

GENERAL NOTES

THE ARCHITECT AND HIS AUTHORIZED REPRESENTATIVES AND AGENTS SHALL HAVE ACCESS TO AND BE PERMITTED TO INSPECT ALL WORK, MATERIALS AND OTHER RELEVANT DATA AND RECORDS WHEREVER THEY ARE IN PREPARATION AND PROGRESS, WHEN REQUESTED, THE CONTRACTOR SHALL FURNISH DUPLICATE COPIES OF THE AFOREMENTIONED DATA.

THE GENERAL CONTRACTOR WILL MAKE EVERY EFFORT TO EXPEDITIOUSLY COORDINATE ALL PHASES OF THE WORK TO OBTAIN THE END RESULT WITHIN THE FULL PURPOSE AND INTENT OF THE DRAWINGS FOR THE PROJECT.

ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENT DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK OR CONSTRUCTION, SO THAT CORRECTIVE MEASURES MAY BE TAKEN. ANY UNFORESEEN CONDITIONS IN FIELD AFFECTING THE DESIGN CONCEPT OF THE BUILDING, OR THAT ARE IN CONFLICT WITH THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2011 EDITION AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL RULES, REGULATIONS AND ORDINANCES.

ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR IS TO BE DONE IN A NEAT AND WORKMANLIKE MANNER.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND SHALL COORDINATE WORK OR CONSTRUCTION BETWEEN TRADES.

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE ARCHITECT SIX (6) PRINTS OF DETAIL SHOP DRAWINGS OF ALL APPLICABLE CONSTRUCTION, SUCH DRAWINGS SHALL SHOW THE DESIGN DIMENSIONS, CONNECTIONS AND OTHER DETAILS NECESSARY TO INSURE THAT THEY ACCURATELY INTERPRET THE DRAWINGS. THE CONTRACTOR WILL RETAIN RESPONSIBILITY FOR FURNISHING THE MATERIALS, APPARATUS, DEVICES, ETC. OF PROPER DIMENSION, SIZE, QUANTITY, AND QUALITY AS SHOWN ON THE DRAWINGS, AND THE RESPONSIBILITY FOR ANY ERRORS OF THE SHOP DRAWINGS. ALLOW TWO WEEKS FOR REVIEW TIME.

PROVIDE 3'-1/2" BATT SOUND INSULATION AT INTERIOR WALLS - BATHROOMS, BEDROOMS, LAUNDRY ROOMS ETC.

THE DRAWINGS ARE NOT INTENDED TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH ALL ITEMS FOR A COMPLETE ELECTRICAL, MECHANICAL, PLUMBING AND TELEPHONE SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER IN CONFORMANCE WITH LOCAL STANDARDS AND APPLICABLE CODES HAVING JURISDICTION.

DIMENSIONS INDICATED ON THE PLANS ARE FROM FACE OF FINISH WALL. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. USE FIGURED DIM. ONLY. DO NOT SCALE DRAWINGS. DO NOT DEVIATE FROM THE WRITTEN DIM. MORE THAN 1" WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. DEVIATION IS NOT PERMITTED WHERE 'CLEAR' OR 'HOLD' DIMENSIONS ARE INDICATED. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES IN THE PLANS OR SPECS.

THE INTERPRETATION OF DRAWINGS, SPECIFICATIONS, OR OTHER BIDDING DOCUMENTS SHALL NOT BE MADE VERBALLY TO THE BIDDER. IF THE BIDDER IS IN DOUBT AS TO THE MEANING OF ANY DISCREPANCIES OR CONFLICT HEREIN, THE BIDDER SHALL TELEPHONE OR SUBMIT IN WRITING TO THE ARCHITECT A REQUEST FOR INTERPRETATION. IN THE EVENT THAT THE BIDDER IS DEMAND TO HAVE ESTIMATED, THEN THE MOST EXPENSIVE WAY OF PERFORMING THE WORK SHALL TAKE PRECEDENCE.

THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES.

THE CONTRACTOR SHALL PROVIDE ALL ELEMENTS OF ALL SYSTEMS SO THAT THEY ARE COMPLETE AND FULLY FUNCTIONING (EXCEPT AS NOTED HEREIN).

DO NOT SCALE THE DRAWINGS.

ALL AREA CALCULATIONS ARE APPROXIMATE.

FIELD VERIFY ALL DIMENSIONS.

ALL INTERIOR FINISHES TO BE SUPPLIED BY CONTRACTOR AND APPROVED BY OWNER, UNO.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WORK SCHEDULE AND ANY ANTICIPATED CHANGES THAT MAY OCCUR IN IT.

THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF ITS COMPLETION OF THE WORK.

NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

DETAILS MARKED AS TYPICAL APPLY TO SIMILAR CONDITIONS INCLUDING CONDITIONS NOT MARKED AS SIMILAR, UNO. TYPICAL DETAILS NOT SHOWN BUT NECESSARY FOR CONFORMANCE WITH APPLICATION.

PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE. WATERPROOF ALL WEATHER-EXPOSED SURFACES AND INSTALL ALL THERMAL BARRIERS AS TO FORM A COMPLETE INSULATING BLANKET AROUND THE HEATED AREAS OF THE BUILDING. INSULATE ALL HEAT-BEARING PIPES, DUCTS, OR OTHER FIXTURES THAT PENETRATE THE INSULATED BLANKET. INSTALL ALL OTHER WATER PIPES IN A MANNER TO PREVENT FREEZING. (NOTE: ALL PIPES TO BE ANCHORED TO UNDERSIDE OF STRUCTURAL SLAB & HAVE CONT. SLEEVING / PROTECTION THROUGHOUT UNDERGROUND).

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL METAL FASTENERS, NAILS, AND BOLTS TO BE HOT DIPPED GALVANIZED.

FLASHING, CRICKETS, DRIPS, ETC. TO BE 16 OZ. COPPER, OR SIMILAR MATERIAL TO ROOFING SYSTEM.

PROVIDE FIRE STOPPING AT ROOF, WALLS, AND CEILING AS REQUIRED.

ELEVATIONS ARE TAKEN FROM AN ASSUMED DATUM OF 0'-0" TOP OF CONCRETE SLAB. (435' TO 525' N.A.V.D. FOR VARIOUS VILLA'S).

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY CODE REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. - NOTE ALL CEILING PENETRATIONS - LIGHTS, VENTS, ETC. TO BE SEALED @ EDGES AS PER FLORIDA BUILDING CODE 2011 EDITION.

ALL CBS EXTERIOR BLOCK WALLS TO RECEIVE R-41 FI-FOIL BACK (MIN) INSULATION, WOOD STUD, (METAL STUDS) WALLS TO RECEIVE R-11 BATT, R-19 FOR 6" AND 8" WALLS INSULATION & R30 FOR ATTIC SPACES.

INSTALL PVC PLASTER STOPS AROUND PERIMETER OF ALL AREAS WHERE PLASTER ADJUTS OTHER MATERIAL. STOPS SHALL BE CAREFULLY MITERED AT CORNERS. ALL EXTERIOR CORNERS AND WINDOW AND DOOR OPENING TO RECEIVE PVC CORNER BEADS.

ALL GYPSUM WALLBOARD TO BE SCREW APPLIED AS PER THE GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION.

SUBSURFACE SOIL CONDITION INFORMATION WERE PREPARED BY NUTTING ENGINEERS, LLC DATED MAY 30, 2019 - ALL EXISTING AND PROPOSED STRUCTURES ARE TO BE DESIGNED WITH SHALLOW FOUNDATIONS. (SEE STRUCTURAL DRAWINGS) THE CONTRACTOR SHOULD OBTAIN A COPY OF THE REPORT FROM THE OWNER AND REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.

NOTES:

- 1. DO NOT SCALE DRAWINGS!
- 2. FIELD VERIFY ALL DIMENSIONS!
- 3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- 4. ALL AREA CALCULATIONS ARE APPROX.

THIS DRAWING IS NOT FOR CONSTRUCTION, IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING



"HPB SUBMITTAL"
HISTORIC MARINA DISTRICT
MARINE VILLA'S ON MARINE WAY
110 MARINE WAY
DELRAY BEACH
PALM BEACH COUNTY, FL

FLOOD ZONE

FLOOD ZONE: AE
ELEVATION: 6'
CITY OF DELRAY BEACH
120196
PANEL NUMBER: 120990C
0979F
EFFECTIVE DATE: 10-05-17

AS PER LDR CHAPTER 10 -
FLOOD VARIANCE FOR ALL
ADDITIONS TO BE AT 5.25'
N.A.V.D.

ZONING

RM (MULTI-FAMILY) -
"HISTORIC MARINA DISTRICT"

SETBACKS:

FRONT
SIDE STREET
SIDE INTERIOR
REAR
ROOF HT.

REQUIRED:
25'-0"/30'-0"
25'-0"/30'-0"
15'-0"/30'-0"
25'-0"
35'-0" (TO MEAN
ROOF HEIGHT)

FUTURE LAND USE

MD - MEDIUM DENSITY 5-12 DU/ACRE

DEVELOPMENT DENSITY:

.43 x 12 = 5.25 UNITS
(PROPOSED A TOTAL OF 5 UNITS)

OCCUPANCY
CLASSIFICATION

GROUP R2 - RESIDENTIAL

TYPE
OF CONSTRUCTION

TYPE VB UNPROTECTED /
UNSPRINKLERED
ALTERATION - LEVEL 2

APPLICABLE CODES

2017 FLORIDA BUILDING CODE
2017 FLORIDA PLUMBING CODE
2017 FLORIDA ELECTRICAL CODE
2017 FLORIDA MECHANICAL CODE

ALLOWABLE AREA

RESIDENTIAL, GROUP R2 / 7,000 S.F.

ALLOWABLE HEIGHT

35 FEET (LDR)

SHEET SCHEDULE

SHEET NO.	SHEET TITLE	A210E	EXISTING FL PLAN AND ELEVATIONS VILLA #2 (FOR REF. ONLY)	SCALE: 3/16" = 1'-0"	4 OF 6	PAVING AND DRAINAGE DETAILS	SCALE: N.T.S.
	SURVEY	A210A	PROPOSED FLOOR PLAN AND ELEVATIONS VILLA #2	SCALE: 3/16" = 1'-0"	5 OF 6	WATER & WASTEWATER DETAILS	SCALE: N.T.S.
	ARCHITECTURAL	A210E	EXISTING FL PLAN AND ELEVATIONS VILLA #3 (FOR REF. ONLY)	SCALE: 3/16" = 1'-0"	6 OF 6	POLLUTION PREVENTION PLAN	SCALE: 1"=10'-0"
A1100E	EXISTING SITE PLAN (FOR REFERENCE ONLY)	A210A	PROPOSED FLOOR PLAN AND ELEVATIONS VILLA #3	SCALE: 3/16" = 1'-0"			
A1100C	COMPOSITE SITE PLAN (FOR REFERENCE ONLY)	A2103E	EXISTING FL PLAN AND ELEVATIONS VILLA #4 (FOR REF. ONLY)	SCALE: 3/16" = 1'-0"		LANDSCAPE	
A1100DE	PROPOSED DEMOLITION PLAN	A2103A	PROPOSED FLOOR PLAN AND ELEVATIONS VILLA #4	SCALE: 3/16" = 1'-0"	TS-1	TREE SURVEY	SCALE: 1/8" = 1'-0"
A1101	PROPOSED SITE PLAN	A2104E	EXISTING FL PLAN AND ELEVATIONS VILLA #5 (FOR REF. ONLY)	SCALE: 3/16" = 1'-0"	LP-1	LANDSCAPE PLAN	SCALE: 1/8" = 1'-0"
A1102	PROPOSED DIMENSION SITE PLAN	A2104A	PROPOSED FLOOR PLAN AND ELEVATIONS VILLA #5	SCALE: 3/16" = 1'-0"	LP-2	PLANT LIST / LANDSCAPE DETAILS	SCALE: N.T.S.
A1103A	SITE DETAILS	A1100	DOOR AND WINDOW SCHEDULES	SCALE: N.T.S.			
A1103B	SITE DETAILS					MEP	
A1104	EXISTING ARCHITECTURAL CONTEXT PLAN				PSP-1	PHOTOMETRIC SITE PLAN	SCALE: 1" = 10'
A2100E	EXISTING FL PLAN AND ELEVATIONS VILLA #1 (FOR REF. ONLY)			1 OF 6	CIVIL SITE IMPROVEMENTS PLAN	SCALE: 1" = 10'-0"	
A2100A	PROPOSED FLOOR PLANS VILLA #1			2 OF 6	PAVING AND DRAINAGE DETAILS	SCALE: N.T.S.	
A2100B	PROPOSED ROOF PLAN AND ELEVATIONS VILLA #1			3 OF 6	PAVING AND DRAINAGE DETAILS	SCALE: N.T.S.	

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HEPTACHLOR, TECHNICAL CHLORDANE, OR OTHER APPROVED CHEMICALS SHALL BE USED IN CONCENTRATIONS AS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS IN COMPLIANCE WITH EPA REGULATIONS. (ALL PRODUCTS TO BE NON-VOC).

DRYWALL PRODUCTS BY GOLD BOND, USG, CELOTEX, GEORGIA PACIFIC, MILCOR PRODUCTS ARE ACCEPTABLE.

ALL EXTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY OWNER. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (PAINTING SUBCONTRACTOR TO PROVIDE PAINT SAMPLES).

ALL WORK, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE CLOSING DATE.

TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND DAILY OPERATIONS.

DISPOSAL: CONTRACTOR IS RESPONSIBLE FOR REMOVAL FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF ARCHITECT FOR SUBSTITUTIONS MADE IN SPECIFIED EQUIPMENT, MATERIALS AND COLORS.

THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN GUARANTEE FOR ALL WORKS UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER.

CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PORTION OF THE WORK WHICH HAS BEEN DAMAGED. REPLACE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS. CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR OF OWNER ACCEPTANCE OF CONSTRUCTION.

ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED 1/2" THICK FIBERGLASS PIPE INSULATION.

CONTRACTOR TO PROVIDE DRAWINGS TO TRUSS MANUFACTURER, MECHANICAL & SPRINKLER SUBCONTRACTOR TO COORDINATE ALL REQUIRED AC-DUCT WORK PENETRATIONS THROUGH THE ENTIRE STRUCTURE.

ALL TRUSSES, & GIRDERS SHALL BE ANCHORED TO BEARING PARTITIONS, WALLS, AND/OR TIE BEAMS WITH APPROVED ANCHORS. - SEE STRUCTURAL DUGS.

ALL INTERIOR DEPICTED PAINT COLORS TO BE SELECTED BY OWNER. COLORS ON PLANS FOR PRICING PURPOSES ONLY. (NOTE: ALL PRODUCTS TO BE NON-VOC).

NOTE: PRODUCTS BY ANY OF THESE MANUFACTURERS ARE ACCEPTABLE COATINGS: BENJAMIN MOORE, SHERWIN WILLIAMS, PITTSBURGH, DEVCO, DUPONT, & PORTER ARE CONSIDERED EQUAL. (ALL ARE TO BE NON-VOC).

CONTRACTOR SHALL DELIVER TO OWNER PRIOR TO FINAL PAYMENT ALL APPLICABLE GUARANTEES, WARRANTIES AND OPERATING MANUALS.

PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD "MOLD TOUGH" IN ALL BATHROOMS, KITCHEN & LAUNDRY RMS.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSALS. VERIFY EXIST'G CONDITIONS COMPLY WITH CURRENT CODE REQUIREMENTS. NOTIFY ARCHITECT IN WRITING IF CHANGES ARE NECESSARY. NO EXTRAS WILL BE GIVEN. REPORT ANY DISCREPANCIES IN THE DOCUMENTS TO THE ARCHITECT PRIOR TO SUBMITTING PROPOSAL. - NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY AND ALL ABANDONED UNDER GROUND UTILITIES, PIPES, WIRES, TREE ROOTS, SEPTIC TANK ETC. - PRIOR TO COMPACTING SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND OBTAIN ACCESS TO THE SITE WITH OWNER.

THE CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL REQUIRED PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE COMPLETION OF THE WORK.

ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION OF OWNER AGAINST PUBLIC LIABILITY OR PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

THE CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH EACH OTHER TO PREVENT OVERSTEPPING EACH OTHER. THE CONTRACTOR SHALL PROVIDE LABOR & MATERIALS NECESSARY TO MAINTAIN CONSTRUCTION SCHEDULING. THE SUB - CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE SCHEDULE AS PROVIDED AND AGREED TO WITH THE CONTRACTOR PRIOR TO CONSTRUCTION.

ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY THE ENGINEER /ARCHITECT MUST BE A CONDITION OF THE CONTRACT BETWEEN THE GEN. CONTRACTOR AND OWNER.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING WORK:
- MAKE-WAY/HOOK UP SCHEDULING OF ALL TRADES AND WORK (INCLUDING WORK OF OTHERS WHERE NO CONTRACTUAL RELATIONSHIP EXIST).
- PROVIDING BARRICADES, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICES, ETC. AS REQ'D. TO COMPLETE WORK.
- TEMPORARY UTILITIES, CONNECTIONS AND PAYMENT OF ALL UTILITY CHARGES DURING CONSTRUCTION.
- COORDINATION WITH OWNER OR AGENT OF DELIVERY AND REMOVAL IF MATERIALS, EQUIPMENT, AND OTHER ITEMS TO / FROM SITE.
- REMOVAL OF TRASH AND DEBRIS. PLACE IN DESIGNATED CONTAINERS AS DIRECTED BY OWNER /AGENT. REMOVE ALL TRASH FROM PREMISES.
- ISSUE ALL ADDENDUMS, REVISIONS AND UPDATES TO SUBCONTRACTORS IN A TIMELY MANNER.

ALL DRAWINGS, SPECIFICATIONS, AND COPIES THEREOF FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE ARCHITECT'S PROPERTY. THE CONTRACTOR SHALL MAINTAIN FULL SET OF DRAWINGS COMPLETE AND AVAILABLE FOR REVIEW AT THE JOBSITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNERS RECORD COPY.

ALL WORK SHALL BE LAID OUT TRUE, SQUARE AND PLUMB TO EXACT AND CORRECT DIMENSIONS. IF DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER/ ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DESIGNAL OR LAYOUT CORRECTION NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT DIMENSIONAL ERRORS.

ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE WORK MUST BE NEW AND UNUSED (UNO.) FIRST QUALITY, FREE FROM DEFECTS AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS FOR THE APPLICATION AT HAND. ALL WORKMANSHIP SHALL BE OF FIRST CLASS QUALITY.

CONTRACTOR SHALL PROVIDE CUT-SHEETS AND SPECIFICATIONS OF ALL ITEMS FOR SUBMISSION TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR INSTALLING.

PRODUCT MANUFACTURERS INDICATED IN SCHEDULES AND/OR ON PLANS WERE SELECTED BASED UPON QUALITY, STYLE, SIZE, COLOR, ETC. AND ARE NOT IN- TENDED TO RESTRICT THE COMPETITIVE BIDDING. PRODUCTS EQUAL TO OR IN- TENDED TO BE USED AS SUBSTITUTES ARE SUBJECT TO ARCHITECTS APPROVAL IN WRITING PRIOR TO PURCHASE OR INSTALLATION.

ALL DOOR FRAMES TO BE LOCATED 5' TO 6' FROM ADJACENT PARTITIONS, UNO.

ALL DRYWALL PARTITIONS WILL BE TAPED, SPARKLED, SANDED, PRIMED AND PAINTED W/ LEVEL V FINISH.

CONCEAL ALL FASTENERS AND ATTACHMENTS FROM VIEW.

OWNER SHALL REVIEW THESE CONSTRUCTION DOCUMENTS AND VERIFY THAT THEY ARE CORRECT AND COMPLETE PRIOR TO BIDDING AND START OF CONSTRUCTION. OWNER SHALL APPROVE ALL MATERIAL AND FINISH SAMPLES ALONG WITH ALL EQUIPMENT SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION.

ALL DOORS & WINDOWS TO BE IMPACT RESISTANT AND COMPLY W/ ALL DADE COUNTY IMPACT AND WIND CYCLING TESTING REQUIREMENTS ("FGT" OR EQUAL).

ALL INTERIOR WALLS THAT RECEIVE TILE /MARBLE - TO BE BACKED W/ 5/8" 'DENS-SHIELD' OR EQUAL.

ALL WALKWAYS TO BE SLOPED AWAY FROM BUILDING FOR POSITIVE DRAINAGE. (MIN. 2% - SEE CIVIL DRAWINGS.)

FOR HISTORIC STRUCTURES THAT WERE CONSTRUCTED PRIOR TO 1978, GENERAL CONTRACTOR MUST BE 'LEAD SAFE CERTIFIED' AND MEET AND COMPLY WITH THE REQUIRED REGULATIONS OF 'EPA - RENOVATION, REPAIR AND PAINTING' WHEN RENOVATING OR DISTURB MORE THAN 6 SQUARE FEET OF PAINTED SURFACE.

LEGAL DESCRIPTION

LOTS 3, 4, 5 AND THE NORTH 10 FEET OF LOT 6, BLOCK 126, A SUBDIVISION OF BLOCK 126, DELRAY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK II, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

REVISED 6/10/19 AS PER CITY COMMENTS:
- NEW PAGES SET UP AND ADDED ADDITIONAL SHEETS, SITE DATA, ZONING, DENSITY AND FUTURE LAND USE.

FLOTTED 03/26/19 - 3:00 PM

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EXISTING SITE IS LOCATED ON THE WEST SIDE OF MARINE WAY IN DELRAY BEACH, FLORIDA.

VICINITY MAP



DESCRIPTION:

LOTS 3, 4, 5 AND THE NORTH 10 FEET OF LOT 6, BLOCK 18, A SUBDIVISION OF BLOCK 26, DELRAY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

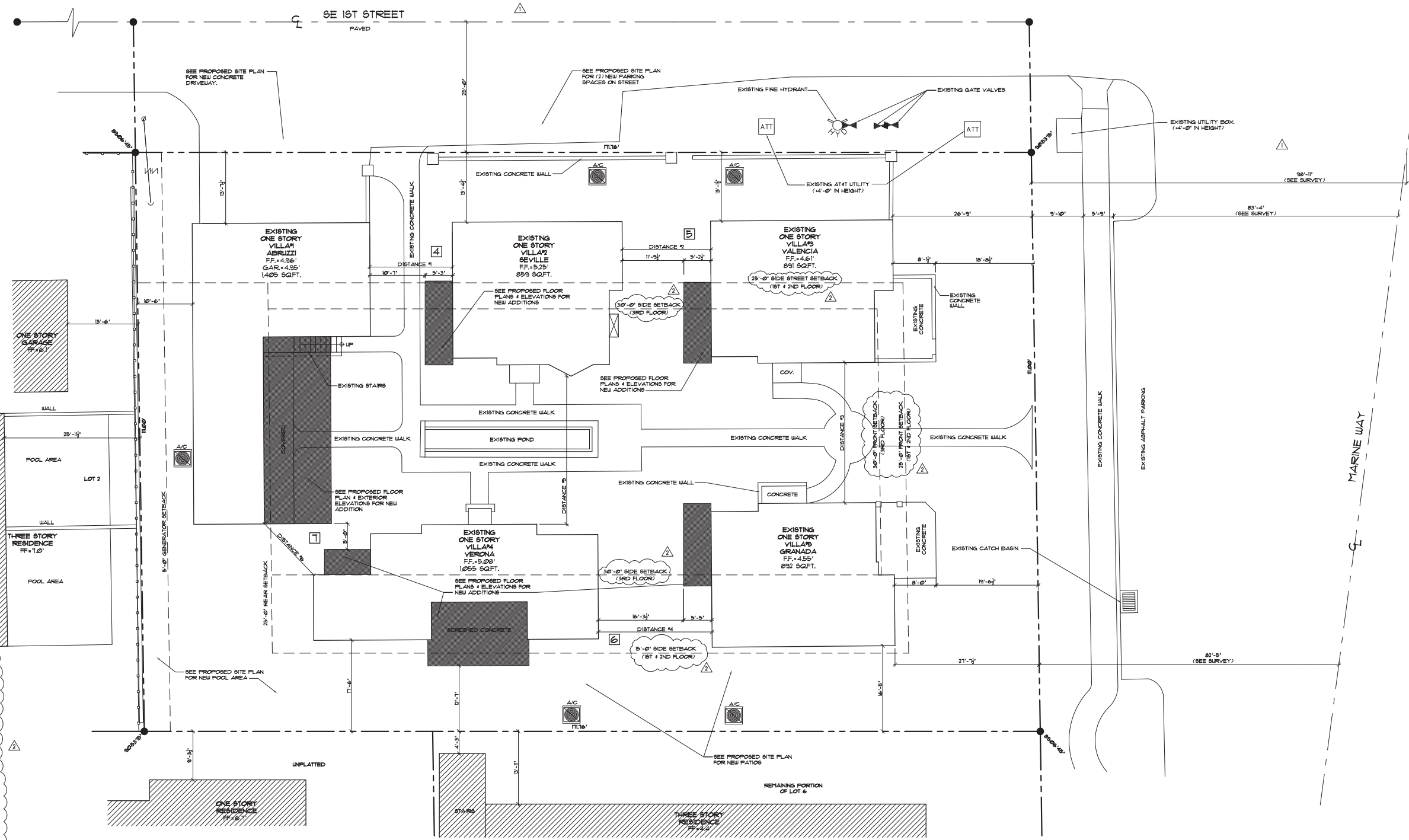
GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, SLEEVES, HANGERS, SLAB DEPRESSIONS AND FITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMPANIMENT OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

RELIEF FROM LDR SECTION 4.6.2 TO ALLOW THE MINIMUM SEPARATION MEASUREMENT BETWEEN BUILDINGS

DISTANCE 1 = VILLA 1 & VILLA 2	#
$34'(A) + 33'(B) + (1/3)(A) + 15'-6"(B) \geq 6$	4
$67' + 285' + 15' + 15'-10'$	
EXISTING = 15'-10' REQUIRED = 15'-10' PROPOSED = 10'-11'	
DISTANCE 2 = VILLA 2 & VILLA 3	#
$33'(A) + 33'(B) + (1/3)(A) + 15'-6"(B) \geq 6$	5
$68' + 31' + 16'5" + 16'-6"$	
EXISTING = 11'-0' REQUIRED = 16'-6" PROPOSED = 11'-9"	
DISTANCE 3 = VILLA 3 & VILLA 4	#
$27'-6"(A) + 21'-6"(B) + (1/3)(A) + 15'-6"(B) \geq 6$	6
$35' + 31' + 14'3" + 14'-4"$	
EXISTING = 21'-0' REQUIRED = 14'-4" PROPOSED = 21'-0"	
DISTANCE 4 = VILLA 4 & VILLA 5	#
$15'-0"(A) + 33'-0"(B) + (1/3)(A) + 15'-6"(B) \geq 6$	6
$30' + 30' + 20' + 15'-0'$	
EXISTING = 21'-8" REQUIRED = 20'-0" PROPOSED = 16'-3"	
DISTANCE 5 = VILLA 5 & VILLA 6	#
$30'-0"(A) + 21'-0"(B) + (1/3)(A) + 14'-6"(B) \geq 6$	7
$51' + 30' + 14'3" + 14'-6"$	
EXISTING = 28'-6" REQUIRED = 14'-6" PROPOSED = 28'-6"	
DISTANCE 6 = VILLA 1 & VILLA 4	#
$38'-0"(A) + 21'-0"(B) + (1/3)(A) + 14'-6"(B) \geq 6$	7
$85' + 215' + 18'5" + 18'-9"$	
EXISTING = 10'-6" REQUIRED = 18'-9" PROPOSED = 5'-0"	

* SEE SHEET A101 FOR REQUESTED RELIEF FOR (4) MINIMUM SEPARATION MEASUREMENT BETWEEN BUILDINGS.



