

DELTA 2 - SPRAB COMMENTS - 09/09/19



PIERRE DELRAY I - SPRAB SITE PLAN APPLICATION

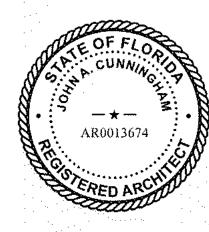


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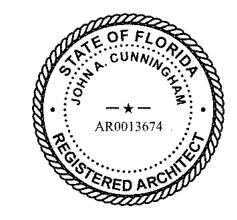
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PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

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DESIGN NARRATIVE

The renovation and rebranding of the existing Suntrust building.

We have chosen the Masonry Modern style for the architectural expression from within the Delray Beach Guidelines to transform, reimagine and reposition this property.

The existing building and structure presented a multitude of creative challenges that had to be overcome. The first being it does not meet current codes, the existing dated and awkward design aesthetic of the exterior, the building MEP systems that were past their useful life and that there are multiple existing structural systems under one roof.

Early in the design process we recognized and were very excited that this renovation coupled with the future Delray 2 Project (submitted under separate application) will be "sister buildings" that will both be iconic gateway buildings that will unveil their beauty as both pedestrian and vehicular movement east occurs along East Atlantic Ave.

As we began the design process utilizing the Masonry Modern Style, we were deliberate in our efforts to establish a "base, middle and top", to provide clearly defined building and shop entry ways with covered arcade or entry canopies for protection from the elements, to compose the massing/stucco elements and vertically composed windows and mullion frame patterns that provide an understated elegance that is both modern and timeless.

The primary materials used are clear high-performance glass, smooth sand finish stucco, clear anodized aluminum window frames and woodgrain metal panels to provide warmth and strength and focal points on the building "top" or cornice.

GREEN INITIATIVES

The Pierre Delray 1 approach to green initiatives for the 2 story renovation project is as follows:

Rather than demolishing the building structure, stairs and elevator- they were saved and rehabilitated.

White roof membrane to reflect the solar heat

Skylights to bring natural light into the second floor easterly tenant space

The facades of the building will be panted white to reflect the solar heat

The glass in the building is 1 5/16" inch insulated glass, low -e filament, shading coefficient of 0.67 and Visible Light Transmittance of 80%

Building wall and roof insulation is to code

Canopies and overhangs are provided to provide shade at glass to reduce solar heat gain through the windows

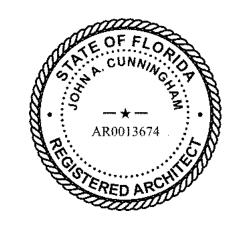
ENGINEERING

HVAC systems are VRF (variable refrigerant flow) type systems and are the most energy efficient type of air-cooled DX systems available. These systems will meet or exceed ASHRAE 90.2 and ASHRAE 62.

Garage ventilation systems are on CO sensors to save energy.

Lighting systems are LED type and exceed requirements identified in ASHRAE 90.1 as it relates to lighting power density.

Plumbing fixtures are low flow. Water heating meets all requirements in the Florida Energy Conservation Code.



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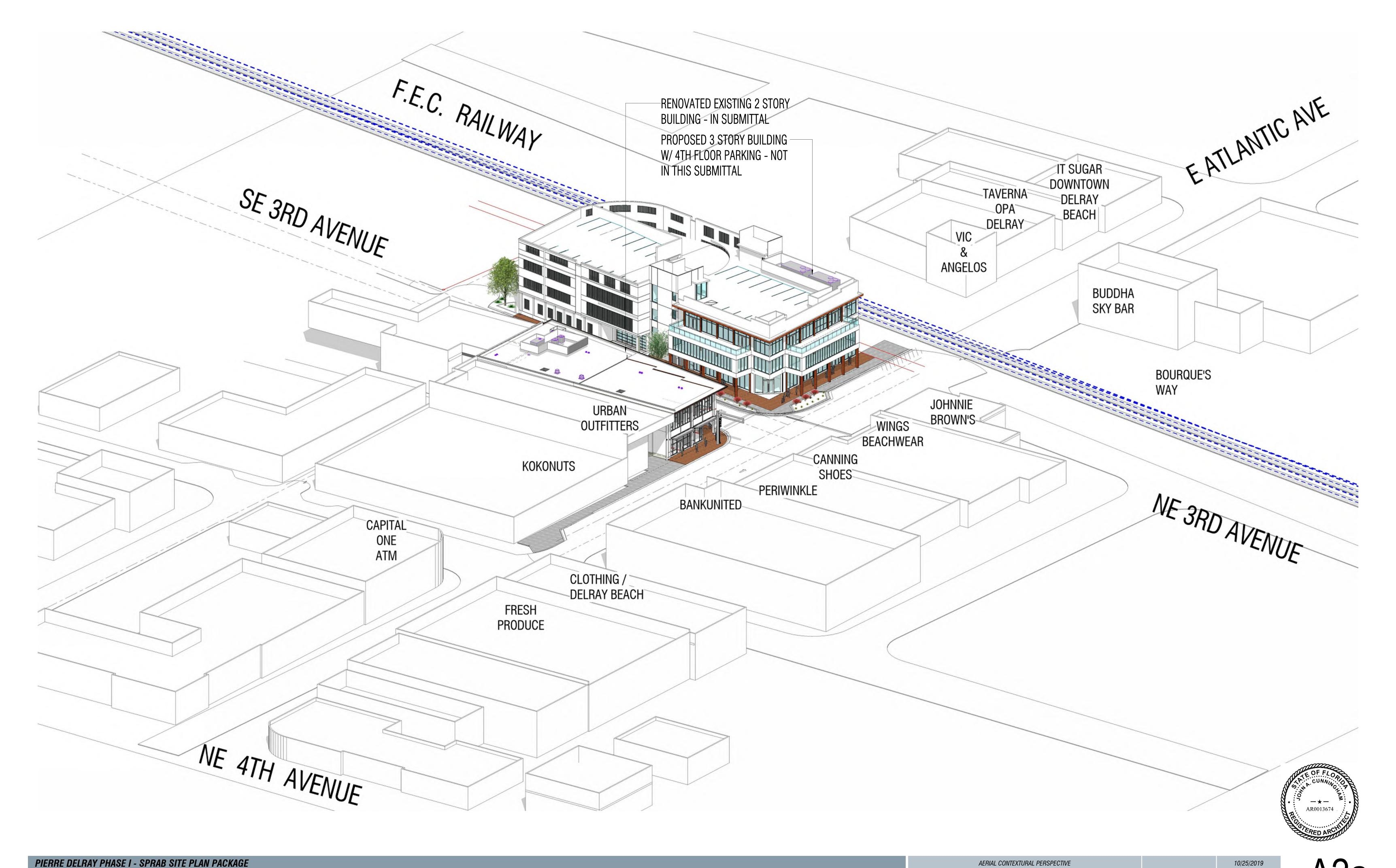






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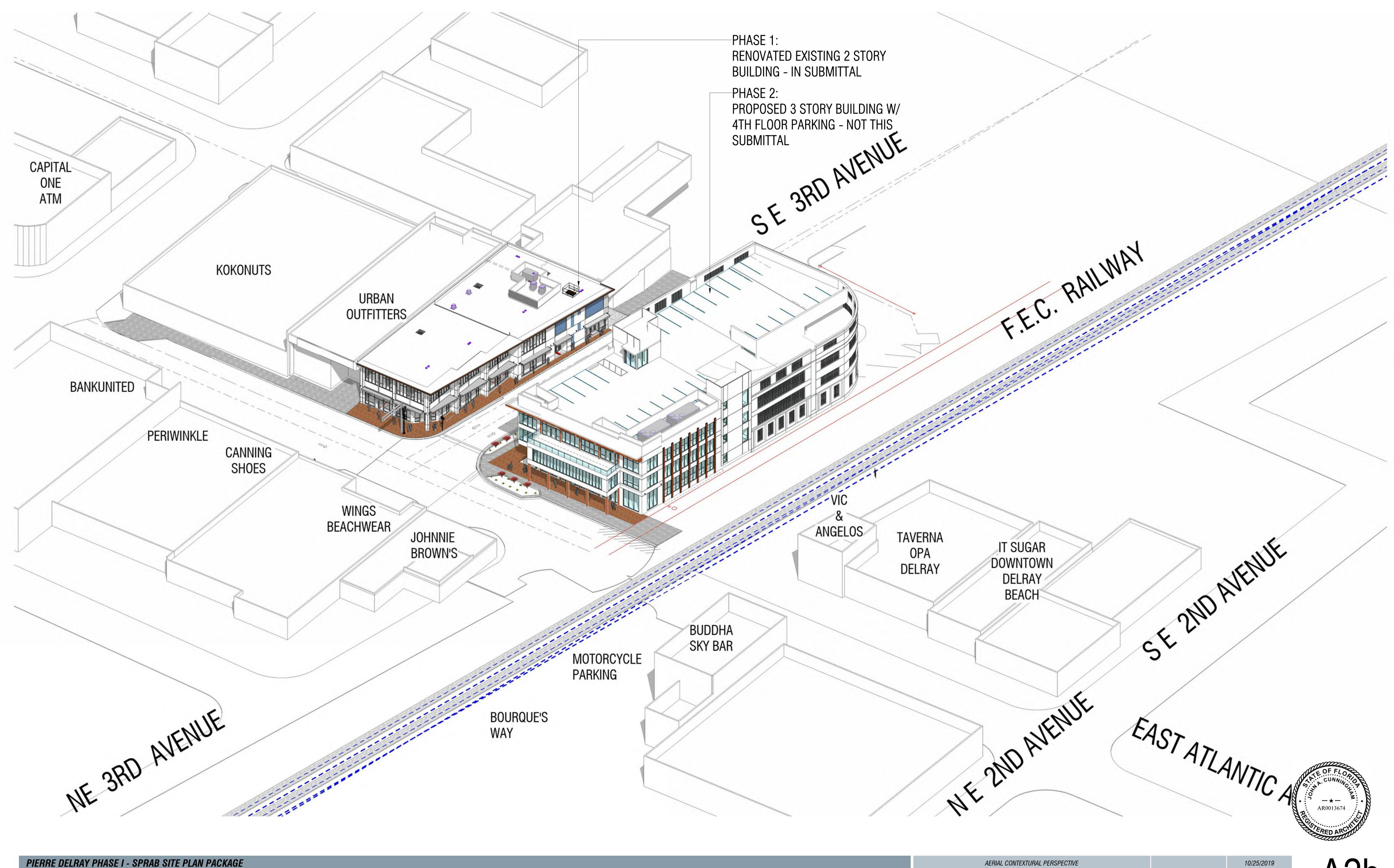
AERIAL PHOTO WITH CONTEXT PICTURES



