT

MARION RESIDENCE
131 N.W. 1ST AVENUE

DELRAY BEACH, FL

TITLE

LANDSCAPE PLAN

PROJ. NO.

LP-1 FILE NAME

BB DRAWN

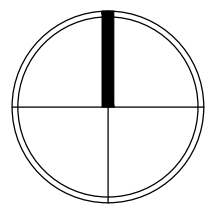
3/29/19 DATE

6/28/19 REV.

8/20/19

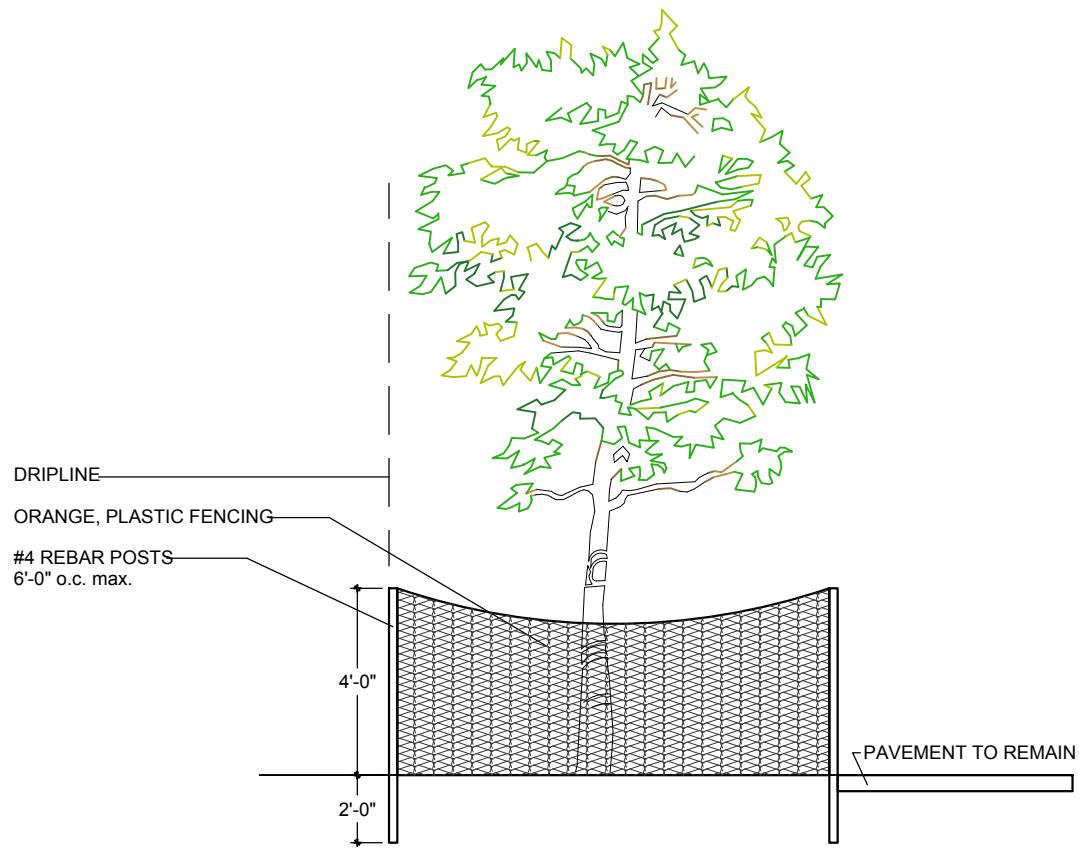
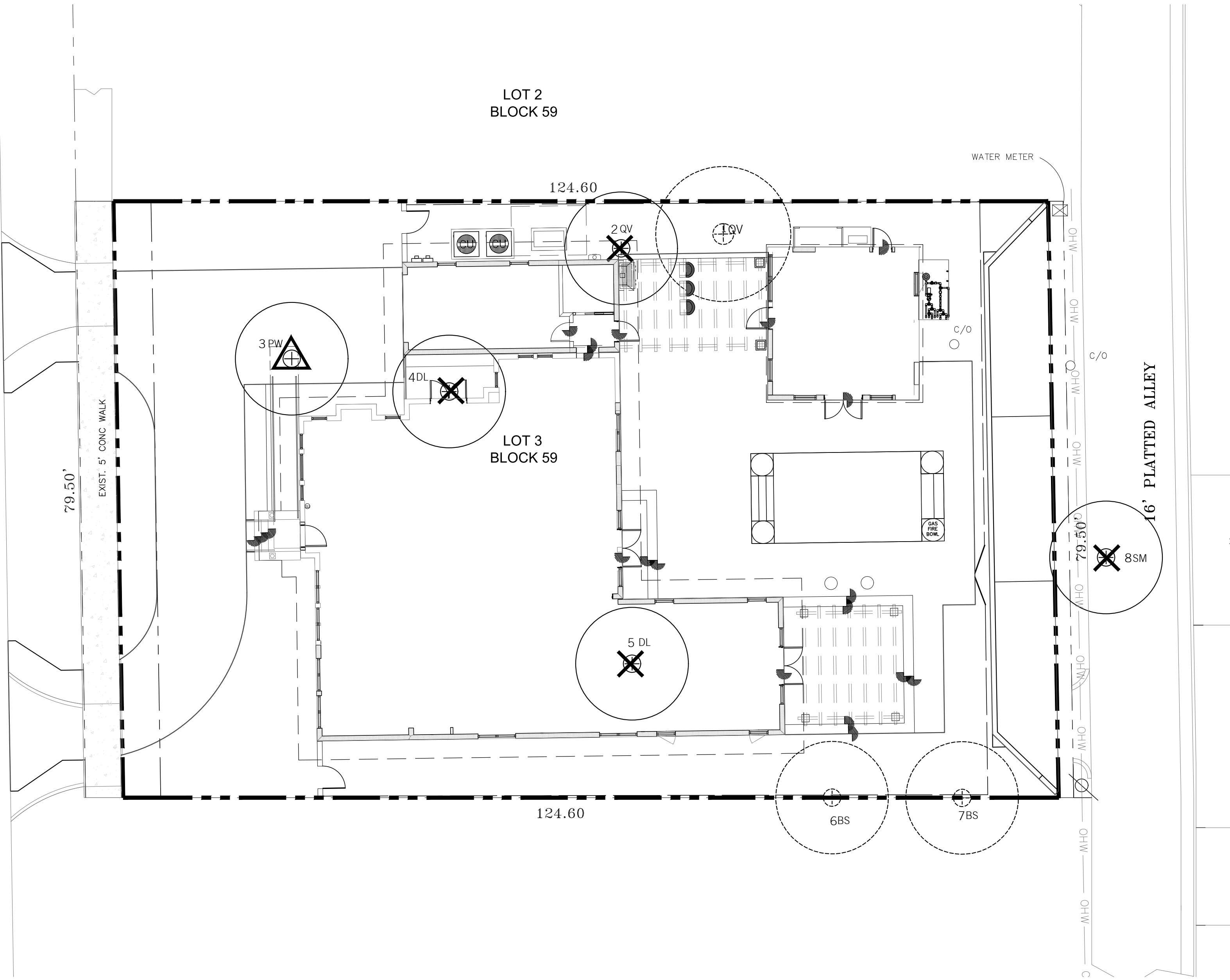
SHEET

LP-1



SCALE: 1"=10'-0"

N.W. 1st AVE.
40' RIGHT-OF-WAY



PLACE ORANGE PLASTIC FENCING (BY TENSAR OR OTHER APPROVED EQUAL) AROUND INDIVIDUAL TREES AND TREE CLUMPS TO REMAIN ON SITE IN ANY AREAS WITHIN THE LIMITS OF CONSTRUCTION. BARRIER SHALL BE PLACED AT THE EDGE OF THE DRIPLINE OF THE TREE CANOPY OR AS FAR FROM THE TREE AS POSSIBLE WHERE THE CANOPY OVERHANGS PAVEMENT THAT IS TO REMAIN. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.


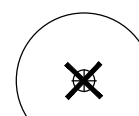
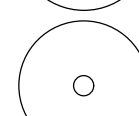
TREE PROTECTION DETAIL

N.T.S.

TREE PROTECTION NOTE

All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.

TREE LEGEND

-  EXISTING TREE TO BE RELOCATED
-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO REMAIN IN PLACE

TREE RELOCATION AND PROTECTION NOTES

- All trees to be relocated to be tagged in field with orange tree tape
- Trees to be relocated will be coordinated by contractor with City of Delray Beach to be relocated to city property.
- Five (5) Live Oak and three (3) Foxtail Palm to be tagged and relocated off site.
- If possible all relocations to be done by 90° tree spade. If relocation by tree spade is not feasible, then hand digging will be required
- Tree relocation to be coordinated with general contractor on site to determine scheduling
- Identify all underground utilities prior to tree relocation
- All watering of relocated trees on city property to be handled by others
- All existing trees and shrubs to remain in place shall be protected from damage by machinery by installing temporary tree protection fence and installed as indicated on plan. Suitable tree protection methods shall be approved by the City.
- Trees over four inches in caliper that are to be relocated will be root pruned at least eight weeks in advance of their moving date.

TREE MITIGATION SUMMARY

NO.	KEY	LATIN NAME	COMMON NAME	HT. AND SPR.	CONDITION	PROPOSED ACTION	DBH
1	QV	QUERCUS VIRGINIANA	LIVE OAK	30' ht., 25' spr.	34%	REMAIN	19"
2	QV	QUERCUS VIRGINIANA	LIVE OAK	30' ht., 20' spr.	47%	REMOVE- Girdling roots, limited root space for this species, no central leader	12"
3	PW	ACOELORRHAPHE WRIGHTII	PAUROTIS PALM	15' ht., 8' spr.	60%	RELOCATE	n/a
4	DL	DIPSIS LUTESCENS	ARECA PALM	6' ht., 4' spr.	25%	REMOVE- Too small to be tree	n/a
5	DL	DIPSIS LUTESCENS	ARECA PALM	18' ht., 15' spr.	50%	REMOVE- Nutrient deficiencies	n/a
6	BS	BUSERA SIMARUBA	GUMBO LIMBO	14' ht., 12' spr.	50%	REMAIN	10"
7	BS	BUSERA SIMARUBA	GUMBO LIMBO	12' ht., 10' spr.	50%	REMAIN	8"
8	SM	SWIETENIA MAHOGANI	MAHOGANY	22' ht., 20' spr.	25%	REMOVE- Storm damage, limited root space for this species, no central leader	12"

* SEE SHEET LP-1 FOR TREE RELOCATIONS

MITIGATION REQUIRED 12"

PROJECT

MARION RESIDENCE
131 N.W. 1ST AVENUE

DELRAY BEACH, FL

TITLE

TREE REMOVAL PLAN

PROJ. NO.

LP-1 FILE NAME

BB DRAWN

1/15/19 DATE

1/29/19 REV.

6/28/19

8/20/19

SHEET

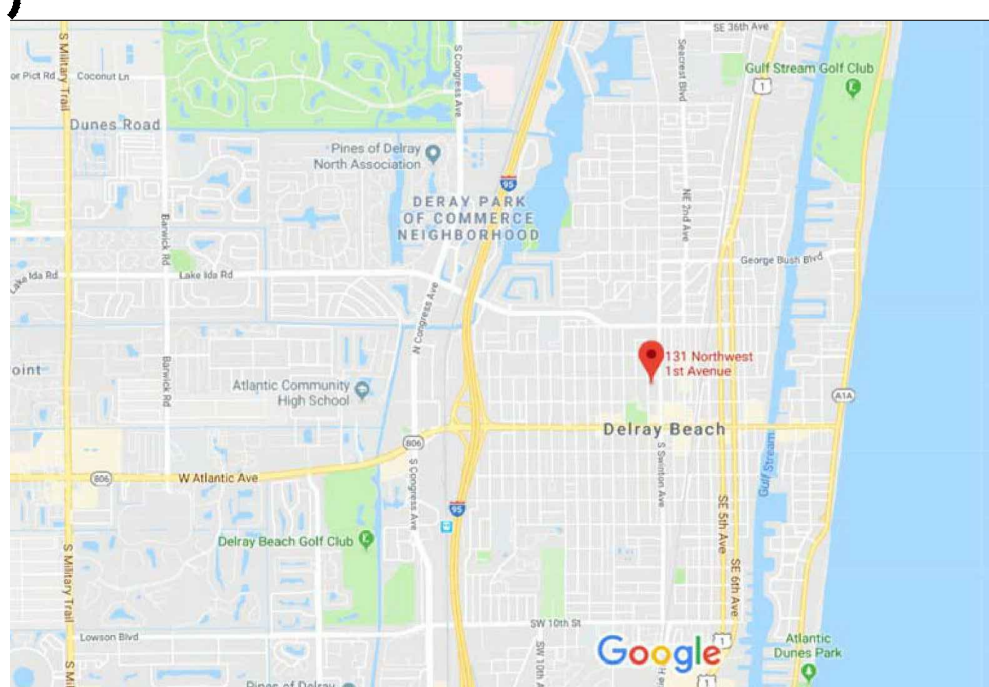
TR-1

PARKING INFORMATION				
	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE
SINGLE FAMILY DETACHED RESIDENCE	2/DWELLING UNIT	1 D.U.	2 SPACES	2 SPACES (in garage on car lift)
BUSINESS AND PROFESSIONAL OFFICE	1/400 S.F. NET AREA	1,030 S.F.	2.57 SPACES	3 SPACES
MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)				
	WEEKDAY		WEEKEND	
USE	12am - 6am	9am - 4pm	6pm - 12am	9am - 4pm 6pm - 12am
RESIDENTIAL (2 REQ'D)	(100%) - 2.0	(60%) - 1.2	(90%) - 1.8	(80%) - 1.6 (90%) - 1.8
OFFICE (3 REQ'D)	(5%) - 0.15	(100%) - 3.0	(10%) - 0.3	(10%) - 0.3 (5%) - 0.15
TOTAL	2.15	4.2	2.1	1.9 1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM) 7 (TOTAL)

ZONING (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)			
	REQUIRED	EXISTING	PROPOSED
LOT SIZE	N/A	10,462 S.F.	9,905.7 S.F.
BUILDING SQUARE FOOTAGE (A/C)	N/A	1,787 S.F.	2,865 S.F.
BUILDING SQUARE FOOTAGE (TOTAL)	N/A	1,974 S.F.	3,749 S.F.
OPEN SPACE (non-vehicular)	25% = 2,615.5 SF OF EXISTING 25% = 2,476.3 SF OF PROPOSED	45% = 5,677 S.F.	27.9% = 2,763 SF.
FRONT SETBACK	25 FEET MIN.	25'-3"	26'-0" ADDITION (25'-0" existing house)
SIDE SETBACK	7 FEET 6 INCH MIN.	VARIES (6'-1" MIN)	7'-6" ADDITION
REAR SETBACK	10 FEET MIN.	VARIES (19'-3" MIN)	36'-4" ADDITION
STRUCTURE HEIGHT (HOUSE)	35 FEET MAX.	19'-0" GRADE TO MID-POINT	19'-0" GRADE TO MID-POINT
STRUCTURE HEIGHT (GUEST HOUSE)	35 FEET MAX.	11'-4"	11'-4"
COMMERCIAL (OFFICE)	N/A	N/A	1,385 S.F.
RESIDENTIAL	N/A	N/A	1,337 S.F.
			TOTAL AREA: 2,722 S.F.