1
A100C

COMPOSITE PLAN

SCALE : 1" = 10'-0" (FOR REFERENCE ONLY)



EXISTING SITE DATA	(FOR REF. ONLY)
TOTAL SITE AREA	13,062 S.F. (.43 ACRES) = 100%
EXISTING TOTAL BUILDING FOOTPRINTS	4,863 S.F. = 25.5%
EXISTING DRIVEWAY, PARKING & WALKWAY PAVERS AND EXISTING POND	2,602 S.F. = 13.1%
EXISTING IMPERVIOUS (FOR REF. ONLY)	7,465 S.F. = 39.2%
EXISTING PERVIOUS (FOR REF. ONLY)	11,591 S.F. = 60.8%

SETBACKS:

	EXISTING	REQUIRED	PROVIDED
FRONT	26'-5" / 21'-6" 1/2"	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	26'-5" / 21'-7" 1/2"
SIDE STREET	13'-1 1/2" / 13' - 1 1/2"	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	13'-1 1/2" / 18'-1 1/2" (1ST AND 2ND FLOOR)
SIDE INTERIOR	11'-7" / 16'-5"	15'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	12'-1"
REAR	10'-6"	25'-0"	10'-6" (1ST AND 2ND FLOOR)
ALLOWABLE HT. (ABOVE FBC -2011 ED.)	8'-0 1/2" / 10'-0"	35'-0" (MEAN ROOF HEIGHT)	10'-0" / 15'-1 3/4"
ZONING	RM - HISTORIC MARINA DISTRICT		

SHADED AREA INDICATES PROPOSED ADDITION (ALL TO BE AT ELEV. 5.25' N.AVD.)
ADJACENT STRUCTURES (FOR REFERENCE ONLY)

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



Architect, Planner and Designer
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ISSUED FOR HPB

BIDS

PERMIT 52615

CONSTRUCTION

PROJECT TITLE

MARINE
VILLA'S ON
MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

- REVISED 6.30.19 AS PER CITY COMMENTS:
1. ADDED DIMENSIONS TO CENTER LINE OF ADJACENT ROADS.
- REVISED 9.16.19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.

THIS DRAWING IS NOT FOR CONSTRUCTION. IT HAS BEEN ISSUED FOR GOVERNMENTAL REVIEW AND/OR PRELIMINARY PRICING ONLY.

FILE NUMBER 802A100C

DRAWING TITLE

COMPOSITE
PLAN (FOR
REFERENCE
ONLY)

DATE 1.29.19 | DRAWN BY GE/AH

JOB NUMBER 20180802

DRAWING NUMBER

A1.00C

PLOTTED 09/26/19 3:00 PM

DEMOLITION NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL ASPECTS OF THE DEMOLITION PROCESS AND WILL TAKE PRECAUTIONS AGAINST DAMAGE TO SURROUNDING SURFACES AND SYSTEMS.
- THE CONTRACTOR IS RESPONSIBLE FOR SHORING AND BRACING DURING DEMOLITION. BEARING WALLS AND COLUMNS TO BE DEMOLISHED WILL NOT BE REMOVED UNTIL ADEQUATE SHORING AND/OR NEW STRUCTURE IS IN PLACE AND VERIFIED BY THE ARCHITECT/ENGINEER. CONTRACTOR TO SUBMIT SIGNED & SEALED SHOP DRAWINGS PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL TAKE PRECAUTION AGAINST DAMAGE TO EXISTING MECHANICAL/ELEC. AND PLUMBING/GAS SYSTEMS (VERIFY W/ OWNER).
- ALL SYSTEMS REQUIRING REROUTING OR TERMINATION SHALL BE IN ACCORDANCE WITH LOCAL CODES AND PRACTICES. ON MANUFACTURER'S SPECIFICATIONS. REMOVE ALL DEBRIS ON A DAILY BASIS AND KEEP SITE CLEAN AND FREE OF HAZARDS.
- ALL APPLIANCES, CABINETRY, HARDWARE, PLUMBING AND LIGHTING FIXTURES SHALL BE REMOVED WITH CARE AND SALVAGED FOR FUTURE USE. REUSE DOORS AND HARDWARE WHERE APPLICABLE. CONSULT WITH OWNER FOR WHICH MATERIALS TO STORE/REUSE OR DISCARD.
- PRIOR TO COMMENCING WORK, INSPECT SITE FOR THE FOLLOWING:
 - HAZARDOUS MATERIALS. IF ENCOUNTERED - NOTIFY OWNER AND COMPLY WITH ALL APPL. CODES AND REGS. FOR REMOVAL, INCL. ASBESTOS.
 - ANY EXISTING DAMAGED MATERIALS AND SURFACES - DOCUMENT AS REQ'D & INFORM OWNER FOR PROTECTION AGAINST CLAIMS - ONCE DEMOLITION STARTS.
- DEMOLITION INCLUDES COMPLETE REMOVAL OF AND ITEMS LABELLED AND DISPOSAL OF DEMOLISHED MATERIALS.
- SCHEDULES SUBMIT PROPOSED METHODS AND OPERATIONS OF BUILDING DEMOLITION TO OWNER FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUT-OFF, CAPPING AND CONTINUATION OF ALL UTILITY SERVICES.
- TRAFFIC: CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- PROTECTION: ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATION TO PREVENT INJURY TO ADJACENT SECTIONS OF THE HOUSE.
- DISPOSAL: REMOVE FROM SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- NOTE: NO ATTEMPT IS MADE ON THESE DRAWINGS TO SHOW EVERY ITEM TO BE REMOVED. CONTRACTOR SHALL VISIT SITE TO DETERMINE WHETHER OR NOT SMALLER ITEMS NOT SHOWN ARE TO BE REMOVED. CONTRACTOR IS HEREBY NOTIFIED TO STUDY THE ARCHITECTURAL ELEVATIONS TO DETERMINE THE FINISH DESIGN CONTENT. ANY QUESTIONS SHALL BE DIRECTED TO THE GEN. CONTRACTOR CONCERNING ALL ITEMS TO BE REMOVED OR TO REMAIN.
- X - X - X - INDICATES TEMPORARY POST & BEAM SHORING BY GENERAL CONTRACTOR INITIAL PRIOR TO REMOVING ANY LOAD-BEARING COMPONENT AND MAINTAIN IN PLACE UNTIL NEW WORK IS COMPLETED - COORDINATE WITH STRUCTURAL ENGINEER.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATION, AND CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO NOTIFY OWNER PRIOR TO SHUT-OFF OF ALL EXISTING UTILITIES. CAP-OFF ALL UTILITIES TO BE DISCONTINUED IN USE. CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION OF OWNER.
- IN ACCORDANCE WITH FLORIDA STATUTE, SECTION 316.60, THIS IS TO ADVISE YOU OF THE OWNER'S OR OPERATOR'S RESPONSIBILITY TO COMPLY WITH THE STATE AND FEDERAL ASBESTOS REGULATIONS, INCLUDING F.A. SECTION 395, AND CFR 41 - NESHAP REQUIREMENTS. REQUIREMENTS INCLUDE ASBESTOS SURVEYS AND SUBMISSION OF WRITTEN NOTIFICATION TO PALM BEACH COUNTY HEALTH DEPARTMENT.
- ACCORDING TO THE FLORIDA BUILDING CODE 801 - "SAFEGUARDS DURING CONSTRUCTION" - THE PERMIT HOLDER SHALL TAKE THE NECESSARY SAFE-GUARDS TO ENSURE THAT WATER SUPPLY IS AVAILABLE AND APPROPRIATE ACTIONS ARE TAKEN TO RETAIN DUST AT THE IMMEDIATE VICINITY OF THE DEMOLITION PROJECT AND TO ENSURE THAT NO DUST IS TRANSMITTED TO NEIGHBORING PROPERTIES OR STREETS.
- THE ELECTRICAL SUBCONTRACTOR MUST MAINTAIN THE FOLLOWING:
 - A. TEMP. POWER AND LIGHTING SHALL BE INSTALLED DURING CONSTRUCTION AS PER NEC 901.3.
 - B. PROVIDE GFI PROTECTION FOR TEMP. POWER.
 - C. ALL REMOVAL OR DISCONNECTING OF POWER SHALL BE SAFELY CAPPED OR REMOVED.
- CONTRACTOR TO MAINTAIN A SAFE MEANS OF EGRESS AT ALL TIMES DURING DEMOLITION & CONSTRUCTION OF PROJECT.
- CONTRACTOR TO COORDINATE W/ OWNER LOCATION OF TEMPORARY FRAMED UP WALL (PLYWOOD & VISEQUE) TO CONTROL LOOSE AIR-BORN-DEBRIS & DUST DURING DEMOLITION & CONSTRUCTION OF THE ENTIRE PROJECT (IF APPLICABLE).
- CONTRACTOR TO PROVIDE A WEATHER-RESISTIVE BARRIER AT ALL OPENINGS AND PENETRATIONS OF THE BUILDING ENVELOPE.
- THE CONTRACT DOCUMENTS INCLUDE ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND LANDSCAPING DRAWINGS AND PORTION BY ITSELF PROVIDES ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT. THEREFORE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL OF THEIR SUBCONTRACTORS TO THOROUGHLY FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND COORDINATE THE INFORMATION CONTAINED THEREIN TO PROPERLY AND SUCCESSFULLY PERFORM THE DEMOLITION PORTION OF THE PROJECT.
- THE CONTRACTOR SHALL TAKE PRECAUTION AGAINST DAMAGE TO EXISTING EQUIPMENT/STRUCTURE TO REMAIN. NOTE: CUTTING - USE CUTTING TOOLS, NOT CHOPPING TOOLS. MAKE NEAT HOLES & MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR ALL CONCEALED UTILITIES & STRUCTURE PRIOR TO CUTTING - PATCHING, MAKE PATCHES, BEAM AND JOINTS DURABLE & INCONSPICUOUS - REMOVE ALL ABANDONED UTILITIES WHERE POSSIBLE.
- CONTRACTOR TO REVIEW MEP DRAWINGS AND SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO DEMOLITION / REMOVAL OF EXISTING ELECTRICAL PANEL.
- CONTRACTOR TO VERIFY IF THIS STRUCTURE WAS CONSTRUCTED PRIOR TO 1978, AND IF SO, GENERAL CONTRACTOR MUST BE "LEAD SAFE CERTIFIED" AND "TEST" AND COMPLY WITH THE REQUIRED REGULATIONS OF "EPA" - RENOVATION REPAIR AND PAINTING WHEN RENOVATING OR DISTURBS MORE THAN 6 SQUARE FEET OF PAINTED SURFACE.
- TO AVOID WEAKENING THE STRUCTURE THAT IS TO REMAIN, DO NOT INTRODUCE FORCES OF VIBRATIONS WHICH MAY DAMAGE IT.

WALL LEGEND

1. [---] EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.	5. [=====] 3/4" 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 3/4" TYPE "X" GYPSUM WALL BOARD, PAINTED ON P.T. FURRING (MATCH EXISTING WALL FOR DEPTH) # 24" O.C. W/ 1/4" R-1 FOLI BACKED INSULATION BETWEEN FURRING STRIPS & DRYWALL (MATCH ALL FINISHES W/ EXISTING).
2. [---] EXISTING 8" CMU WALL TO REMAIN 'AS IS'. (FIELD VERIFY IF WALL IS FURRED OUT TO ACCOMMODATE REG. INTERIOR OPENINGS).	6. [=====] 4" to 8" INT. LOAD BEARING PARTITION PARTITION STD. WALL W/ 3/4" - 6" WIDE 25 GA METAL STUDS # 24" O.C. W/ (1) LAYER 3/4" TYPE "X" G.W.B. EA. SIDE, R-1 BATT INSULATION.
3. [---] EXISTING NON-LOAD BEARING INTERIOR PARTITION STD. WALL TO REMAIN 'AS IS'.	
4. [=====] NEW NON-LOAD BEARING INTERIOR PARTITION STD. WALL W/ 3/4" - 6" WIDE 25 GA METAL STUDS # 24" O.C. W/ (1) LAYER 3/4" TYPE "X" G.W.B. EA. SIDE, R-1 BATT INSULATION.	

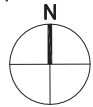
NOTE:
1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PLYWOOD OR WOOD BLOCKING.
2. ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED WALLS TO RECEIVE 5/16" "DUROCK" BACKING OR EQUAL.
4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
5. ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE "LIKE NEW CONDITION".

NOTE:
1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ G.W.B.
2. ALL INTERIOR FINISHES TO BE PATCHED AND MATCHED WITH EXISTING UNDO.
LIMITS OF CONSTRUCTION
(a) DOOR NUMBER
(b) WINDOW NUMBER
■ NEW STRUCTURAL COLUMN. SEE STRUCTURAL DRAWINGS.

EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1 x 1 1/2" FURRING STRIPS & 1/4" O.C. W/ 3/4" TYPE "X" G.W.B. - LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.
16' x 8' STAINLESS STEEL INSULATED FLOOD VENT BY "SMART VENT" MODEL # 840-920 AT PERIMETER WALL (W/ TRIM KIT 1940-536 FOR SEALING / A/C) - E.O.P. POWDER COAT FINISH (COLOR WHITE) (NOTE: A MIN. OF 2 OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS).

PROPOSED DEMOLITION PLAN

SCALE: 1" = 10'-0"



1
A100DE



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ISSUED FOR: HFB
BIDS
PERMIT: 52615
CONSTRUCTION

PROJECT TITLE
**MARINE
VILLA'S ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS
1. REVISED 6/30/19 AS PER CITY COMMENTS
2. PROVIDED DEMOLITION FLOOR PLAN/SITE PLAN

FILE NUMBER
802A100DE

DRAWING TITLE
**PROPOSED
DEMOLITION
PLAN**

DATE: 06.27.19
JOB NUMBER: 20180802
DRAWING NUMBER

A1.00DE

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PLOTTED 06/26/19 - 3:00 PM



EXISTING SITE IS LOCATED ON THE WEST SIDE OF MARINE WAY IN DELRAY BEACH, FLORIDA.

VICINITY MAP



DESCRIPTION:

LOTS 3, 4, 5 AND THE NORTH 10 FEET OF LOT 6, BLOCK 26, A SUBDIVISION OF BLOCK 26, DELRAY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESS PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

EXISTING SITE DATA

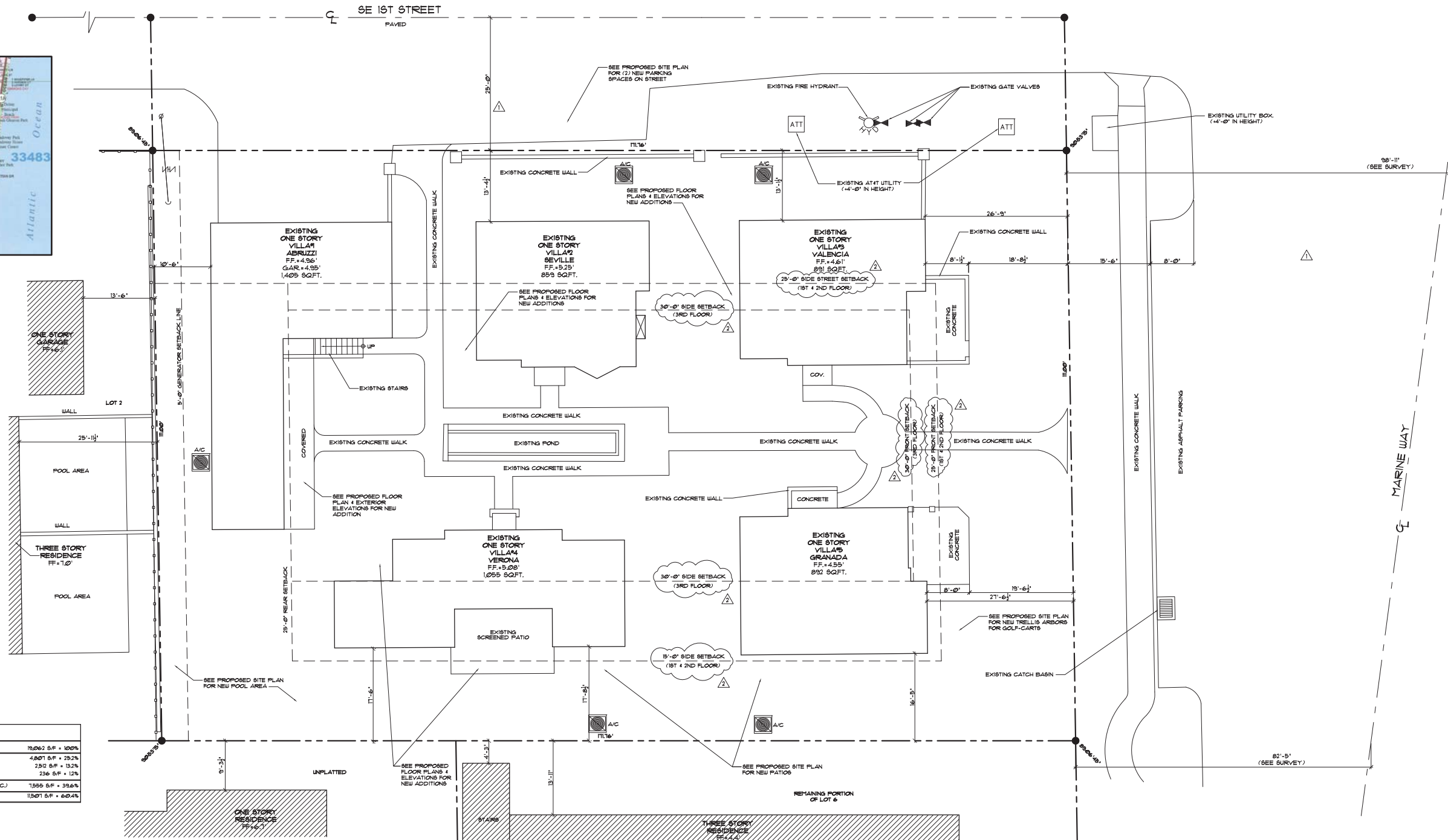
TOTAL SITE AREA	73,062 S.F. ± 100%
TOTAL BUILDINGS FOOTPRINT	4,801 S.F. ± 25.2%
DRIVEWAY, PARKING & WALKWAY PAVERS	2,512 S.F. ± 13.3%
POND	236 S.F. ± 1.2%
TOTAL IMPERVIOUS AREA (BUILDINGS, PAVERS & ETC.)	7,549 S.F. ± 39.6%
TOTAL PERVIOUS AREA (LANDSCAPING)	11,501 S.F. ± 60.4%

SETBACKS:

	EXISTING	REQUIRED
FRONT	26'-9" / 21'-6 1/2"	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)
SIDE STREET	13'-1 1/2" / 13' - 4 1/2"	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)
SIDE INTERIOR	11'-8 1/2"	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)
REAR	10'-4"	25'-0"
HEIGHT (ABOVE CROWN OF ROAD)	10'-1" THRU 11'-9"	35'-0" (MEAN ROOF HEIGHT)
ZONING	RM - HISTORIC MARINA DISTRICT	

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



1
A100E

EXISTING SITE PLAN

SCALE : 1" = 10'-0"

(FOR REFERENCE ONLY)



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ISSUED FOR HPB

BIDS

PERMIT 93619

CONSTRUCTION

PROJECT TITLE

MARINE
VILLA'S ON
MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

1. REVISED 6/30/19 AS PER CITY COMMENTS:
1. ADDED DIMENSIONS TO CENTER LINE OF ADJACENT ROAD.
2. REVISED 9/16/19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.

THIS DRAWING IS NOT FOR CONSTRUCTION.
IT HAS BEEN ISSUED FOR GOVERNMENTAL
REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER 802A100E

DRAWING TITLE

EXISTING
SITE PLAN
(FOR REFER.
ONLY)

DATE 08.06.18

DRAWN BY GE/AH

JOB NUMBER 20180802

DRAWING NUMBER

A1.00E



VICINITY MAP



DESCRIPTION:
LOTS 3, 4, 5 AND THE NORTH 10 FEET OF LOT 6, BLOCK 18, A SUBDIVISION OF BLOCK 36, DELRAY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 4 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

GENERAL NOTES:

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, FLATS, OPENINGS, SLEEVES, HANGERS, GLASS DIMENSIONS AND FITTINGS AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT FROM THE ARCHITECT.

SEEKING RELIEF FROM PROPOSED ADDITIONS TO MEETING THE MINIMUM FINISH FLOOR ELEVATIONS OF 10' NAVD. PURSUANT TO LDR CHAPTER 10 AND FLORIDA BUILDING CODE 618 - HISTORIC BUILDINGS. ALL PROPOSED ADDITIONS TO BE AT ELEVATION 5.25' NAVD.

ADJACENT STRUCTURES (FOR REFERENCE ONLY)

SITE DATA PROVIDED PURSUANT TO LDR SECTION 4.3.4(K) - DEVELOPMENT STANDARDS MATRIX

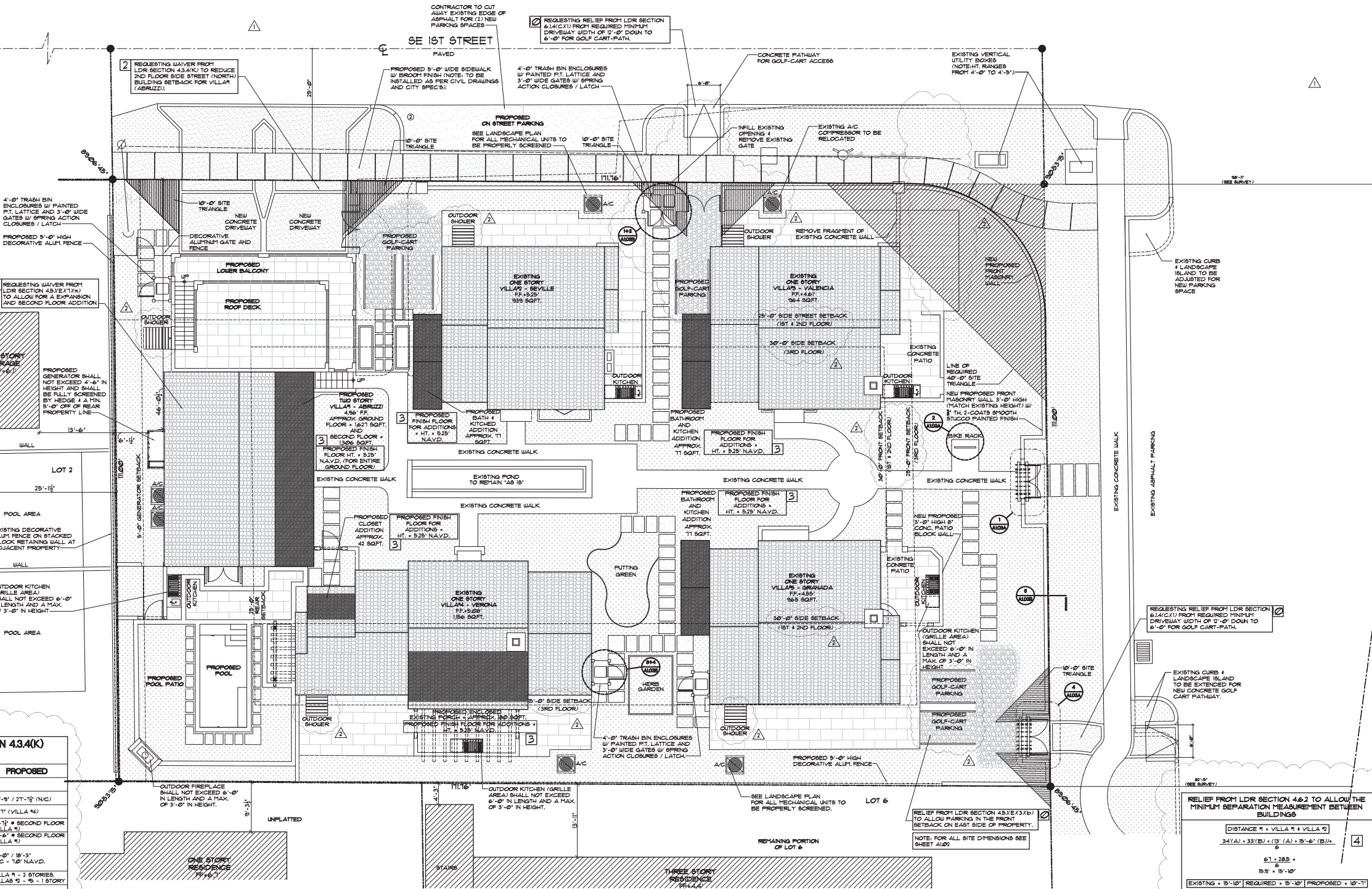
	REQUIRED - PERMITTED	EXISTING	PROPOSED
ZONING	RS-1 - HISTORIC MARINA DISTRICT		
FRONT SETBACK	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	26'-9" / 27'-1"	26'-9" / 27'-1" (N/C)
SIDE INTERIOR SETBACK	15'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	12'-1" / 16'-5"	12'-1" (VILLA #4)
SIDE STREET SETBACK	25'-0" (1ST & 2ND FLOOR) / 30'-0" (3RD FLOOR)	13'-1" / 13'-1"	13'-1" * SECOND FLOOR (VILLA #4)
REAR SETBACK	25'-0"	10'-6"	10'-6" * SECOND FLOOR (VILLA #4)
HEIGHT	35'-0" (MEAN ROOF HEIGHT)	31'-0" / 10'-0" ABOVE FBC - 10' NAVD.	10'-0" / 10'-3" FBC - 10' NAVD.
FLOORS	3 - STORIES	VILLAS #1 - #5 - 1 STORY	VILLA #1 - 2 STORIES, VILLAS #2 - #5 - 1 STORY
WIDTH OF SITE	60'-0"	111'-9"	
DEPTH OF SITE	100'-0"	111'-0"	
FRONTAGE	60'-0"	111'-0"	
TOTAL SITE AREA	6,000 SQFT.	12,662 S.F. (43 ACRES) * 100%	12,662 S.F. (43 ACRES) * 100%
PERVIOUS AREA		1,591 S.F. * 6.08%	1,501 S.F. * 4.13%
IMPERVIOUS AREA		1,465 S.F. * 35.2%	10,291 S.F. * 52.7%
OPEN SPACE	MIN. 25%	14,795 S.F. * 14.5%	13,291 S.F. * 6.57%
FLOOR AREA	500 S.F. (MIN. TWO BEDROOMS)	484 S.F. / 925 S.F.	548 S.F. / 111 S.F.
FLOOR AREA RATIO			
NUMBER OF DWELLING UNITS	5 UNITS	1 EFFICIENCY + 4 TWO BEDROOM UNITS	5 UNITS
DENSITY (UNITS PER ACRE)	5.25 UNITS	10,662 / 1 ACRE * 12 * 5.25	5 UNITS