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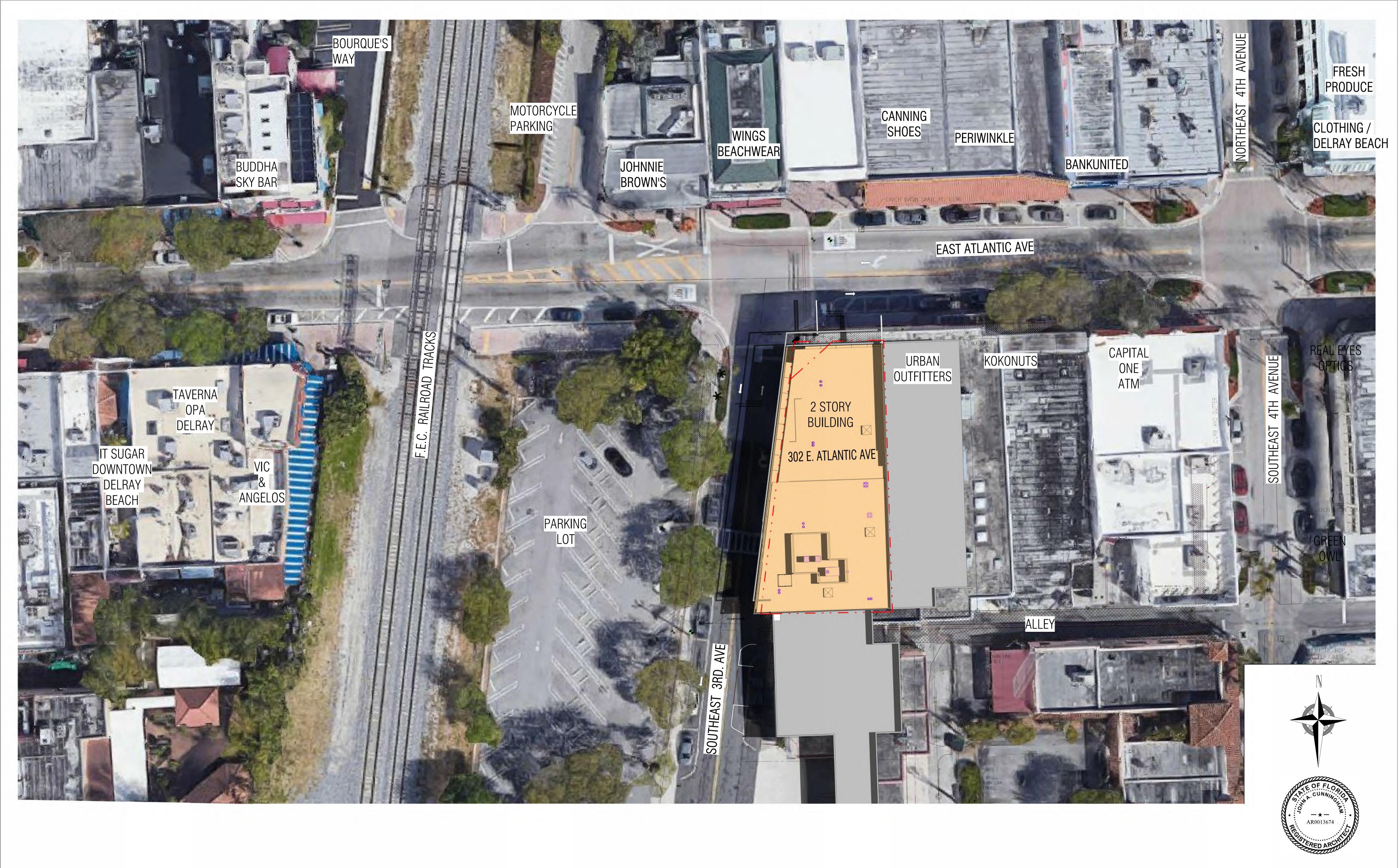
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PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

AERIAL PLAN

1" = 20'-0"

10/25/2019

/2019

I. CURB ZONE 46'-1" 2. PEDESTRIAN ZONE 1'-3" PROPERTY LINE TO FACE OF EXISTING COLUMN § 3. SET-BACK REMAINDER EXISTING COLUMN BUILDING FRONT SETBACK & SIDES EX. BUILDING -EXISTING FACING STREET (REQ.) STREET POLE FACADE TO BE CORNER CLIP FRONT SETBACK & SIDES & SIGN REMOVED FACING STREET (PROVIDED) EXISTING COLUMN SE 3RD AVENUE SECONDARY RETAIL / COMMERCIAL 1,924 sq. ft. BUSINESS PROFESSIO BANK 2,623 sq. ft . CURB ZONE 2. PEDESTRIAN ZONE 3. SET-BACK REMAINDER FRONT SETBACK & SIDES FACING STREET (REQ.) SETBACK @ ALLEY 10'-0" CORNER CLIP TO FACE OF EXISTING COLUMN .₹\$ REAR SETBACK NOTE A*: BUILDING 68'-1" PROPERTY LINE PROP SIGHT TRIANGLE AND CORNER CLIP; REF. TO CIVIL **OVERLAY COMPOSTE SITE PLAN** Scale: 1'' = 10'-0''

OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

(5)Openings . [Amd. Ord. 28-15 12/08/15](a)Building façades facing streets or civic open spaces must have transparent windows covering between 20 percent and 75 percent of the wall area of each story as measured between finished floors. Transparent means non-solar, nonmirrored glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15 12/08/15]

a. Awnings shall project a minimum of three feet from the

architecture and proportionate to the façade opening shape

and size. Except for curved awnings, all awnings shall be

Valances shall be no more than 12 inches long. Internally

c.Storefronts may be combined with forecourts, porches,

sloped 15 to 35 degrees from the horizontal plane.

illuminated or plastic awnings are prohibited.

or arcades. [Amd. Ord. 28-15 12/08/15]

b. Awnings shall be consistent with the building's

building facade.

SEC. 4.4.13(E)(4)(e)

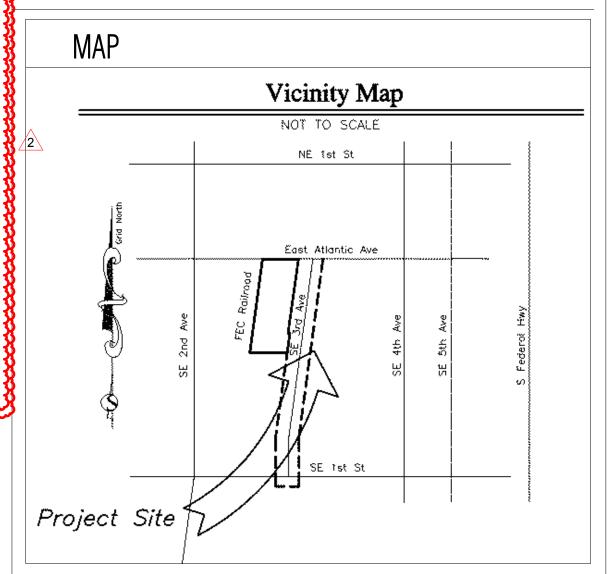
The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

1.Storefront dimensions. Table 4.4.13(I) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure

4.4.13-24 provides a character example. a. Storefronts shall be directly accessible from sidewalks; storefront doors may be recessed up to ten feet. [Amd. Ord. 28-15 12/08/15] b.Storefront (window and door) openings shall extend along at least 80 percent of the width of the facade of the commercial space, measured by the sum of the widths of the rough openings. Storefront windows shall have a base

nine inches to three feet high. Transparent glazed windows shall extend from the base to at least eight feet in height as measured from sidewalk grade. Transparent means nonsolar, non-mirrored, glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15

PROJECT METRICS



Legal Description

The land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

A PORTION OF LOT 1, BLOCK 93, OF RE-SUBDIVISION OF BLOCK 93, CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10. PAGE 53. OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH 71.24 FEET TO A POINT; THENCE WEST AND PARALLEL TO ATLANTIC AVENUE A DISTANCE OF 32.77 FEET TO THE WEST PROPERTY LINE OF SAID BLOCK 93; THENCE NORTHERLY ALONG THE WEST PROPERTY LINE OF SAID BLOCK, 72.05 FEET TO THE POINT OF BEGINNING.

A PORTION OF LOT 1, BLOCK 93, OF RE-SUBDIVISION OF BLOCK 93, CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH TO A POINT ON THE SOUTH LINE OF LOT 1, BLOCK 93, 46.34 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 93 TO THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTHERLY ALONG THE WESTERN BOUNDARY OF SAID LOT 1, BLOCK 93 TO THE POINT OF BEGINNING.

LESS THE FOLLOWING DESCRIBED PROPERTY: (LESS PARCEL A-1)

BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH 71.24 FEET TO A POINT; THENCE WEST AND PARALLEL TO ATLANTIC AVENUE A DISTANCE OF 32.77 FEET TO THE WEST PROPERTY LINE OF SAID BLOCK 93; THENCE NORTHERLY ALONG THE WEST PROPERTY LINE OF BLOCK 93, A DISTANCE OF 72.05 FEET TO THE POINT OF BEGINNING.

BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF BLOCK 9. AS AFORESAID, AND RUNNING THENCE WEST ON THE SOUTH LINE OF ATLANTIC AVENUE OF SAID CITY A DISTANCE OF 1.61 FEET; THENCE SOUTH IN PARROT STREET A DISTANCE OF 141.55 FEET TO A POINT ON THE NORTH LINE OF SAID ALLEY *PRODUCE EAST ALONG THE NORTH LINE OF SAID ALLEY PRODUCED A DISTANCE OF .75 OF A FOOT TO THE SOUTHEAST CORNER OF SAID STRIP. BEING THE SOUTHWEST CORNER OF LOT 1, BLOCK 93, OF SAID CITY; THENCE NORTH ALONG THE WEST BOUNDARY OF SAID BLOCK 93 A DISTANCE OF 141.55 FEET TO THE POINT OF BEGINNING.

LOT 1. BLOCK 93. OF RE-SUBDIVISION OF BLOCK 93. CITY OF DELRAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT: BOOK 10, PAGE 53. OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS THE FOLLOWING DESCRIBED PROPERTY: (LESS PARCELS A-1 AND A-2)

BEGINNING AT THE NORTHWEST CORNER OF BLOCK 93 OF THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT ON FILE IN PLAT BOOK 10, PAGE 53, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE EAST ALONG THE PROPERTY LINE OF ATLANTIC AVENUE 23.35 FEET TO A POINT; THENCE SOUTH TO A POINT ON THE SOUTH LINE OF LOT 1, BLOCK 93, 46.34 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1, BLOCK 93 TO THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK 93; THENCE NORTHERLY ALONG THE WEST BOUNDARY OF SAID LOT 1, BLOCK 93 TO THE POINT OF BEGINNING.

ALL OF THE NORTH 250 FEET OF BLOCK 85, LYING EAST OF THE FLORIDA EAST COAST RAILWAY RIGHT-OF-WAY, IN THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF THE TOWN OF LINTON (NOW DELRAY BEACH), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS THE SOUTH 51 FEET THEREOF.

AND LESS THE FOLLOWING 3 PARCELS:

LESS PARCEL C(a)

(A) LANDS CONVEYED TO THE CITY OF DELRAY BEACH, BY DEED RECORDED IN DEED BOOK 341, PAGE 241, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS PARCEL C(b)

(B) LANDS CONVEYED TO THE CITY OF DELRAY BEACH, BY RIGHT-OF-WAY DEED RECORDED IN DEED BOOK 621, PAGE 115, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

(C) LANDS CONVEYED TO THELMA A. PRIEST AND O.D. PRIEST, HER HUSBAND, BY DEED RECORDED IN DEED BOOK 721. PAGE 568, EXCEPTING THEREFROM, THE NORTH 1.25 FEET CONVEYED IN DEED BOOK 931, PAGE **524, BOTH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

ALL OF THE NORTH 250 FEET OF BLOCK 85 LYING EAST OF THE FLORIDA EAST COAST RAILROAD RIGHT-OF-WAY IN THE CITY OF DELRAY BEACH, FLORIDA, ACCORDING TO THE PLAT OF THE TOWN OF LINTON (NOW DELRAY BEACH), AS RECORDED IN PLAT BOOK 1, PAGE 3, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS HOWEVER, THAT PORTION OF BLOCK 85 DESCRIBED IN THAT CERTAIN DEED FROM DELRAY PROPERTIES, INC., A FLORIDA CORPORATION TO PARCO, INC., A FLORIDA CORPORATION, DATED APRIL 2, 1957, AND RECORDED APRIL 2, 1957, IN OFFICIAL RECORDS BOOK 38, PAGE 240, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

*SurvTech believes this is a typographical error and potentially read: "protruding West; thence East, along the North line of said alley protruding

**SurvTech believes this is a typographical error and should read: "594"

The above description is the same as the one described per Title Commitment File No. 3020-865138 issued by First American Title Insurance Company, bearing an effective date of August 8, 2017 at 8:00 AM.

Segarding Parcel C(a) per Deed Book 341, Page 241: Supplied document was handwritten and recorded in 1924 and is very hard to read. Based on what the Surveyor was able to decipher it is believed that the intention was to keep the width of the public right—of—way for SE 3rd Avenue a distance of 40.00 feet. Surveyor, also believes, that this document may have been recorded in conjunction with Deed Book 818, Page 22 (Parcel A-3) as part of a land swap agreement. Based on the fact that the document was illegible the location and dimension of said Parcel C(a), as depicted hereon, is approximate.

CONTIGUITY NOTES:

Parcels A-1, A-2, A-3 & A-4

The limits of Parcel A-1, A-2, A-3 & A-4 as depicted hereon are contiguous, without gap, gore, hiatus or overlaps.

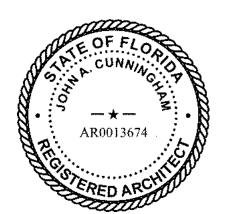
PARCEL C & PARCEL F

The North boundary of Parcel F is contiguous, without gap, gore, hiatus or overlap to the South boundary of Parcel C. The South boundary of Parcel C is contiguous, without gap, gore, highest or overlap to the North boundary of Parcel F.

PARKING CALCULATIONS (INSIDE CBD) 1st FL. PARKING SPACE COUNT REQUIRED (xx) - TOTAL PROVIDED LEVEL SURFACE PARKING (RETAIL): 2,771 sf : 1.0 sp / 500 sf = 5.54 spaces (6)1.0/500 NET SF 1st FL. PARKING SPACE COUNT LEVEL SURFACE PARKING (OFFICE): 2,623 sf: 1.0 sp / 500 sf 5.25 spaces (6) 1.0/500 NET SF TOTAL 1st FL. SPACES: 12 SPACES 2nd FL. PARKING SPACE COUNT LEVEL SURFACE PARKING (OFFICE): 6,769 sf : 1.0 sp / 500 sf 13.54 spaces (14) 1.0/500 NET SF TOTAL 2nd FL. SPACES: 14 SPACES **REQUIRED SPACES: 26 SPACES*** * PARKING INCLUDING BICYCLE PARKING PROVIDED ACROSS THE STREET AT PIERRE DELRAY PHASE II PER LDR SECTION 4.4.13(D)(2)(d) PARKING IS NOT PER TABLE 4.4.13(L) OF THE CITY OF DELRAY BEACH, FL REQUIRE FOR LOTS WITH WIDTH < 65 FT. BUSINESS AND PROFESSIONA OFFICE < 10,000 SF: 1 SP: 500 SF. (NET)

SETBACKS		BUILDING GROSS	AREA
LDR, 4.3.4(K) REQUIRED	PROVIDED	GROUND FLOOR GROSS AREA SECOND FLOOR GROSS AREA	7132 SF 7225 SF
A FRONT SETBACK - EAST ATLANTIC 10 FT. MIN 15 FT. MAX	N.E. 5 FT - 2 IN N.W. 6 FT - 0 IN	GROSS AREA SHOWN ABO	14357 SF OVE IS OCCUPIABLE SPACE
B SIDE SETBACK - SE 3RD AVE. (SECONDARY OF SECONDARY OF	ONDARY) N.W. 1 FT - 3 IN S.W. 0 FT - 8 IN S.W. 0 FT - 2 IN S.E. 1 FT - 5 IN	2	

LOT COVERAGI	E		BUILDING % INCREASE
LDR, 4.3.4(K) TOTAL LOT AREA: BUILDING FOOTPRINT: PAVED AREA: LANDSCAPE AREA: CIVIC SPACE:	7,998 SF 7,225 SF 773 SF 0 SF 0 SF	100.00 % 90.3 % 9.7 % 0.0 % 0.0 %	BUILDING SF CUMMULATION OF NEW AND EXISTING SF BASED ON NEW SURVEY; SEE CIVIL GROSS SF = 7,225 SF NEW ADDITION SF = 415 SF TOTAL PERCENTAGE OF NEW SF = 5.7%
	mm	······	