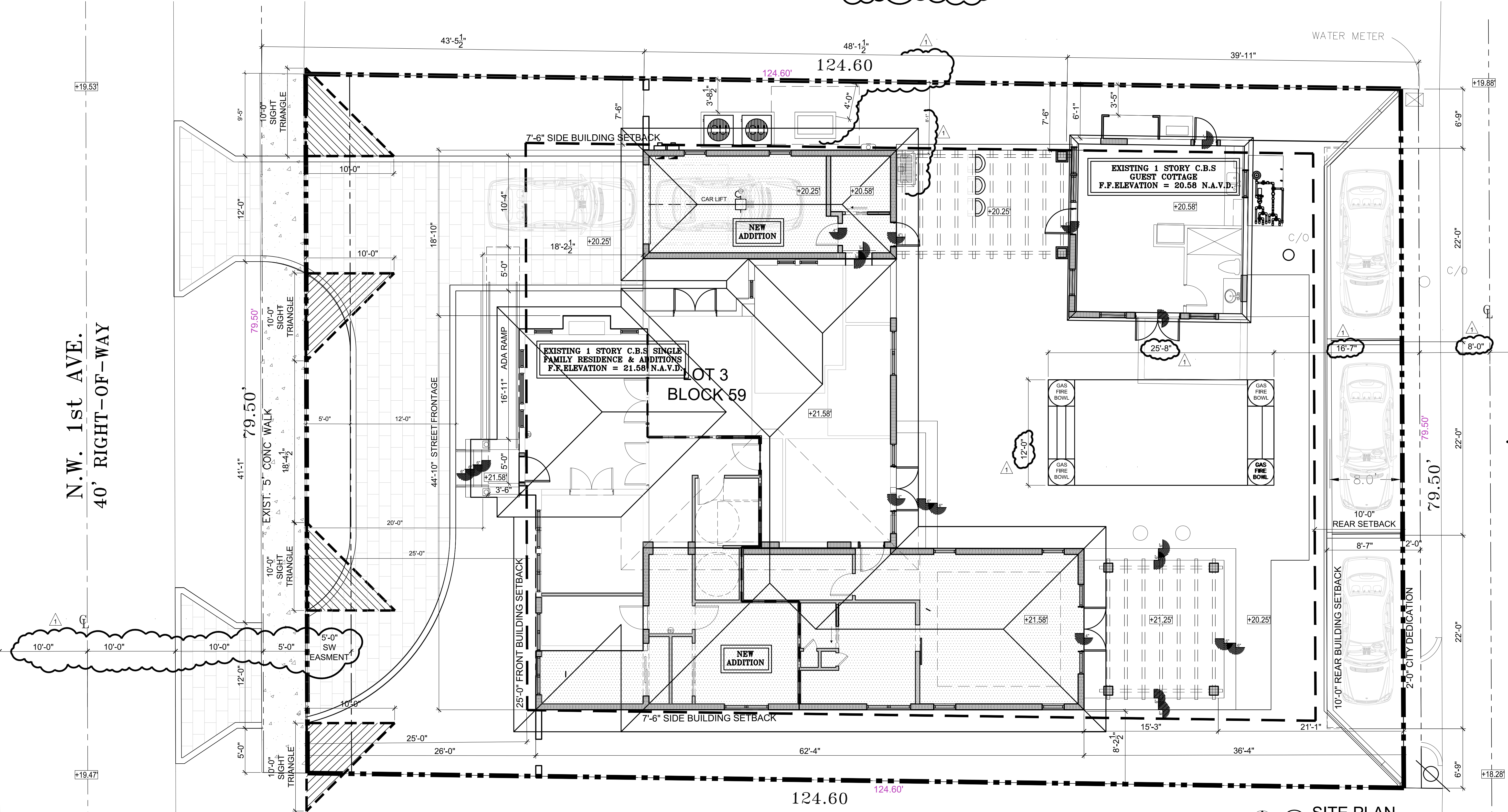
EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
TOTAL AREA	1787 SF
AREA CALCULATION	
COV. ENTRY EXISTING	27 SF
EXISTING-STORAGE	91 SF
OPEN PORCH EXISTING	69 SF
TOTAL AREA	187 SF
TOTAL EXISTING AREA	1,974 SF
EXISTING OPEN SPACE CALCULATIONS	
EXST. LOT AREA	10462 SF
EXST. IMPERVIOUS	4785 SF
EXST. OPEN SPACE	5677 SF

NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
A/C-ADDITION-MASTER	91 SF
A/C-ADDITION-UTILITY	91 SF
TOTAL AREA AC	2865 SF
AREA CALCULATION	
COMMERCIAL - GARAGE	355 SF
COV. ENTRY EXISTING	27 SF
OPEN PORCH EXISTING	69 SF
TRELLIS @ MASTER	195 SF
TRELLIS @ OUTDOOR BAR	238 SF
TOTAL AREA NON AC	884 SF
TOTAL AREA W/ ADDITION	3749 SF



COMMERCIAL / RESIDENTIAL AREA CALCULATION	
COMMERCIAL	1030 SF
COMMERCIAL - GARAGE	355 SF
RESIDENTIAL	1337 SF
TOTAL AREA	2722 SF

Florida Fire Prevention code 6th Edition - Florida Specific NFPA 1 Fire code, 2015 Edition and Florida Specific NFPA 101 Life Safety Code, 2015 Edition.



1 VICINITY MAP
N.T.S.

1 SITE PLAN
3/16"=1'-0"

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
TAC COMMENTS	FMP	08.20.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

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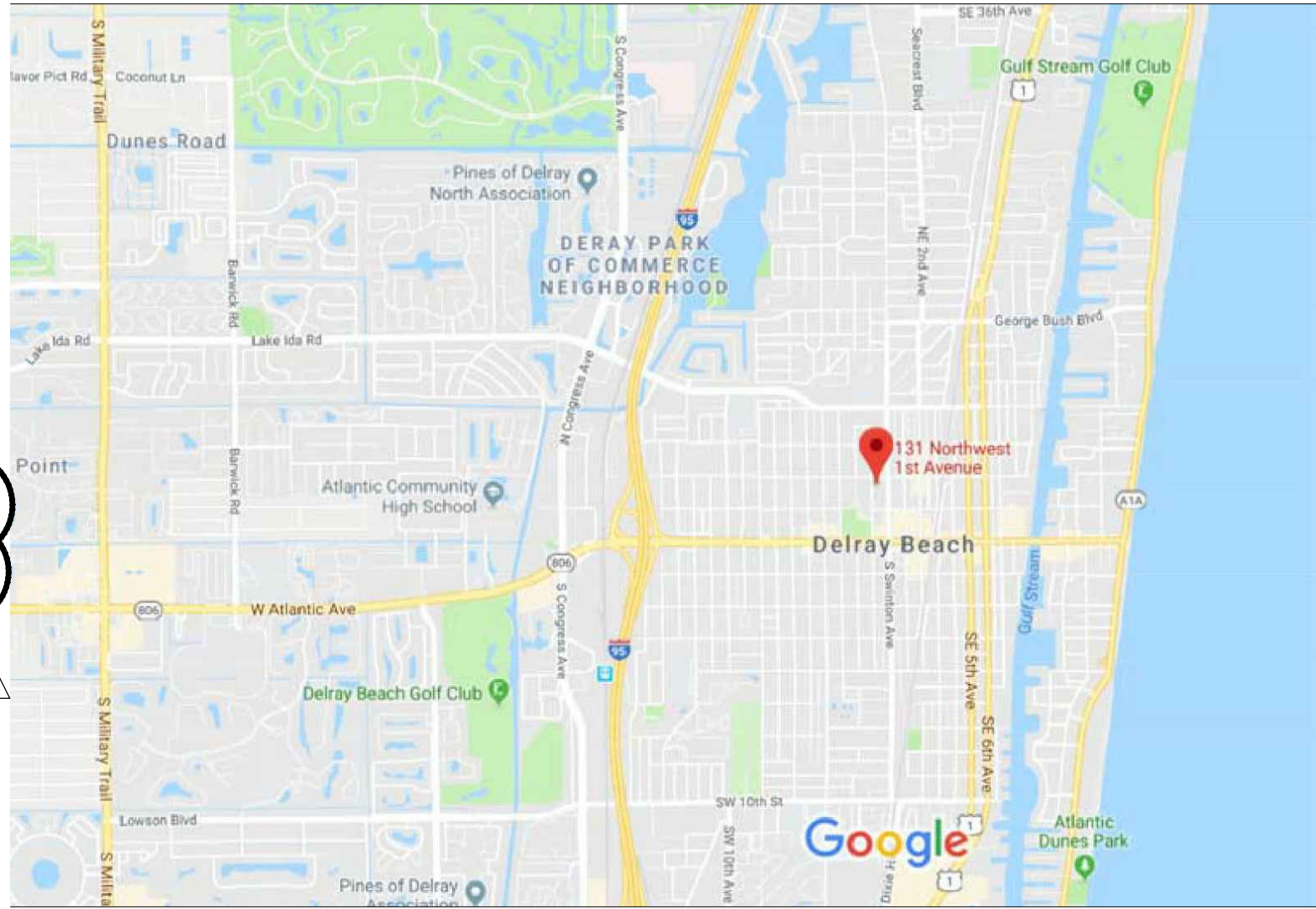
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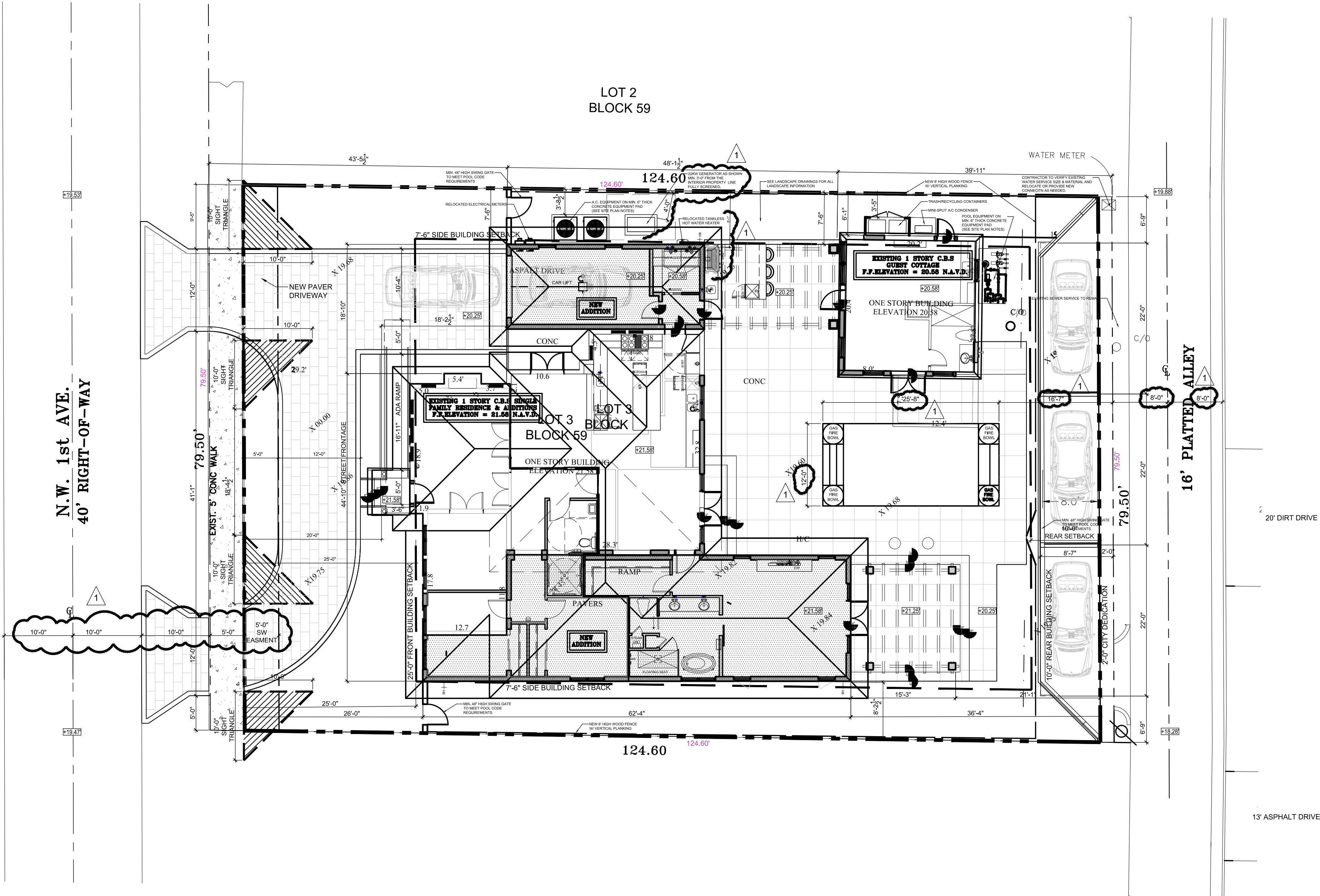
A101

PARKING INFORMATION					
	REQUIRED	UNIT	CALCULATION	ROUNDED TO NEAREST SPACE	
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BUSINESS AND PROFESSIONAL OFFICE	1/400 S.F. NET AREA	1,030 S.F.	2.57 SPACES	3 SPACES	
MULTIPLE USE CALCULATION PER Sec. 4.6.9 (C)(1)(f) & (C)(8) - (FOR 1 DWELLING UNIT)					
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USE	12am - 6am	9am - 4pm	6pm - 12am	9am - 4pm	6pm - 12am
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TOTAL	2.15	4.2	2.1	1.9	1.95
TOTAL SPACES REQUIRED	4	TOTAL SPACES PROVIDED		6 (NOT TANDEM)	7 (TOTAL)

ZONING (OLD SCHOOL SQUARE HISTORIC ARTS DISTRICT)			
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			TOTAL AREA: 2,722 S.F.



VICINITY MAP
N.T.S.



SITE PLAN
1" = 10'-0"

EXISTING OPEN SPACE CALCULATIONS	
EXST. LOT AREA	10462 SF
EXST. IMPERVIOUS	4785 SF
EXST. OPEN SPACE	5677 SF

NEW OPEN SPACE CALCULATIONS	
LOT AREA	9905 SF
IMPERVIOUS	7142 SF
OPEN SPACE	2763 SF

EXISTING A/C S.F. CALCULATION AREA CALCULATION	
EXISTING-MAIN HOUSE	1375 SF
EXISTING-GUEST COTTAGE	412 SF
TOTAL AREA	1787 SF

AREA CALCULATION	
COV. ENTRY EXISTING	27 SF
EXISTING-STORAGE	91 SF
OPEN PORCH EXISTING	69 SF
TOTAL AREA	187 SF
TOTAL EXISTING AREA	1,974 SF

NEW + EXISTING A/C S.F. CALCULATION AREA CALCULATION	
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(TAC REVIEW) 06-24-19

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MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