(N/C) - NO CHANGE

NUMBER OF UNITS		SIZE	
		EXISTING	PROPOSED
1 - EFFICIENCY	VILLA #1	484 SQFT.	N/A
2 - BEDROOM	VILLA #1	484 SQFT.	121 SQFT.
	VILLA #2	899 SQFT.	948 SQFT.
	VILLA #3	991 SQFT.	981 SQFT.
	VILLA #4	925 SQFT.	111 SQFT.
	VILLA #5	992 SQFT.	981 SQFT.
3 BEDROOM	N/A	N/A	N/A
4 BEDROOM	N/A	N/A	N/A

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)



PROPOSED SITE PLAN

SCALE: 1" = 10'-0"



VARIANCES	REQUIRED	EXISTING	PROPOSED	JUSTIFICATION	#
Relief from LDR Section 4.3.4(K) to reduce 2nd floor rear (west) building setback for Villa #1 (Abruzzi)	25'-0"	10'-6"	10'-6"	See proposed application for justification.	1
Relief from LDR Section 4.3.4(K) to reduce 2nd floor side (east) building setback for Villa #1 (Abruzzi)	25'-0"	13'-1"	13'-1"	See proposed application for justification.	2
Relief from LDR Section 4.3.4(K) to reduce 2nd floor side (east) building setback for Villa #1 (Abruzzi)	10' NAVD.	4.96'	5.25'	See proposed application for justification.	3
LDR Chapter 10 - Flood Variance for addition to Villa #1	10' NAVD.	5.25'	5.25'	See proposed application for justification.	3
LDR Chapter 10 - Flood Variance for addition to Villa #2	10' NAVD.	4.61'	5.25'	See proposed application for justification.	3
LDR Chapter 10 - Flood Variance for addition to Villa #4	10' NAVD.	5.08'	5.25'	See proposed application for justification.	3
LDR Chapter 10 - Flood Variance for addition to Villa #5	10' NAVD.	4.59'	5.25'	See proposed application for justification.	3
WARRANTS	REQUIRED	EXISTING	PROPOSED	JUSTIFICATION	#
Relief from LDR Section 4.6.2 to allow the minimum separation measurement between buildings	15'-10"	15'-10"	10'-11"	See attached sheet A100C for actual location / measurement and waiver letter request.	4
	15'-6"	11'-0"	11'-9"	See attached sheet A100C for actual location / measurement and waiver letter request.	5
	14'-4"	21'-0"	21'-0"	No waiver required.	6
	20'-0"	21'-0"	16'-3"	See attached sheet A100C for actual location / measurement and waiver letter request.	7
	14'-6"	28'-6"	28'-6"	No waiver required.	8
	18'-9"	10'-6"	5'-0"	See attached sheet A100C for actual location / measurement and waiver letter request.	9
	25'-0"	N/A	13'-1"	Submitted justification - see attached letter.	10
		N/A		Submitted justification - see attached letter.	11
Relief from LDR Section 4.3.4(K) to reduce min. driveway width for golf cart path on north side of the property	12'	N/A	6'	Submitted justification - see attached letter (based on support from City Engineer - see memo dated Sept. 5, 2018).	12
Relief from LDR Section 6.14(C)(1) to reduce min. driveway width for golf cart path on east side of the property	12'	N/A	6'	Submitted justification - see attached letter (based on support from City Engineer - see memo dated Sept. 5, 2018).	13
OTHER RELIEF REQUESTED	REQUIRED/MAX.	EXISTING	PROPOSED	JUSTIFICATION	#
Parking reduction per LDR Section 4.6.3(F)(1)	13	4	4	Submitted justification - see attached letter.	14

RELIEF FROM LDR SECTION 4.6.2 TO ALLOW THE MINIMUM SEPARATION MEASUREMENT BETWEEN BUILDINGS

DISTANCE #1 = VILLA #1 & VILLA #2 $34'(A) + 33'(B) + (3'(A) + 3'-6"(B)) \div 6$	4
61' + 28.5' = 89.5' > 15'-0" PROPOSED = 10'-1"	
EXISTING = 15'-0" REQUIRED = 15'-0" PROPOSED = 10'-1"	
DISTANCE #2 = VILLA #2 & VILLA #3 $33'(A) + 35'(B) + (3'-6"(A) + 3'-6"(B)) \div 6$	5
68' + 31' = 99' > 15'-0" PROPOSED = 11'-3"	
EXISTING = 11'-0" REQUIRED = 15'-0" PROPOSED = 11'-3"	
DISTANCE #3 = VILLA #3 & VILLA #4 $27'-6"(A) + 21'-6"(B) + (3'-6"(A) + 3'-6"(B)) \div 6$	6
55' + 31' = 86' > 14'-4" PROPOSED = 21'-0"	
EXISTING = 21'-0" REQUIRED = 14'-4" PROPOSED = 21'-0"	
DISTANCE #4 = VILLA #4 & VILLA #5 $39'-0"(A) + 35'-0"(B) + (3'-6"(A) + 3'-6"(B)) \div 6$	7
74' + 30' = 104' > 20'-0" PROPOSED = 16'-3"	
EXISTING = 21'-0" REQUIRED = 20'-0" PROPOSED = 16'-3"	
DISTANCE #5 = VILLA #5 & VILLA #1 $30'-0"(A) + 21'-0"(B) + (3'-6"(A) + 3'-6"(B)) \div 6$	8
51' + 30' = 81' > 14'-4" PROPOSED = 28'-6"	
EXISTING = 28'-6" REQUIRED = 14'-4" PROPOSED = 28'-6"	
DISTANCE #6 = VILLA #1 & VILLA #4 $34'(A) + 33'(B) + (3'-6"(A) + 3'-6"(B)) \div 6$	9
59' + 27.5' = 86.5' > 15'-0" PROPOSED = 5'-0"	
EXISTING = 10'-6" REQUIRED = 15'-0" PROPOSED = 5'-0"	

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FAX: 561-276-6129

ISSUED FOR: HFB
BIDS
PERMIT: 4348
CONSTRUCTION

PROJECT TITLE

MARINE VILLAS ON MARINE WAY

110 MARINE WAY DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

- REVISED 6/30/19 AS PER CITY COMMENTS.
- PROVIDED SITE TRIANGLES.
- PROVIDED TRASH BIN ENCLOSURES.
- ADJUSTED DRIVEWAYS/GOLF CART PATHS.
- SHIRTED TRELLIS STRUCTURES.
- ADDED EXISTING CENTER LINE OF ROADS AND ADJACENT PROPERTIES.
- ADDED ALL REQUESTED VARIANCES.
- REVISED 3/16/19 AS PER CITY COMMENTS.
- REMOVED TRELLIS & OUTDOOR SHOWER STRUCTURES.
- ADJUSTED SITE TRIANGLE.
- UPDATED SETBACKS.
- UPDATED CALCULATIONS.

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FILE NUMBER: 802A101

DRAWING TITLE

PROPOSED SITE PLAN

DATE: 08.06.18

DRAWN BY: GE/AH

JOB NUMBER: 20180802

DRAWING NUMBER

A1.01



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Designer
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ISSUED FOR HPB

BIDS

PERMIT 92679

CONSTRUCTION

PROJECT TITLE

**MARINE
VILLAS ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS

- △ REVISED 6/30/19 AS PER CITY
COMMENTS:
1. PROVIDED SITE TRIANGLES.
 2. PROVIDED TRASH
ENCLOSURES.
 3. ADJUSTED DRIVEWAYS/GOLF
CART PATHS.
 4. PROVIDED DIMENSIONS TO
ADJACENT CENTER LINES OF
ROADS.

- △ REVISED 9/16/19 AS PER CITY
COMMENTS:
1. REMOVED PROPOSED
TRELLISES & OUTDOOR
SHOWER STRUCTURES.
 2. ADJUSTED SITE TRIANGLE.
 3. UPDATED SETBACKS.

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ONLY.

FILE NUMBER 802A102

DRAWING TITLE

**PROPOSED
DIMENSIONED
SITE PLAN**

DATE 08.06.18

DRAWN BY GE/AH

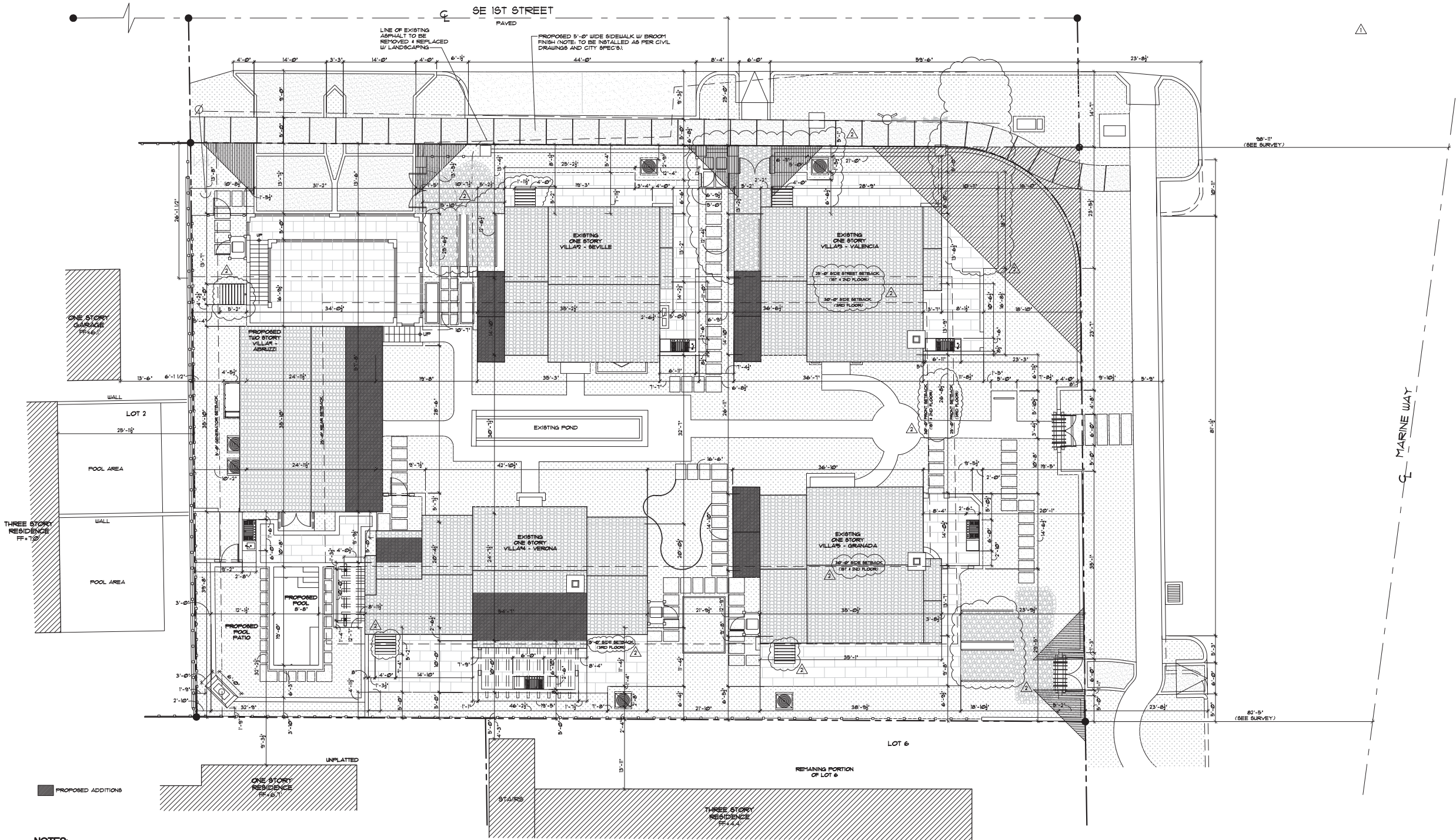
JOB NUMBER 20180802

DRAWING NUMBER

A1.02

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NOTES:

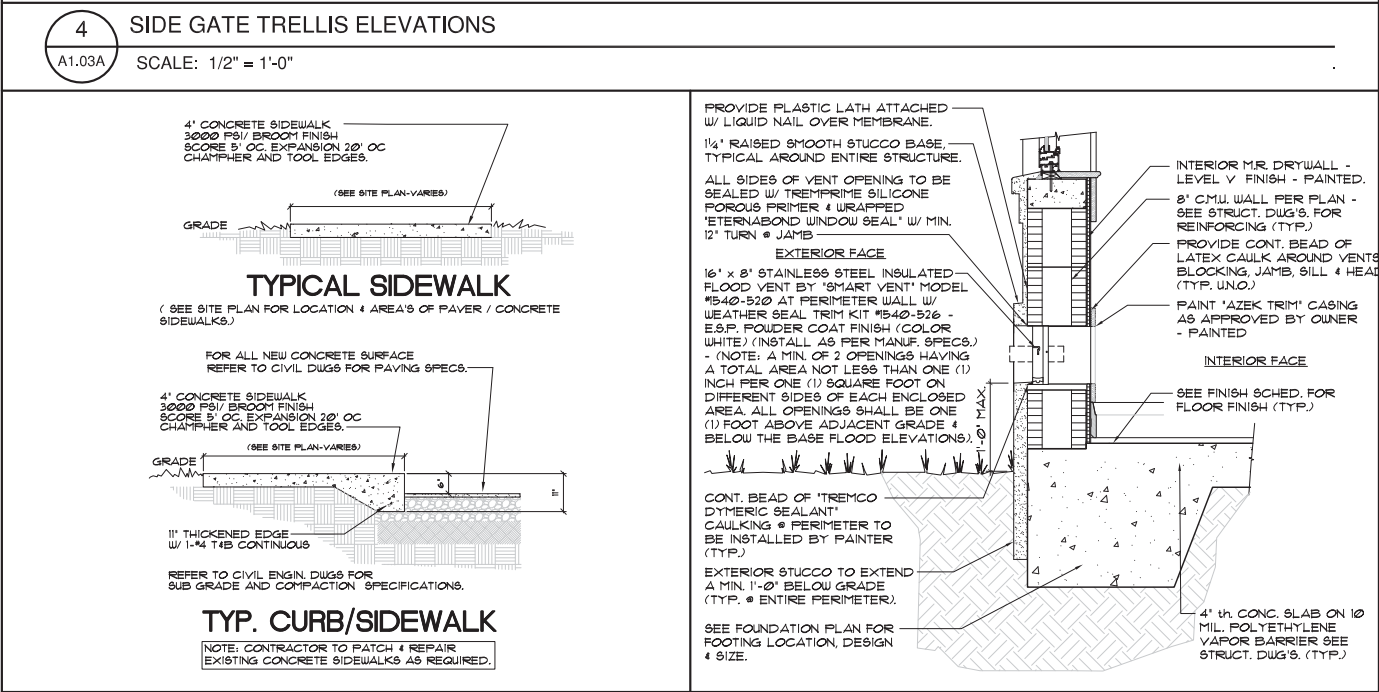
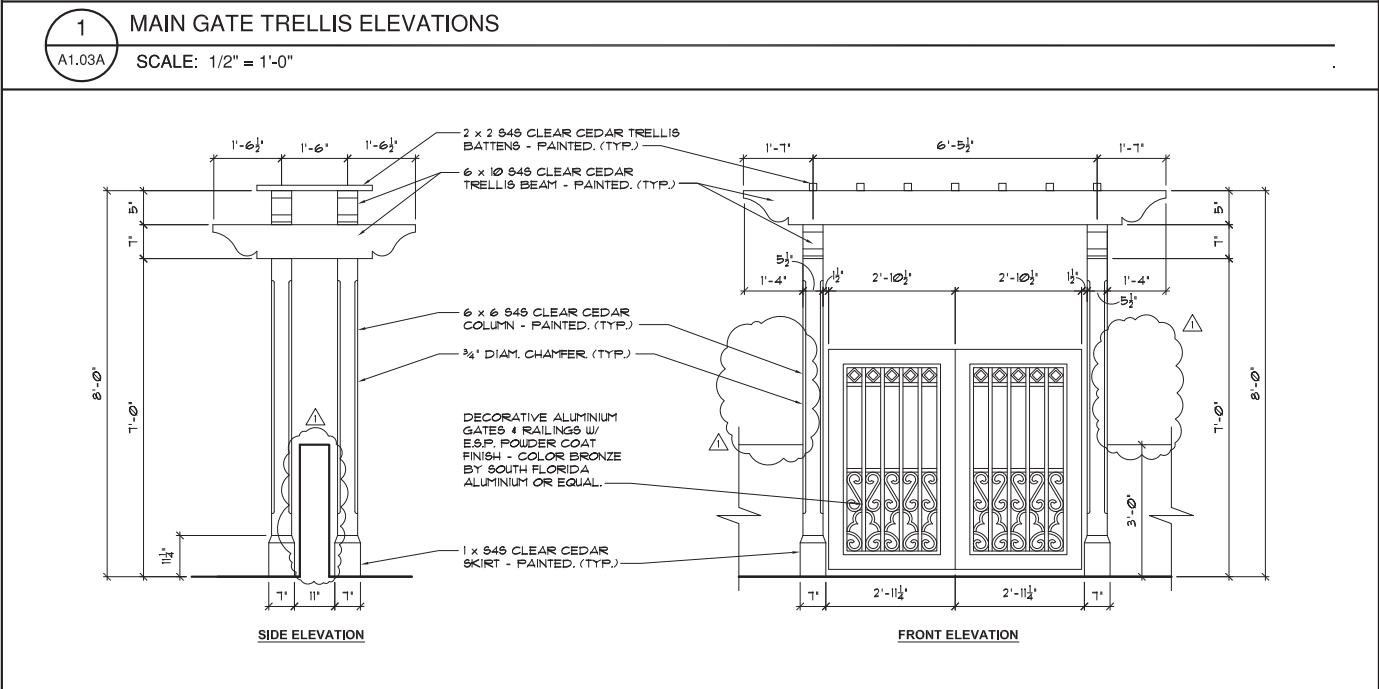
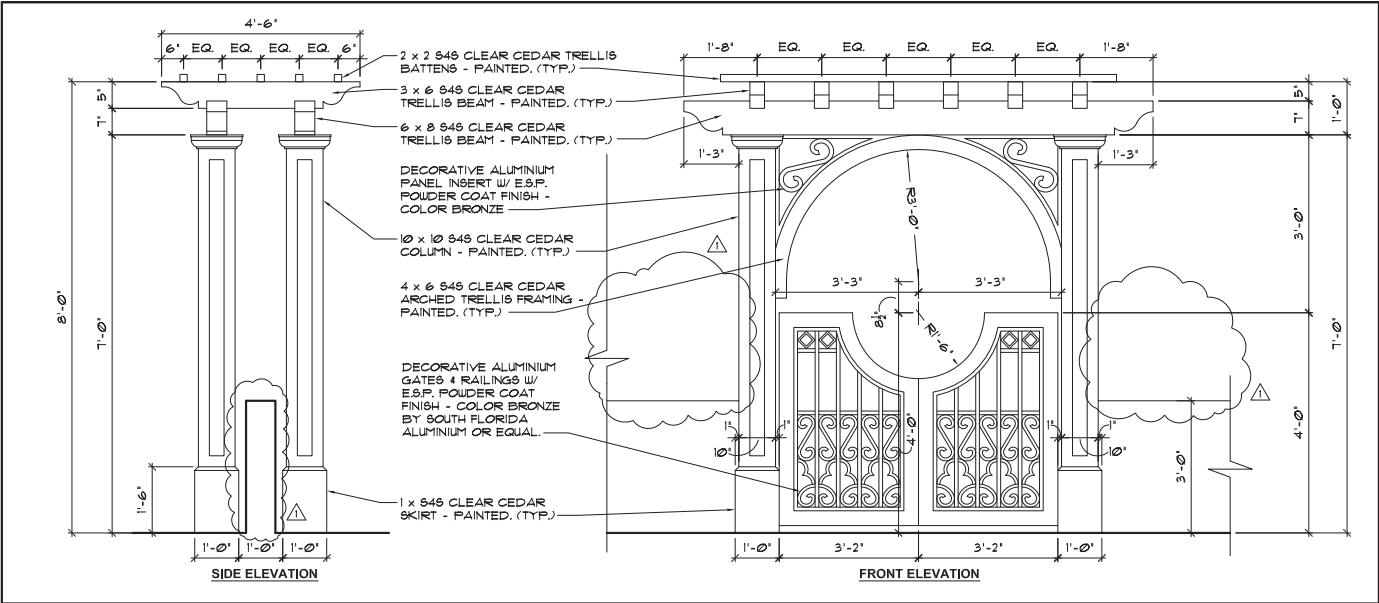
1. DO NOT SCALE DRAWINGS!
2. FIELD VERIFY ALL DIMENSIONS!
3. CONTRACTOR TO VERIFY ALL EXISTING
CONDITIONS AND NOTIFY ARCHITECT
IF ANY DISCREPANCY W/ DRAWINGS.
(SEE GENERAL NOTES)
4. ALL AREA CALCULATIONS ARE APPROX.

1
A102

PROPOSED DIMENSIONED SITE PLAN

SCALE: 1" = 10'-0"





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BIDS
PERMIT 93619
CONSTRUCTION

PROJECT TITLE
MARINE VILLAS ON MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS
1. REVISED 9/16/19 AS PER CITY COMMENTS
2. REMOVED ALUMINUM RAILINGS FROM CONCRETE MASONRY WALLS.
3. REMOVED TRELLISES & OUTDOOR SHOWER STRUCTURES.

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FILE NUMBER 802A103A

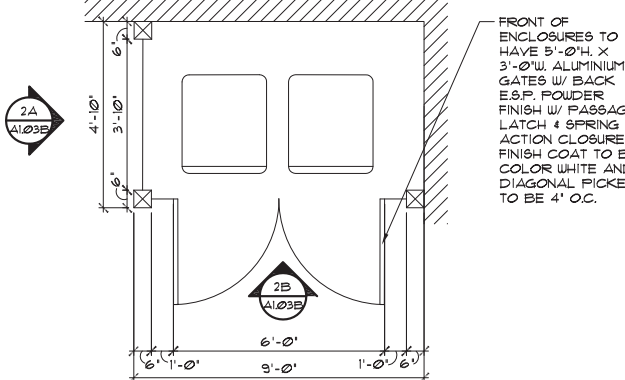
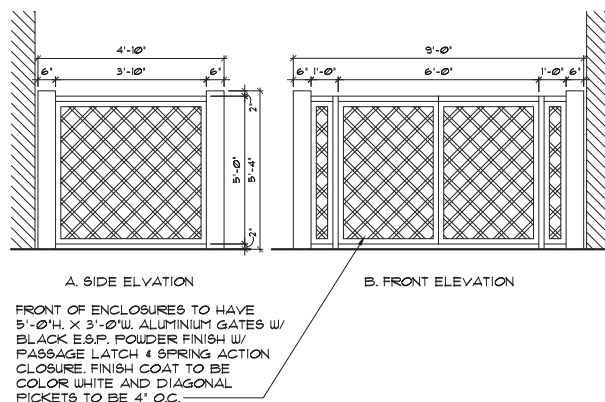
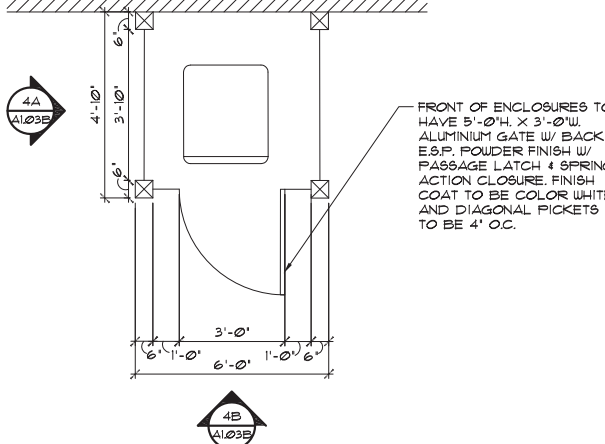
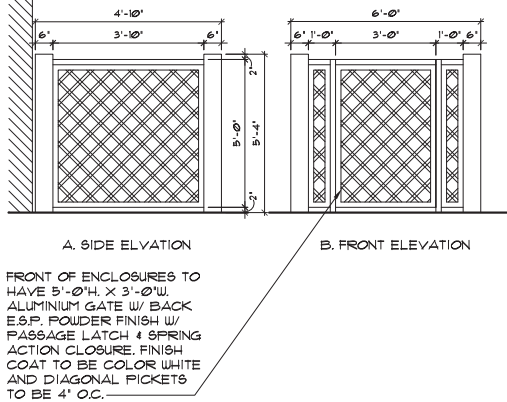
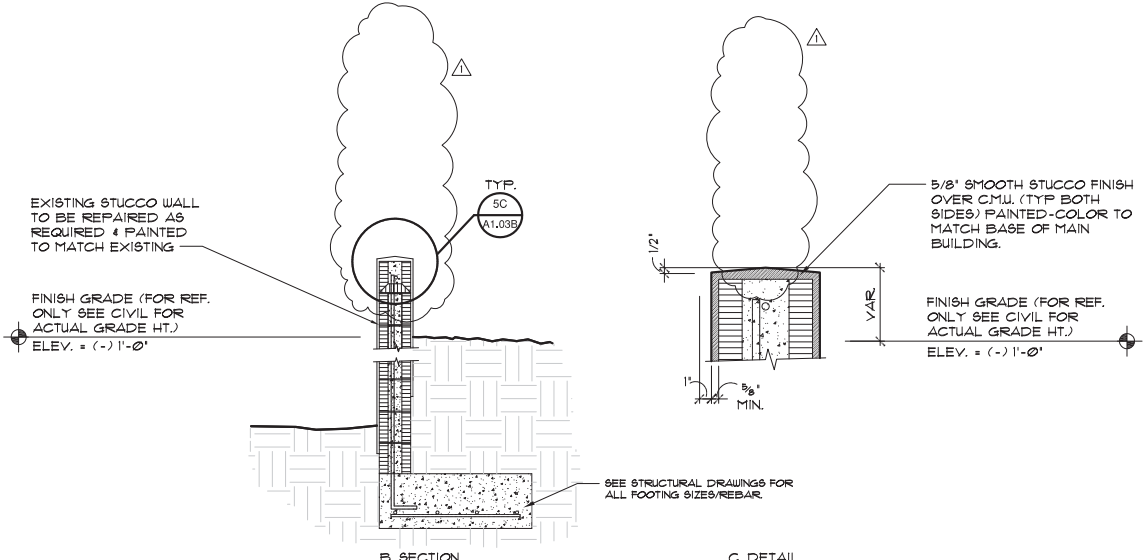
DRAWING TITLE

SITE DETAILS

DATE 1.23.19 DRAWN BY GE/MJ
JOB NUMBER 20180802
DRAWING NUMBER

A1.03A

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 <p>FRONT OF ENCLOSURES TO HAVE 5'-0"H. X 3'-0"W. ALUMINIUM GATES W/ BACK E.S.P. POWDER FINISH W/ PASSAGE LATCH & SPRING ACTION CLOSURE. FINISH COAT TO BE COLOR WHITE AND DIAGONAL PICKETS TO BE 4' O.C.</p>		 <p>A. SIDE ELEVATION FRONT OF ENCLOSURES TO HAVE 5'-0"H. X 3'-0"W. ALUMINIUM GATES W/ BLACK E.S.P. POWDER FINISH W/ PASSAGE LATCH & SPRING ACTION CLOSURE. FINISH COAT TO BE COLOR WHITE AND DIAGONAL PICKETS TO BE 4' O.C.</p> <p>B. FRONT ELEVATION</p>		 <p>FRONT OF ENCLOSURES TO HAVE 5'-0"H. X 3'-0"W. ALUMINIUM GATE W/ BACK E.S.P. POWDER FINISH W/ PASSAGE LATCH & SPRING ACTION CLOSURE. FINISH COAT TO BE COLOR WHITE AND DIAGONAL PICKETS TO BE 4' O.C.</p>		 <p>A. SIDE ELEVATION FRONT OF ENCLOSURES TO HAVE 5'-0"H. X 3'-0"W. ALUMINIUM GATE W/ BACK E.S.P. POWDER FINISH W/ PASSAGE LATCH & SPRING ACTION CLOSURE. FINISH COAT TO BE COLOR WHITE AND DIAGONAL PICKETS TO BE 4' O.C.</p> <p>B. FRONT ELEVATION</p>	
1 TRASH ENCLOSURE I A1.03B SCALE: N.T.S. PLAN		2 TRASH ENCLOSURE I A1.03B SCALE: N.T.S. ELEVATIONS		3 TRASH ENCLOSURE II A1.03B SCALE: N.T.S. PLAN		4 TRASH ENCLOSURE II A1.03B SCALE: N.T.S. ELEVATIONS	
 <p>B. SECTION EXISTING STUCCO WALL TO BE REPAIRED AS REQUIRED & PAINTED TO MATCH EXISTING FINISH GRADE (FOR REF. ONLY SEE CIVIL FOR ACTUAL GRADE HT.) ELEV. = (-) 1'-0" TYP. 5C A1.03B SEE STRUCTURAL DRAWINGS FOR ALL FOOTING SIZES/REBAR</p> <p>C. DETAIL 5/8" SMOOTH STUCCO FINISH OVER C.M.U. (TYP BOTH SIDES) PAINTED-COLOR TO MATCH BASE OF MAIN BUILDING. FINISH GRADE (FOR REF. ONLY SEE CIVIL FOR ACTUAL GRADE HT.) ELEV. = (-) 1'-0" 1" MIN.</p>							
5 PROPOSED PARAMETER MASONRY WALL A1.03B SCALE: N.T.S.				6 NOT USED A1.03B SCALE:		7 NOT USED A1.03B SCALE:	
8 NOT USED A1.03B SCALE:		9 NOT USED A1.03B SCALE:		10 NOT USED A1.03B SCALE:		11 NOT USED A1.03B SCALE:	

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architecture, inc.