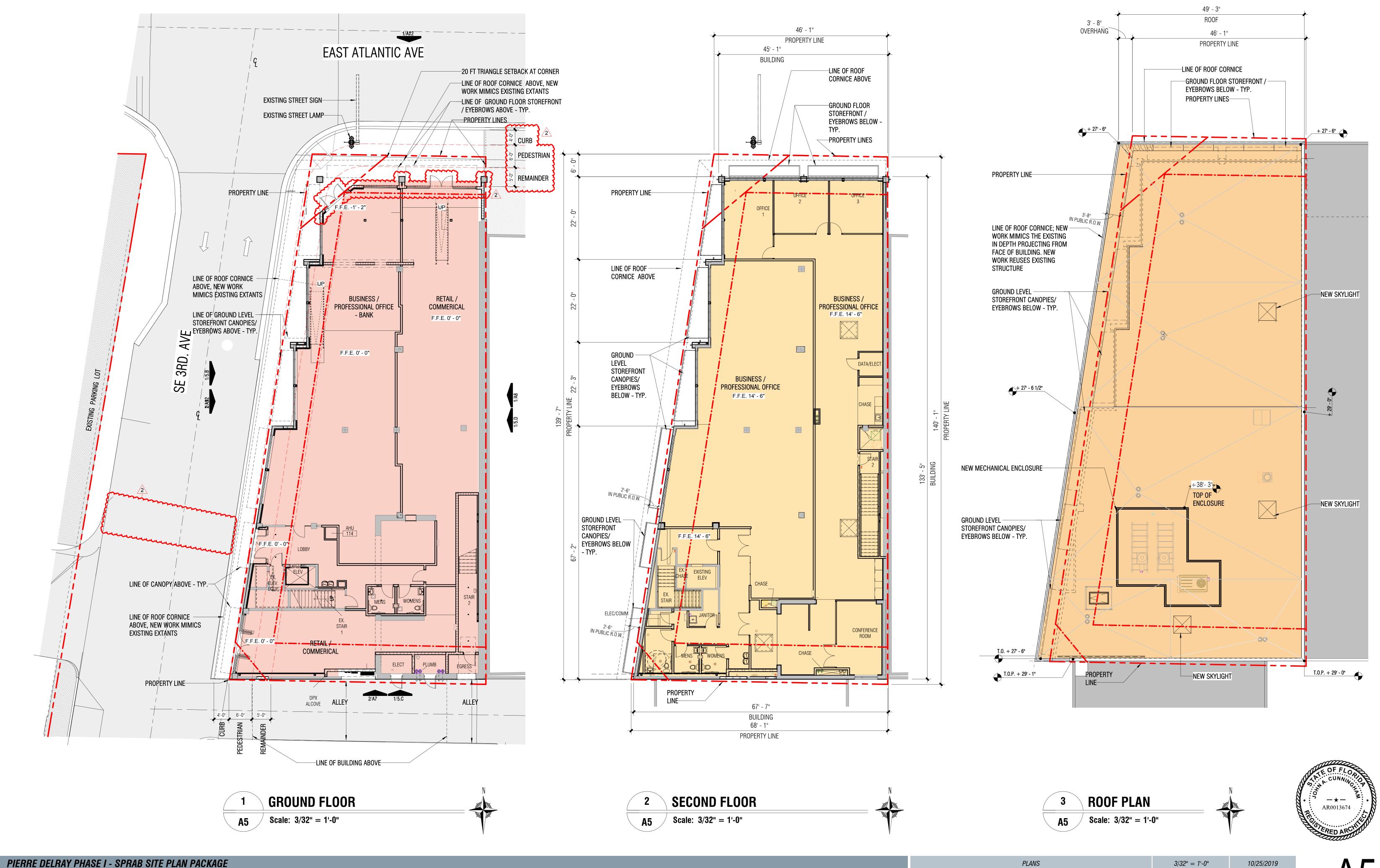
COMPOSITE OVERLAY SITE PLAN

As indicated

RETAIL AND COMMERICAL : 1 SP : 500 SF (NET)-

10/25/2019

1867DBSB DELRAY BEACH MXU SITE 1

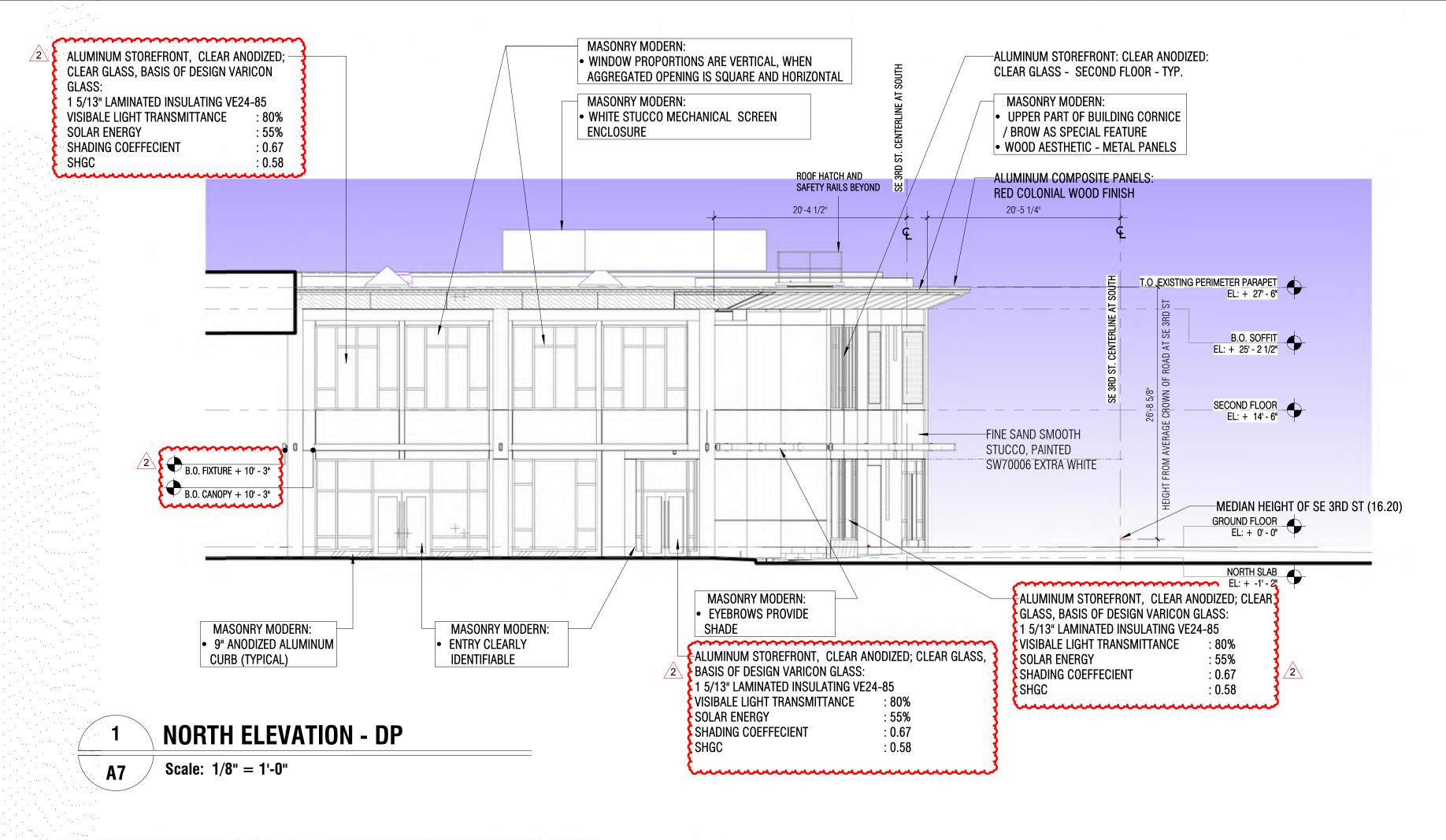


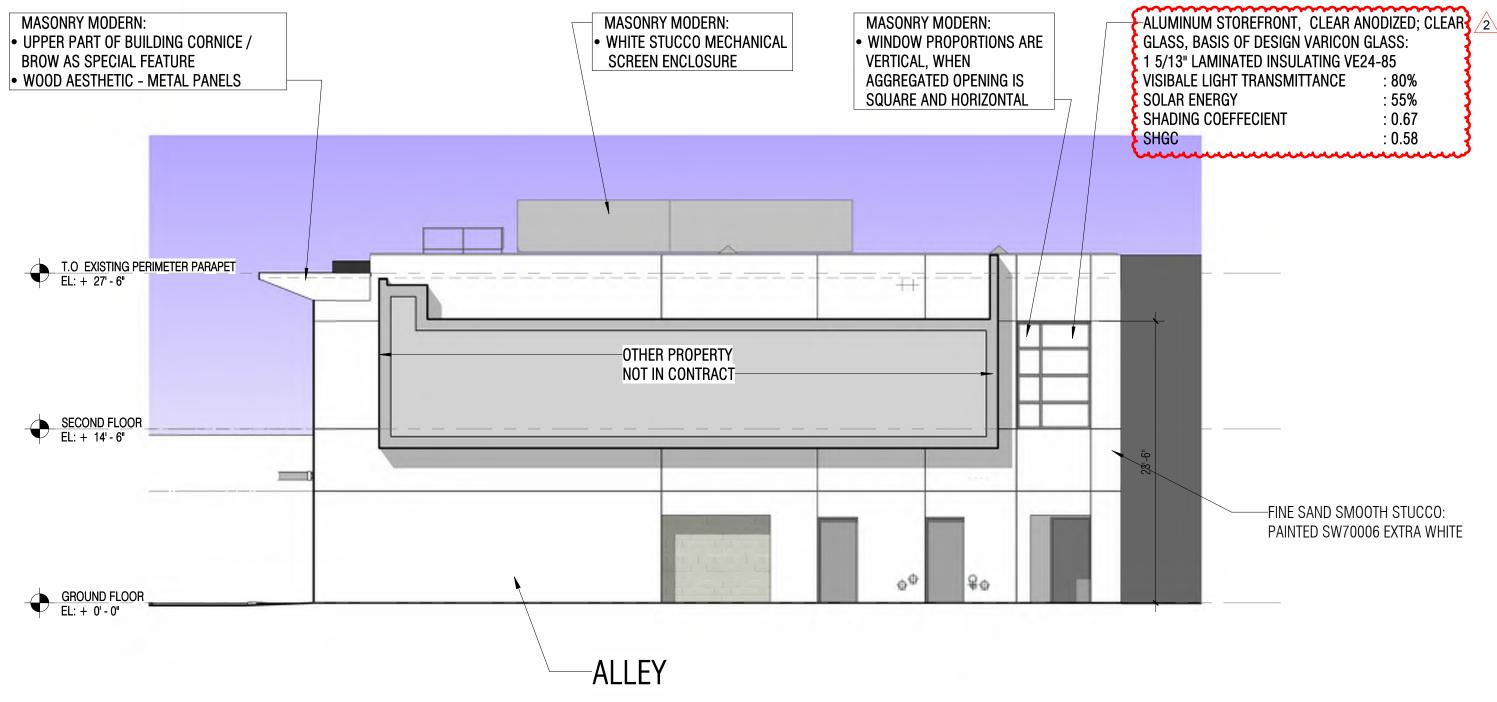
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SOUTH ELEVATION - DP - ALLEY ELEVATION Scale: 1/8" = 1'-0"

OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

(5)Openings . [Amd. Ord. 28-15 12/08/15] (a)Building façades facing streets or civic open spaces must have transparent windows covering mirrored glass with a light transmission reduction of no more than 20 percent. [Amd. Ord. 28-15 12/08/15] SEC. 4.4.13(E)(4)(e)

The storefront is a frontage type along sidewalk level of the ground story, typically associated with commercial uses. Storefronts are frequently shaded by awnings or arcades.