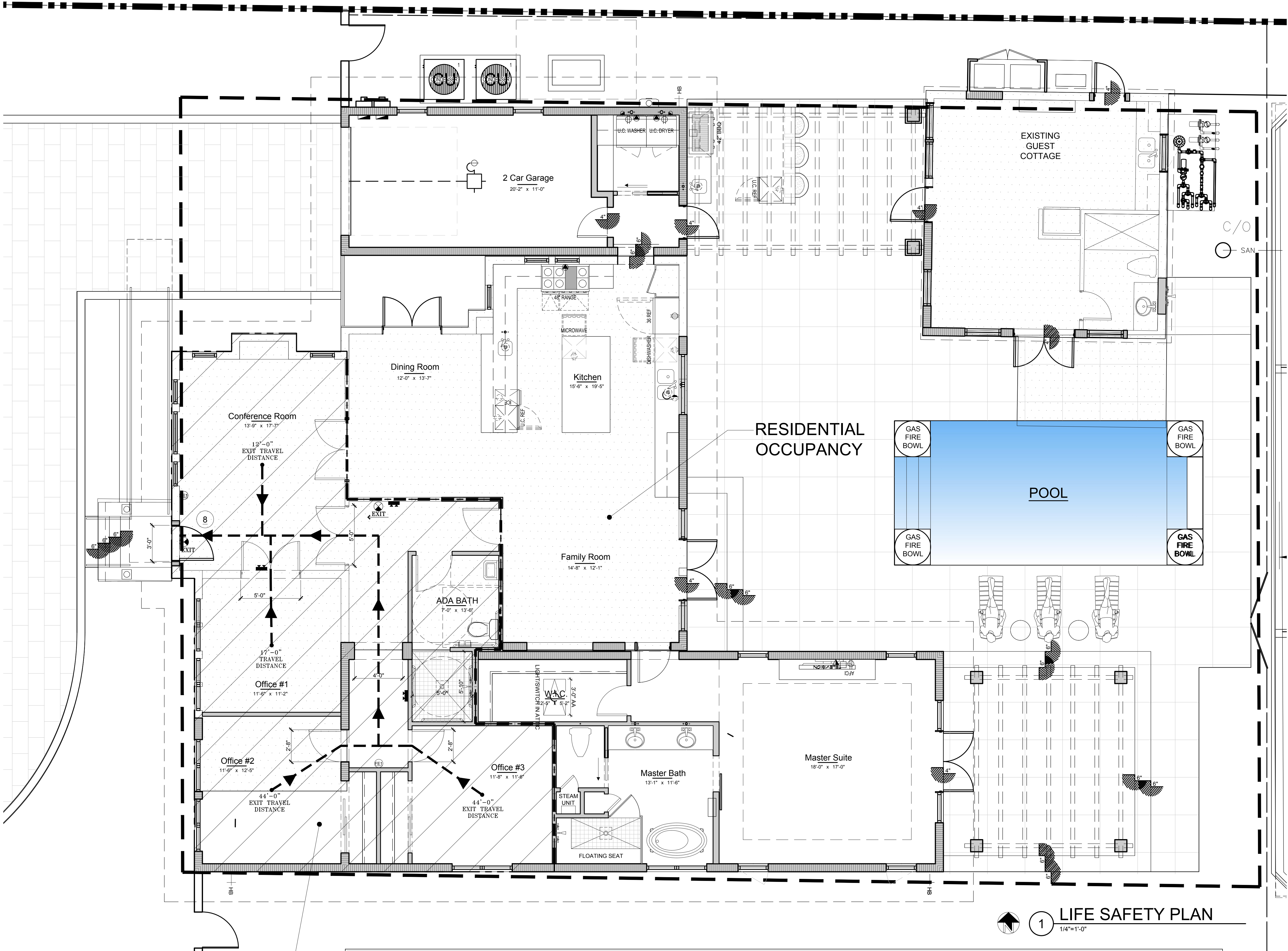
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A101a



"B" OCCUPANCY

EXIT REQUIREMENTS											
PER FBC 2017 TABLE 1006.2.1											
SPACE	OCCUPANT LOAD (SEE CALCS)	SPRINKLERED	MIN. # OF EXITS REQUIRED	# OF EXITS PROVIDED	MIN.SEPARATION OF EXITS REQUIRED	SEPARATION OF EXITS PROVIDED	MAX. TRAVEL DISTANCE	COMMON PATH OF EGRESS TRAVEL	STAIR EGRESS WIDTH (IN INCHES)	REQUIRED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)	PROVIDED EGRESS WIDTH OTHER COMPONENTS (IN INCHES)
BUSINESS	8 OCCUPANTS	YES	1	1	N/A	N/A	100'-0"	44'-0"	N/A	32"	34" CLEAR

- EGRESS DOOR NOTES:**
- ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.
 - ALL DOORS REQUIRED TO BE ACCESSIBLE TO HAVE A CLEAR OPENING WIDTH OF 32" WITH THE DOOR OPENED 90 DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR & THE OPPOSITE STOP.
 - MULTIPLE MEANS OF EGRESS SHALL BE SIZED SUCH THAT THE LOSS OF ANY ONE MEANS OF EGRESS SHALL NOT REDUCE THE AVAILABLE CAPACITY TO LESS THAN 50% OF THE REQUIRED CAPACITY.
 - MAINTAIN A MINIMUM OF 12" CLEAR SPACE ON THE PUSH SIDE & 18" CLEAR SPACE ON THE PULL SIDE OF DOORS PER 2017 FLORIDA ACCESSIBILITY CODE, CHAPTER 11.
 - ALL THRESHOLDS AT DOORS NOT TO EXCEED 1/2". RAISED THRESHOLDS & FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED W/ SLOPE NO GREATER THAN 1:2.

LIFE SAFETY PLAN LEGEND

- X

DENOTES OCCUPANCY
- NOTE: TOTAL INTERIOR BUSINESS OCCUPANCY: 8
- EXIT

EXIT SIGN, LED, SINGLE FACE, EDGE LIT, BATTERY BACK-UP, CLEAR ALUMINUM MOUNT, RED LETTERS, TO BE PLACED NO LESS THAN 60" AFF TO BOTTOM OF FIXTURE
- EMERGENCY LIGHT

THERMOPLASTIC EMERGENCY LIGHT FIXTURE WITH 90 MIN. EMERGENCY BATTERY PACK, MCPHILBEN "CAX" SERIES.
- EXIT (B)

RAISED CHARACTER & BRAILLE EXIT SIGNS: A SIGN STATING "EXIT" IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE. EXIT SIGN MUST BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR @ 60" A.F.F. TO THE CENTERLINE OF THE SIGN. BRAILLE LETTERING ALSO USED FOR VISION IMPAIRED PERSONS.
- DIRECTION OF EGRESS TRAVEL w/ ACCUMULATED OCCUPANT LOAD
- FIRE EXTINGUISHERS

ORDINARY (MODERATE) HAZARD OCCUPANCY:
MAX. 3,000 S.F. OF AREA TO BE PROTECTED
MAX. 75'-0" OF TRAVEL DISTANCE
LARSSEN'S MODEL MP5 (MULTIPURPOSE DRY CHEMICAL TYPE) 5 LBS, 15.25" Hx7.25" W, UL RATING 2A-10B-C WITH LARSSEN'S CABINET 2409-SM SURFACE MOUNTED, THE CABINET TO BE MOUNTED WITH ITS LEADING EDGE AT OR BELOW 27" FROM THE FINISHED FLOOR TO COMPLY W/ ADA WALL PROJECTION.

MARION			
Delray Beach, Florida			
'B' Occupancy			
Per FBC 2017, Chapter 3, Section 304			
Occupancy Load Calculations			
Per FBC 2017, Chapter 10, Section 1004, Table 1014.1.2			
Location	Square Footage	S.F. / Occupant Required	Max. # of Occupants
BUSINESS	736	100 gross s.f.	7
STORAGE 1	22	300 gross s.f.	0
STORAGE 2	24	300 gross s.f.	0
Total			8
Note #1: Per 2017 FBC-Building, Chapter 10, Table 1004.1.2, BUSINESS			

MARION			
Delray Beach, Florida			
BUSINESS 'B'			
Per FBC 2017, Chapter 3, Section 309			
MINIMUM PLUMBING FIXTURE CALCULATIONS			
Per FBC 2017, Plumbing, Chapter 4, Section 403, Table 403.1			
Total Occupant Load		8	
Fixtures Men & women	Required	Provided	
Water Closets	1 per 25 occupants For the first 50 and 1 per 50 for the remainder exceeding 50	0.01	1
Urinal		N/A	
Lavatories	1 per 40 for the first 80 and 1 per 80 for the remainder exceeding 80	0.01	1

Drinking Fountain	1 per 1000 occupants	1	1
Service Sink	not required - see note #1		
			SEE NOTE #2

NOTE #1 : Per section 403.2 exception #: For business and mercantile occupancies with an occupant load of 15 or fewer, service sink is not required.

NOTE #2 : WATER COOLER PROVIDED.

(TAC REVIEW) 06-24-19

REVISIONS	BY	DATE
1	TAC COMMENTS	FMP 08.20.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

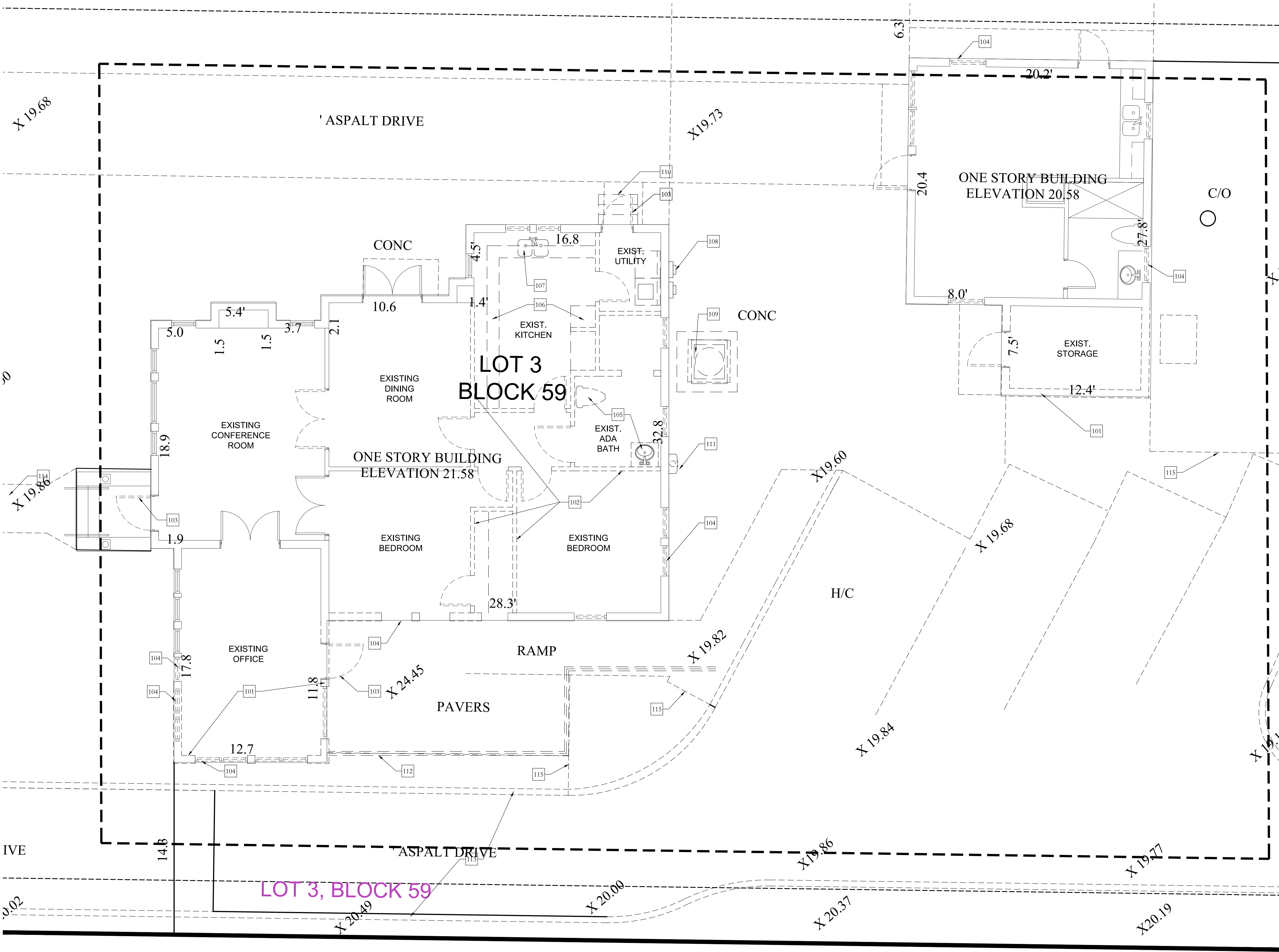
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LS



DEMOLITION PLAN KEY NOTE LEGEND		
101	EXISTING EXTERIOR WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION	
102	EXISTING INTERIOR WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION	
103	EXISTING DOOR TO BE REMOVED/RELOCATED	
104	EXISTING WINDOW TO BE REMOVED/RELOCATED	
105	EXISTING PLUMBING FIXTURE & BATHROOM ELEMENTS TO BE REMOVED (SEE PROPOSED FLOOR PLAN FOR NEW BATHROOM LAYOUT)	
106	EXISTING CABINETRY & APPLIANCES TO BE REMOVED	
107	EXISTING SINK TO BE REMOVED	
108	EXISTING ELECTRICAL METER TO BE RELOCATED	
109	EXISTING CONDENSER TO BE REMOVED/RELOCATED	
110	EXISTING STEPS TO BE REMOVED	
111	EXISTING TANKLESS WATER HEATER TO BE REMOVED/RELOCATED	
112	EXISTING RAMP RAILING SYSTEM TO BE REMOVED	
113	EXISTING DRIVEWAY PARKING TO BE REMOVED	
114	EXISTING SIDEWALK TO BE REMOVED	
115	EXISTING FENCE TO BE REMOVED	

- DEMOLITION GENERAL NOTES
1. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC, LIABILITY, & WORKER'S COMPENSATION INSURANCE AND MUST PROVIDE ALL VALID CERTIFICATIONS OF ALL TO THE OWNER.
 2. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO ANY DEMOLITION & NEW CONSTRUCTION.
 3. THE GENERAL CONTRACTOR IS TO NOTIFY ENGINEER AND/OR ARCHITECT OF ANY DISCREPANCIES FOUND ON CONSTRUCTION DOCUMENTS OR IN THE FIELD.
 4. ALL AREAS TO BE PATCHED AND/OR REPAIRED IN PREPARATION FOR NEW CONSTRUCTION AND/OR FINISHES AS INDICATED WITHIN THIS PERMIT SET, OR AS REQUIRED BY OWNER SHALL MATCH ALL EXISTING OR AS INDICATED BY OWNER.
 5. DEMOLITION OF ANY MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS SHALL INCLUDE REMOVAL OF ASSOCIATED DUCTWORK, PIPES, CONDUITS, WIRING, AND OTHER RELATED COMPONENTS.
 6. INTERRUPTION OF ANY UTILITY SERVICE SHALL BE COORDINATED WITH FPL, AND APPROVED BY THE OWNER PRIOR TO INTERRUPTION.
 7. UTILITY SERVICES TO BE ABANDONED SHALL BE CAPPED OFF AS DIRECTED BY LOCAL OFFICIALS AND OWNER.
 8. THE GENERAL CONTRACTOR IS TO PROVIDE A REFUSE DUMPSTER AT ALL TIMES.
 9. THE GENERAL CONTRACTOR IS TO ENSURE ADEQUATE PROTECTION AGAINST WATER INTRUSION IS PROVIDED FOR ANY OPEN AREAS EXPOSED DUE TO DEMOLITION AND CONSTRUCTION.
 10. THE GENERAL CONTRACTOR IS TO ENSURE SIGNS ARE PROVIDED IN CONSPICUOUS LOCATIONS & CONSTRUCTION BARRIERS IN PLACE FOR PUBLIC SAFETY.