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Delray Beach, Florida 33483
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PERMIT
926/15

CONSTRUCTION

PROJECT TITLE
MARINE VILLAS ON MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS
REVISID 9/16/15 AS PER CITY COMMENTS:
1. REMOVED ALUMINIUM RAILINGS FROM CONCRETE MASONRY WALLS.
2. REMOVED TRELLISES & OUTDOOR SHOWER STRUCTURES.

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FILE NUMBER
802A103B

DRAWING TITLE
SITE DETAILS

DATE
6.23.19

DRAWN BY
GE/AH

JOB NUMBER
20180802

DRAWING NUMBER

110 MARINE WAY
DELRAY BEACH, FL.

802A103B

6.23.19

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110 MARINE WAY
DELRAY BEACH, FL.

<

Architect, Planner and Designer
AA-26002044
1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR HPB
BIDS
PERMIT 93619
CONSTRUCTION

PROJECT TITLE
MARINE VILLAS ON MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS
REVIS'D 9/6/19 AS PER CITY COMMENTS:
1. REMOVED ALUMINIUM RAILINGS FROM CONCRETE MASONRY WALLS.
2. REMOVED TRELLISES & OUTDOOR SHOWER STRUCTURES.

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FILE NUMBER 802A103B

DRAWING TITLE

SITE DETAILS

DATE 6.23.19 | DRAWN BY GE/AH
JOB NUMBER 20180802

DRAWING NUMBER

A1.03B

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EXISTING SITE IS LOCATED ON THE WEST SIDE OF MARINE WAY IN DELRAY BEACH, FLORIDA.

VICINITY MAP



707 SE 1ST STREET



73 PALM SQUARE



702 SE 1ST STREET



116 MARINE WAY

PROPOSED
TWO STORY
VILLA#1 - ABRUZZI
APPROX. GROUND
FLOOR = 1,627 SQ.FT.
AND
SECOND FLOOR =
1,306 SQ.FT.

EXISTING
ONE STORY
VILLA#2 - SEVILLE
FF.#5.25'
939 SQ.FT.

EXISTING
ONE STORY
VILLA#3 - VALENCIA
FF.#4.61'
964 SQ.FT.

EXISTING
ONE STORY
VILLA#4 - VERONA
FF.#5.20'
1,156 SQ.FT.

EXISTING
ONE STORY
VILLA#5 - GRANADA
FF.#4.55'
965 SQ.FT.

PROPOSED ADDITIONS

EXISTING ARCHITECTURAL CONTEXT SITE PLAN

SCALE : N.T.S.



Architect, Planner and
Designer
AA-26002044

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Delray Beach, Florida 33483
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ISSUED FOR HPB
BIDS
PERMIT 936.9
CONSTRUCTION

PROJECT TITLE
**MARINE
VILLAS ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL

- REVISIONS
- REVISD 6.30.19 AS PER CITY COMMENTS:
1. ADDED DIMENSIONS TO CENTER LINE OF ADJACENT ROAD.
 - REVISD 9.16.19 AS PER CITY COMMENTS:
1. REMOVED PROPOSED TRELLISES & OUTDOOR SHOWER STRUCTURES.
2. ADJUSTED SITE TRIANGLE.
3. UPDATED SETBACKS.

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IT HAS BEEN ISSUED FOR GOVERNMENTAL
REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER 802A104

DRAWING TITLE

**EXISTING
ARCHITECTURAL
CONTEXT
SITE PLAN**

DATE 1.25.19

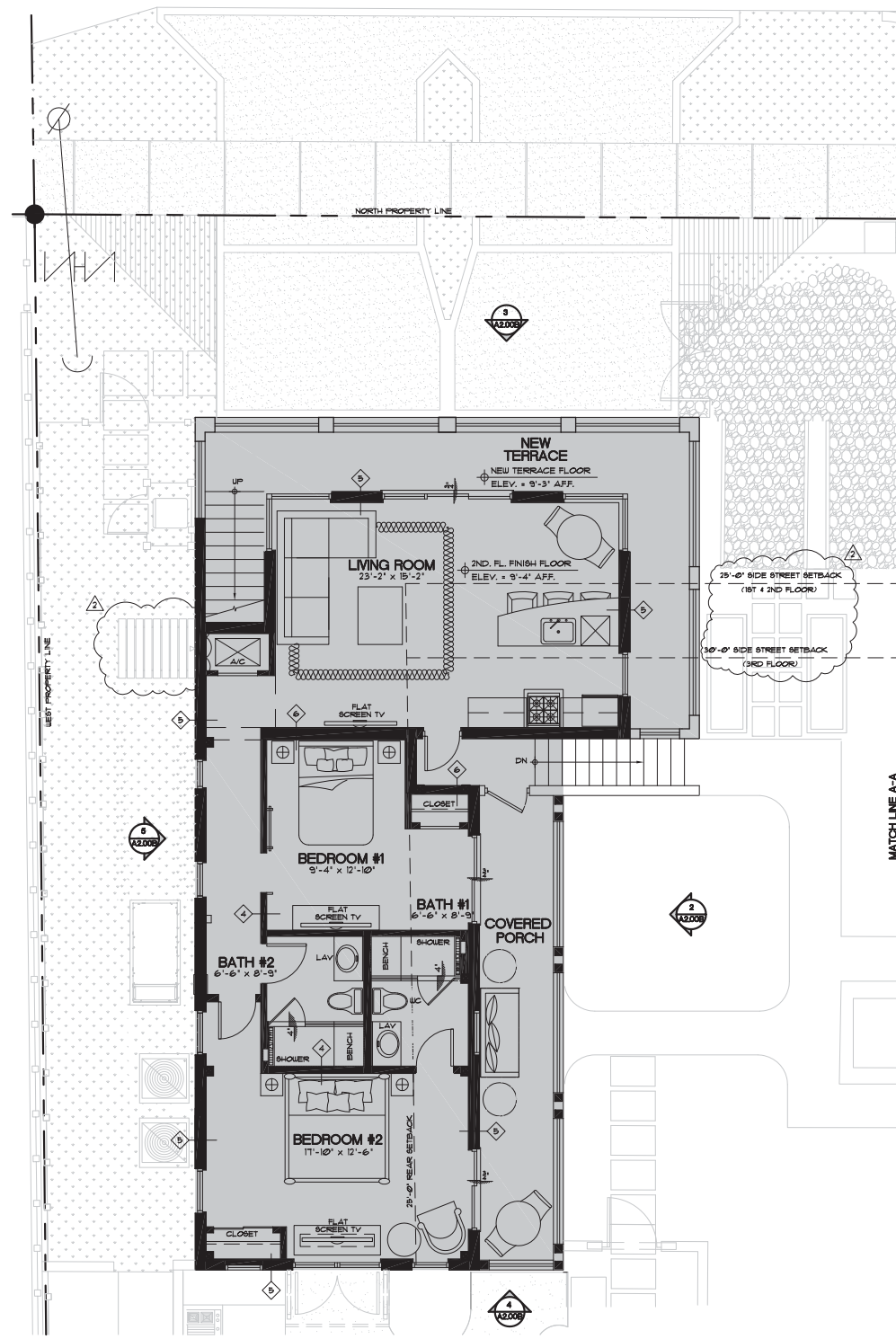
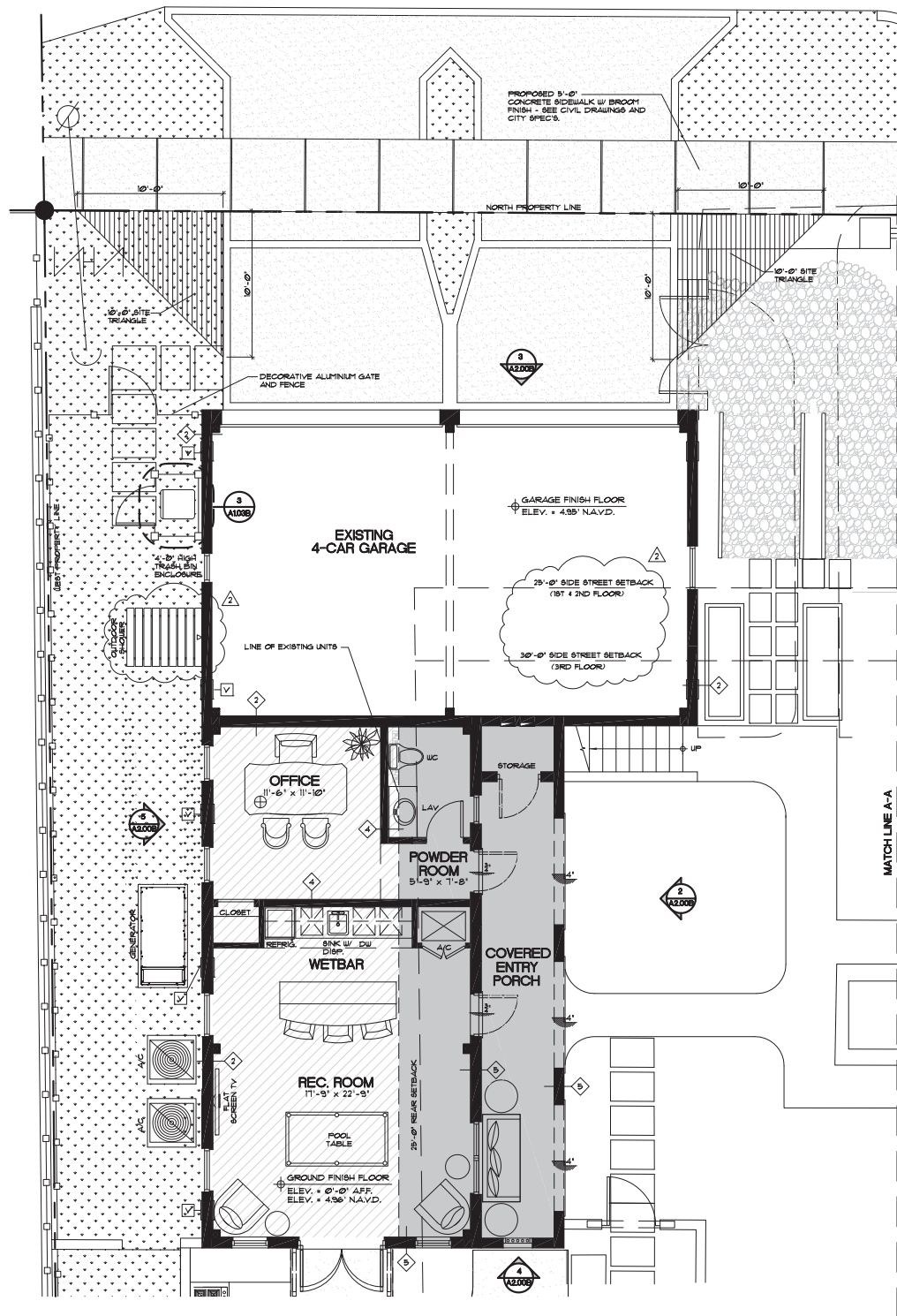
DRAWN BY GE/MJ

JOB NUMBER 20180802

DRAWING NUMBER

A1.04

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 PLOTTED 05/26/19 - 3:00 PM



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PLOTTED 3/26/13 - 3:00 PM



Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR

HPB

BIDS

926/9

PERMIT

CONSTRUCTION

CONSTRUCTION

PROJECT TITLE

MARINE
VILLAS ON
MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

- REVISED 6/10/19 AS PER CITY COMMENTS:
- PROVIDED EXISTING SQUARE FOOTAGE
 - PROVIDED 'FEMA' ELEVATIONS + NEW PAGE LAYOUTS
- REVISED 9/16/19 AS PER CITY COMMENTS:
- REMOVED PROPOSED TRELLIS + OUTDOOR SHOWER STRUCTURES
 - ADJUSTED SITE TRIANGLE
 - UPDATED SETBACKS

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FILE NUMBER

802A200B

DRAWING TITLE

PROP. ROOF
PLAN & ELEV.
VILLA#1
ABRUZZI

DATE

6.7.19

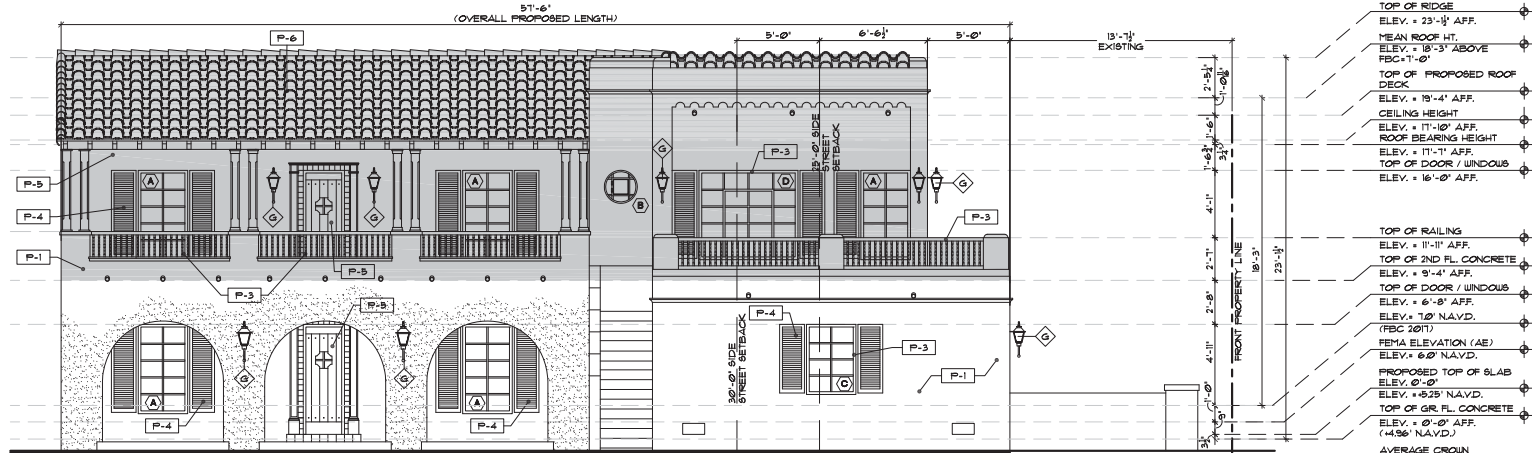
JOB NUMBER

20180802

DRAWING NUMBER

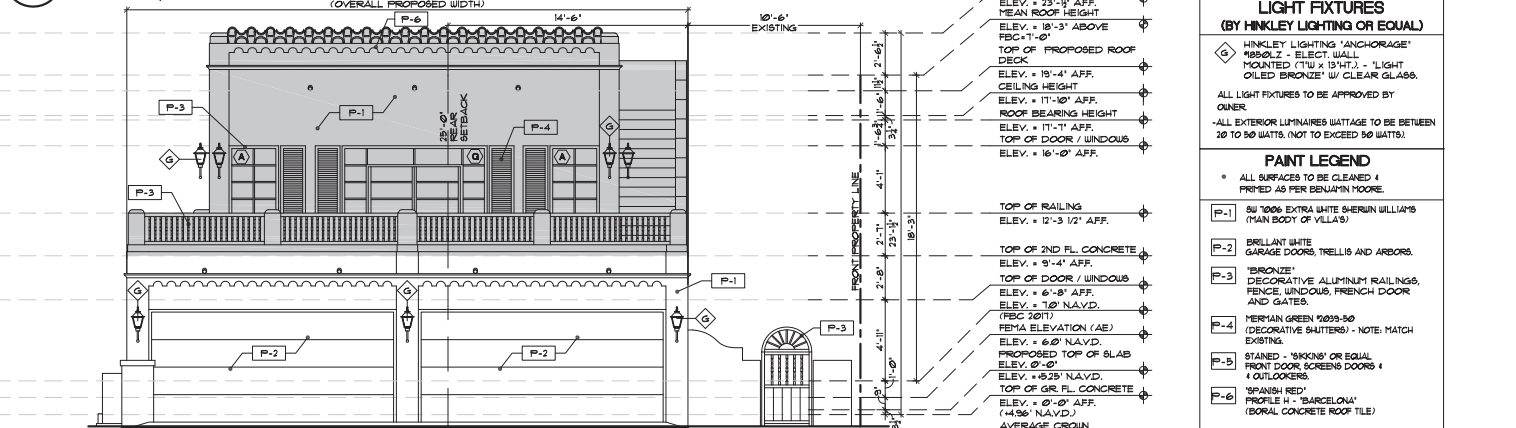
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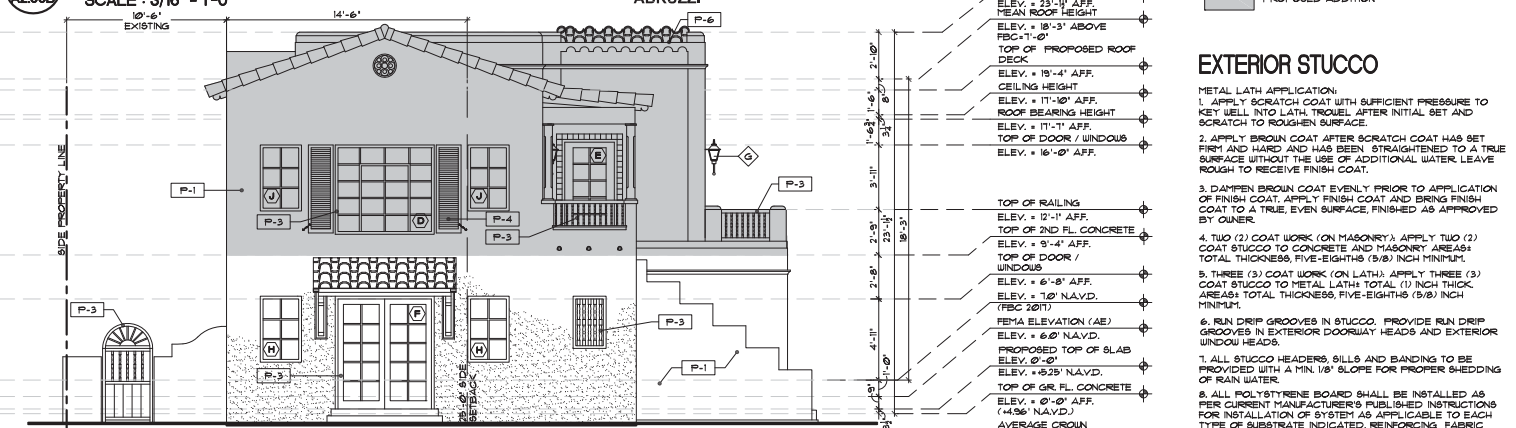
PROPOSED EAST ELEVATION: VILLA#1

SCALE: 3/16" = 1'-0"



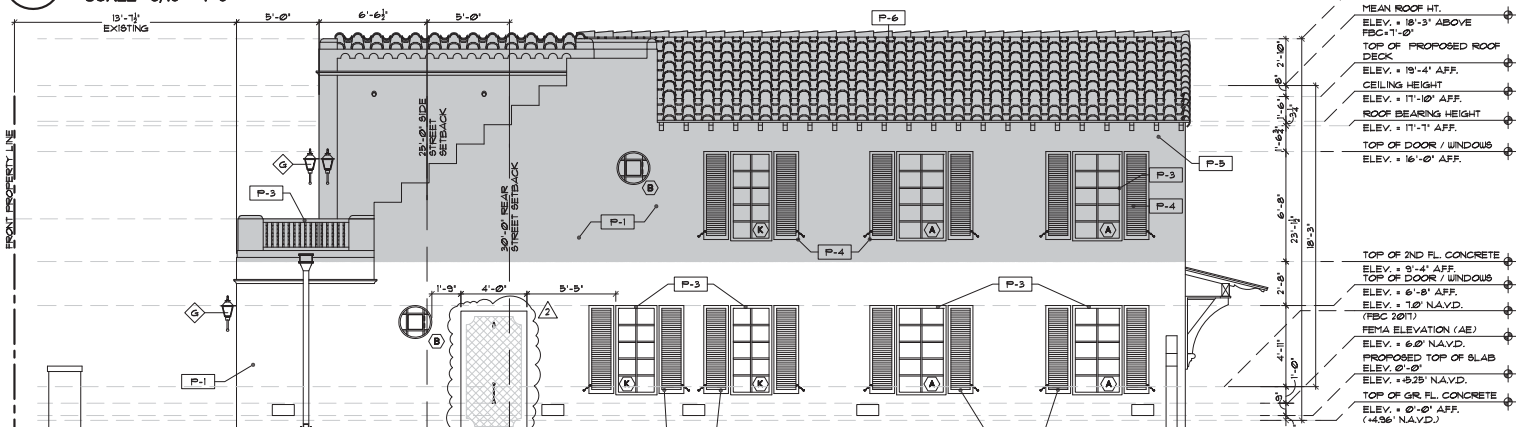
PROPOSED NORTH ELEVATION: VILLA#1

SCALE: 3/16" = 1'-0"



PROPOSED SOUTH ELEVATION: VILLA#1

SCALE: 3/16" = 1'-0"



PROPOSED WEST ELEVATION: VILLA#1

SCALE: 3/16" = 1'-0"



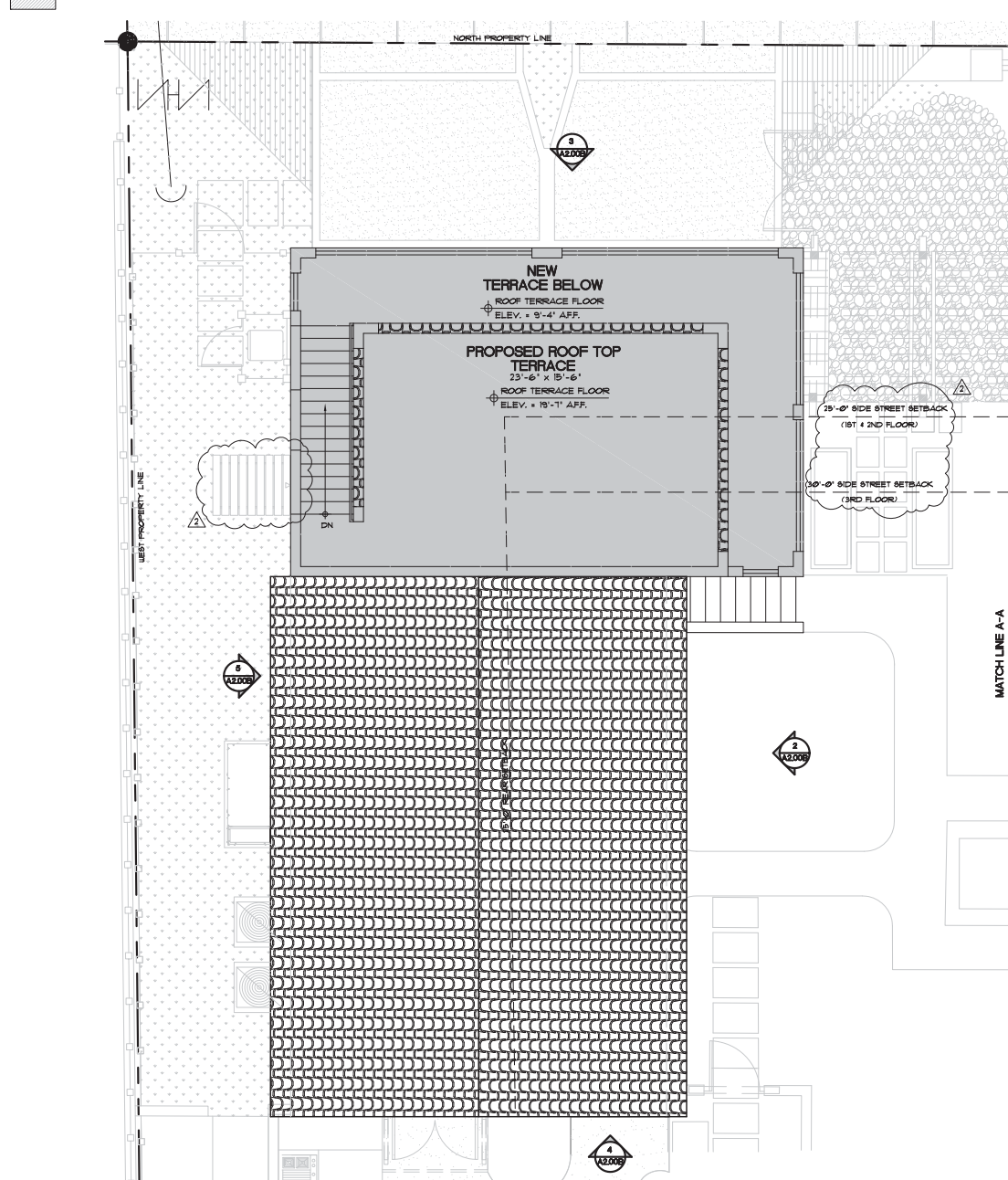
PROPOSED VILLA#1 - ABRUZZI:		
EXISTING 4-CAR GARAGE:	737 SQ.FT.	***
EXISTING GR. FL. COVERED PORCH:	181 SQ.FT.	***
EXISTING STORAGE UNDER STAIRCASE:	22 SQ.FT.	***
EXISTING FLOOR AREA UNDER A/C:	484 SQ.FT.	***
TOTAL EXISTING AREA UNDER ROOF:	1,424 SQ.FT.	***
PROPOSED GR. FL. AREA UNDER A/C:	700 SQ.FT.	***
PROPOSED GR. FL. COVERED PORCH:	181 SQ.FT.	***
PROPOSED 2ND FL. AREA UNDER A/C:	1,121 SQ.FT.	***
PROPOSED 2ND FL. COVERED PORCH:	217 SQ.FT.	***
PROPOSED TOTAL FLOOR AREA UNDER A/C:	1,821 SQ.FT.	***
PROPOSED 2ND FL. NEW TERRACE:	288 SQ.FT.	***
PROPOSED ROOF DECK:	435 SQ.FT.	***
PROP. TOTAL FLOOR AREA UNDER ROOF:	2,978 SQ.FT.	***

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES).
- ALL AREA CALCULATIONS ARE APPROX.