1.Storefront dimensions. Table 4.4.13(I) provides the dimensional requirements and the maximum allowable encroachment permitted. Figure 4.4.13-23 illustrates the dimensional requirements and Figure 4.4.13-24 provides a character example. a.Storefronts shall be directly accessible from

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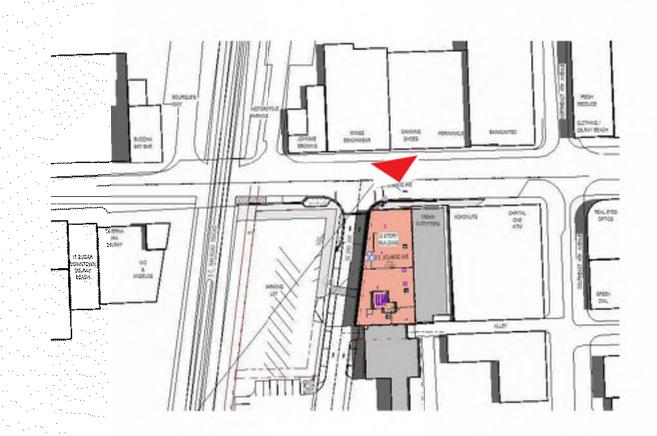
sidewalks; storefront doors may be recessed up

2.Storefront elements. a. Awnings shall project a minimum of three feet from the building facade. b.Awnings shall be consistent with the building's architecture and proportionate to the façade opening shape

and size. Except for curved awnings, all awnings shall be sloped 15 to 35 degrees from the horizontal plane. Valances shall be no more than 12 inches long. Internally illuminated or plastic awnings are prohibited. c.Storefronts may be combined with forecourts, porches, or arcades. [Amd. Ord. 28-15 12/08/15]







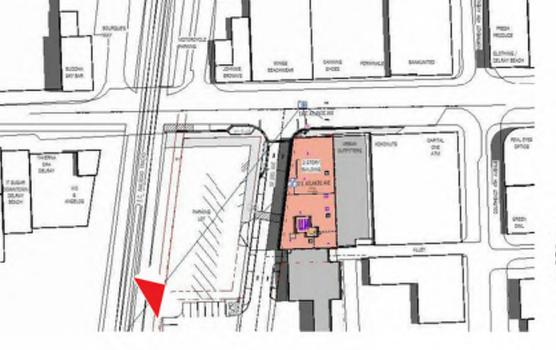
PERSPECTIVE FROM EAST ATLANTIC AVENUE **LOOKING SOUTH**

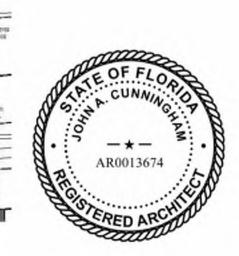
Scale:

PERSPECTIVE FROM EXISTING PARKING LOT **LOOKING EAST ACROSS SE 3RD AVENUE**

Scale:



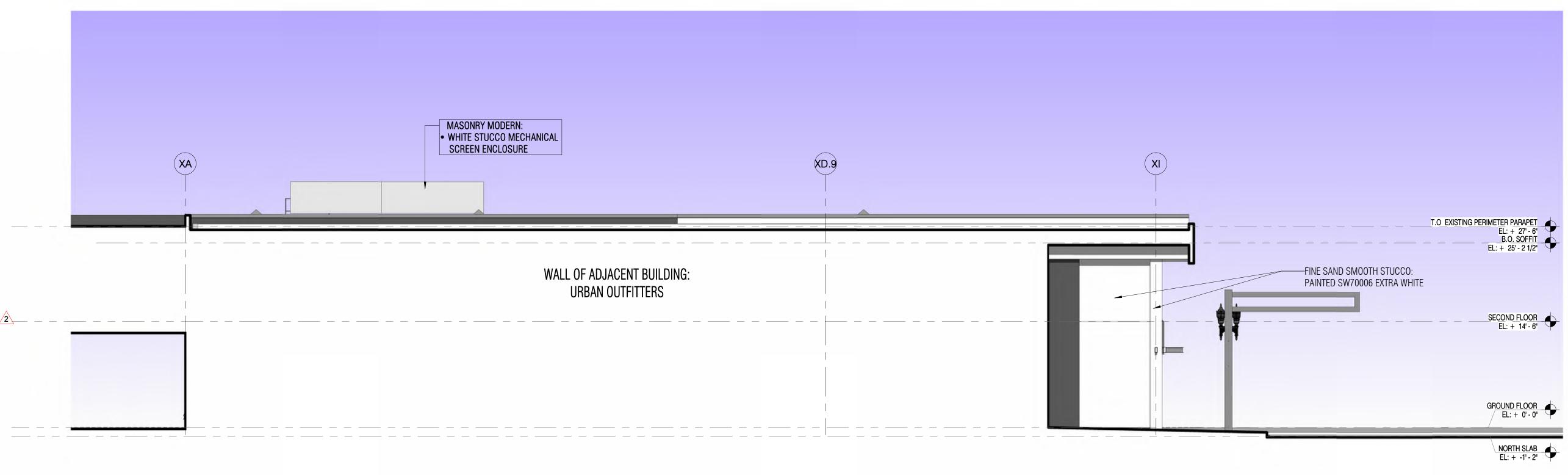


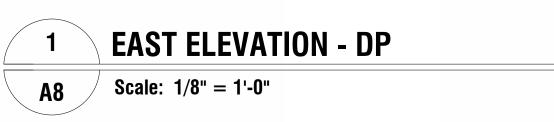


PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

NORTH - SOUTH ELEV & PERSPECTIVES

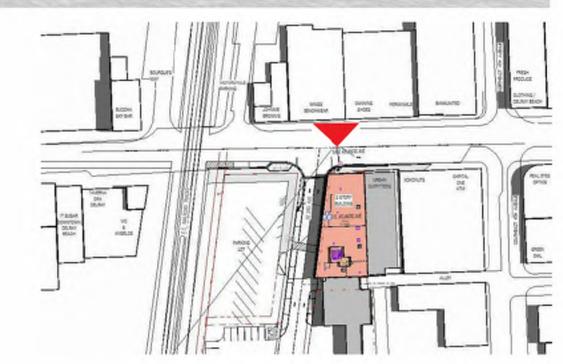
As indicated







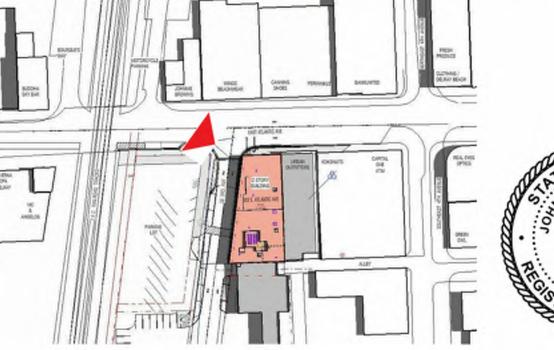






EAST ELEVATION & PERSPECTIVES

3	PERSPECTIVE FROM EAST ATLANTIC AVE SE 3RD AVE	&
A8	Scale:	



As indicated

PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

OPENINGS - CITY OF DELRAY BEACH - LDR - CBD

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SEC. 4.4.13(F)(5)(a)

SEC. 4.4.13(E)(4)(e)

frequently shaded by awnings or arcades.

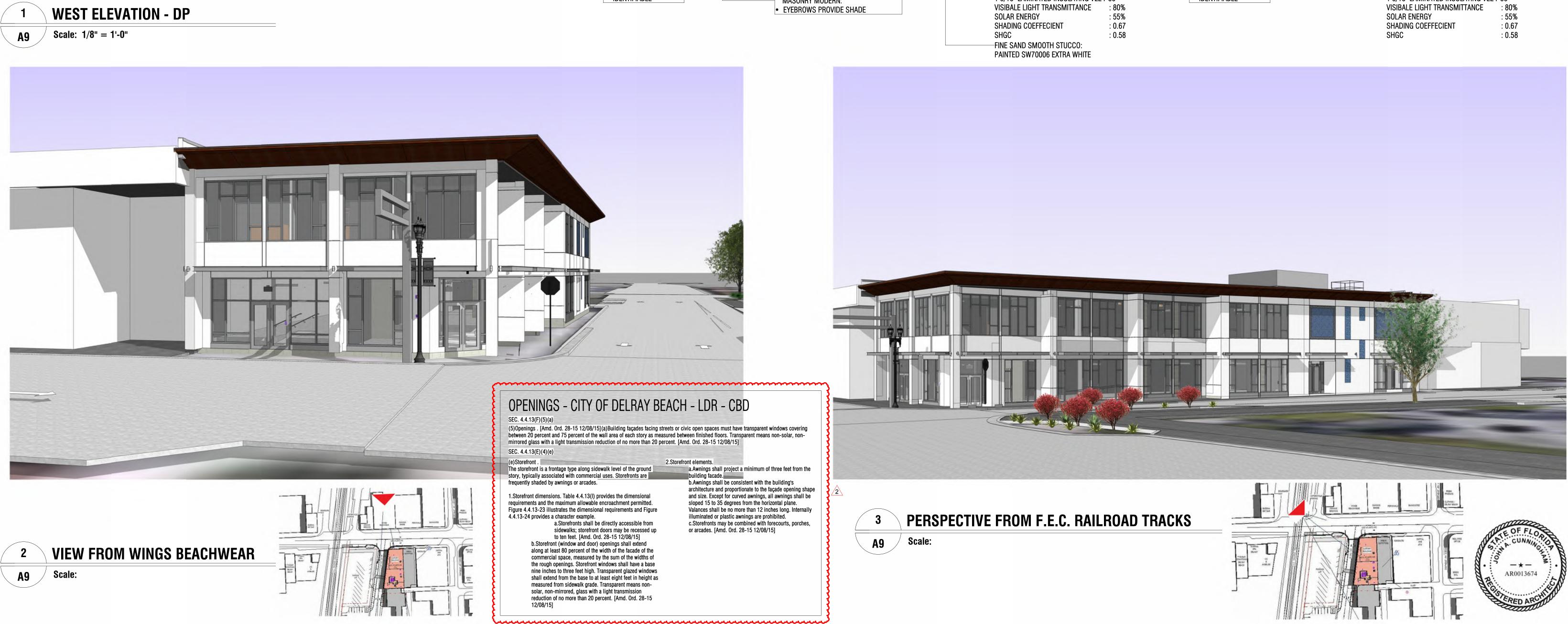
4.4.13-24 provides a character example.