(TAC REVIEW) 06-24-19

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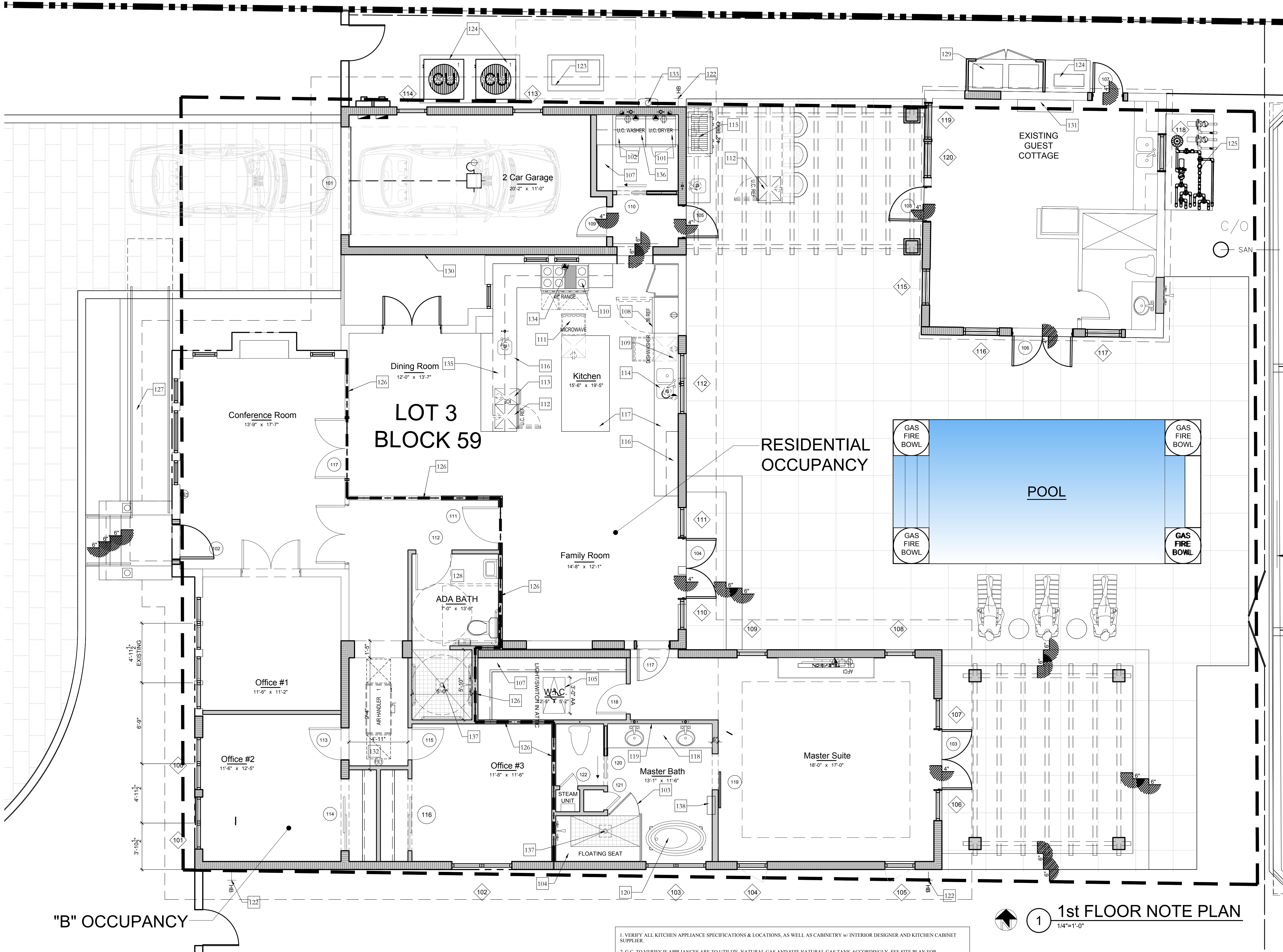
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DEMOLITION PLAN
1/4"=1'-0"

A200



1. VERIFY ALL KITCHEN APPLIANCE SPECIFICATIONS & LOCATIONS, AS WELL AS CABINETS w/ INTERIOR DESIGNER AND KITCHEN CABINET SUPPLIER.
2. G.C. TO VERIFY IF APPLIANCES ARE TO UTILIZE NATURAL GAS AND SIZE NATURAL GAS TANK ACCORDINGLY. SEE SITE PLAN FOR NATURAL GAS TANK LOCATION. MAINTAIN MIN. CLEARANCES FROM BUILDING & PROPERTY LINES PER MANUFACTURERS SPECIFICATIONS.
3. ALL WINDOW GLASS TO BE CLEAR.
4. OWNER WILL SUPPLY ALL KITCHEN APPLIANCES, RANGE HOOD, AND FIXTURES FOR THE G.C. TO INSTALL.
5. OWNER WILL SUPPLY PULL DOWN IRONING BOARD - G.C. TO INSTALL.
6. ALL SHOWERS TO HAVE RECESS SHELVING FOR TOILETRIES.
7. OWNER WILL SUPPLY BATHROOM TOILETS, CABINETS, AND FIXTURES - G.C. TO INSTALL.
8. OWNER WILL SUPPLY STEAM EQUIPMENT - G.C. TO INSTALL.
9. G.C. TO COORDINATE WITH OWNER REGARDING ALL TILE WORK.
10. OWNER WILL SUPPLY ALL INTERIOR HEATING / AC GRATE COVERS - G.C. TO INSTALL.
11. ALL INTERIOR DOORS TO BE SOLID CORE. OWNER WILL SUPPLY ALL GLASS DOOR KNOBS.
12. OWNER WILL SUPPLY BARN DOORS AND HARDWARE - G.C. TO INSTALL.
13. OWNER WILL SUPPLY ALL LIGHT SWITCH PLATE COVERS - G.C. TO INSTALL.
14. G.C. TO COORDINATE ALL MAIN HOUSE FLOORING MATERIAL WITH OWNER.

1 1/4"=1'-0"

1ST FLOOR INT. DOOR SCHEDULE					
MARK	SIZE		TYPE	FIRE RATING	NOTES
	WIDTH	HEIGHT			
109	2'-6"	8'-0"	INTERIOR	---	20 MIN. W/Self-Closer
110	2'-6"	8'-0"	INTERIOR-POCKET	---	---
111	3'-0"	8'-0"	INTERIOR	---	1 HR
112	3'-0"	8'-0"	INTERIOR	---	BARN DOOR
113	2'-6"	8'-0"	INTERIOR	---	---
114	6'-0"	8'-0"	INTERIOR-SLIDER	---	---
115	2'-6"	8'-0"	INTERIOR	---	---
116	2'-6"	8'-0"	INTERIOR-SLIDER	---	---
117	2'-6"	8'-0"	INTERIOR	---	---
118	2'-6"	8'-0"	INTERIOR	---	---
119	3'-0"	8'-0"	INTERIOR-POCKET	---	BARN DOOR
120	2'-6"	8'-0"	INTERIOR-POCKET	---	---
121	1'-6"	8'-0"	INTERIOR	---	---
122	1'-6"	8'-0"	INTERIOR	---	---

1ST FLOOR EXT. DOOR SCHEDULE					
MARK	SIZE		TYPE	FIRE RATING	NOTES
	WIDTH	HEIGHT			
101	9'-0"	9'-0"	GHD	---	---
102	3'-0"	2'-6"	ENTRY	---	---
103	3'-0"	8'-0"	FRENCH-DBL	---	---
104	5'-0"	8'-0"	FRENCH-DBL	---	W/2' TRANSOM
105	2'-6"	8'-0"	FRENCH	---	---
106	3'-0"	8'-0"	FRENCH-DBL	---	---
107	2'-6"	8'-0"	FRENCH	---	---
108	3'-0"	8'-0"	FRENCH	---	---

NOTE: ALL WINDOW GLASS TO BE CLEAR

1ST FLOOR WINDOW SCHEDULE					
MARK	SIZE		HEAD HT.	TYPE	NOTES
	WIDTH	HEIGHT			
100	4'-4"	3'-4"	6'-2"	CASEMENT-DOUBLE	EXISTING, RELOCATED MATCH EXISTING HEAD HEIGHT
101	4'-4"	3'-4"	6'-2"	CASEMENT-DOUBLE	MATCH EXISTING HEAD HEIGHT
102	5'-0"	5'-0"	8'-0"	CASEMENT-DOUBLE	W/2' TRANSOM
103	5'-0"	5'-0"	8'-0"	CASEMENT-DOUBLE	W/2' TRANSOM
104	2'-6"	8'-0"	8'-0"	CASEMENT	W/2' TRANSOM
105	2'-6"	5'-0"	8'-0"	CASEMENT	W/2' TRANSOM
106	2'-6"	8'-0"	8'-0"	STATIONARY	W/2' TRANSOM
107	2'-6"	8'-0"	8'-0"	STATIONARY	W/2' TRANSOM
108	2'-6"	5'-0"	8'-0"	STATIONARY	W/2' TRANSOM
109	2'-6"	8'-0"	8'-0"	STATIONARY	W/2' TRANSOM
110	2'-6"	8'-0"	8'-0"	STATIONARY	W/2' TRANSOM
111	2'-6"	8'-0"	8'-0"	STATIONARY	W/2' TRANSOM
112	2'-6"	8'-0"	8'-0"	CASEMENT-DOUBLE	---
113	2'-6"	8'-0"	8'-0"	STATIONARY	---
114	2'-6"	8'-0"	8'-0"	STATIONARY	---
115	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT - INSTALL PER NOAS
116	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT - INSTALL PER NOAS
117	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT - INSTALL PER NOAS
118	3'-0"	2'-6"	6'-0"	CASEMENT	NEW IMPACT - INSTALL PER NOAS
119	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT - INSTALL PER NOAS
120	3'-0"	3'-4"	6'-0"	DOUBLE-HUNG	NEW IMPACT - INSTALL PER NOAS

FLOOR PLAN KEY NOTE LEGEND		
101	OWNER SELECTED & BUILDER INSTALLED ELECTRIC FULL SIZE CLOTHES DRYER.	
102	OWNER SELECTED & BUILDER INSTALLED ELECTRIC FULL SIZE CLOTHES WASHER.	
103	FRAMELESS TEMPERED GLASS ENCLOSURE & SWING DOOR.	
104	15" DEEP x 18" HIGH SHOWER SEAT. FINISH PER I.D. DRAWINGS.	
105	22" x 36" ATTIC ACCESS HATCH. VERIFY EXACT LOCATION w/ FINAL TRUSS PLACEMENT SEE DETAIL ON DETAIL SHEET.	
106	22" x 54" ATTIC ACCESS w/ PULL DOWN STAIRS. GARAGE ONLY. VERIFY EXACT LOCATION w/ FINAL TRUSS PLACEMENT SEE DETAIL ON DETAIL SHEET.	
107	BUILT-IN CLOSET SHELVING. SEE I.D. DWG'S.	
108	36" REFRIGERATOR / FREEZER COMBO. SEE NOTE #1 BELOW.	
109	UNDER COUNTER DISHWASHER. SEE NOTE #1 BELOW.	
110	48" NATURAL GAS RANGE w/ S.S. EXHAUST HOOD ABOVE. ROUTE EXHAUST DUCT PIPE THROUGH ROOF.	
111	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER MICROWAVE. W/ WARM DRAWER BELOW. SEE NOTE #1 BELOW.	
112	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER REFRIGERATOR. SEE NOTE #1 BELOW.	
113	OWNER SELECTED & BUILDER INSTALLED UNDERCOUNTER ICE MAKER. SEE NOTE #1 BELOW.	
114	UNDER MOUNT, SINGLE BOWL KITCHEN SINK w/ GARBAGE DISPOSAL & COUNTERTOP MOUNT SWITCH. VERIFY SPECS AND LOCATION OF FAUCET SET.	
115	42" NATURAL GAS BBQ w/ S.S. EXHAUST HOOD & VENTILATOR MOTOR ABOVE. VENT EXHAUST PIPE THROUGH ROOF. VERIFY SPECIFICATIONS.	
116	36" HIGH (FINISHED) PREP/ WORKSPACE COUNTERTOP w/ CABINETS ABOVE & BELOW. SEE NOTE #1 BELOW.	
117	36" HIGH (FINISHED) BUILT-IN CABINETRY w/ CABINETS BELOW. (NO UPPERS). SEE I.D. DRAWINGS FOR DETAILS.	
118	36" HIGH (FINISHED) BATHROOM VANITY w/ CABINET BELOW. SEE I.D. DRAWINGS FOR DETAILS.	
119	VANITY MIRROR. FULL VANITY WIDTH. MIN. 42" HIGH ABOVE VANITY TOP. SEE I.D. DRAWINGS FOR DETAILS.	
120	OWNER SUPPLIED 66-66" DOUBLE-SLIPPER CLAW FOOT CAST-IRON TUB - G.C. TO INSTALL.	
121	LINE OF CEILING ABOVE, SEE REFLECTED CEILING PLAN.	
122	RECESSED STAINLESS STEEL HOSE BIB BOX AND BRASS HOSE BIB. SEE MEP DRAWINGS.	
123	FUTURE GENERATOR ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD w/ GENERATOR SPECIFICATIONS. SEE STRUCTURAL DWG'S FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOD ELEVATION. SEE SITE PLAN.	
124	A.C. COMPRESSOR ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD w/ A.C. COMPRESSOR SPECIFICATIONS. SEE STRUCTURAL DWG'S FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOD ELEVATION. SEE SITE PLAN.	
125	POOL & SPA EQUIPMENT ON MIN. 6" HIGH CONCRETE EQUIPMENT PAD. VERIFY SIZE OF PAD. SEE STRUCTURAL DWG'S FOR CONCRETE PAD DETAILS. ELEVATION TO BE ABOVE MIN. FLOOD ELEVATION. SEE SITE PLAN.	
126	FIREWALL SEPARATION BETWEEN BUSINESS & RESIDENTIAL OCCUPANCY - REFER TO SHEET LS "LIFE SAFETY PLAN"	
127	ADA RAMP - REFER TO SHEET A801	
128	ADA BATH - REFER TO SHEET A801	
129	TRASH BINS BEHIND 4" HIGH WOOD FENCE/GATE	
130	VINE FEATURE ON WALL	
131	MINI-SPLIT A/C SYSTEM	
132	A/C IN ATTIC - SEE MECH.	
133	RELOCATED TANKLESS HOT WATER HEATER	
134	POT FILLER	
135	DOUBLE SIDED GLASS UPPER CABINETS - BY OTHERS	
136	COUNTER w/ CABINETS ABOVE OVER WASHER AND DRYER	
137	OVERHEAD RAIN FALL SHOWERHEAD. WALL MOUNTED SHOWER HEAD. AND HANDHELD UNIT. G.C. TO COORDINATE LOCATION WITH OWNER	
138	CUSTOMER SUPPLIED ROBERT TOILETRY CABINET. G.C. TO INSTALL RECESSED 3" INTO WALL.	