KEY MAP

SHADED AREA INDICATES PROPOSED ADDITION



PROPOSED ROOF PLAN: VILLA#1

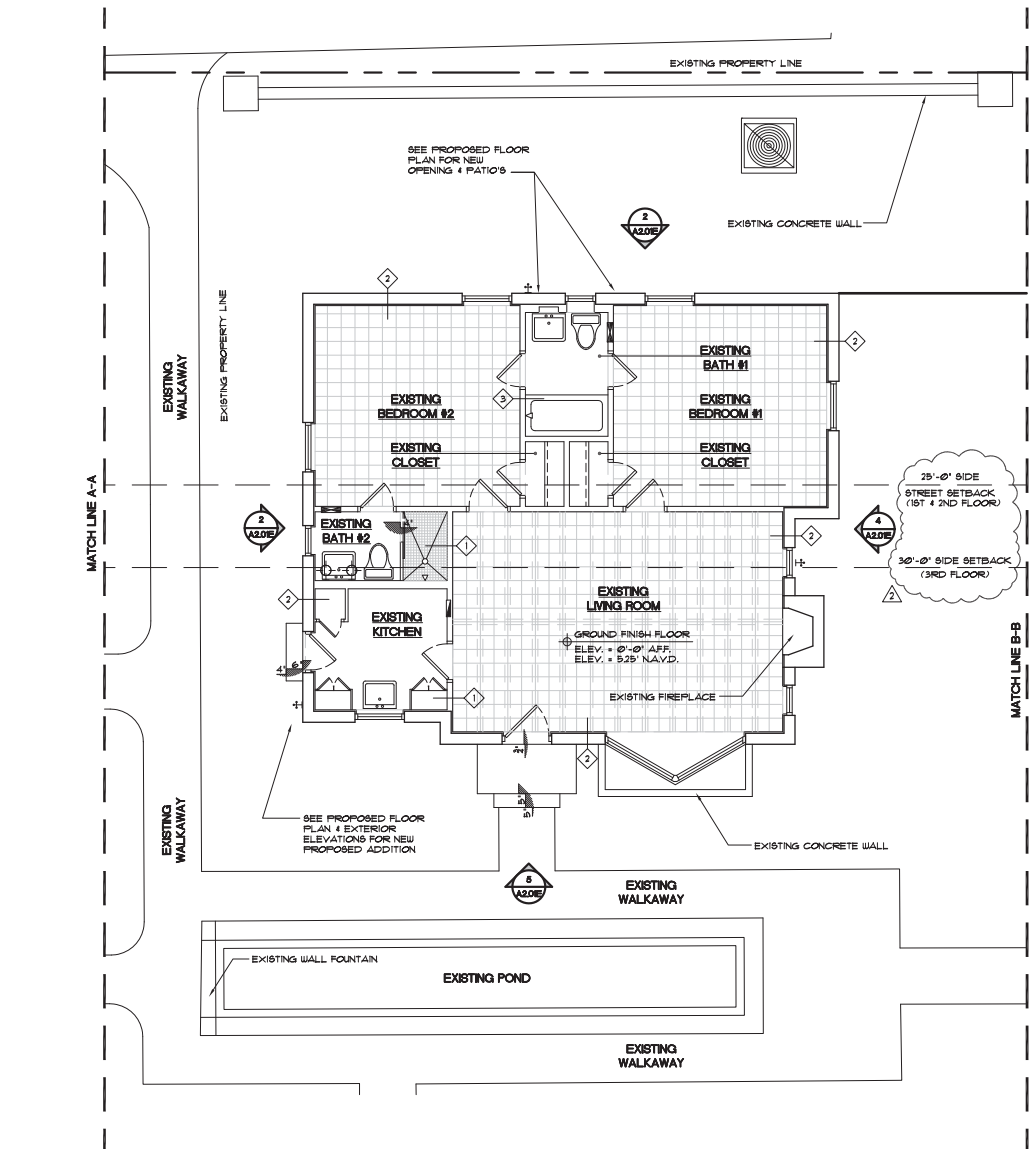
SCALE: 3/16" = 1'-0"

ABRUZZI

WALL LEGEND

- EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.
- EXISTING 8" CMU WALL TO REMAIN 'AS IS' (FIELD VERIFY IF WALL IS FURRED OUT TO ACCOMMODATE REQ. INTERIOR DIMENSIONS).
- EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.
- NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL W/ 3/8" - 6" WIDE 2# GA METAL STUDS @ 24" O.C. W/ (1) LAYER #4 TYPE 'X' GWS, EA. SIDE, R-1 BATT INSULATION.
- NOTE:
- ALL INTERIOR WALLS & CABINETS OR STAIR RAILINGS TO BE PROVIDED GYPSUM WALL BOARD, PAINTED ON RT, FURRING MATCH EXISTING (EA. SIDE OF 4" @ 24" O.C. W/ #41 FRIEL BACKED INSULATION BETWEEN RUNNING STRIPS & DRYWALL (MATCH ALL FINISHES W/ EXISTING).
 - ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT BOUND INSULATION (TYP.).
 - ALL TILED WALLS TO RECEIVE 5/16" 'DURLOCK' BACKING OR EQUAL.
 - ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
 - ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE 'LIKE NEW' CONDITION.
- NOTE:
- VERIFY ALL MATERIALS & FINISH SCHEDULE W/ CLIENT.
 - ALL INTERIOR FINISHES TO BE PATCHED AND MATCHED WITH EXISTING UNDO.
- LIMITS OF CONSTRUCTION
- DOOR NUMBER
- WINDOW NUMBER
- NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.
- EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1 x 1" FURRING STRIPS @ 16" O.C. W/ #4 TYPE 'X' GWS - 1 LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.
- 6" x 8" STAINLESS STEEL INSULATED FLOOR VENT BY 'SMART VENT' MODEL # 340-300 AT PERIMETER WALL (W/ TRIM KIT #340-306 FOR SEALING) A/C - 15# FLOUNDER COAT FINISH (COLOR WHITE) (NOTE: A MIN. OF 2" OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA, ALL OPENINGS SHALL BE ONE-WAY AIR FLOW ADJACENT GARAGE & BELOW THE BASE FLOOD ELEVATIONS).

- NOTE:
- ALL INTERIOR WALLS & CABINETS OR STAIR RAILINGS TO BE PROVIDED GYPSUM WALL BOARD, PAINTED ON RT, FURRING MATCH EXISTING (EA. SIDE OF 4" @ 24" O.C. W/ #41 FRIEL BACKED INSULATION BETWEEN RUNNING STRIPS & DRYWALL (MATCH ALL FINISHES W/ EXISTING).
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1
A2.01E
EXISTING FLOOR PLAN: VILLA#2 - "SEVILLE"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)

EXISTING VILLA#2 - SEVILLE:	
TOTAL FLOOR UNDER A/C	859 SQFT.
TOTAL FLOOR UNDER ROOF	859 SQFT.

WALL LEGEND

EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.

EXISTING 8" CMU WALL TO REMAIN 'AS IS'. FIELD VENTILATION WALL IS FINISHED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS.

EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.

NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL, 1/2" x 8" WIDE, 25 GA METAL STUDS @ 24" O.C. W/ (1) LAYER 5/8" TYPE 'X' GIBBS, EA. SIDE, N/A BATT INSULATION.

1/2" COAT STUCCO FIN-PAINTED ON 8" CONCRETE BLOCK W/ 5/8" TYPE 'X' GIBBS. W/ 8" SMOOTH LEVEL IV FINISH (MATCH EXISTING). PAINTED ON EA. SIDE OF 4" (4000042-34) 1/2" GA. MTL. STUDS @ 16" O.C. (SEE DFM PLAN FOR ACTUAL WALL THICKNESS) (PK. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE).

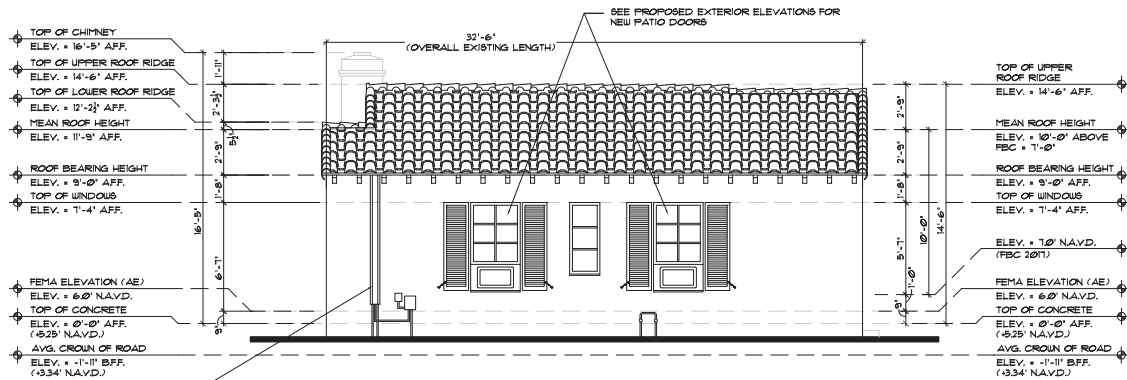
4" to 8" NT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GIBBS, W/ 8" SMOOTH LEVEL IV FINISH (MATCH EXISTING). PAINTED ON EA. SIDE OF 4" (4000042-34) 1/2" GA. MTL. STUDS @ 16" O.C. (SEE DFM PLAN FOR ACTUAL WALL THICKNESS) (PK. DRYWALL @ BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE).

NOTE:
1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED GYPSUM WALL BOARD, PAINTED ON P.T. FURNISH (MATCH EXISTG WALL FOR DEPTH) & 24" O.C. W/ BATT INSULATION (MATCH EXISTING).
2. ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED WALLS TO RECEIVE 5/16" "DUROCK" BACKING OR EQUAL.
4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
5. ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE 'LIKE NEW CONDITION'.

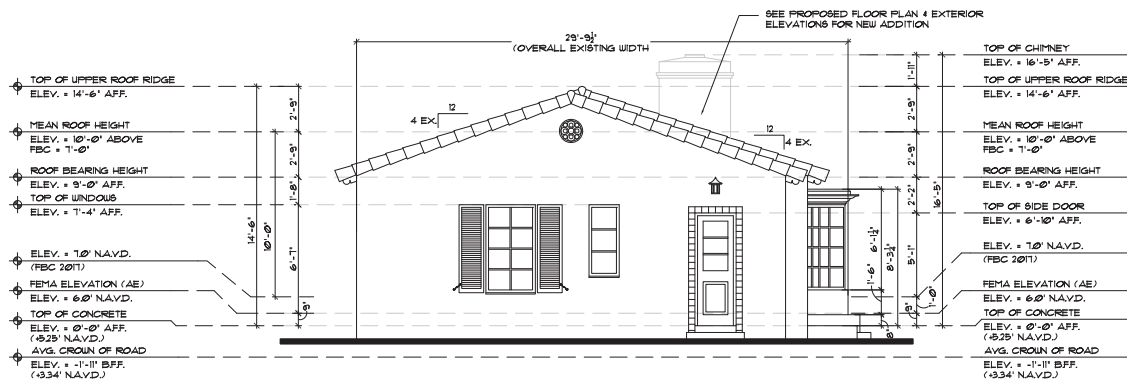
NOTES:
1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ CLIENT.
2. ALL INTERIOR FINISHES TO BE PATCHED AND MATCHED WITH EXISTING UNO.
LIMITS OF CONSTRUCTION
(A) DOOR NUMBER
(B) WINDOW NUMBER
NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.

EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1" x 1" GIBBS - LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.

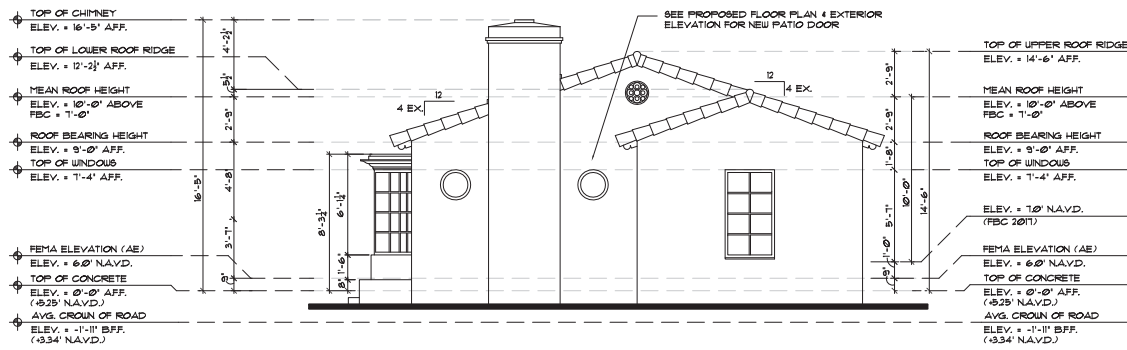
1/2" x 8" STAINLESS STEEL INSULATED FLOOD VENT BY "SMART VENT" MODEL # S40-S50 AT PERIMETER WALL (W/ TRIM KIT #S40-S50 FOR SEALING / A/C). EBP. POWDER COAT FINISH (COLOR WHITE). (NOTE: A TRIM OF 2" OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS).



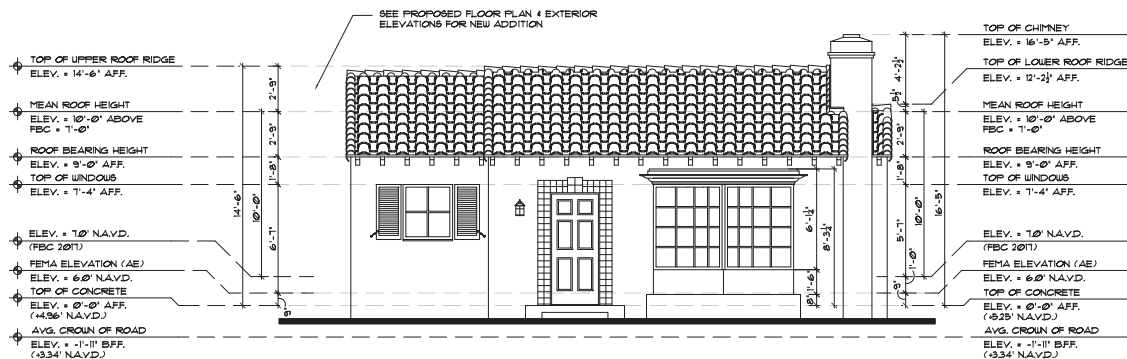
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A2.01E
EXISTING NORTH ELEVATION: VILLA#2 "SEVILLE"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



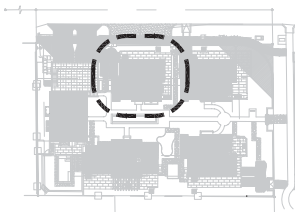
3
A2.01E
EXISTING WEST ELEVATION: VILLA#2 "SEVILLE"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



4
A2.01E
EXISTING EAST ELEVATION: VILLA#2 "SEVILLE"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



5
A2.01E
EXISTING SOUTH ELEVATION: VILLA#2 "SEVILLE"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



KEY MAP

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



Architect, Planner and Designer
AA-26002044

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Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR	HFB
BIDS	
PERMIT	52615
CONSTRUCTION	

PROJECT TITLE
MARINE VILLAS ON MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

- REVISIONS
1. REVISED 6/10/19 AS PER CITY COMMENTS:
1. PROVIDED EXISTING SQUARE FOOTAGE
2. PROVIDED FEMA ELEVATIONS & NEW PAGE LAYOUTS.
2. REVISED 9/16/19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.

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FILE NUMBER
802A201E

DRAWING TITLE

EXIST. FL. PLAN & ELEVATIONS VILLA #2 (FOR REF. ONLY)

DATE
06.06.19

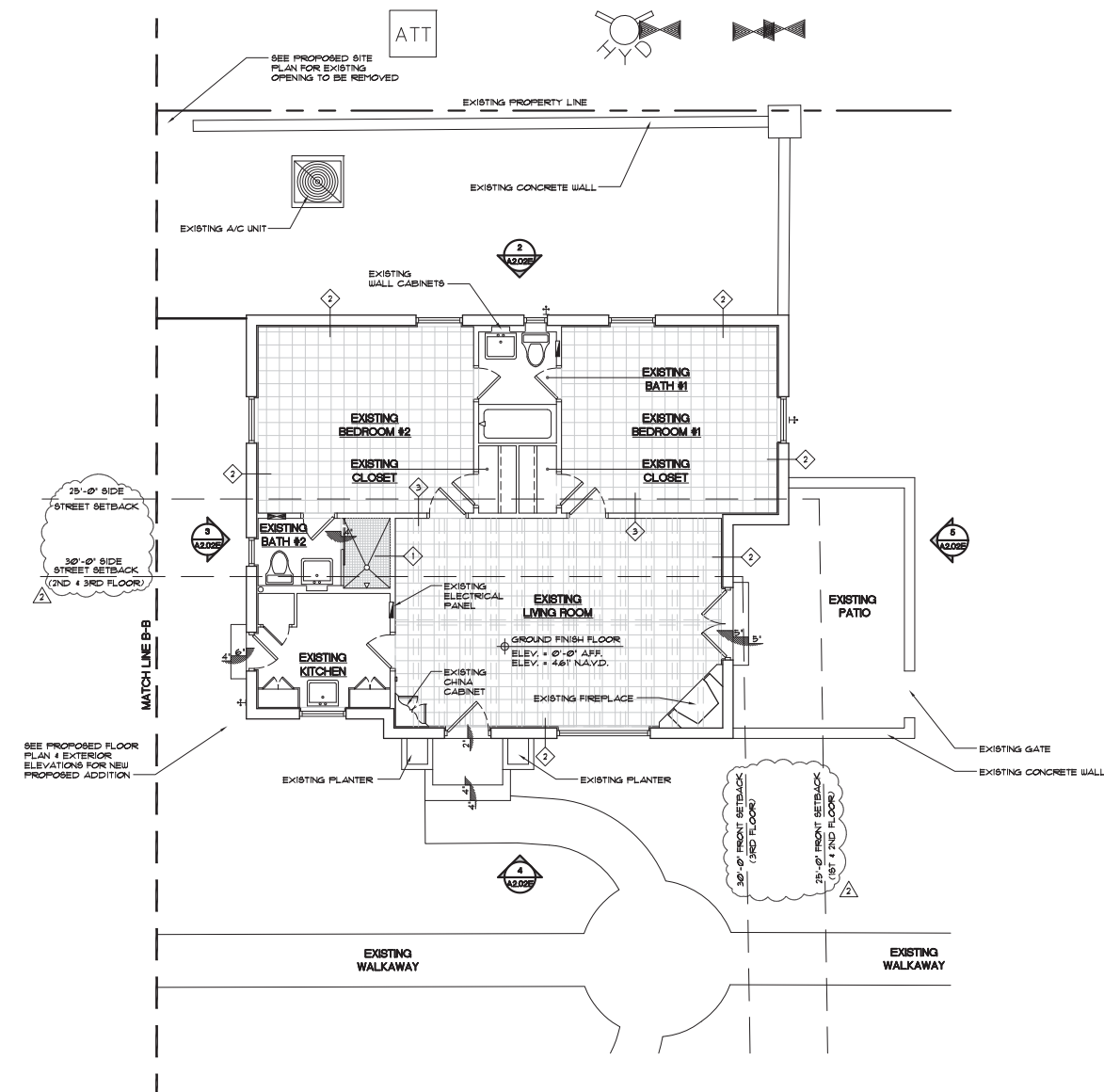
DRAWN BY
GE/AF

JOB NUMBER
20180802

DRAWING NUMBER

A2.01E

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1
A2.02E
EXISTING FLOOR PLAN: VILLA#3 - "VALENCIA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)

EXISTING VILLAS - VALENCIA:	
TOTAL FLOOR UNDER A/C	891 SQ.FT.
TOTAL FLOOR UNDER ROOF	891 SQ.FT.

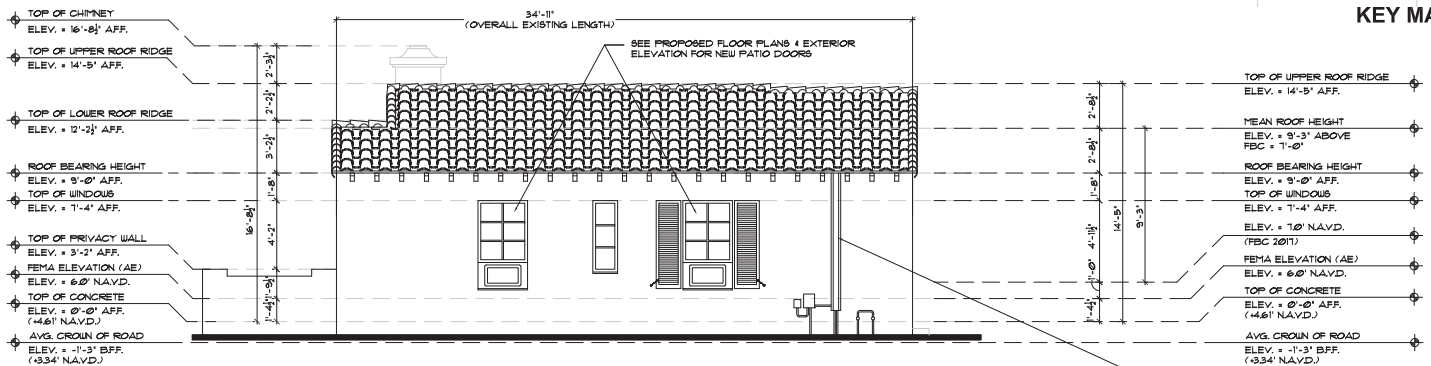
WALL LEGEND	
EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.	1/2" 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON R.T. FURRING (MATCH EXISTING WALL FOR DEPTH) & 2"X2" W/ R-11 FOL BACKED INSULATION BETWEEN FURRING STRIPS & DRYWALL (MATCH ALL FINISHES W/ EXISTING).
EXISTING 8" CMU WALL TO REMAIN 'AS IS' (FIELD VERIFY IF WALL IS RUMMED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS).	4" to 8" NT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GYPSUM W/ SMOOTH LEVEL IV FINISH (MATCH EXISTING) - PAINTED ON EA. SIDE OF 4" (4009562-541) & 5/8" GYPSUM. STUDS # 16" OC. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) FOR DRYWALL & BATHROOMS, 5/8" DENS-SHEILD BEHIND TILE.
EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.	NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.
NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.	NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.

WALL LEGEND

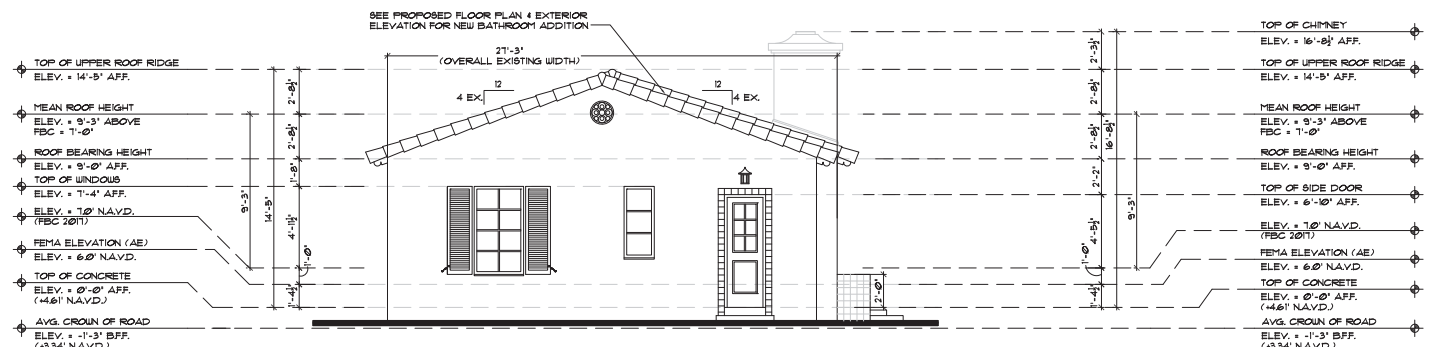
NOTE:
1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PL. WOOD OR WOOD BLOCKING.
2. ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED WALLS TO RECEIVE 5/8" "DUROCK" BACKING OR EQUAL.
4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
5. ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE "LIKE NEW CONDITION".

NOTES:
1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ CLIENT.
2. ALL INTERIOR FINISHES TO BE PATCHED & MATCHED WITH EXISTING UNO.
LIMITS OF CONSTRUCTION
(A) DOOR NUMBER
(B) WINDOW NUMBER
NEW STRUCTURAL COLUMN SEE STRUCTURAL DRAWINGS.