12/08/15]

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PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

WEST ELEVATION & PERSPECTIVES

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10/25/2019

Д9

ROOF FINISH SPECIFICATION RESPONSE Drawings Indicated GAF as the basis-of-design The Part 2 - Performance Requirements articles includes energy performance for solar reflectance and The specifications 075423 Thermoplastic-Polyolefin (TPO) Roofing indicated Carlisle as the basis-ofemissivity to provide high-performing, energy-efficient roofing. Although the specified requirement of design manufacturer, with Firestone, GAF and Johns Manville as other approved manufacturers. 0.70 for reflectance exceeds the LDR requirements noted (0.65 new; 0.50 aged), the specified AFTER REMOVING ALL EXISTING BUR TO EXISTING DECK. requirement of 0.75 for emissivity does not meet the LDR requirements noted (0.90). MANUFACTURERS NEW VAPOR BARRIER ADHERED TO EXISTING TECTUM DECK NEW LWIC DECK SLOPED TO DRAIN, HOLEY BOARD 250, REQUIRED TO ACHEIVE R-20ci, TO 4.5" DEPTH F. Energy Performance: Roofing system shall have an initial solar reflectance of a Basis-of-Design Manufacturer: Carlisle SynTec Systems, www.carlislesyntec.com. and an emissivity of not less than 0.75 when tested according to CRRC-1. FINAL GAF 60 MIL TPO ROOF SYSTEM APPLIED. B. Other Approved Manufacturers: One of the following, meeting Project requirements and REFER TO NOA'S, REF. TO MFR INSTALLATION AND MANITENANCE GUIDELINES. G. Exterior Fire-Test Exposure: ASTM E108 or UL 790, Class A; for application and roof slopes possessing Notice of Acceptance (NOA) reviewed and accepted by Miami-Dade County Department of Regulatory and Economic Resources (RER) Product Control Section for use in indicated; testing by a qualified testing agency. Identify products with appropriate markings of PROVIDE ROOF PAD TO PREVENT DEBRIS PENETRATIONS THRU TPO DURING CONSTRUCTION Miami Dade County and allowed by the local Authority Having Jurisdiction (AHJ). Firestone Building Products Co.; www.firestonebpco.com. However, the manufacturers' standard "White" color TPO membrane products from Carlisle AFTER REMOVING ALL EXISTING BUR TO EXISTING DECK GAF; www.gat.com. (specified) and GAF (in drawings) both meet the requirements of the LDR: NEW VAPOR BARRIER APPLIED TO EXISTING DECK Carlisle Sure-Weld TPO (refer to attached product data sheet): Johns Manville; www.jm.com. NEW LWIC DECK SLOPED TO DRAIN, HOLEY BOARD 250, REQUIRED TO ACHEIVE R020ci, TO 4.5" DEPTH Energy Star Solar Reflectance, Initial: 0.79 FINAL GAF 60 MIL TPO ROOF SYSTEM APPLED 2.3 THERMOPLASTIC POLYOLEFIN (TPO) ROOFING Energy Star Solar Reflectance, 3-year: 0.70 REFER TO NOA'S, REF. TO MFR INSTALLATION AND MAINTENANCE GUIDELINES Solar Reflectance Index (SRI), Initial: 0.99 TPO Sheet: ASTM D6878/D6878M, internally fabric- or scrim-reinforced, fabric-backed TPO PROVIDE ROOF PADS TO PREVENT DEBRIS PENETRATIONS THRU TPO DURING CONSTRUCTION Solar Reflectance Index (SRI), 3-year: 0.85 CRRC Thermal Emittance, Initial: 0.90 1. Basis-of-Design Product: Sure-Weld FleeceBack 115 TPO Fully Adhered Roofing System GAF EverGuard TPO (refer to attached product data sheet): Energy Star Solar Reflectance, Initial: 0.76 Manufacturer's Notice of Acceptance (NOA) No. 17-1227.05. Energy Star Solar Reflectance, 3-year: 0.68 2. Thickness: 60 mils membrane thickness; 55 mils fleece backing; 115 mils total thickness. Solar Reflectance Index (SRI), Initial: 0.94 Solar Reflectance Index (SRI), 3-year: 0.81 Exposed Face Color, White. CRRC Thermal Emittance, Initial: 0.90



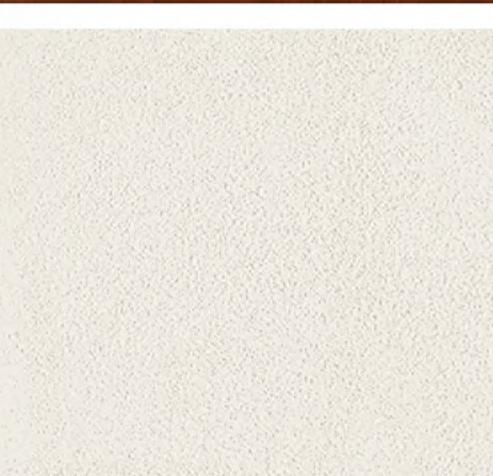
ALUMINUM COMPOSITE PANEL

BASIS OF DESIGN: REYNOBOND COLONIAL RED; FAUX-WOOD FINISH
WITH GRAIN

MOUNT TO PANEL CHANNEL
SUBFRAMING



ALUMINUM STOREFRONT MULLIONS
BASIS OF DESIGN: KAWNEER 451T,
CLEAR ANODIZED ALUMINUM
PREFABRICATED ALUMINUM
CANOPIES SHALL MATCH CLEAR
ANODIZED ALUMINUM STOREFRONT



STUCCO
3-PART CEMENTICOUS STUCCO; FINE SAND SMOOTH
PAINTED SHERWIN WHILLIAMS
SW7005 PURE WHITE



GLASS VIRACON 1" (25mm) Insulating VE24-85 PERFORMÁNCE DATA Transmittance Visible Light: Solar Energy: <1% Reflectance Visible Light-Exterior: 16% 16% Visible Light-Interior: 30% Solar Energy: NFRC U-Value Winter: 0.46 Btu/(hr x sqft x °F) 0.47 Btu/(hr x sqft x °F) Summer: Shading Coefficient (SC): Relative Heat Gain: 140 Btu/(hr x sqft) Solar Heat Gain Coefficient (SHGC) 0.58 1.38



part be made without the express written permission of Zyscovich Architects. All designs indicated in these

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SW7005 PURE WHITE R: 237 G: 236 B: 230

Hex Value: #edece6

LRV: 84

PAINT

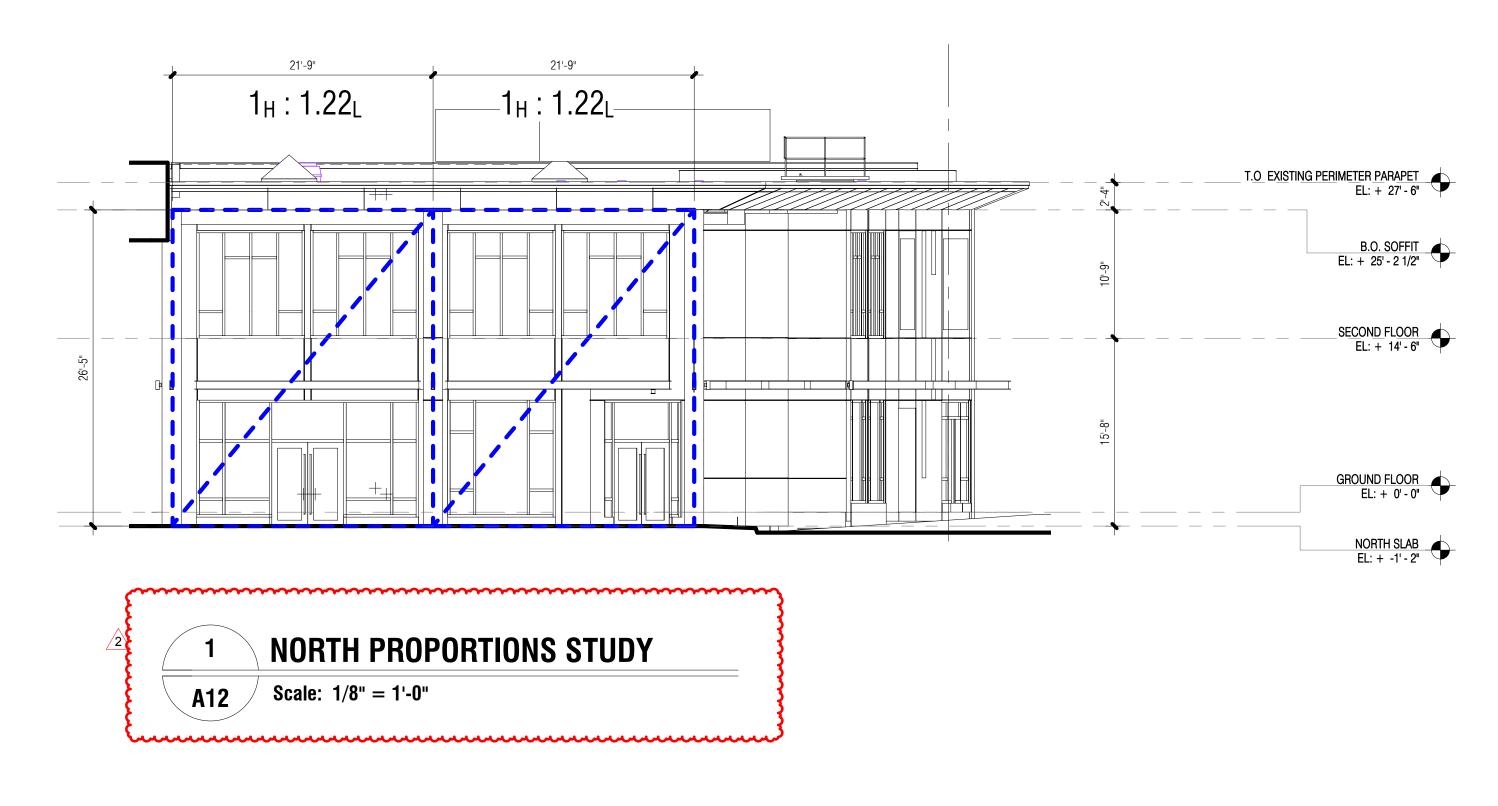
Light Reflective Value: 84 (High)