EXISTING A/C S.F. CALCULATION		NEW + EXISTING A/C S.F. CALCULATION	
AREA CALCULATION		AREA CALCULATION	
AC-EXISTING-GUEST COTTAGE	412 SF	AC-ADDITION-MASTER	987 SF
AC-EXISTING-MAIN HOUSE	1375 SF	AC-ADDITION-UTILITY	91 SF
TOTAL AREA	1787 SF	AC-EXISTING-GUEST COTTAGE	412 SF
		AC-EXISTING-MAIN HOUSE	1375 SF
		TOTAL AREA	2865 SF
AREA CALCULATION		AREA CALCULATION	
EXISTING-STORAGE	91 SF	ADDITION - GARAGE	264 SF
TOTAL AREA	91 SF	ADDITION-COK	238 SF
		TOTAL AREA	593 SF
FIELD VERIFY ALL EXISTING DIMENSIONS AS NECESSARY FOR NEW CONSTRUCTION		TOTAL AREA	3367 SF

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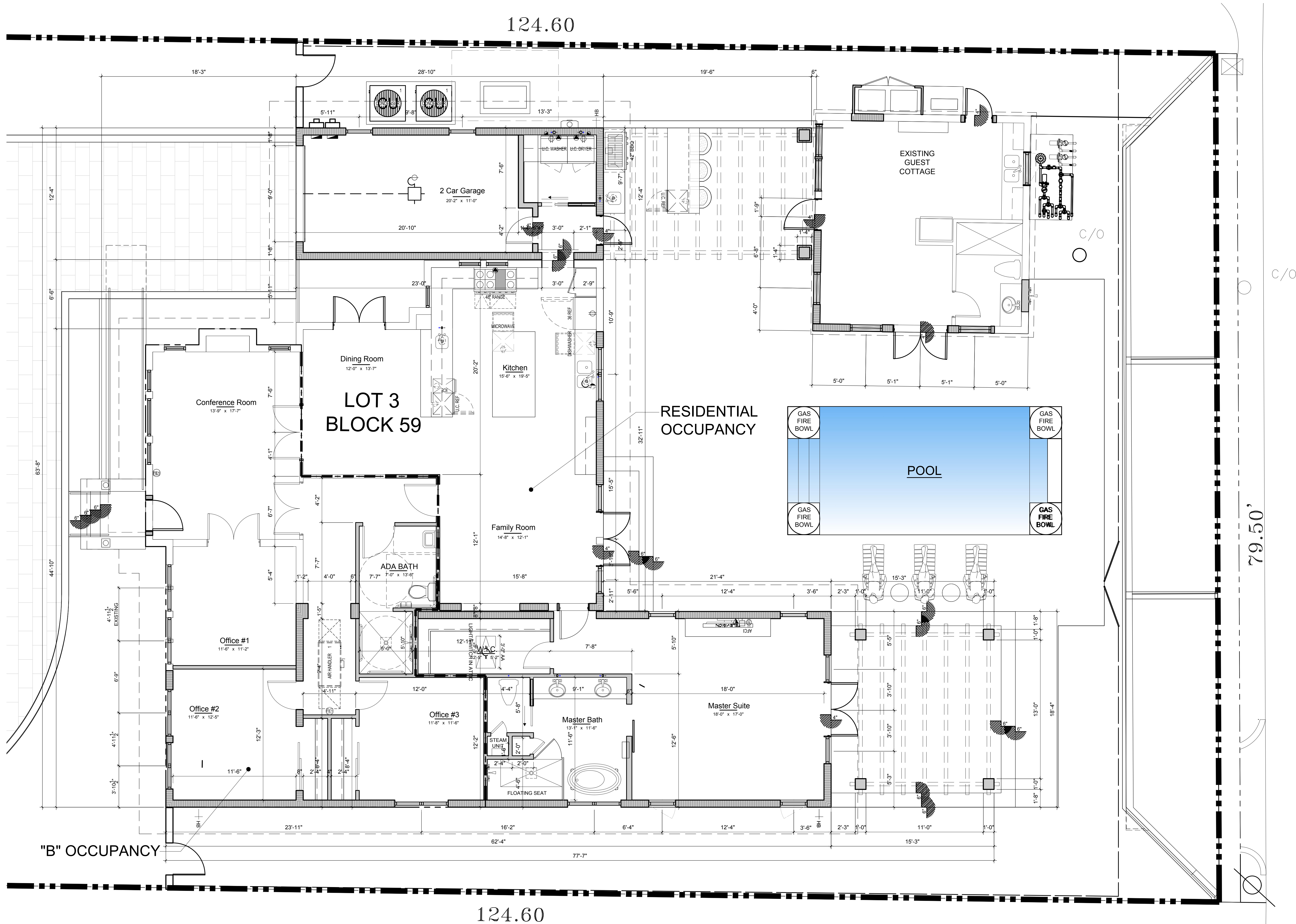
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A201



"B" OCCUPANCY

1 1st FLOOR DIM PLAN
1/4"=1'-0"

(TAC REVIEW) 06-24-19

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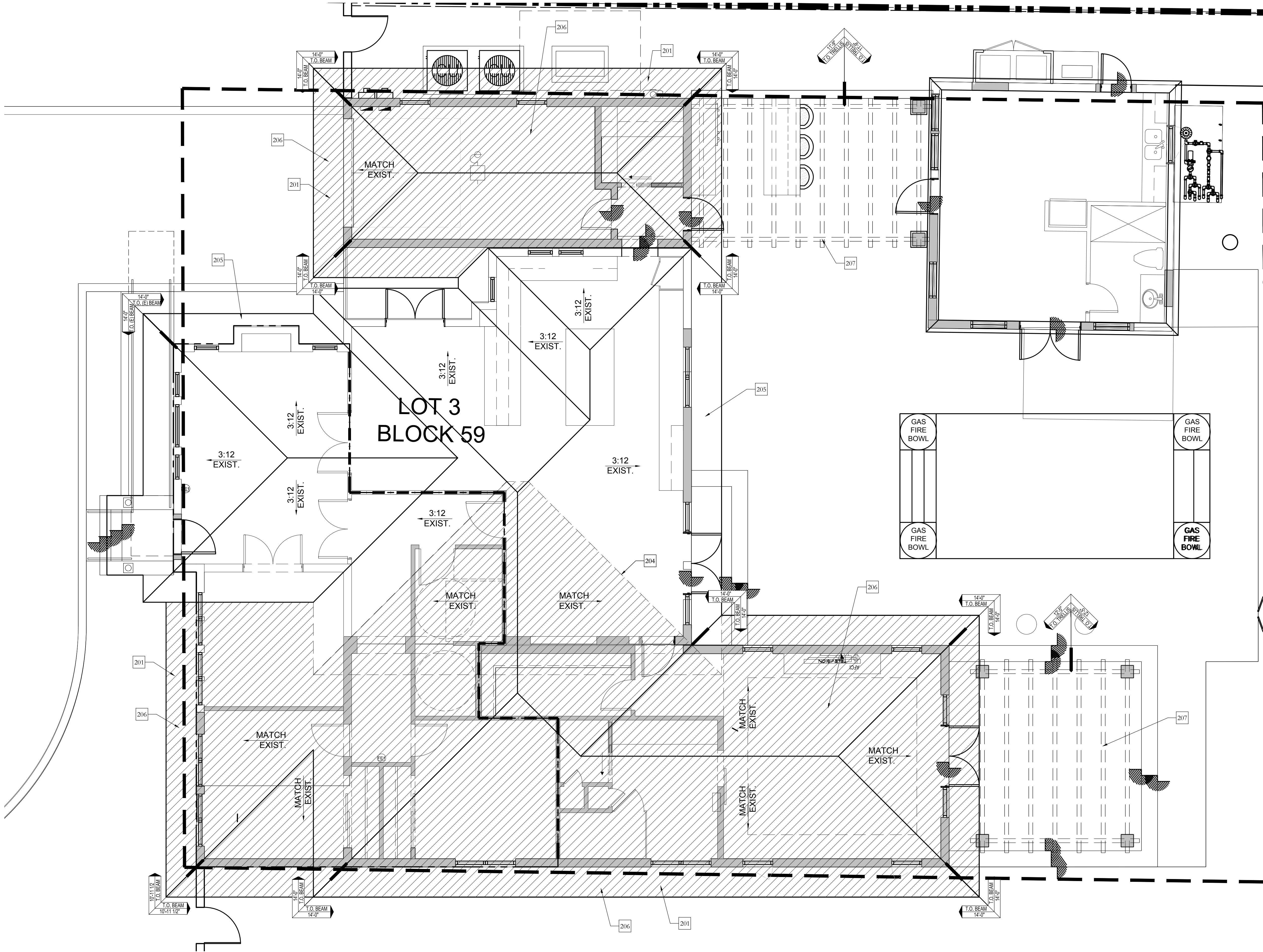
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ROOF PLAN KEY NOTE LEGEND	
201	BARREL ROOF TILE TO MATCH EXISTING OVER PRE-ENGINEERED WOOD TRUSSES. REFER TO STRUCTURAL & TRUSS DRAWINGS
202	22"x34" ATTIC ACCESS HATCH W/PULL DOWN STAIRS, COORDINATE FINAL LOCATION W/TRUSS PLACEMENT
203	22"x36" ATTIC ACCESS HATCH, COORDINATE FINAL LOCATION W/TRUSS PLACEMENT
204	LINE OF EXISTING ROOF
205	EXISTING BARREL ROOF TO BE RENOVATED/REPLACED AS REQUIRED PER NEW CONSTRUCTION. G.C. TO ENSURE THAT BARREL TILE TO BE REPLACED TO MATCH EXISTING.
206	LINE OF NEW ROOF. ROOF TO MATCH EXISTING BEAM AND FACIA HEIGHT.
207	NEW TRELLIS STRUCTURE

- TYPICAL ROOF NOTES**
- THIS ROOF PLAN IS FOR GRAPHIC INFORMATION ONLY (I.E. RIDGE LINES, TIE BEAM HEIGHTS, OVERALL DIMENSIONS, ETC.)
 - G.C. SHALL CONFIRM ALL STRUCTURAL COLUMNS AND BEAM SIZE, LOCATION AND REINFORCEMENT WITH STRUCTURAL ENGINEER'S DRAWINGS PRIOR TO CONSTRUCTION.
 - G.C. TO VERIFY POSITIVE SLOPE AT FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT ALL LANAIS, COVERED ENTRY, OUTDOOR LIVING SPACES, BALCONY'S AND GARAGE.
 - G.C. TO PROVIDE SUCRASEAL (OR EQUAL) INSULATION AT THE UNDERSIDE OF ALL ROOF SLABS INCLUDING GARAGES, LANAIS AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE 2" VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
 - REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS AND ADDITIONAL INFORMATION.
 - REFER TO THE REFLECTED CEILING PLAN FOR ALL HEIGHTS, DIMENSIONS AND CEILING DETAILS.
 - G.C. TO COORDINATE ARCHITECTURAL DRAWINGS WITH INTERIOR DESIGN DRAWINGS FOR EXACT DIMENSION AND CEILING DESIGN.
 - SEE TYPICAL WALL SECTIONS FOR TYPICAL ROOF CONSTRUCTION

ROOF SPECIFICATIONS

FLAT ROOF DECK:
ALL FLAT ROOF DECKS ARE TO HAVE BITUMEN ROOFING MEMBRANE.
(45 MIL. MIN.) THE INSULATION SHALL PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS WITH A MIN. 1/8" PER FOOT SLOPE. ROOFING MEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH A 20 YEAR WARRANTY.

REFER TO STRUCTURAL
FOR ALL BEAM SIZES

REFER TO MEP SHEETS
FOR EXACT ROOF DRAIN
& DOWNSPOUT LOCATION

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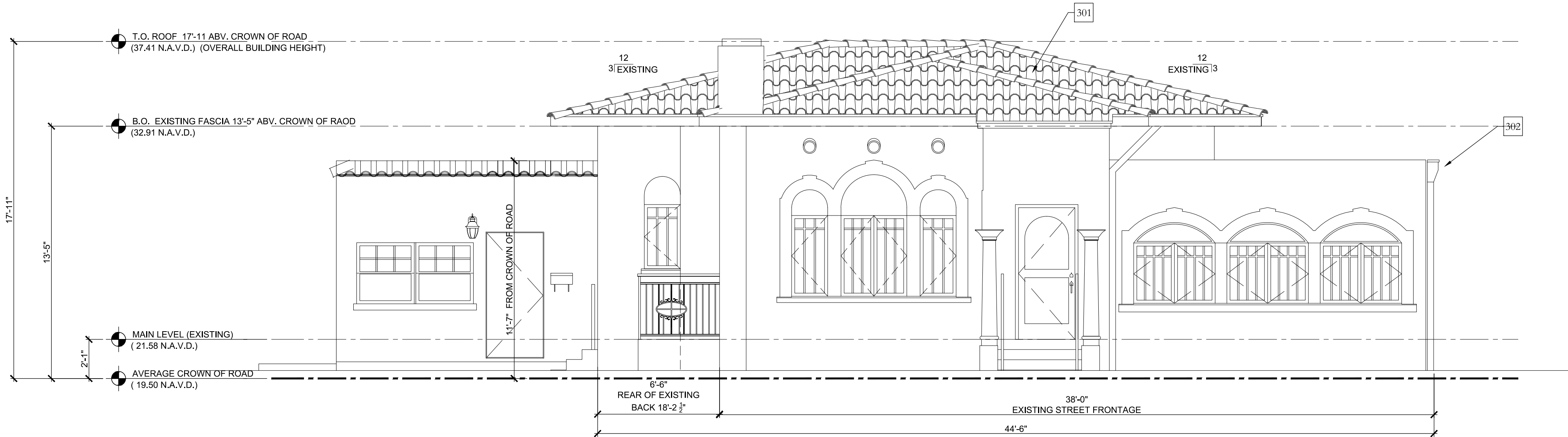
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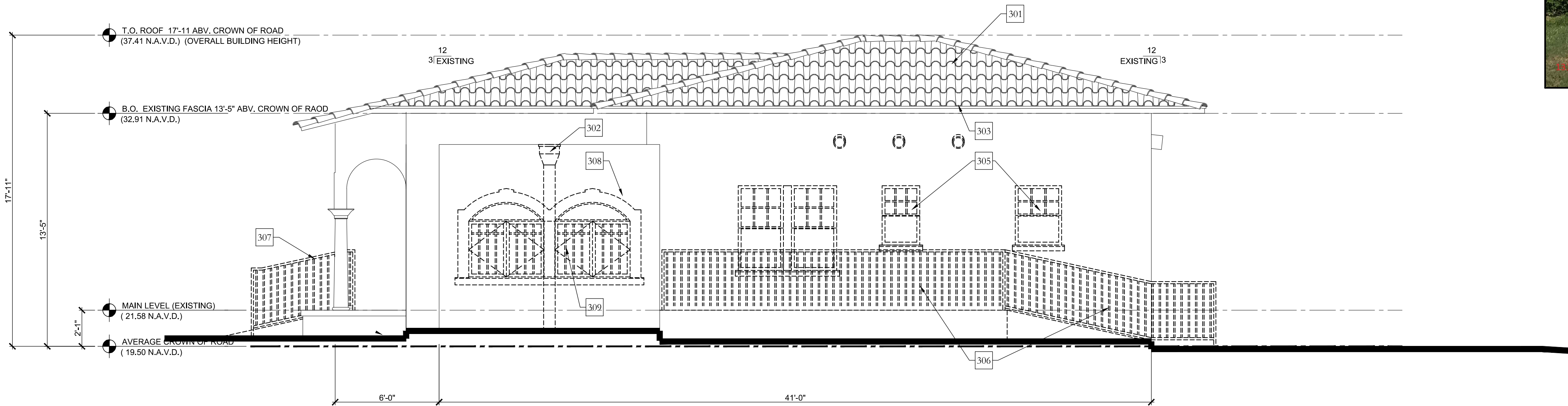


EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION . NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPROUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

1 EXISTING FRONT ELEVATION (WEST)
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



EXISTING RESIDENCE

2 EXISTING SIDE ELEVATION (SOUTH)
1/4"=1'-0"

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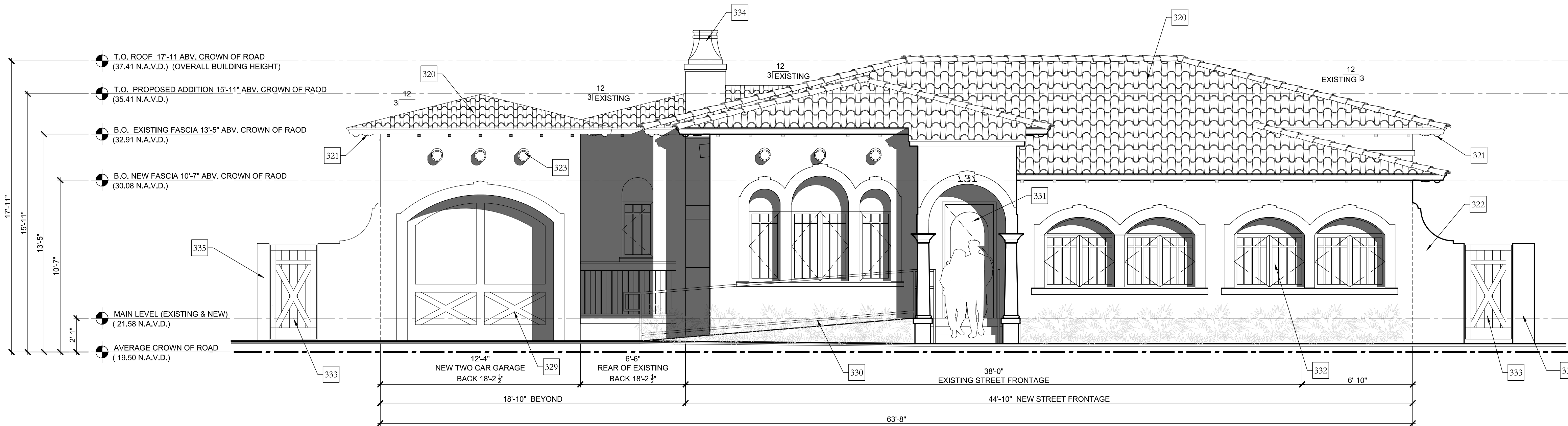
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A301e