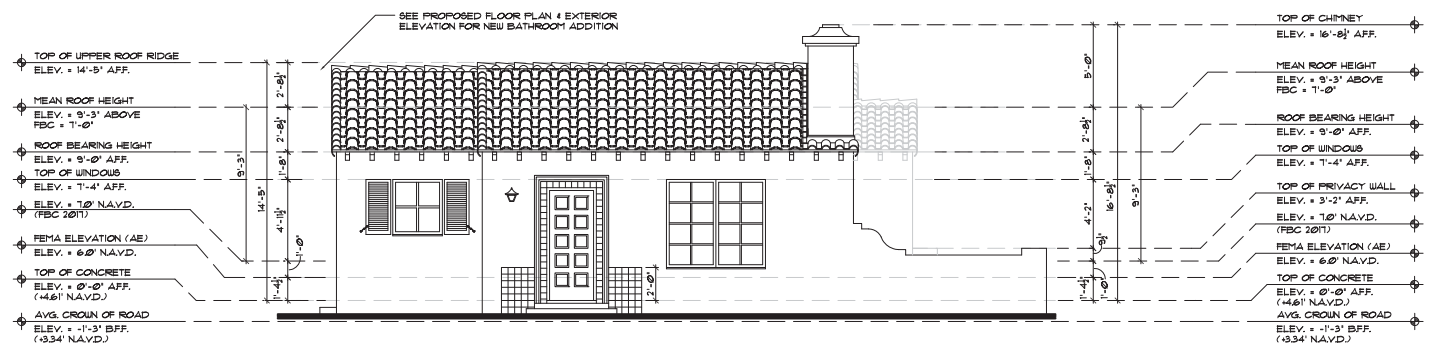
EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1x1x1" FURRING STRIPS # 16" OC. W/ 1/2" TYPE 'X' GYPSUM - LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.
16" x 8" STAINLESS STEEL INSULATED FLOOD VENT BY "SMART VENT" MODEL # S40-S50 AT PERIMETER WALL (W/ 1801 KCT S540-S506 FOR SEALING / A/C) - EAP. POWDER COAT FINISH (COLOR WHITE). NOTE: A MIN. OF 2 OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS.



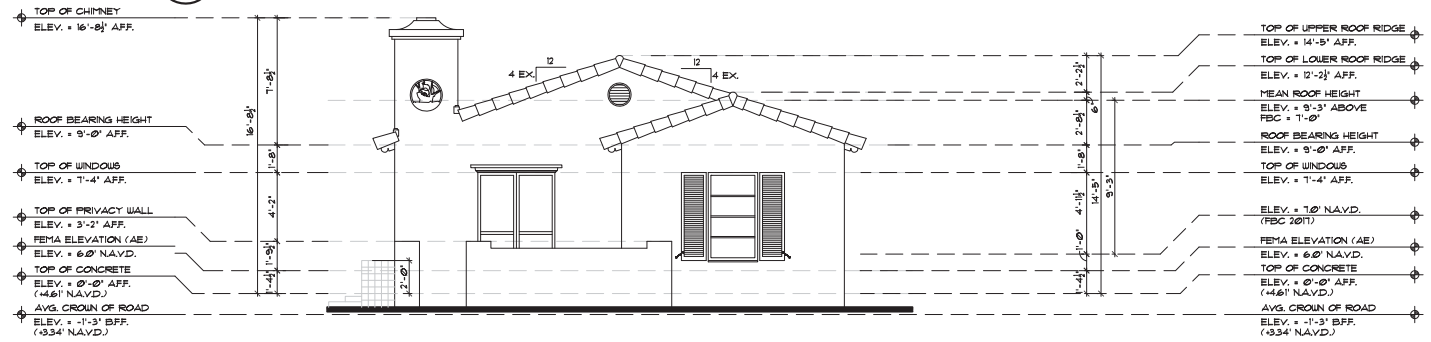
2
A2.02E
EXISTING NORTH ELEVATION: VILLA#3 "VALENCIA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



3
A2.02E
EXISTING WEST ELEVATION: VILLA#3 "VALENCIA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



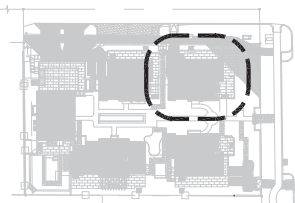
4
A2.02E
EXISTING SOUTH ELEVATION: VILLA#3 "VALENCIA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



5
A2.02E
EXISTING EAST ELEVATION: VILLA#3 "VALENCIA"
SCALE : 3/16" = 1'-0"
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- ALL AREA CALCULATIONS ARE APPROX.



KEY MAP



Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR: HFB
BIDS
PERMIT: 52615
CONSTRUCTION

PROJECT TITLE
MARINE VILLAS ON MARINE WAY

110 MARINE WAY DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS
1. REVISED 6/10/19 AS PER CITY COMMENTS:
1. PROVIDED EXISTING SQUARE FOOTAGE
2. PROVIDED FORM A ELEVATIONS & NEW PAGE LAYOUTS.
2. REVISED 9/16/19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.
2. UPDATED MEAN ROOF HEIGHT RELATIVE TO FBC 1'-0" MARKER.

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FILE NUMBER: 802A202E

DRAWING TITLE

EXIST. FL. PLAN & ELEVATIONS VILLA #3 (FOR REF. ONLY)

DATE: 06.06.19 | DRAWN BY: GE/AH

JOB NUMBER: 20180802

DRAWING NUMBER

20180802

DRAWING NUMBER

20180802

DRAWING NUMBER

20180802

DRAWING NUMBER

20180802

A2.02E



PLOTTED 06/26/19 3:00 PM

NOTES:

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BIDS

PERMIT 52615

CONSTRUCTION

PROJECT TITLE

MARINE
VILLAS ON
MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

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1. REMOVED PROPOSED TRELLIS & OUTDOOR SHOWER STRUCTURES.
 2. ADJUSTED SITE TRIANGLE.
 3. UPDATED SETBACKS.

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IT HAS BEEN ISSUED FOR GOVERNMENTAL
REVIEW AND/OR PRELIMINARY PRICING
ONLY.

FILE NUMBER 802A203A

DRAWING TITLE

PROP. FL. PLAN
& ELEVATIONS
VILLA #4

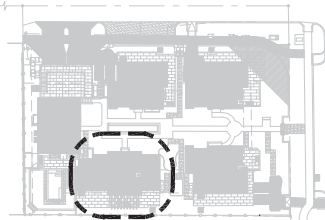
DATE 6.10.19

DRAWN BY GE/AH

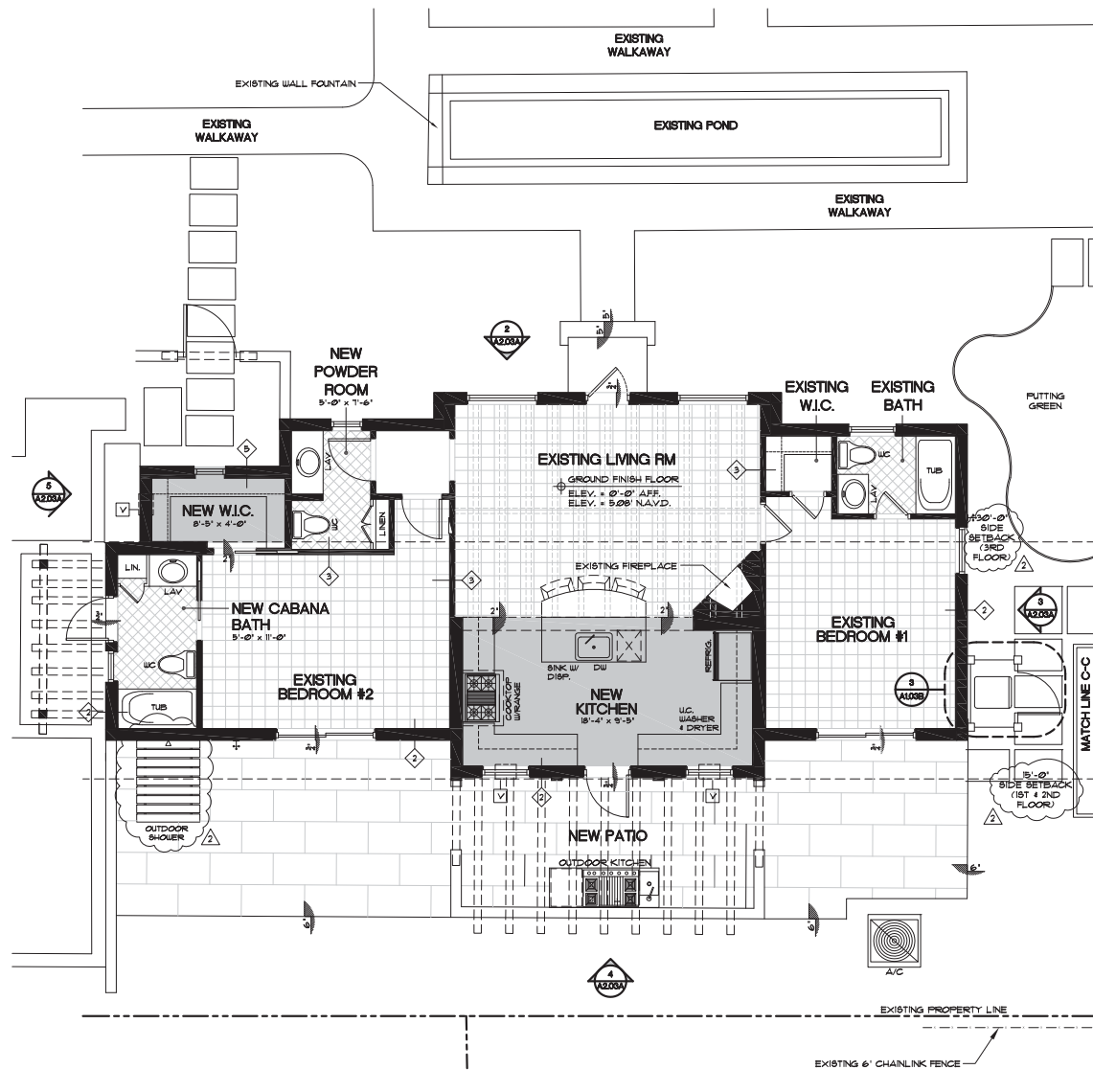
JOB NUMBER 20180802

DRAWING NUMBER

A2.03A



KEY MAP



1
A2.03A
PROPOSED FLOOR PLAN: VILLA#4
SCALE: 3/16" = 1'-0"
"VERONA"

PROPOSED VILLAS - VERONA:	
EXISTING FLOOR UNDER A/C	925 SQ.FT.
PROPOSED ADDITION UNDER A/C	232 SQ.FT.
PROPOSED TOTAL UNDER A/C	1,177 SQ.FT.
PROPOSED NEW PATIO	456 SQ.FT.
NEW TOTAL FLOOR UNDER ROOF	1,777 SQ.FT.

WALL LEGEND

NOTES:

1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ CLIENT.
2. ALL INTERIOR FINISHES TO BE PATCHED & MATCHED WITH EXISTING UND.
3. ALL TILED WALLS TO RECEIVE 5/16" DUNROCK BACKING OR EQUAL.
4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
5. ALL WALL FINISHES THAT ARE EXISTING & REMAIN "AS IS" IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE "LIKE NEW CONDITION".

LIMITS OF CONSTRUCTION

DOOR NUMBER

WINDOW NUMBER

NEW STRUCTURAL COLUMN. SEE STRUCTURAL DRAWINGS.

EXISTING CONCRETE STRUCTURAL COLUMN (TO REMAIN "AS IS" TO RECEIVE 1" x 1" RUNNING STRIPS @ 16" O.C. W/ 1/4" TYPE "X" GWS. - LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.

1/4" x 8" STAINLESS STEEL INSULATED FLOOR VENT BY "SMART VENT" MODEL # S40-S50 AT PERIMETER WALL (W/ 1001 KIT 1640-S50 FOR SEALING / A/C) - E.B.P. POWDER COAT FINISH (COLOR WHITE) NOTE: A MIN OF 2" OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS.

3-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE "X" GWS. W/ SMOOTH LEVEL. IV FINISH (MATCH EXISTING) - MATCH EXISTING WALL FOR DEPTH. 2" O.C. W/ R41 R FOL BACKED INSULATION BETWEEN RUNNING STRIPS & DRYWALL. (MATCH ALL FINISHES W/ EXISTING).

4" to 8" NT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE "X" GWS. W/ SMOOTH LEVEL. IV FINISH (MATCH EXISTING) - PAINTED ON EA. SIDE OF 4" (4000PSI) S41 16 GA. HTL. STUDS @ 16" O.C. (SEE CHM. FLR. PLANS FOR ACTUAL WALL THICKNESS) (THE DRYWALL & BATHROOMS 5/8" DENS-SHIELD BEHIND TILE).

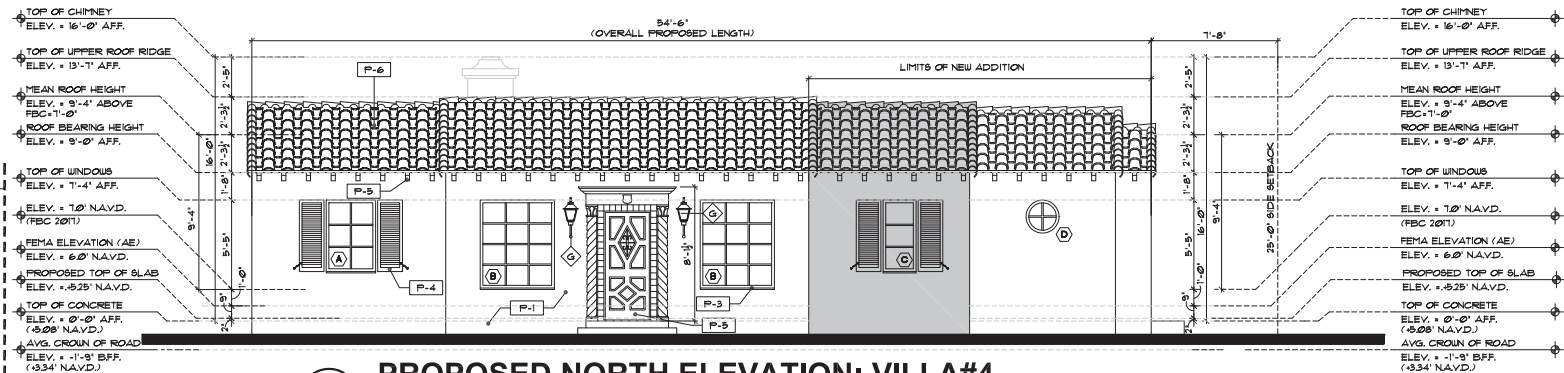
NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN "AS IS".

EXISTING 8" CMU WALL TO REMAIN "AS IS". FIELD VERIFY IF WALL IS RIPPED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS.

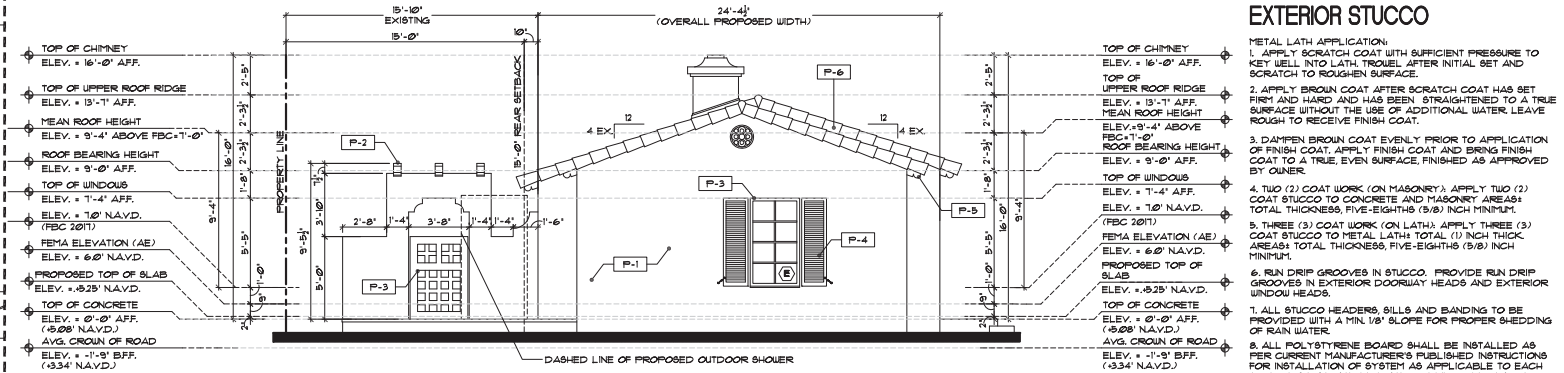
EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN "AS IS".

NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL W/ 3/4" x 8" WIDE 25 GA METAL STUDS @ 24" O.C. W/ (1) LAYER 1/2" TYPE "X" GWS. EA. SIDE, R-13 BATT INSULATION.

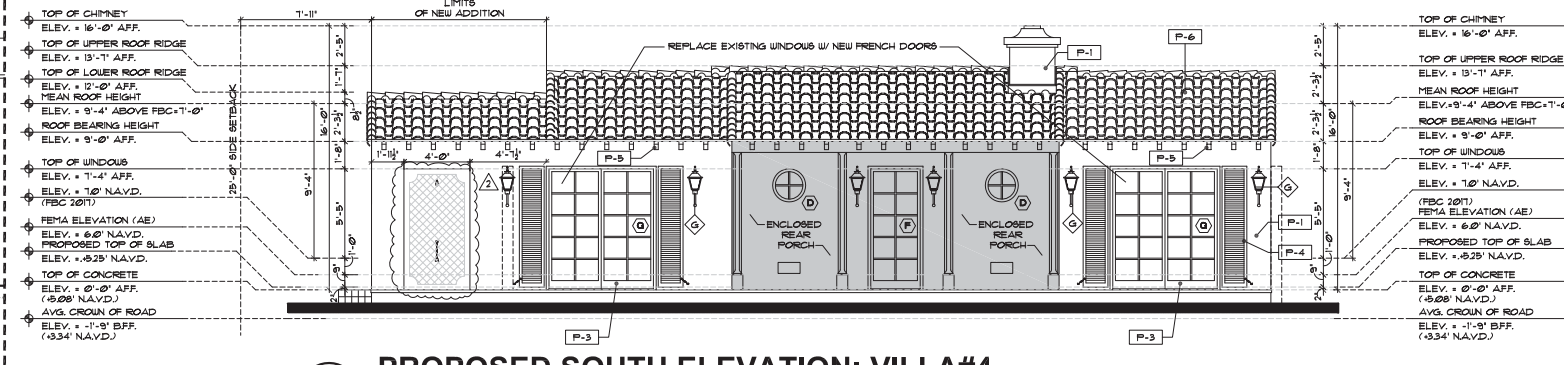
SHADED AREA INDICATES PROPOSED ADDITION (ALL ADDITIONS TO BE AT A MIN. 525' NAVD)



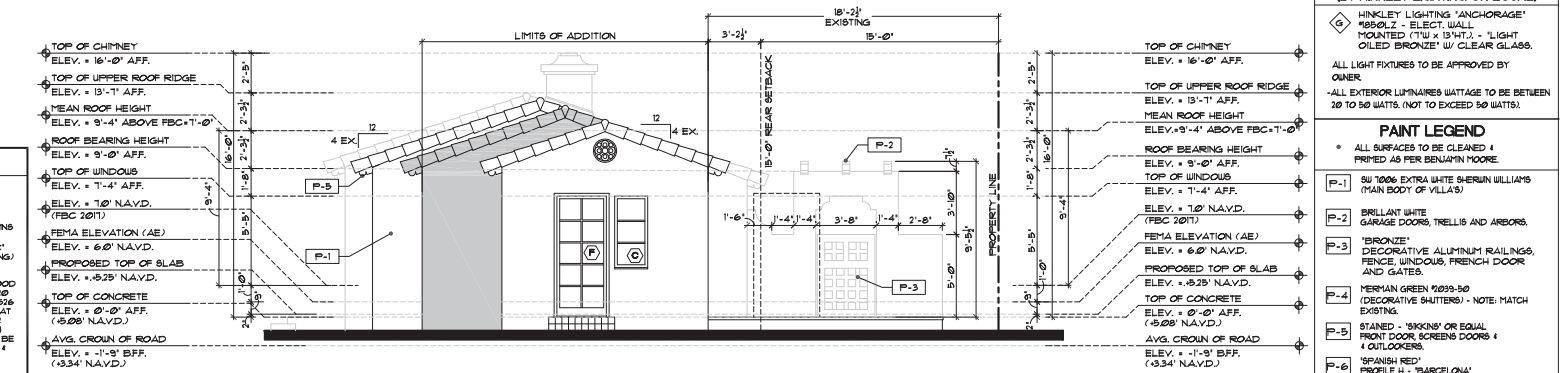
2
A2.03A
PROPOSED NORTH ELEVATION: VILLA#4
SCALE: 3/16" = 1'-0"
"VERONA"



3
A2.03A
PROPOSED EAST ELEVATION: VILLA#4
SCALE: 3/16" = 1'-0"
"VERONA"



4
A2.03A
PROPOSED SOUTH ELEVATION: VILLA#4
SCALE: 3/16" = 1'-0"
"VERONA"



5
A2.03A
PROPOSED WEST ELEVATION: VILLA#4
SCALE: 3/16" = 1'-0"
"VERONA"

LIGHT FIXTURES

(BY HINKLEY LIGHTING OR EQUAL)

- ◆ HINKLEY LIGHTING "ANCHORAGE" #550LZ - ELECT. WALL
- ◆ MOUNTED (TWO 13W/12) - LIGHT OILED BRONZE W/ CLEAR GLASS.

ALL LIGHT FIXTURES TO BE APPROVED BY OWNER.

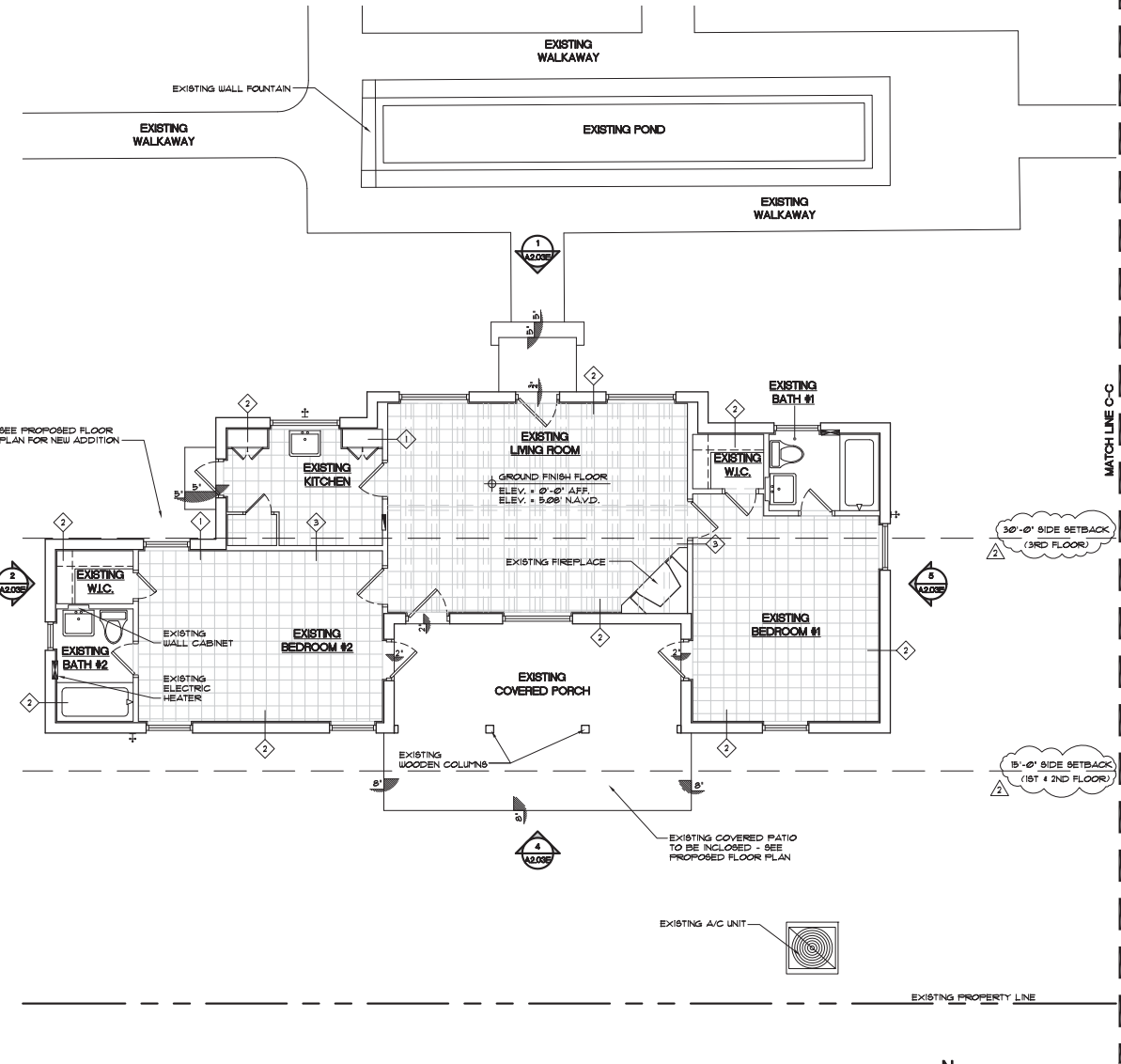
ALL EXTERIOR LUMINAIRE WATTAGE TO BE BETWEEN 20 TO 50 WATTS. (NOT TO EXCEED 50 WATTS).

PAINT LEGEND

* ALL SURFACES TO BE CLEANED & PRIMED AS PER BENJAMIN MOORE

- P-1 SW 7006 EXTRA WHITE SHERWIN WILLIAMS (MAIN BODY OF VILLAS)
- P-2 BRILLIANT WHITE GARAGE DOORS, TRELLIS AND ARBORS.
- P-3 "BRONZE" DECORATIVE ALUMINUM RAILINGS, FENCE, WINDOWS, FRENCH DOOR AND GATES.
- P-4 HERMAN GREEN 9099-50 (DECORATIVE SHUTTERS) - NOTE: MATCH EXISTING.
- P-5 STAINED - "BIRCH" OR EQUAL FRONT DOOR SCREENS DOORS & 4 OUTDOORS.
- P-6 "SPANISH RED" PROFILE - "BARCELONA" (BORAL CONCRETE ROOF TILE)

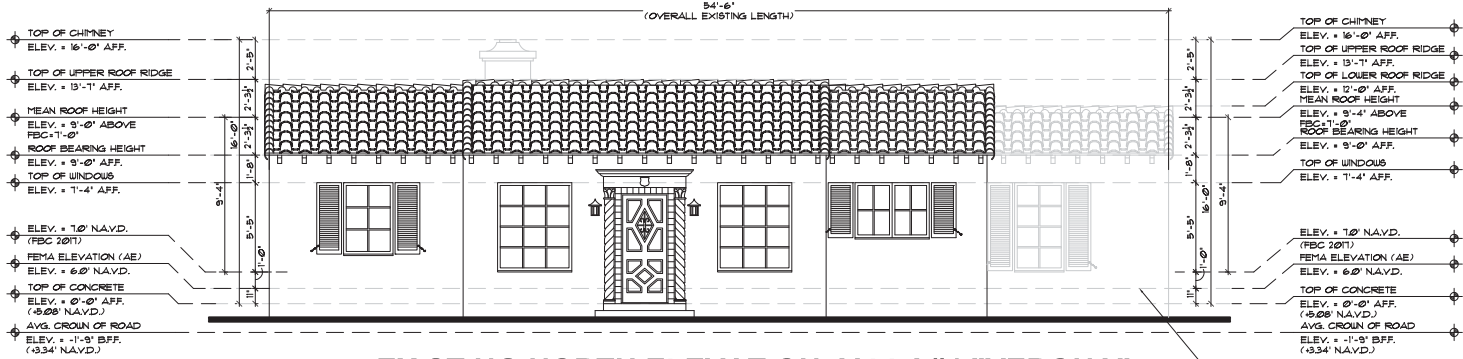
NOTE: ALL COLORS ARE FOR PRICING PURPOSES ONLY. CONTRACTOR TO PROVIDE SAMPLES FOR OWNER APPROVAL.