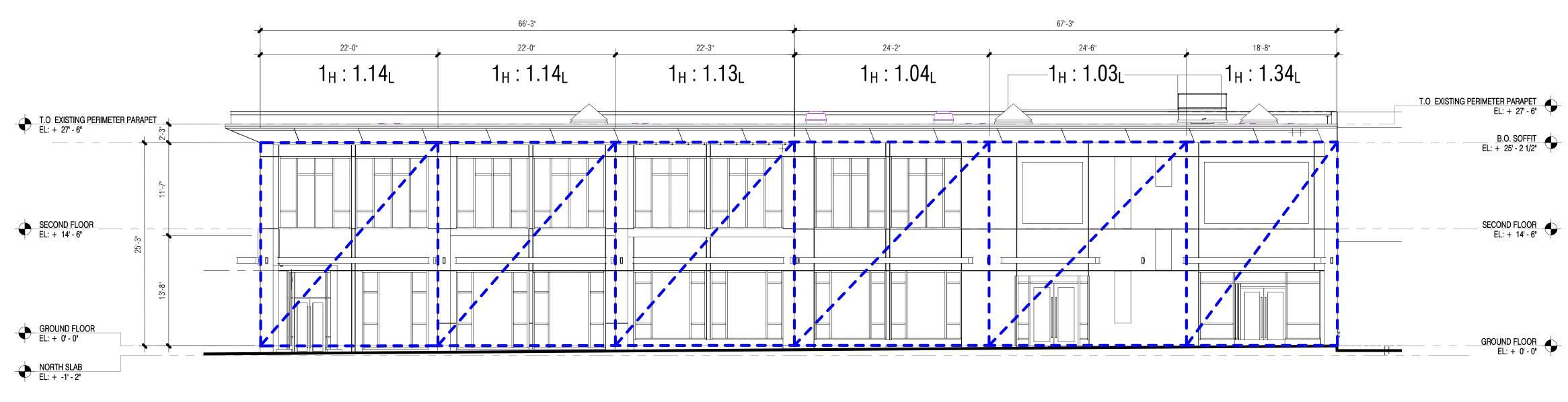
Color Collections: Acute Care Cool Foundations, ABC's and 123's, Inbe Tweens, Teen Space, Trendsetter, Dreamer, Timeless White, Pottery Barn - Fall/Winter 2019

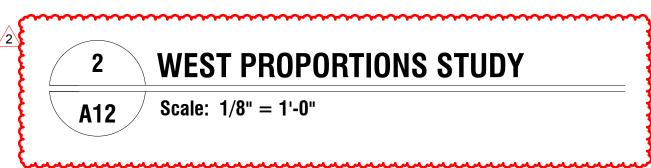


PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

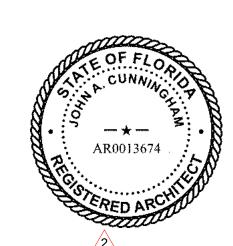
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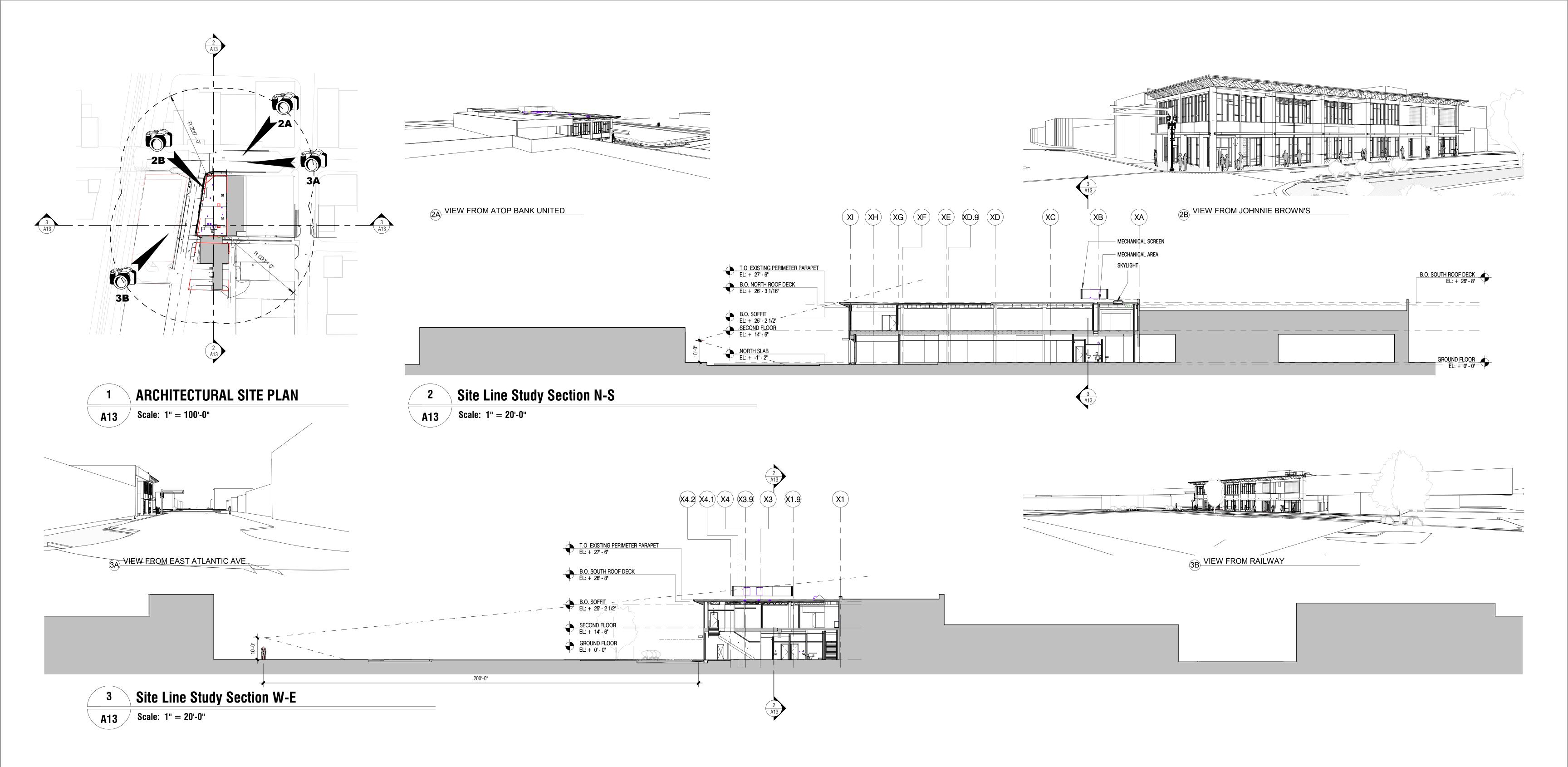




RATIO: X_H: X_L $\begin{aligned} \mathbf{H} &= \mathbf{HEIGHT} \\ \mathbf{L} &= \mathbf{LENGHT} \end{aligned}$