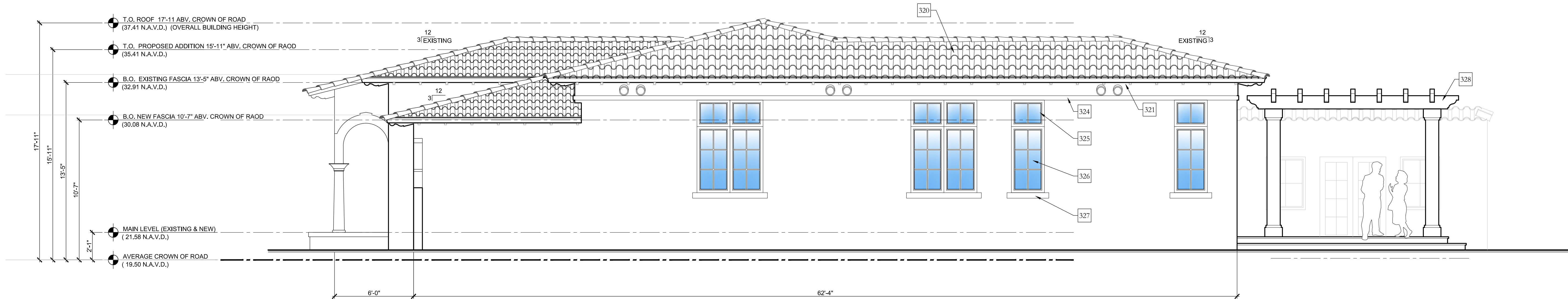
1 FRONT ELEVATION (WEST)
1/4"=1'-0"



BARREL TILE TO MATCH EXISTING



EXISTING RESIDENCE



2 SIDE ELEVATION (SOUTH)
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
320	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
321	WOOD RAFTER TAILS TO MATCH EXISTING
322	STUCCO FINISH SYSTEM TO MATCH EXISTING
323	DECORATIVE BARRIER TILE SCUPPERS TO MATCH EXISTING
324	RAISED STUCCO BAND
325	CANVAS AWNING
326	NEW IMPACT WINDOWS/DOOR - SEE WINDOW/DOOR SCHEDULE - GLASS TO BE CLEAR
327	RAISED STUCCO SILL
328	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)
329	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801
331	NEW IN-SWING ENTRY DOOR
332	RELOCATED IMPACT WINDOW
333	NEW WOOD GATE
334	NEW CHIMNEY CAP
335	NEW 6" HIGH PRIVACY WALL
336	NEW POOL - BY OTHERS
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD
339	TRASH BINS BEHIND 4" HIGH WOOD COMPOSITE FENCE/GATE

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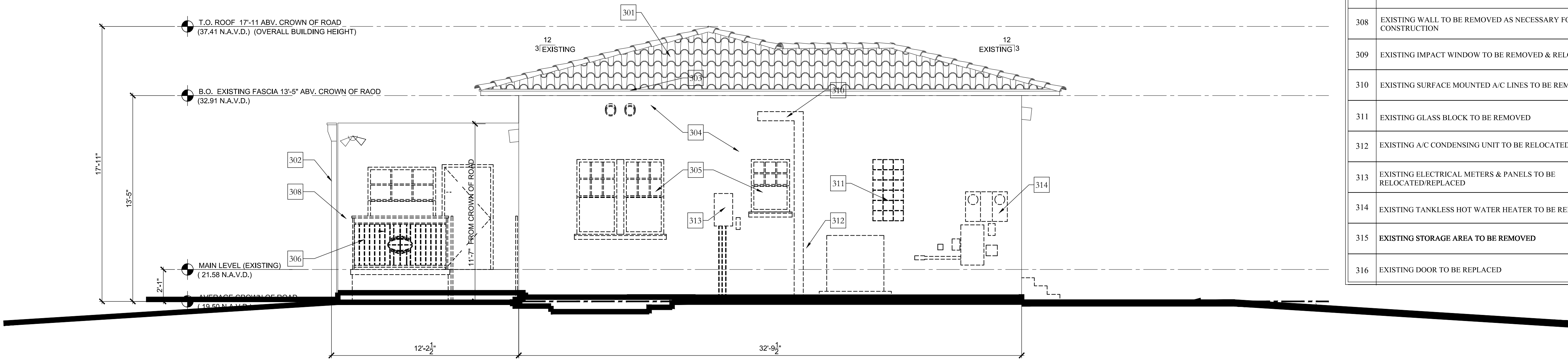
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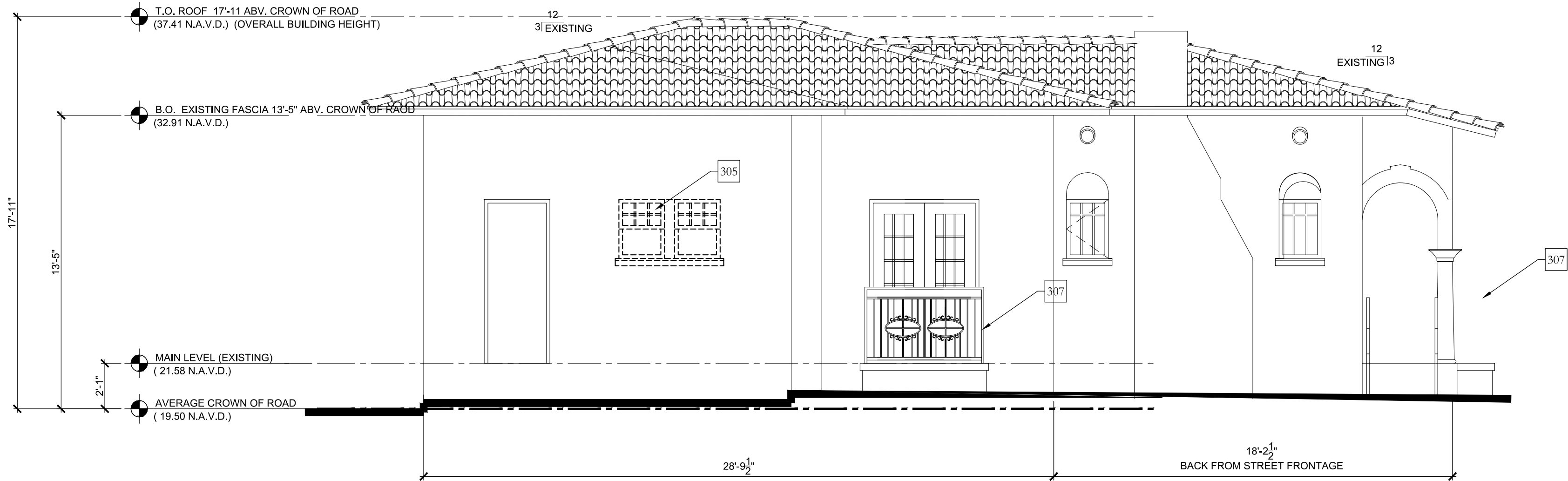
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A301



3 EXISTING REAR ELEVATION (EAST)
1/4"=1'-0"



4 EXISTING SIDE ELEVATION (NORTH)
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION . NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPROUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

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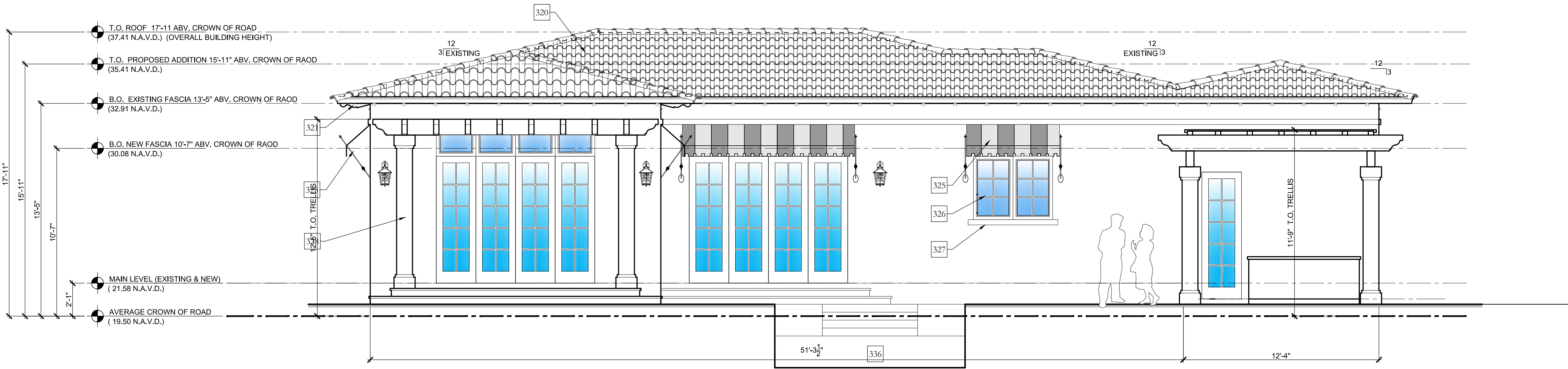
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Job No. 1805063

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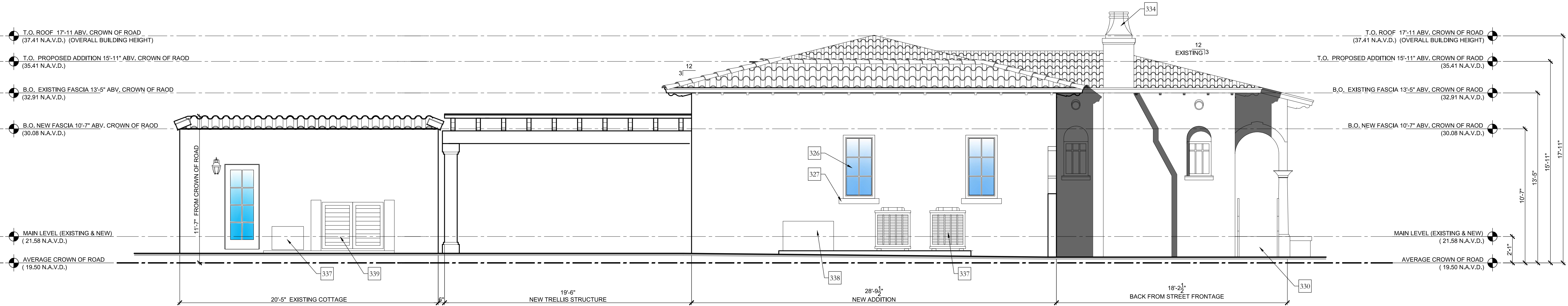
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A302e



3 REAR ELEVATION (EAST)
1/4"=1'-0"

EXTERIOR ELEVATION KEY NOTE LEGEND	
320	NEW BARREL TILE OVER PRE-ENGINEERED WOOD TRUSSES TO MATCH EXISTING
321	WOOD RAFTER TAILS TO MATCH EXISTING
322	STUCCO FINISH SYSTEM TO MATCH EXISTING
323	DECORATIVE BARRIER TILE SCUPPERS TO MATCH EXISTING
324	RAISED STUCCO BAND
325	CANVAS AWNING
326	NEW IMPACT WINDOWS/DOOR - SEE WINDOW/DOOR SCHEDULE -GLASS TO BE CLEAR.
327	RAISED STUCCO SILL
328	NEW WOOD TRELLIS (SEE STRUCTURAL DRAWINGS)
329	IMPACT RATED GARAGE DOOR (SEE DOOR SCHEDULE)
330	NEW ADA RAMP & RAILING - REFER TO HANDICAP ACCESSIBLE DETAILS ON SHEET A801
331	NEW IN-SWING ENTRY DOOR
332	RELOCATED IMPACT WINDOW
333	NEW WOOD GATE
334	NEW CHIMNEY CAP
335	NEW 6" HIGH PRIVACY WALL
336	NEW POOL - BY OTHERS
337	A/C CONDENSER ON MIN. 6" THICK CONCRETE PAD
338	GENERATOR ON MIN. 6" THICK CONCRETE PAD
339	TRASH BINS BEHIND 4' HIGH WOOD/COMPOSITE FENCE/GATE



4 SIDE ELEVATION (NORTH)
1/4"=1'-0"

(TAC REVIEW) 06-24-19

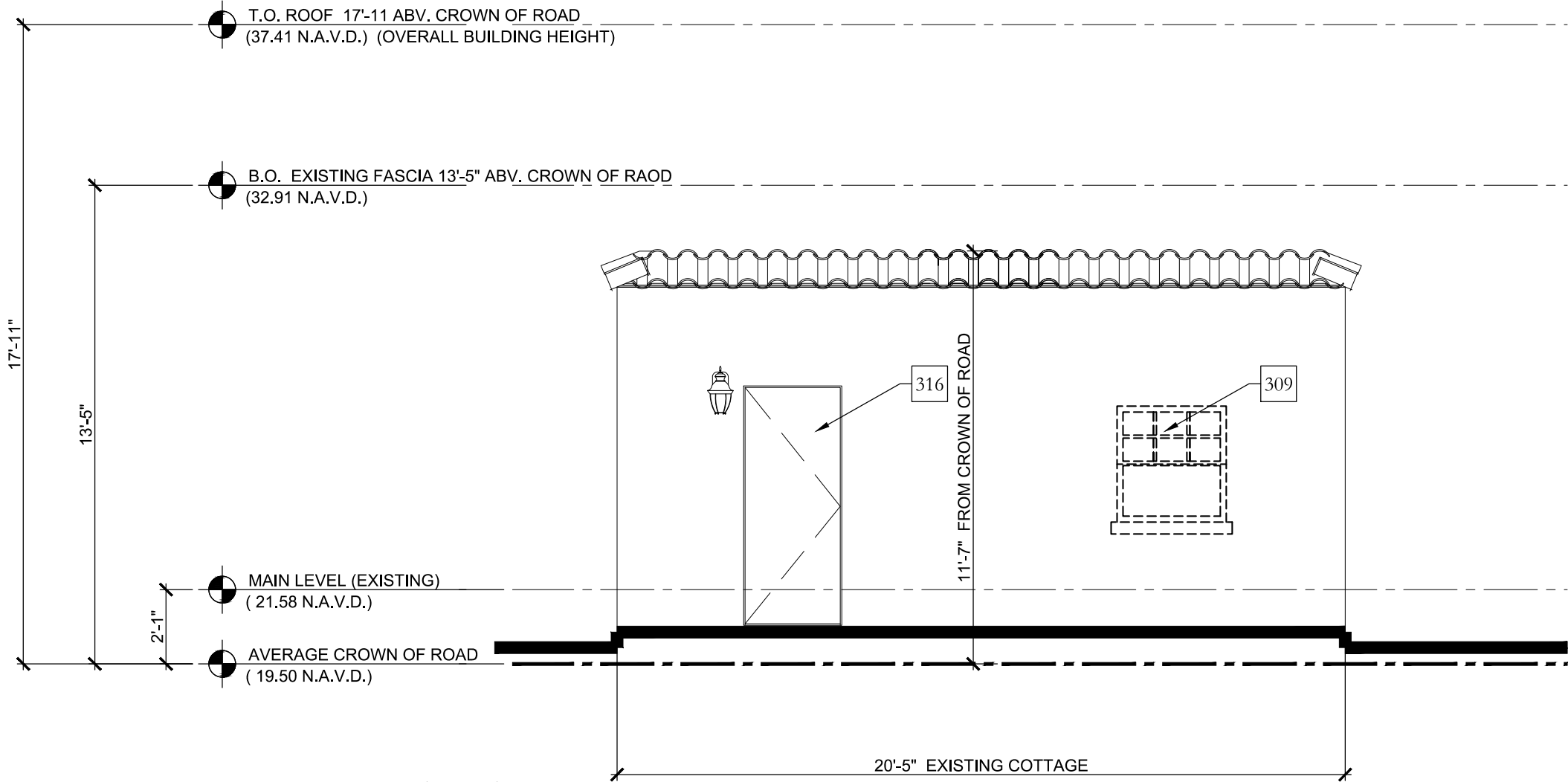
REVISIONS	BY	DATE
△ TAC COMMENTS	FMP	08.20.19