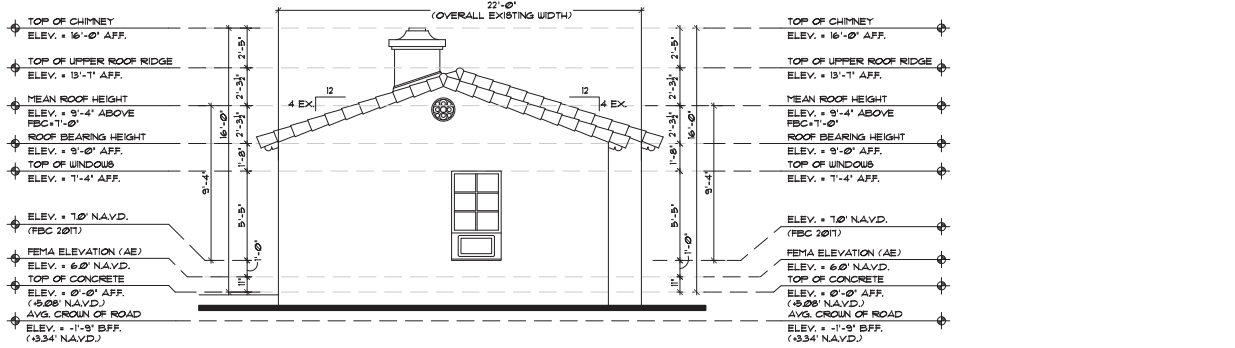
1
A2.03E
EXISTING FLOOR PLAN: VILLA#4 - "VERONA"
SCALE: 3/16" = 1'-0"
(FOR REFERENCE ONLY)

EXISTING VILLA#4 - VERONA:	
TOTAL FLOOR UNDER A/C	925 SQ.FT.
EXISTING COVERED PORCH (300 SQ.FT. UNDER ROOF)	230 SQ.FT.
TOTAL FLOOR UNDER ROOF	1,055 SQ.FT.

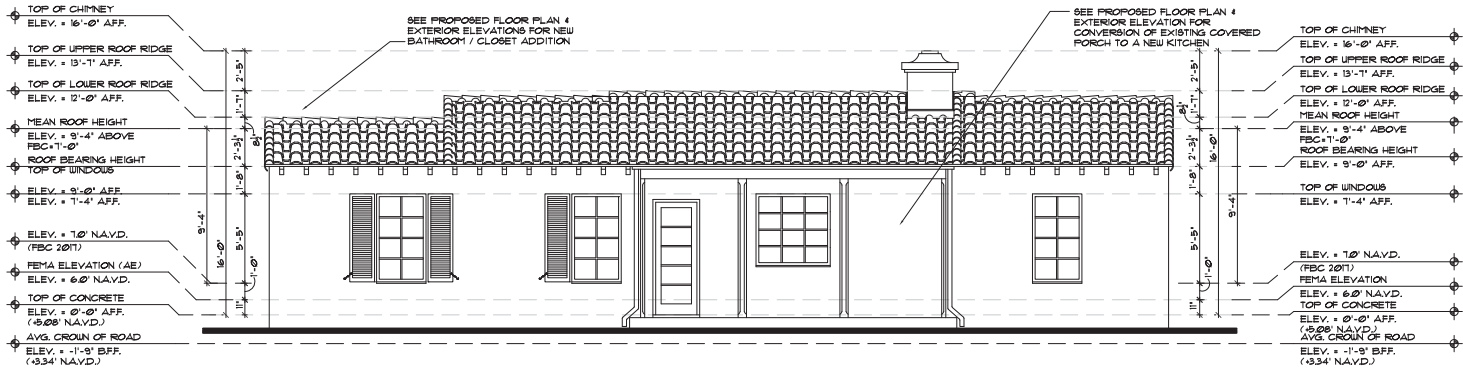
WALL LEGEND			
	EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.		1/2\"/>
	EXISTING 8\"/>		4\"/>
	NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL W/ 3/4\"/>		NOTE: 1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED WITH 1/2\"/>
	NOTE: 1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ CLS. 2. ALL INTERIOR FINISHES TO BE PATCHED AND MATCHED WITH EXISTING UNO. 3. LIMITS OF CONSTRUCTION a. DOOR NUMBER b. WINDOW NUMBER c. NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.		EXISTING CONCRETE STRUCTURAL COLUMN (TO REMAIN AS IS) TO RECEIVE 1\"/>



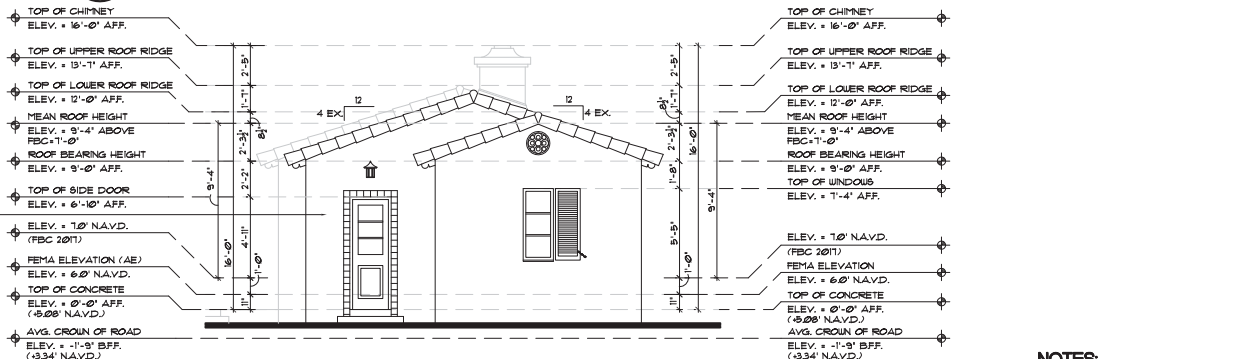
2
A2.03E
EXISTING NORTH ELEVATION: VILLA#4 "VERONA"
SCALE: 3/16" = 1'-0"
(FOR REFERENCE ONLY)



3
A2.03E
EXISTING EAST ELEVATION: VILLA#4 "VERONA"
SCALE: 3/16" = 1'-0"
(FOR REFERENCE ONLY)



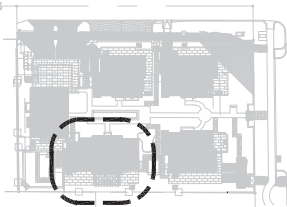
4
A2.03E
EXISTING SOUTH ELEVATION: VILLA#4 "VERONA"
SCALE: 3/16" = 1'-0"
(FOR REFERENCE ONLY)



5
A2.03E
EXISTING WEST ELEVATION: VILLA#4 "VERONA"
SCALE: 3/16" = 1'-0"
(FOR REFERENCE ONLY)

NOTES:

- DO NOT SCALE DRAWINGS!
- FIELD VERIFY ALL DIMENSIONS!
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- ALL AREA CALCULATIONS ARE APPROX.



KEY MAP



Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave., Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR HFB

BIDS

PERMIT 52615

CONSTRUCTION

PROJECT TITLE

**MARINE
VILLAS ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL

REVISIONS

- REVISED 6/10/19 AS PER CITY COMMENTS:
1. PROVIDED EXISTING SQUARE FOOTAGE.
2. PROVIDED 'PERIA' ELEVATIONS & NEW PAGE LAYOUTS.
- REVISED 9/16/19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.

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ONLY.

FILE NUMBER 802A203E

DRAWING TITLE

**EXIST. FL. PLAN
& ELEVATIONS
VILLA #4
(FOR REF. ONLY)**

DATE 06.06.19

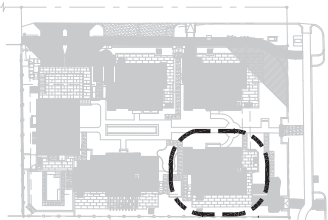
DRAWN BY GE/AH

JOB NUMBER 20180802

DRAWING NUMBER

A2.03E

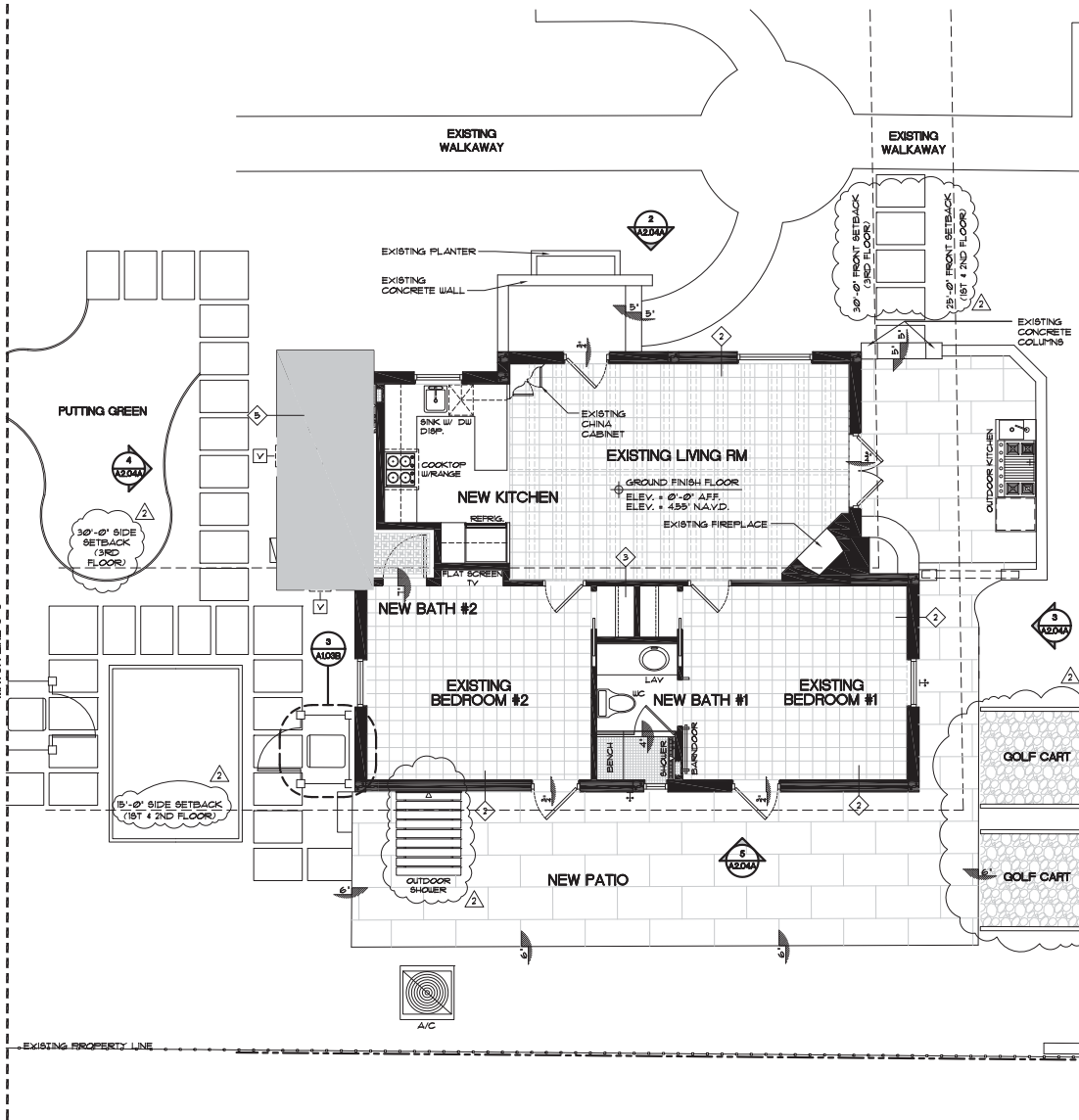
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PLOTED 06.26.19 - 3:00 PM



KEY MAP

NOTES:

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- FIELD VERIFY ALL DIMENSIONS!
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- ALL AREA CALCULATIONS ARE APPROX.



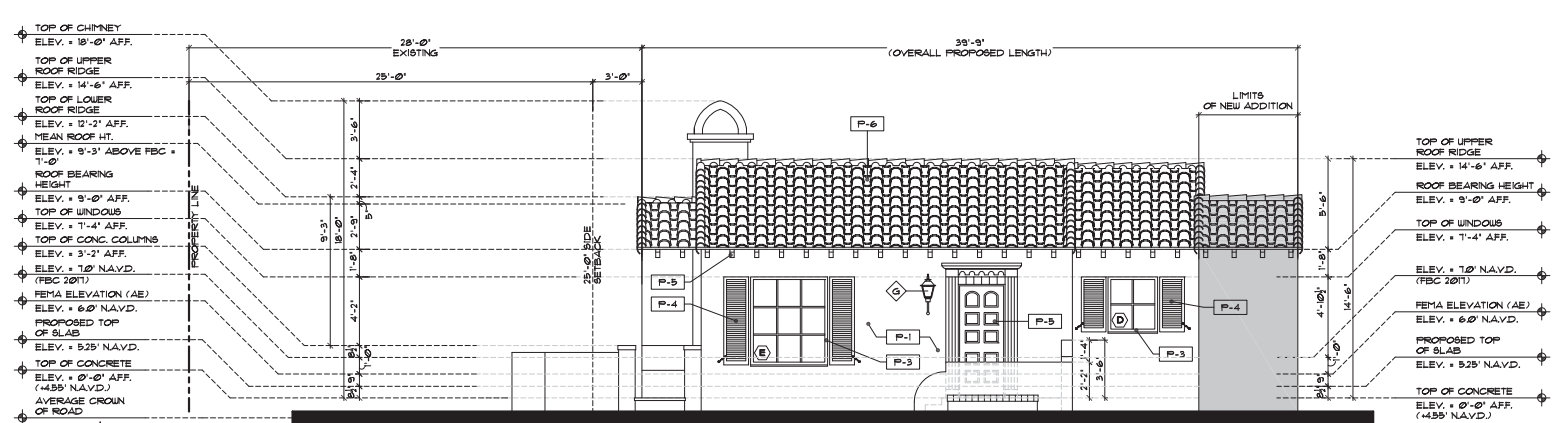
1
A2.04A
SCALE: 3/16" = 1'-0"
"GRANADA"

PROPOSED VILLA#5 - GRANADA:	
EXISTING FLOOR UNDER A/C	882 SQ.FT.
PROPOSED ADDITION UNDER A/C	89 SQ.FT.
NEW TOTAL FLOOR UNDER A/C	971 SQ.FT.
PROPOSED NEW PATIO	555 SQ.FT.
NEW TOTAL FLOOR UNDER ROOF	981 SQ.FT.

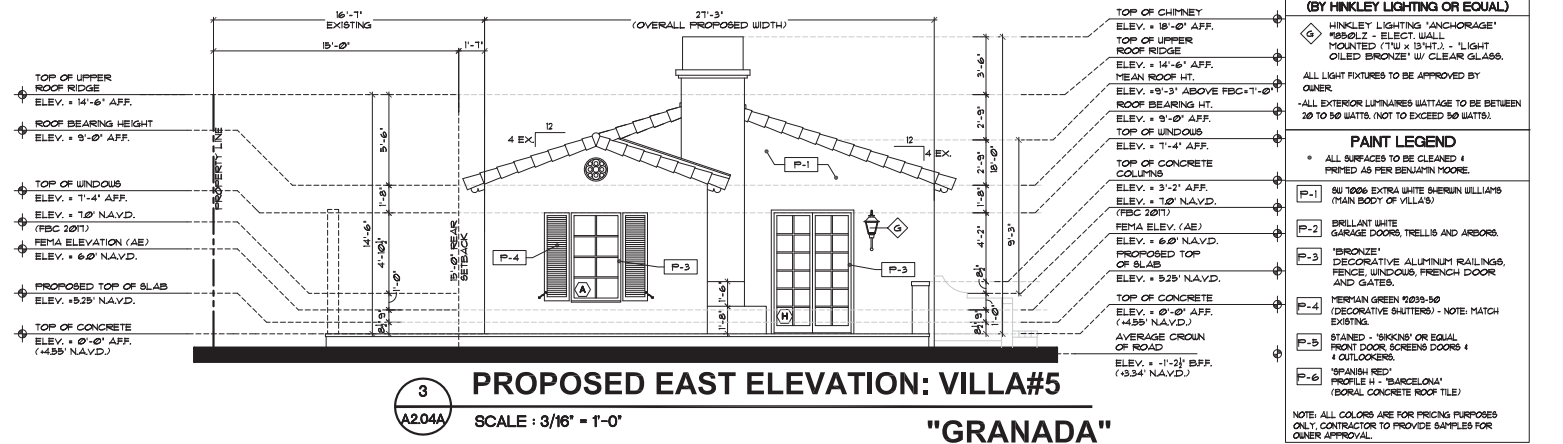
WALL LEGEND

	<p>EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.</p> <p>EXISTING 8" CMU WALL TO REMAIN 'AS IS'. (FIELD VERIFY IF WALL IS TURNED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS).</p> <p>EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.</p> <p>NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'. (FIELD VERIFY IF WALL IS TURNED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS).</p> <p>NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'. (FIELD VERIFY IF WALL IS TURNED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS).</p>	<p>3/4" 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 1/2" TYPE 'X' GYPSUM WALL BOARD. PAINTED ON RT. FURRING (MATCH EXIST'G WALL FOR DEPTH) # 2X10C. W/ 1/2" FURRING INSULATION BETWEEN FURRING STRIPS & DRYWALL. (MATCH ALL FINISHES W/ EXISTING).</p> <p>4" to 8" NT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GYPSUM W/ SMOOTH LEVEL, IV FINISH (MATCH EXISTING). PAINTED ON EA. SIDE OF 1" (400562-54) 1/2" GA. HTL. STUDS @ 16" O.C. (SEE DIM. PLAN FOR ACTUAL WALL THICKNESS) (FIN. DRYWALL & BATHROOMS 5/8" DENS-SHIELD BEHIND TILE).</p> <p>NOTE: 1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PL-TUOOD OR WOOD BLOCKING. 2. ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.). 3. ALL TIEED WALLS TO RECEIVE 5/16"-DURLOCK BACKING OR EQUAL. 4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING). 5. ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE 'LIKE NEW CONDITION'.</p>	<p>NOTES: 1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ CLUB. 2. ALL INTERIOR FINISHES TO BE PATCHED & MATCHED WITH EXISTING UND. LIMITS OF CONSTRUCTION (A) DOOR NUMBER (B) WINDOW NUMBER NEW STRUCTURAL COLUMN, SEE STRUCTURAL DRAWINGS.</p> <p>EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1x12" FURRING STRIPS @ 16" O.C. W/ 1/2" TYPE 'X' GYPSUM & LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.</p> <p>1/2" x 8" STAINLESS STEEL INSULATED FLOOR VENT BY "SMART VENT" MODEL # 540-510 AT PERIMETER WALL (W/ TRIM KIT 1948-510 FOR SEALING / A/C) - EXH. POWDER COAT FINISH (COLOR WHITE). NOTE: A MIN. OF 3" OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOR ELEVATION!</p>
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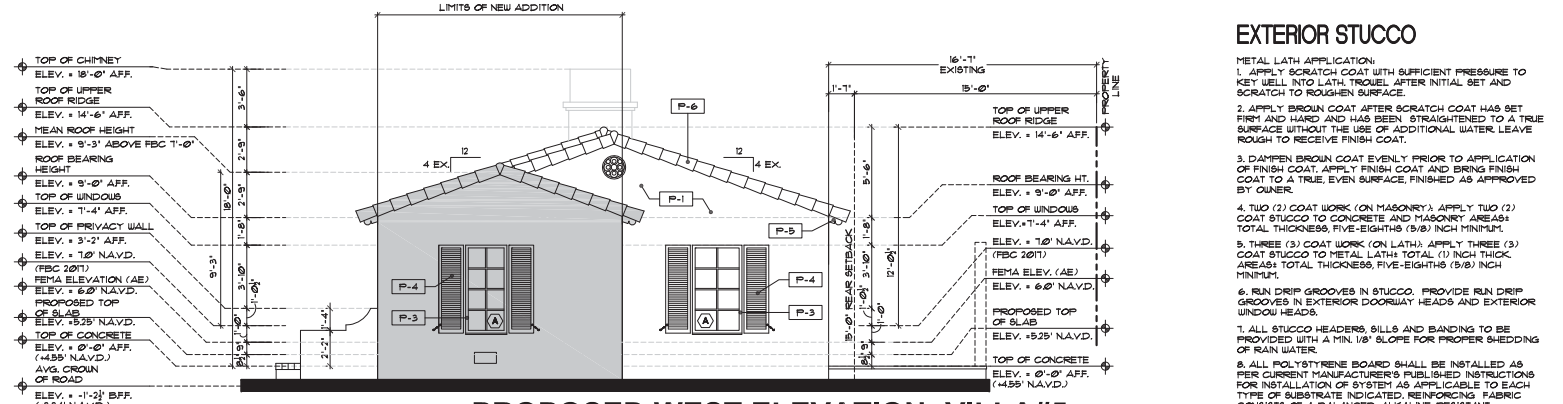
SHADED AREA INDICATES PROPOSED ADDITION (ALL ADDITIONS TO BE AT A MIN. 5.25' NAVD) - NOTE : (ENTIRE EXISTING AREA TO RECEIVE 1 3/8" CONCRETE TOPPING.)



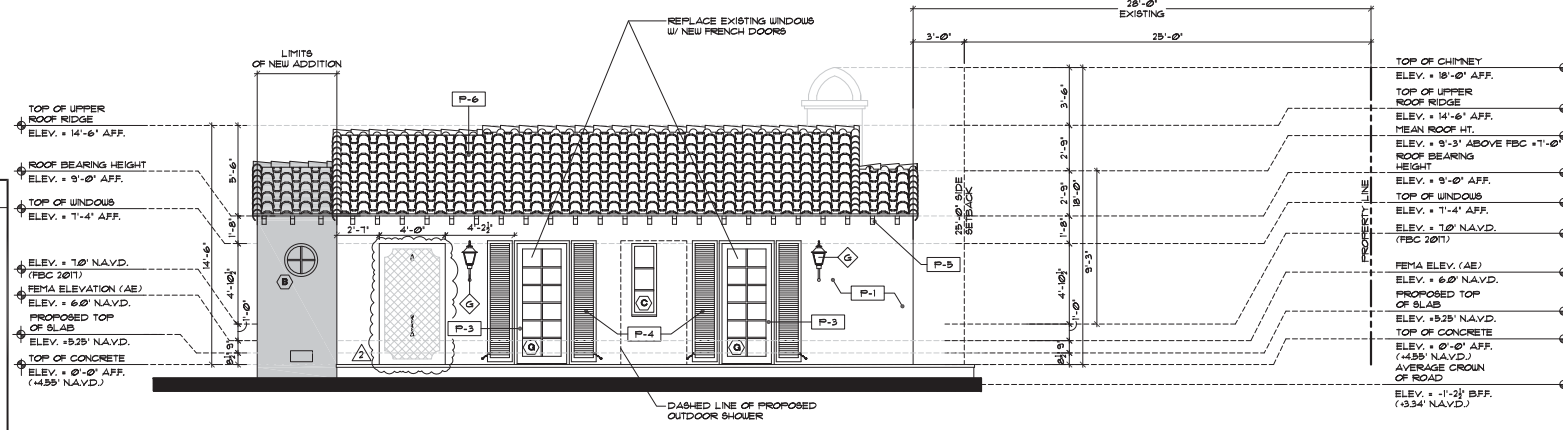
2
A2.04A
SCALE: 3/16" = 1'-0"
"GRANADA"



3
A2.04A
SCALE: 3/16" = 1'-0"
"GRANADA"



4
A2.04A
SCALE: 3/16" = 1'-0"
"GRANADA"



5
A2.04A
SCALE: 3/16" = 1'-0"
"GRANADA"



Architect, Planner and Designer
AA-26002044

1045 East Atlantic Ave. Suite 303
Delray Beach, Florida 33483
TEL: 561-276-6011
FAX: 561-276-6129

ISSUED FOR: HFB
BIDS
PERMIT: 52615
CONSTRUCTION

PROJECT TITLE
MARINE
VILLAS ON
MARINE WAY

110 MARINE WAY
DELRAY BEACH, FL.

CLIENT APPROVAL

REVISIONS

- REVISED 6/10/19 AS PER CITY COMMENTS:
- PROVIDED EXISTING SQUARE FOOTAGE.
 - PROVIDED 'FEMA' ELEVATIONS & NEW PAGE LAYOUTS.
- REVISED 9/16/19 AS PER CITY COMMENTS:
- REMOVED PROPOSED TRELLISES & OUTDOOR SHOWER STRUCTURES.
 - ADJUSTED SITE TRIANGLE.
 - UPDATED SETBACKS.