MARION RESIDENCE
131 NW 1ST AVENUE
DELRAY BEACH, FLORIDA

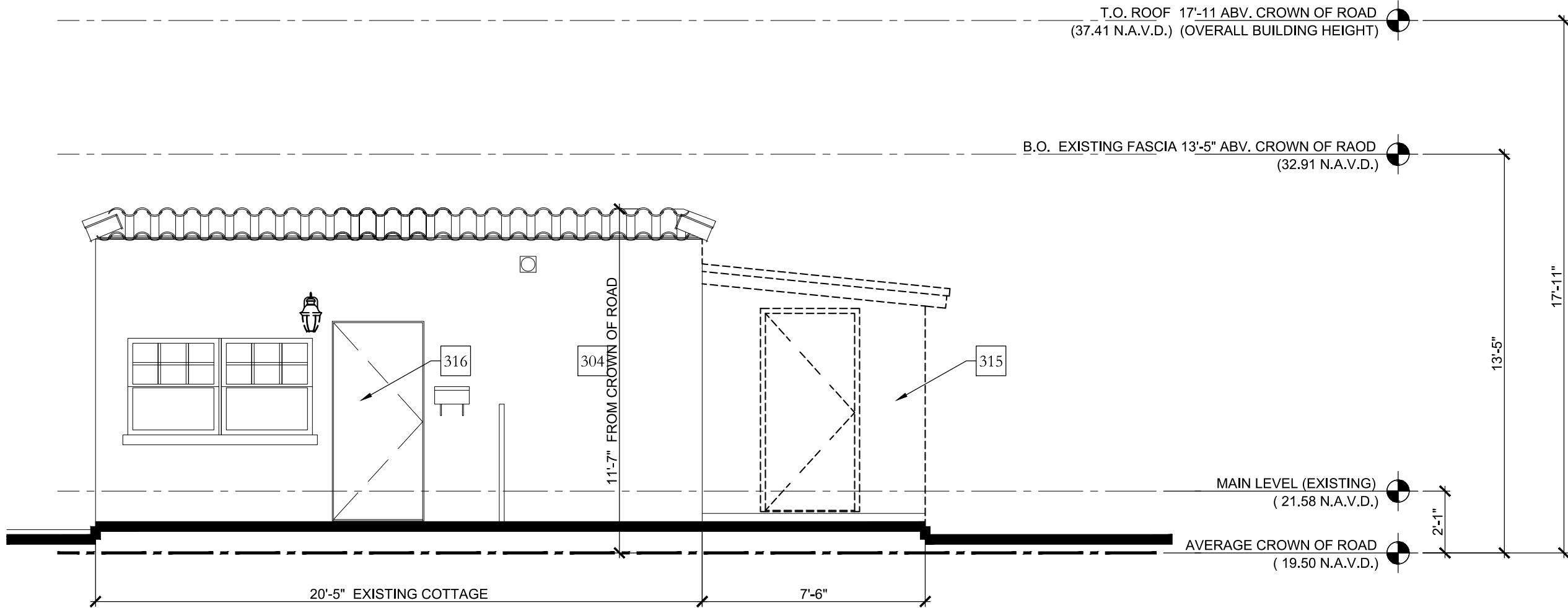
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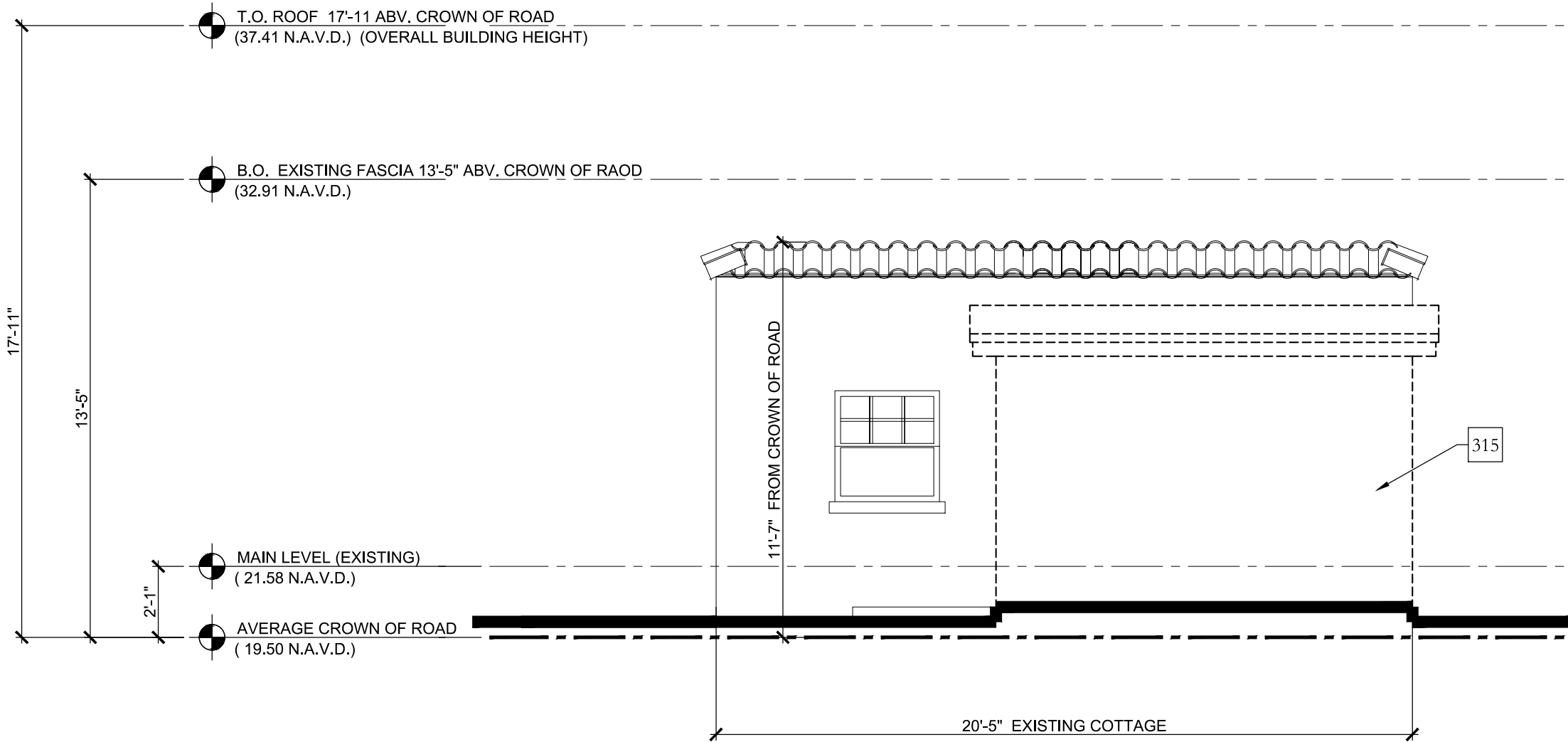
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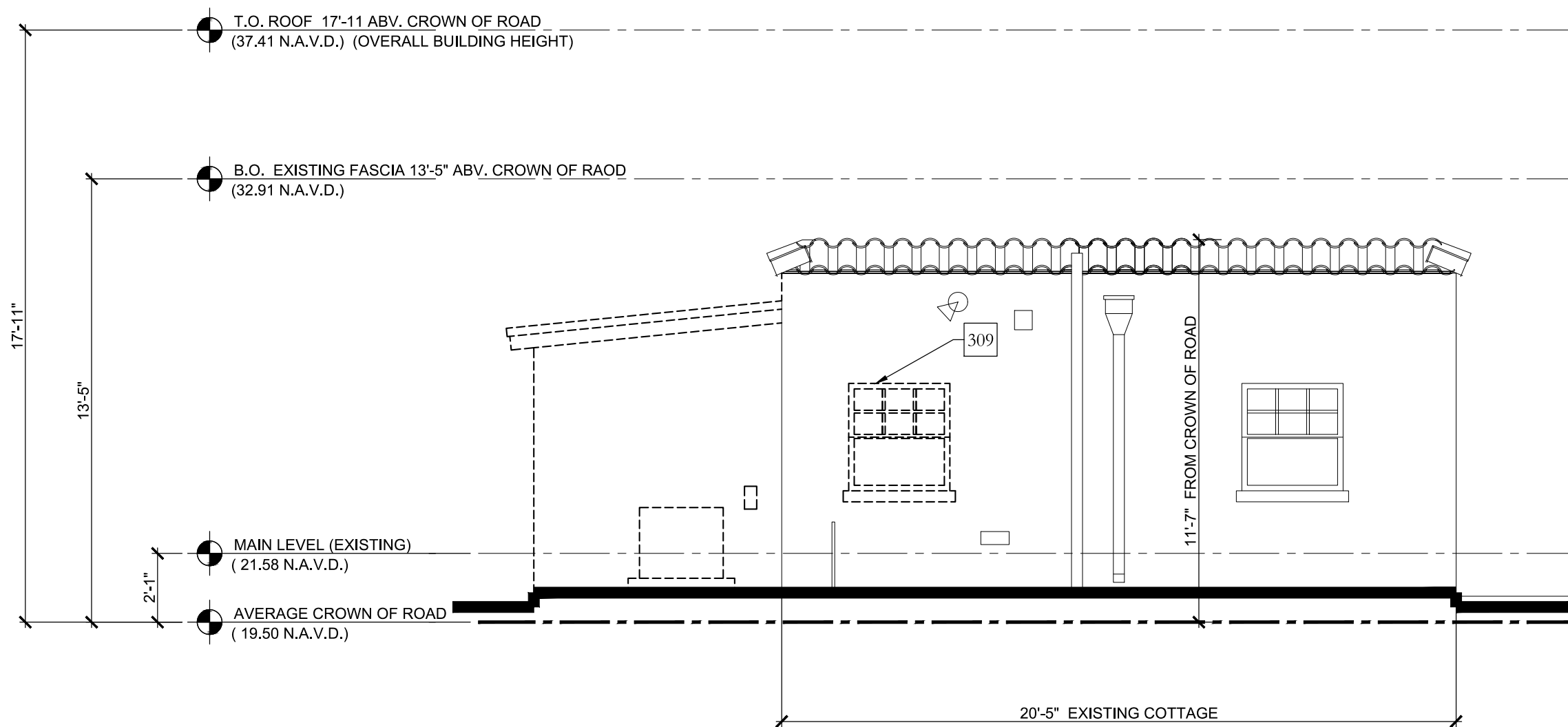
5 GUEST HOUSE - NORTH ELEVATION (EXISTING)
1/4"=1'-0"



6 GUEST HOUSE - WEST ELEVATION (EXISTING)
1/4"=1'-0"



7 GUEST HOUSE - SOUTH ELEVATION (EXISTING)
1/4"=1'-0"



8 GUEST HOUSE - EAST ELEVATION (EXISTING)
1/4"=1'-0"

EXISTING EXTERIOR ELEVATION KEYNOTE LEGEND	
301	EXISTING BARREL TILE ROOF TO BE REMOVED AND REPLACED AS NECESSARY PER NEW CONSTRUCTION . NEW TILE TO MATCH EXISTING
302	EXISTING DOWNSPROUT TO BE REMOVED
303	EXISTING CLAY BARREL SUPPLIES TO BE REMOVED/RELOCATED
304	EXISTING STUCCO FINISH SYSTEM TO REMAIN
305	EXISTING NON-IMPACT SINGLE HUNG
306	EXISTING RAMP & RAILING SYSTEM TO BE REMOVED
307	EXISTING RAILING TO BE REMOVED
308	EXISTING WALL TO BE REMOVED AS NECESSARY FOR NEW CONSTRUCTION
309	EXISTING IMPACT WINDOW TO BE REMOVED & RELOCATED
310	EXISTING SURFACE MOUNTED A/C LINES TO BE REMOVED
311	EXISTING GLASS BLOCK TO BE REMOVED
312	EXISTING A/C CONDENSING UNIT TO BE RELOCATED
313	EXISTING ELECTRICAL METERS & PANELS TO BE RELOCATED/REPLACED
314	EXISTING TANKLESS HOT WATER HEATER TO BE RELOCATED
315	EXISTING STORAGE AREA TO BE REMOVED
316	EXISTING DOOR TO BE REPLACED