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FILE NUMBER: 802A204A

DRAWING TITLE

PROP. FL. PLAN
& ELEVATIONS
VILLA #5

DATE: 6.10.19

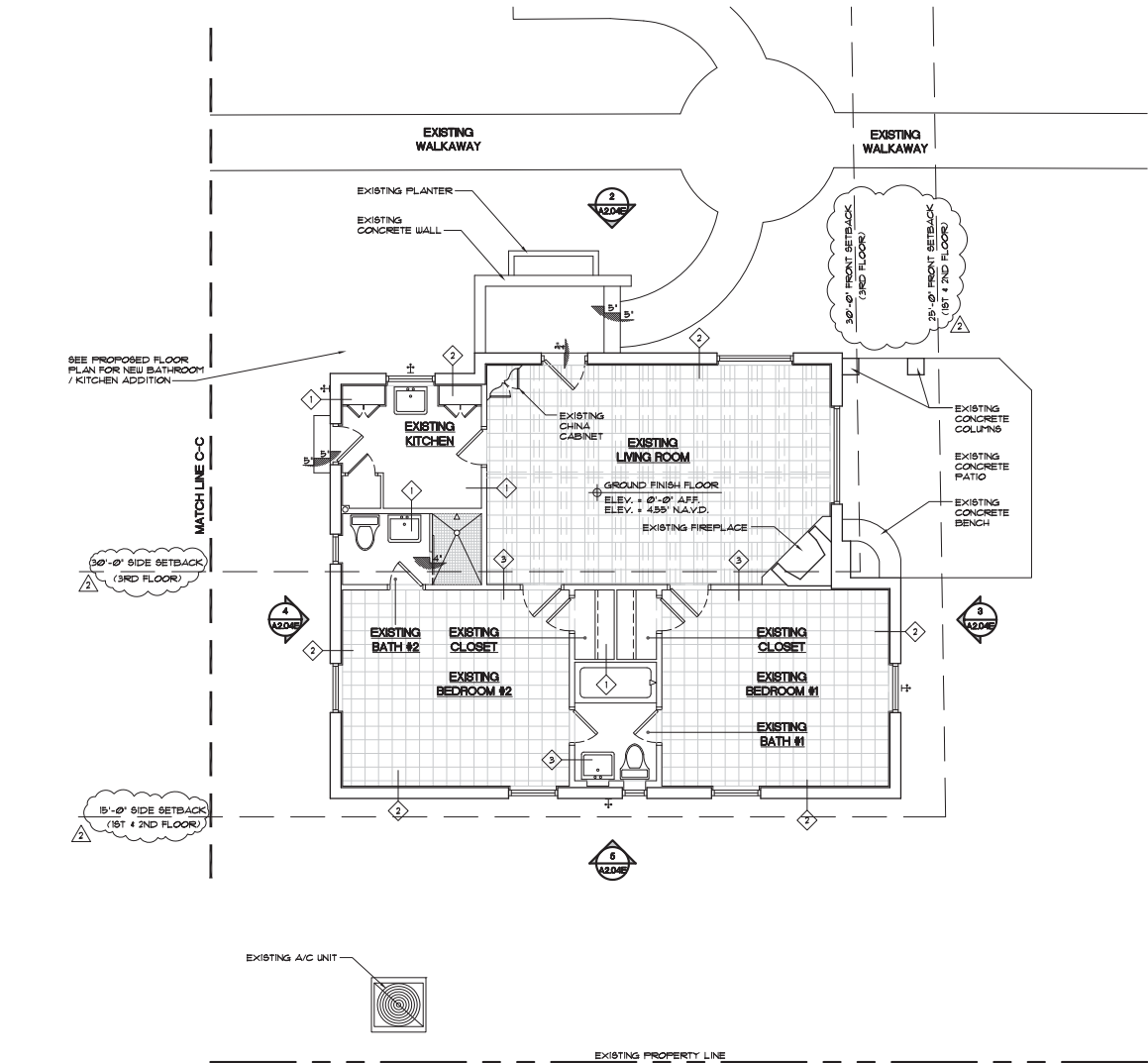
DRAWN BY: GE/AH

JOB NUMBER: 20180802

DRAWING NUMBER

A2.04A

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1
A2.04E
EXISTING FLOOR PLAN: VILLA#5 - "GRANADA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)

EXISTING VILLA#5 - GRANADA:	
TOTAL FLOOR UNDER A/C	882 SQFT.
TOTAL FLOOR UNDER ROOF	882 SQFT.

WALL LEGEND

EXISTING WALLS, WINDOWS & DOORS TO BE REMOVED.

EXISTING 8" CMU WALL TO REMAIN 'AS IS'. FIELD VERIFY IF WALL IS TURNED OUT TO ACCOMMODATE REG. INTERIOR DIMENSIONS.

EXISTING NON-LOAD BEARING INTERIOR PARTITION STUD WALL TO REMAIN 'AS IS'.

NEW NON-LOAD BEARING INTERIOR PARTITION STUD WALL W/ 3/4" x 6" STUDS, 25 GA METAL STUDS & 24" O.C. W/ (1) LAYER 5/8" TYPE 'X' GWS. E.A. SIDE, R-II BATT INSULATION.

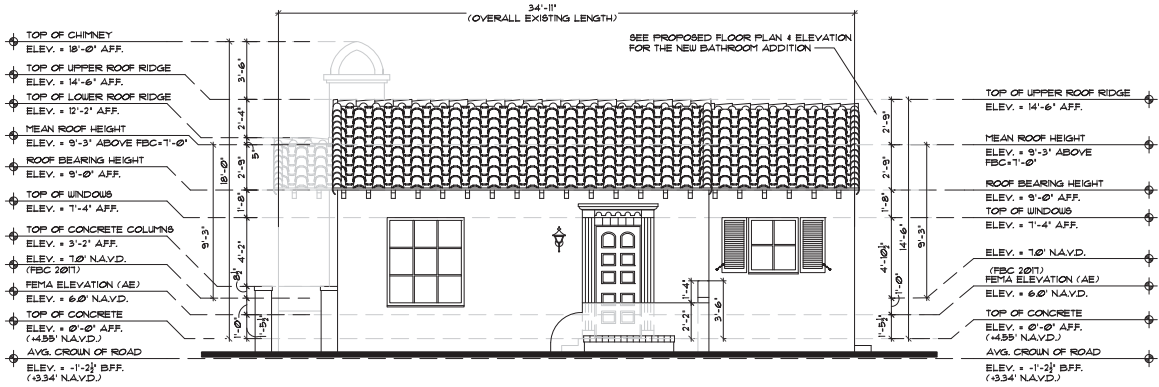
5/8" 2-COAT STUCCO FIN. PAINTED ON 8" CONCRETE BLOCK W/ 5/8" TYPE 'X' GWS. W/ SMOOTH LEVEL IV FINISH (MATCH EXISTING). PAINTED ON E.A. SIDE OF 4" (480RSG-341) & GA. TFL. STUDS & 1600C. (SEE DPM FLR. PLANS FOR ACTUAL WALL THICKNESS) (NR. DRYWALL & BATHROOMS, 5/8" DENS-SHIELD BEHIND TILE).

4" to 8" INT. LOAD BEARING PARTITION WALL W/ (1) LAYER OF 5/8" TYPE 'X' GWS. W/ SMOOTH LEVEL IV FINISH (MATCH EXISTING).

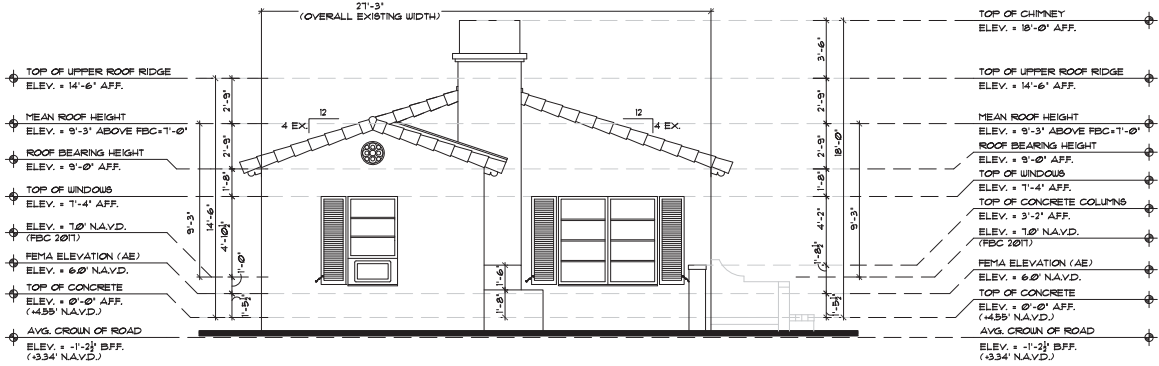
NOTE:
1. ALL INTERIOR WALLS W/ CABINETS OR STAIR RAILINGS TO BE PROVIDED W/ 1/2" PL. TUGGOD OR WOOD BLOCKING.
2. ALL BEDROOM, BATHROOM, LAUNDRY & KITCHEN WALLS TO RECEIVE BATT SOUND INSULATION (TYP.).
3. ALL TILED WALLS TO RECEIVE 5/8"-1" DUROCK BACKINGS OR EQUAL.
4. ALL INTERIOR DRYWALL TO HAVE LEVEL IV - FINISH (MATCH EXISTING).
5. ALL WALL FINISHES THAT ARE EXISTING & TO REMAIN 'AS IS' IF DAMAGED DURING CONSTRUCTION - SHALL BE PATCHED & REPAIRED AS REQUIRED TO ACHIEVE 'LIKE NEW CONDITION'.

NOTES:
1. VERIFY ALL MATERIALS W/ FINISH SCHEDULE W/ GWS.
2. ALL INTERIOR FINISHES TO BE PATCHED & MATCHED WITH EXISTING UNDO.
LIMITS OF CONSTRUCTION
(A) DOOR NUMBER
(B) WINDOW NUMBER
NEW STRUCTURAL COLUMN SEE STRUCTURAL DRAWINGS.

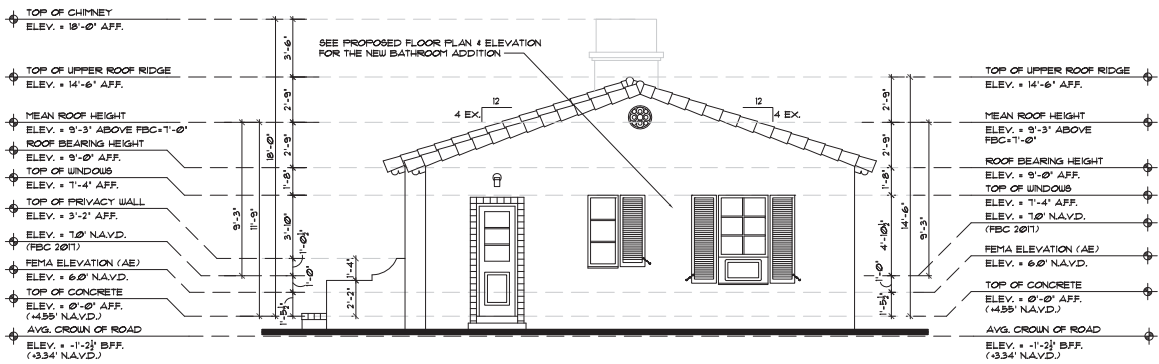
EXISTING CONCRETE STRUCTURAL COLUMNS (TO REMAIN 'AS IS') TO RECEIVE 1 x 18" FURRING STRIPS & 16" O.C. W/ 5/8" TYPE 'X' GWS. - LEVEL IV FINISH (MATCH EXISTING) - READY FOR PAINT.
16" x 8" STAINLESS STEEL INSULATED FLOOR VENT BY 'SMART VENT' MODEL # 540-550 AT PERIMETER WALL (W/ TYP. KIT #540-550 FOR SEALING / A/C) - E.B.P. POWDER COAT FINISH (COLOR WHITE) (NOTE: A MIN. OF 2 OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA. ALL OPENINGS SHALL BE ONE (1) FOOT ABOVE ADJACENT GRADE & BELOW THE BASE FLOOD ELEVATIONS.)



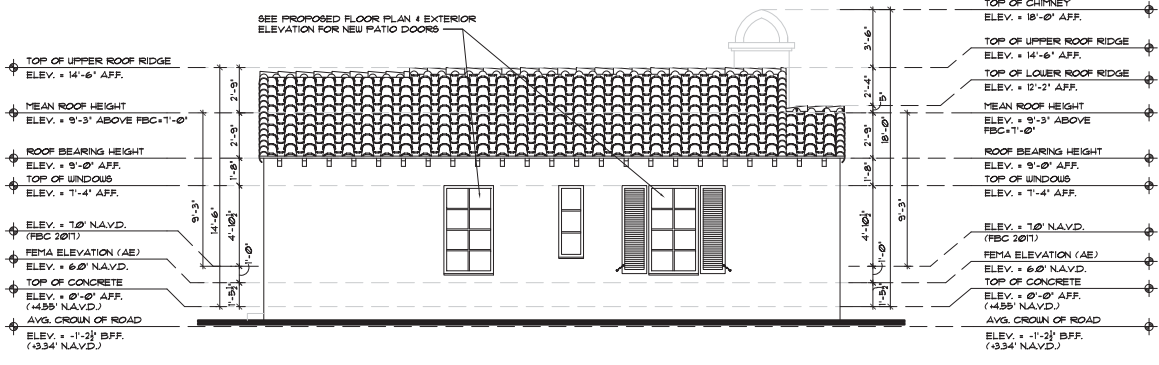
2
A2.04E
EXISTING NORTH ELEVATION: VILLA#5 "GRANADA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



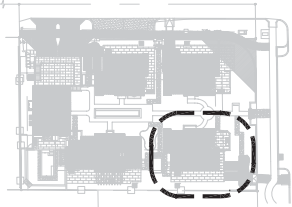
3
A2.04E
EXISTING EAST ELEVATION: VILLA#5 "GRANADA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



4
A2.04E
EXISTING WEST ELEVATION: VILLA#5 "GRANADA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



5
A2.04E
EXISTING SOUTH ELEVATION: VILLA#5 "GRANADA"
SCALE : 3/16" = 1'-0"
(FOR REFERENCE ONLY)



KEY MAP



Architect, Planner and Designer
AA-26002044

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ISSUED FOR: HFB
BIDS
PERMIT: 52615
CONSTRUCTION

PROJECT TITLE
**MARINE
VILLAS ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL

- REVISIONS
- 1. REVISED 6.10.19 AS PER CITY COMMENTS:
1. PROVIDED EXISTING SQUARE FOOTAGE
2. PROVIDED FEMA' ELEVATIONS & NEW PAGE LAYOUTS.
 - 2. REVISED 9.16.19 AS PER CITY COMMENTS:
1. UPDATED SETBACKS.

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FILE NUMBER: 802A204E

DRAWING TITLE

**EXIST. FL. PLAN
& ELEVATIONS
VILLA #5
(FOR REF. ONLY)**

DATE: 06.07.19 | DRAWN BY: GE/AH

JOB NUMBER: 20180802

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

DRAWING NUMBER

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NOTES

- 1. DO NOT SCALE DRAWINGS!
- 2. FIELD VERIFY ALL DIMENSIONS!
- 3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCY W/ DRAWINGS. (SEE GENERAL NOTES)
- 4. ALL AREA CALCULATIONS ARE APPROX.

A2.04E

PGT WINDOW + DOOR SCHEDULE										
"ABRUZZI"										
WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	3'-0" x 5'-4"	11	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 10-LITE & SCREEN
B	2'-0" CIRCULAR	4	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 5-LITE
C	3'-0" x 4'-3"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 8-LITE & SCREEN
D	6'-0" x 5'-4"	2	CA740 AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT / 8-LITE & SCREEN W/ FIXED SIDE LITE —12 LITE
E	3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FRENCH DOOR / 10-LITE
F	(PR.) 2'-10" x 6'-8"	1	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF FRENCH DOOR / 10-LITE
G	5'-8" x 6'-8" (SLIDING DOOR) (PR.) 1'-7" x 6'-8"(SIDE LITE)	1	SGD770	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	SLIDING GLASS DOOR W/ 20-LITE PAIR OF SIDE LITE W/ 5-LITE
H	2'-6" x 4'-0"	2	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 6-LITE & SCREEN
J	2'-6" x 4'-0"	2	PW7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FAUX FIXED W/ 6-LITE
K	2'-6" x 5'-4"	3	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 10-LITE & SCREEN

"SEVILLE"										
WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	3'-0" x 5'-4"	3	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 8-LITE & SCREEN
B	2'-0" CIRCULAR	2	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 4-LITE
C	1'-10" x 4'-4"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 3-LITE & SCREEN
D	3'-0" x 3'-4"	1	CA740 AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT / 8-LITE & SCREEN W/ FIXED SIDE LITE —12 LITE
E	5'-0" x 5'-2"	2	PW7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF PICTURE WINDOW / 16-LITE — MULLED TOGETHER.
F	3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FRENCH DOOR / 10-LITE

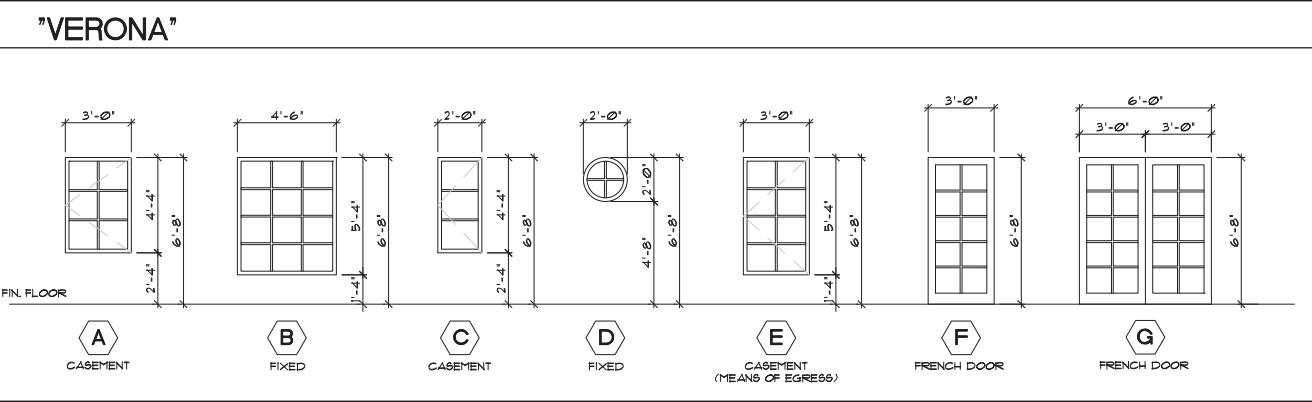
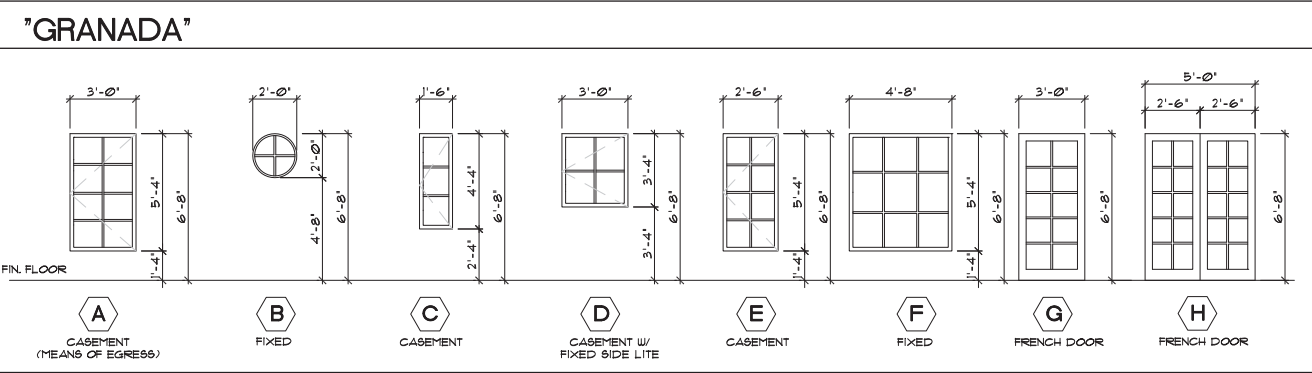
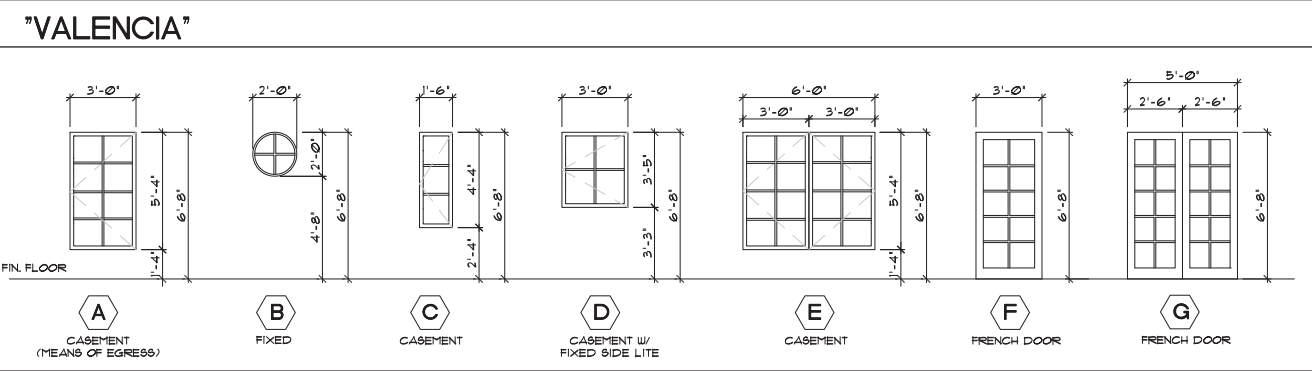
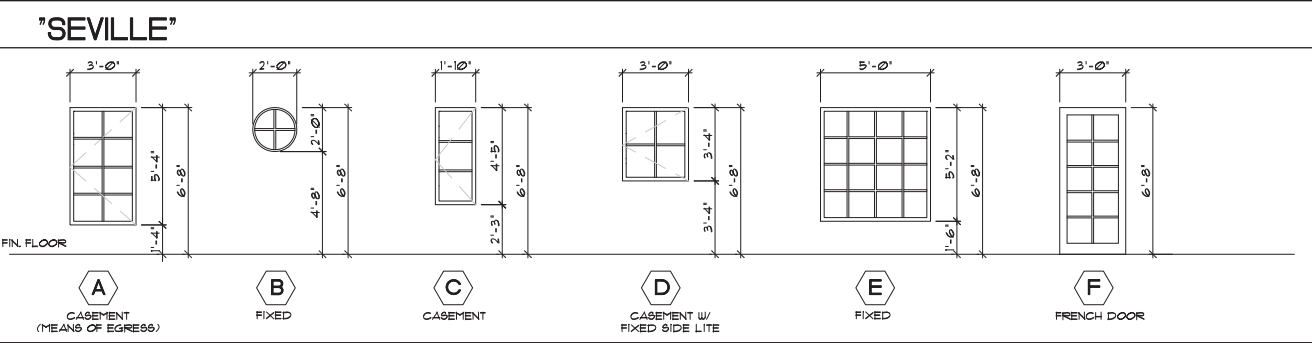
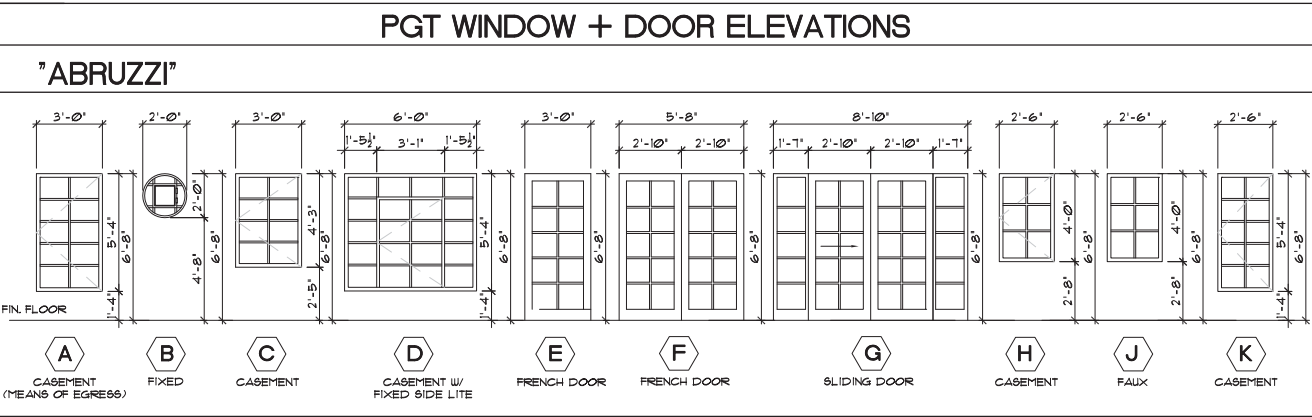
"VALENCIA"										
WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	3'-0" x 5'-4"	3	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 8-LITE & SCREEN
B	2'-0" CIRCULAR	1	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 4-LITE
C	1'-6" x 4'-4"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 3-LITE & SCREEN
D	3'-0" x 3'-5"	1	CA740 AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT / 8-LITE & SCREEN W/ FIXED SIDE LITE —12 LITE
E	(PR.) 3'-0" x 5'-4"	2	PW7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF FIXED / 16-LITE & SCREEN
F	3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FRENCH DOOR / 10-LITE
G	(PR.) 2'-6" x 6'-8"	1	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF FRENCH DOOR / 10-LITE

"GRANADA"										
WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	3'-0" x 5'-4"	2	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 8-LITE & SCREEN
B	2'-0" CIRCULAR	1	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 4-LITE
C	1'-6" x 4'-4"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 3-LITE & SCREEN
D	3'-0" x 3'-4"	1	CA740 AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT / 8-LITE & SCREEN W/ FIXED SIDE LITE —12 LITE
E	2'-6" x 5'-4"	2	PW7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF CASEMENT / 16-LITE & SCREEN
F	4'-8" x 5'-4"	2	PW7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED / 12-LITE & SCREEN
G	3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FRENCH DOOR / 10-LITE
H	(PR.) 2'-6" x 6'-8"	1	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF FRENCH DOOR / 10-LITE

"VERONA"										
WINDOW	SIZE (WxH)	QTY.	SERIES	PRODUCT CODE	CONFIG.	FRAME	SILL	GLASS COLOR	FRAME COLOR	COMMENT
A	3'-0" x 4'-4"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 6-LITE & SCREEN
B	4'-6" x 5'-4"	2	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 12-LITE
C	2'-0" x 4'-4"	2	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 3-LITE & SCREEN
D	2'-0" CIRCULAR	3	AR7720A	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FIXED W/ 4-LITE
E	3'-0" x 5'-4"	1	CA740	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	CASEMENT W/ 8-LITE & SCREEN
F	3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	FRENCH DOOR / 10-LITE
G	(PR.) 3'-0" x 6'-8"	2	FD101H	CUSTOM	—	ALUM./PTD	WD/PTD	CLEAR	BRONZE	PAIR OF FRENCH DOOR / 10-LITE

NOTE: — ALL WINDOWS, DOORS AND GLAZING PRODUCTS AND INSTALLATION TO BE IN ACCORDANCE WITH DADE COUNTY IMPACT AND WIND LOADING CODES. (PGT OR EQUAL) INSTALLATION BY GENERAL GLASS OR EQUAL.
— ALL GLAZING BELOW 18" A.F.F. TO BE TEMPERED SAFETY GLASS.—CONTRACTOR TO PROVIDE DATED CURRENT APPROVAL DOCUMENTATION/CERTIFICATION.
— VERIFY ALL WINDOWS WITH PROPOSED FLOOR PLAN FOR WINDOW TYPES.
— ALL W/ WHITE E.S.P. PAINT FINISH OR EQUAL — VERIFY W/ OWNER.
— ALL DECORATIVE ALUMINUM SHUTTERS BY "SOUTH FLORIDA ALUMINUM" OR EQUAL

— INTERIOR WINDOWS TRIM TO BE "COASTAL SUPPLY" OR EQUAL.
— INTERIOR WINDOWS FOR REFERENCE ONLY — VERIFY WITH OWNER.
— CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
— CONTRACTOR TO COORDINATE ALL ROUGH OPENINGS SIZES WITH SHELL CONTRACTOR AND WINDOW SUB—CONTRACTOR (NOTE: IF PRECAST SILLS INSTALLED PROVIDE (1) ADDITIONAL INCH FOR P.T. WOOD).



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ISSUED FOR HPB
BIDS
PERMIT 93619
CONSTRUCTION

PROJECT TITLE
**MARINE
VILLAS ON
MARINE WAY**

**110 MARINE WAY
DELRAY BEACH, FL.**

CLIENT APPROVAL
REVISIONS

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ONLY.

FILE NUMBER 802A900
DRAWING TITLE
**PROPOSED
PGT WINDOW
& DOOR
SCHEDULES**
DATE 01.24.19 | DRAWN BY GE/JC
JOB NUMBER 20180802
DRAWING NUMBER

A9.00

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