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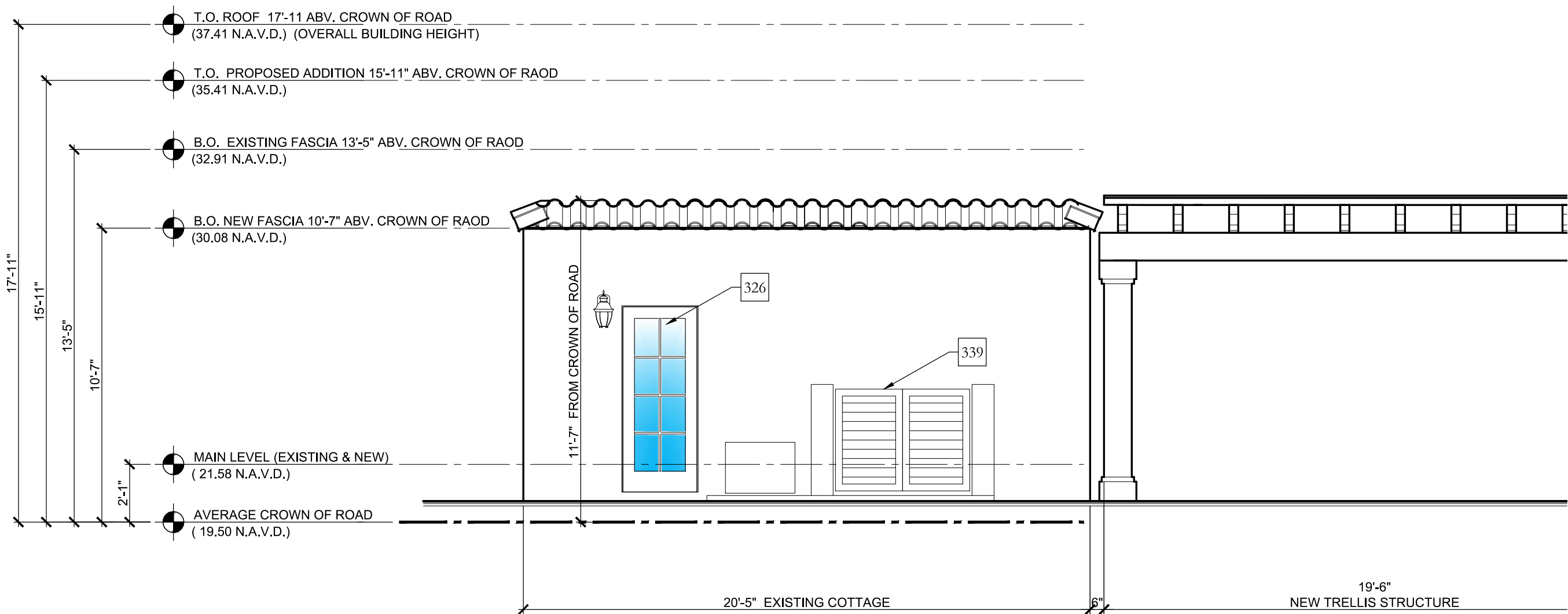
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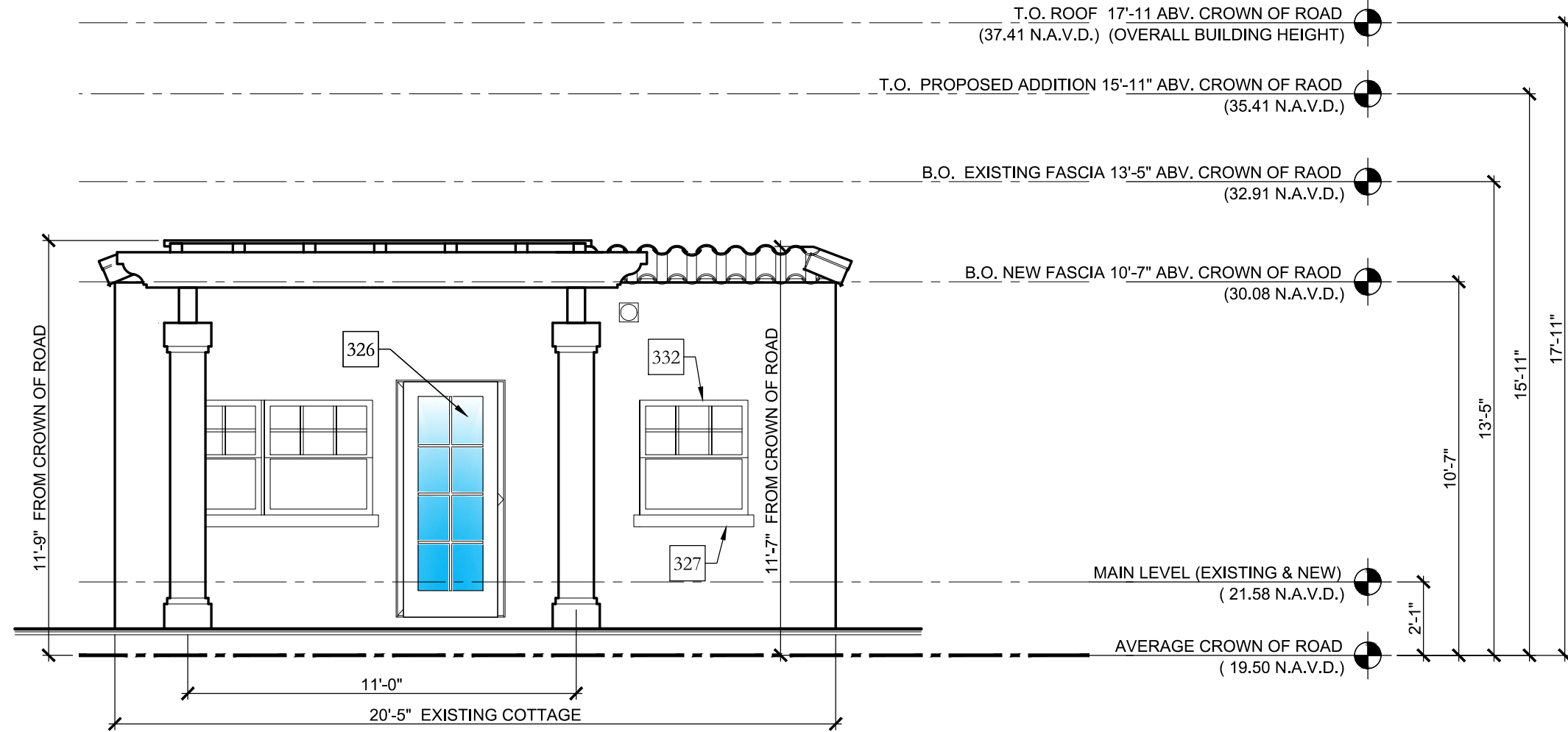
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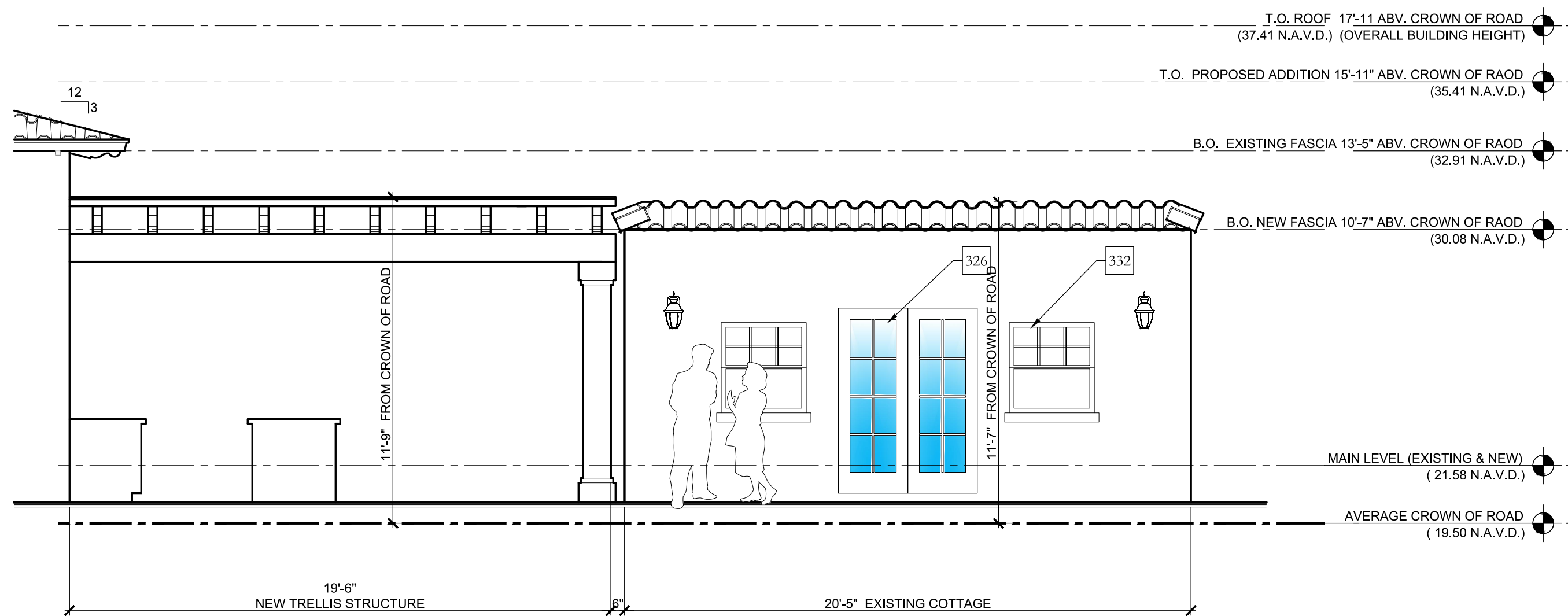
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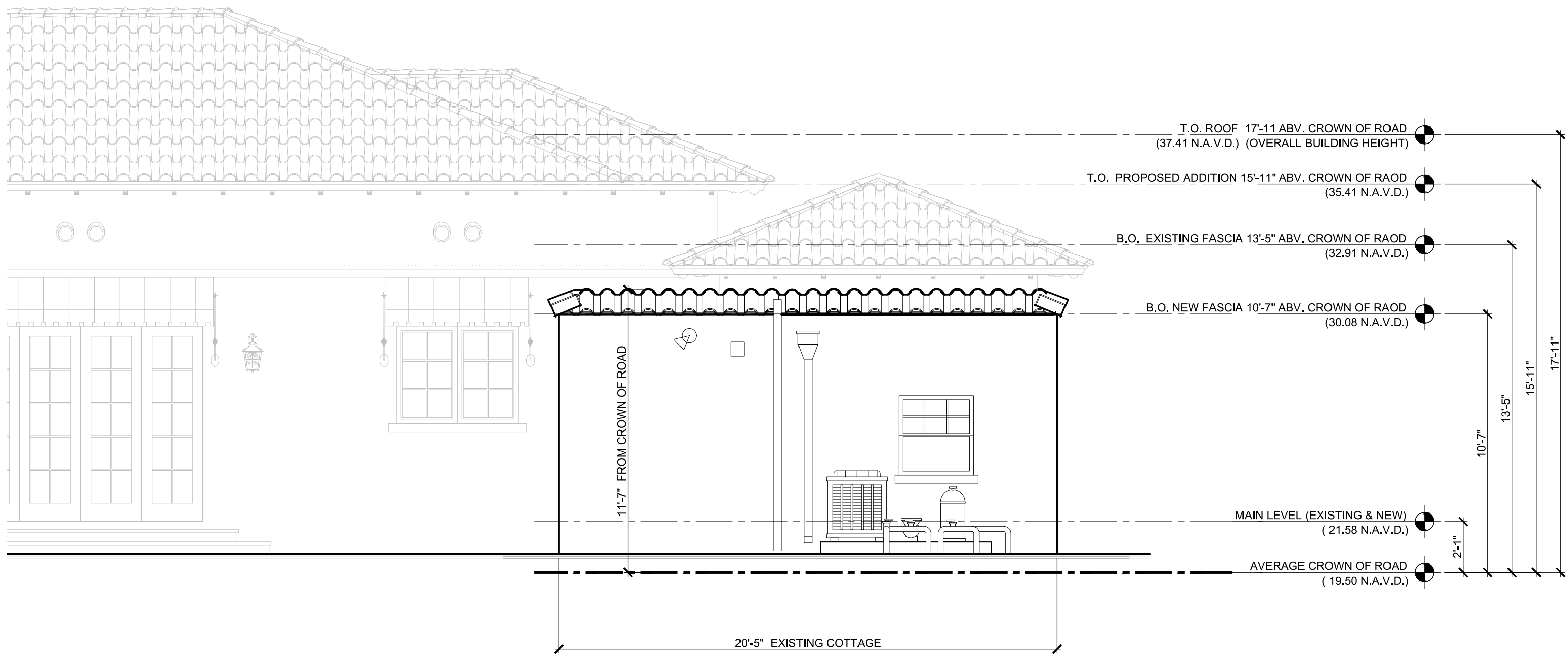
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1/4"=1'-0"



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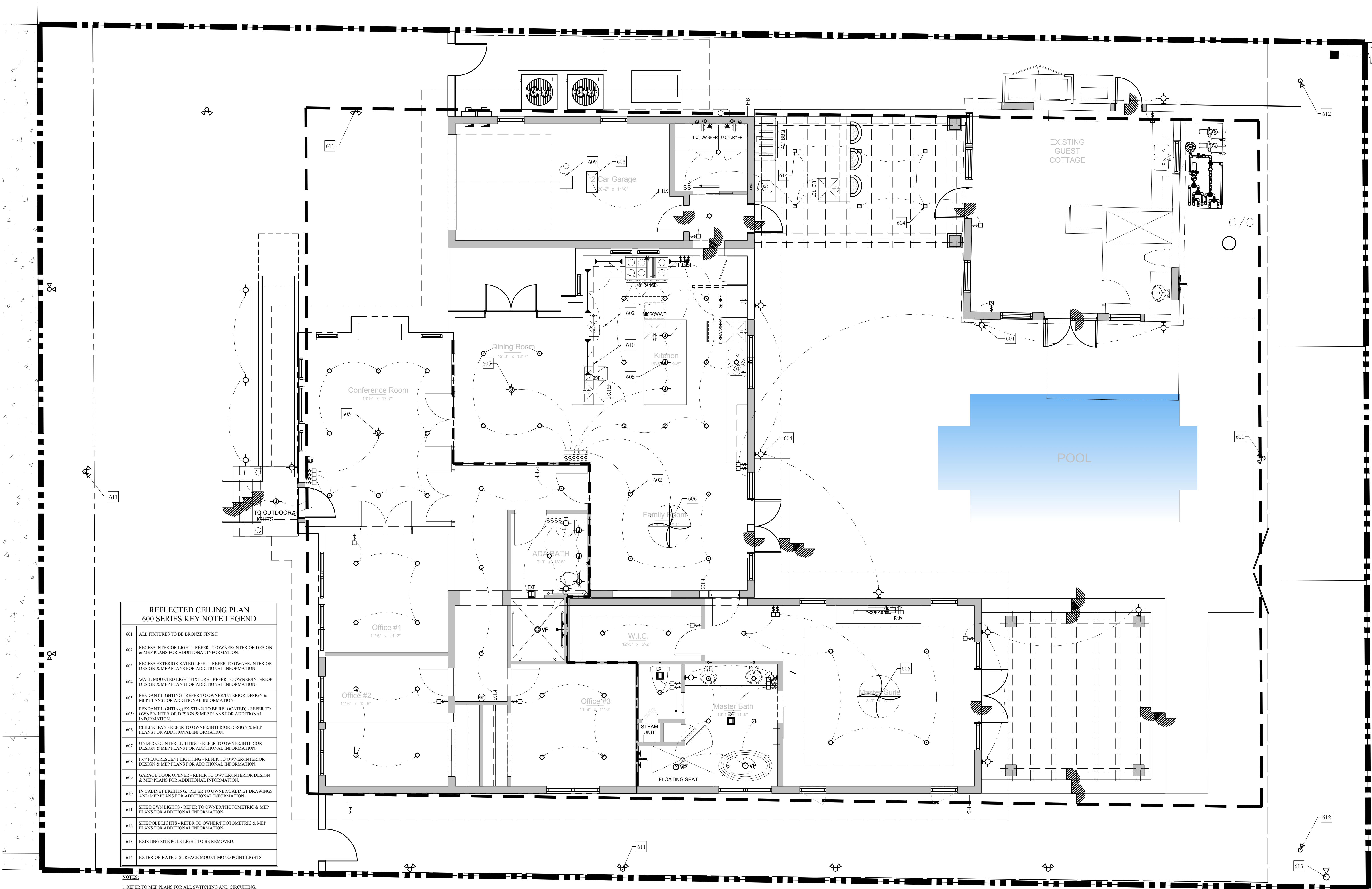
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REFLECTED CEILING PLAN 600 SERIES KEY NOTE LEGEND	
601	ALL FIXTURES TO BE BRONZE FINISH
602	RECESS INTERIOR LIGHT - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
603	RECESS EXTERIOR RATED LIGHT - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
604	WALL MOUNTED LIGHT FIXTURE - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
605	PENDANT LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
605r	PENDANT LIGHTING (EXISTING TO BE RELOCATED) - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
606	CEILING FAN - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
607	UNDER COUNTER LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
608	T4 FLUORESCENT LIGHTING - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
609	GARAGE DOOR OPENER - REFER TO OWNER/INTERIOR DESIGN & MEP PLANS FOR ADDITIONAL INFORMATION.
610	IN CABINET LIGHTING - REFER TO OWNER/CABINET DRAWINGS AND MEP PLANS FOR ADDITIONAL INFORMATION.
611	SITE DOWN LIGHTS - REFER TO OWNER/PHOTOMETRIC & MEP PLANS FOR ADDITIONAL INFORMATION.
612	SITE POLE LIGHTS - REFER TO OWNER/PHOTOMETRIC & MEP PLANS FOR ADDITIONAL INFORMATION.
613	EXISTING SITE POLE LIGHT TO BE REMOVED.
614	EXTERIOR RATED SURFACE MOUNT MONO POINT LIGHTS

NOTES:

1. REFER TO MEP PLANS FOR ALL SWITCHING AND CIRCUITING.
2. G.C. TO COORDINATE ALL LIGHTING ON THIS PLAN WITH OWNER/INTERIOR DESIGNER.
3. REFER TO MEP PLANS FOR ALL MECHANICAL INFORMATION.
4. COORDINATE WITH OWNER/INTERIOR DESIGNER REGARDING ALL LIGHTING SELECTIONS (MODEL NUMBER, CUT SHEETS ETC.)



1

1st FLOOR REFLECTED CEILING / LIGHTING PLAN
1/4"=1'-0"

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