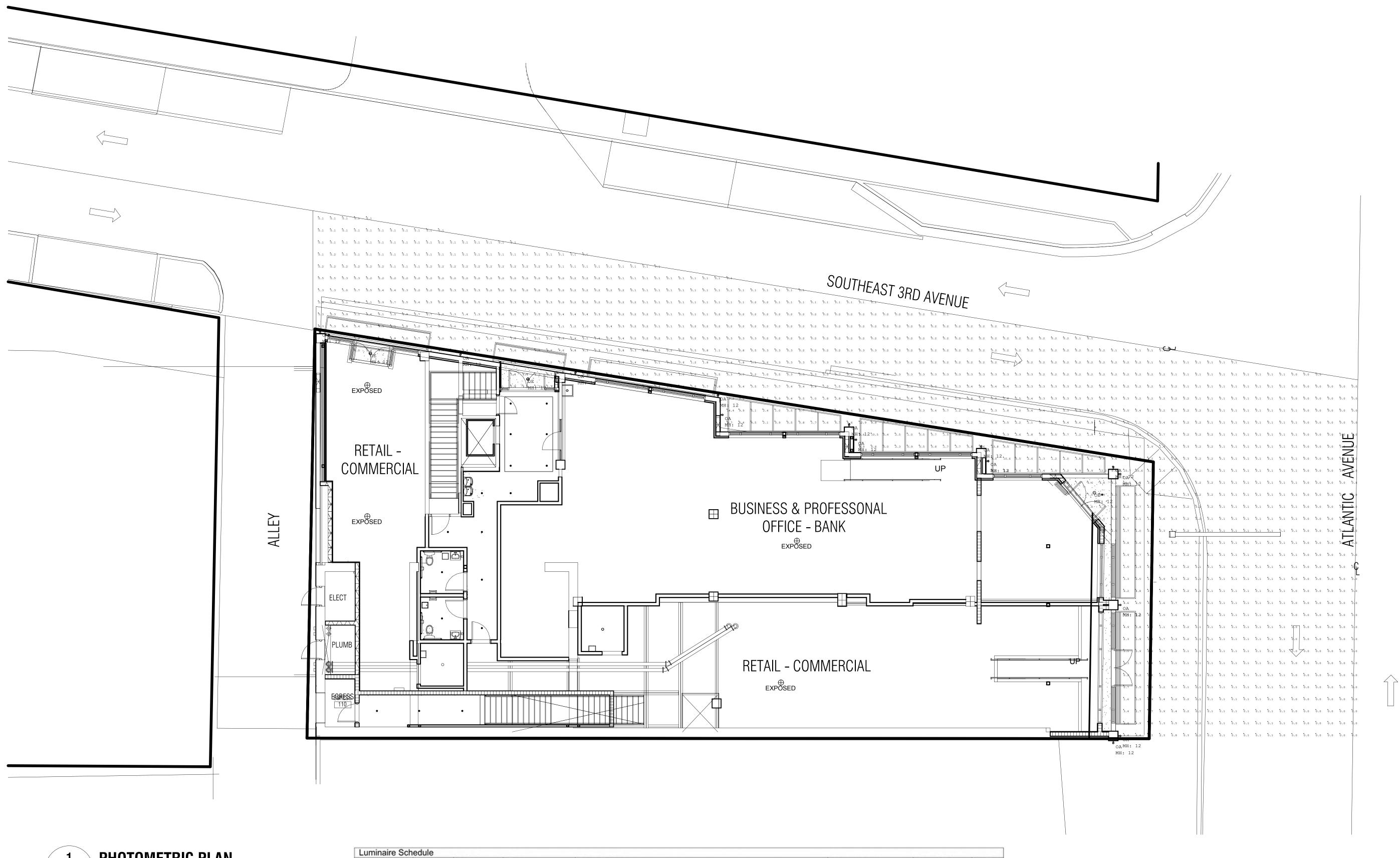


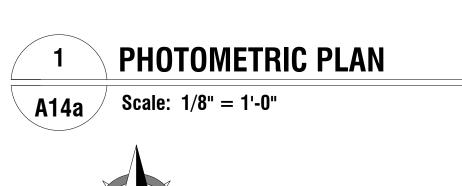


e info@zyscovich.com w www.zyscovich.com

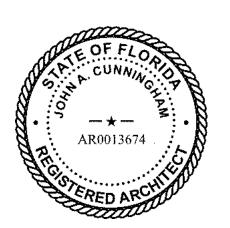
ZYSCOVICH 250 Park Avenue, Suite 510 Winter Park, Fl. 32789 t 407.674.1959

A13





Symbol	Qty	Label	Tag	Description		Description Arrangement									Arrangement	Lum. Watts	LLF
0	3	OE	Lightolier	C6RN+C6L10835MZ10U+C6RDLCL SINGLE						SINGLE	9	0.800					
	14	OA	V2 Lighting	K3RU-R-1-	V-10832720	-NN-10832720	-NN-(FIN	ISH)		GROUP	N.A.	0.900					
Calculation	Summary																
Label		*******************************	CalcType		Jnits	Avg	Max	Min	Avg/Mii	n Max/Min							
Canopy_01		·····	Illuminance	F	-c	5.05	18.4	0.3	16.83	61.33							
Canopy 02			Illuminance	Į.	-c	5.54	9.0	0.9	6.16	10.00							
Canopy_03			Illuminance	l.	-c	3.44	23.6	0.2	17.20	118.00							
Canopy_04			Illuminance	F	-c	3.64	11.1	0.6	6.07	18.50							
Canopy_05			Illuminance	F	-c	3.83	11.7	0.6	6.38	19.50							
Canopy_06			Illuminance	I	-c	5.03	13.5	1.1	4.57	12.27							
Canopy_07			Illuminance	ı	-c	5.66	7.2	2.1	2.70	3.43							
Canopy_08			Illuminance	I	- c	5.08	24.9	0.4	12.70	62.25							
Canopy_09			Illuminance		- c	2.26	10.0	0.2	11.30	50.00							
Floor_Plana	ır		Illuminance	F	-c	5.29	23.3	0.2	26.45	116.50							
Middle_Doo	rway_Floor	•	Illuminance		-c	4.19	5.4	2.6	1.61	2.08							
SW_Doorwa	ay_Floor		Illuminance	I	-c	4.32	5.8	1.8	2.40	3.22							



PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

PHOTOMETRIC PLAN 1/8" = 1'-0" ZYSCOVICH 250 Park Avenue, Suite 510 Winter Park, Fl. 32789 t 407.674.1959

e info@zyscovich.com w www.zyscovich.com



Downlighting Calculite LED 6" gen 3



Calculite LED 6" generation 3 features industry leading visual comfort, excellent uniform illumination over time, and patented installation flexibility.

Complete luminaire - Frame - Engine - Trim - Accessories (optional)



ime			example: 68NIP
ies R	Installation N	Voltage/Options	
6" Non-IC Round	N New construction	Universal 1201/(277V (specify for Power Over Ethernet) Em Emergency (see page 2 for details and limitations) IP Interact Pro ready (for 0-10V engine only)	LC Chicago Plenum 3 347V (not compatible with ELV dimming) ² 3IP 347V with Interact Pro (for 0-10V engine only)
	R Remodeler	Universal 120 V/277V (specify for Power Over Ethernet) IP Interact Pro ready (for 0-10V engine only)	3 347V (not compatible with ELV dimming)

	R Remodeler			(specify for Power Ov or 0-10V engine only)	rer Ethernet) 3 347V (not compat	this with ELV dimming)
Engine						example: C6US835NZ10
Series C6L	Lumens 10	CRI 8	40	Beam W	Dimming Z10	Voltage
C6L Calculite LED 6*	10 1000lm 15 1500lm 20 2000lm 25 2500lm 30 3000lm	8 80 CRI 9 90 CRI	27 2700K 30 3000K 35 3500K 40 4000K	N Narrow (40') N Medium (56') W Wide (76')	Z10 0-10V TK SOL EldoLED Solo 0-10V 01% D Doll 01% L Lutton LDE1 EcoSystem (fac DMX Digital Multiplexing	U Universal 120 V/277 V/347 V e-to-tlack)
	35 3500(m 48 4800 lm (210 enty)				€ ELV (for up to 2000(im only)	1 120V
	60 6000 lm (210 enty)				 Power over Ethernet (PoE) Only compatible with 1000 (10) to 250 	■ Ethernet 48V DC io (25) lumen configurations.

	00 0000000	20000		0) to 2500 (25) lumen configurations
Trim				example: CGRDLCC
Series C6	Aperture R	Style DL	Finish	Flange
C6 Calculite LED 6"	R Round	DL Downlight	BK Black (annodized) CC Comfort clear CL Specular clear CD Comfort clear diffuse CZ Champagne bronze	White (matte) Polished (matches aperture) Flangeless (requires CAGNIT)
			WH White (matte)	- White (matte) F. Flangeless (requires CASPIT)

SL Shower light (non-conductive)³

CARM | Field installable EM pack (for use with new construction frame only) |

CREVENT | PGS Rated vanidal proof matte white accessory mounts onto flangeless trims (CARDCT) and new construction frame only AMS |

ACQUIRE multi-sensor (setimal accessory for PGC configurations) |

SpaceWise wireless controller with dwell time functionality (congestible with all 0-10V eptims, see SW201 specished) SRAINT InterAct Office Accessory (for use with Lightolier UniFrame 0-10V products) Emergency (EM) frame includes emergency battery with celling and reflector mountable test switch (see page 2 for details and limitations).
 The 347V frame is not compatible with lumen packages above 2000lim for lansed wall wash trims.

CalculteLEDgen3_6in_Downlight_C6ROL 06/19 page 1 of 7







Not applicable



C6RDL Calculite LED 6" gen 3

Round Downlight

Dimming

- Advance 0-10V 1% dimming

Power over Ethernet

Optical systems

Quality of light:

Light Engine

Comfort throughout the space:

Quick connect power pack allow for easy

packages, CCT and control type. Easy replacement of electronics at end of life

Ease and upgradability of technology.

installation and replacement from below ceiling

with no need for additional wiring. This allows for

Frame and ceiling installation to be performed.

with minimal wasted material and labor required.

CalculteLEDgen3_6in_Downlight_C6RDL 06/19 page 2 of 7

Frame-in-kits Wired Controls Options Galvanized stamped steel for dry or plaster

Interact Office Wired (PoE): PoE based IoT connected lighting solution for large enterprises that span across multiple rom 13" to 24". For 4' distances, use 1/2" EMT, floors, buildings and require multiple gateways. 1-1/2" x 1/2" U or C channel. Use Interact Office software and insights to Max ceiling thickness is 2.75" (70 mm) including PoE frame 4.88" (124 mm) plenum depth for installation. wide integration and optimize space through occupancy analytics. Supports advanced IoT Apps on Personal Emergency Control, Space Management, wayfinding, room/ desk reservation and offers open APIs for light. For reflector mounted emergency test switch

add "EM" to emd of catalog code (example CGRDLCCEM). Leave blank for ceiling mounted Poll lighting controller is accessible from below. and internet connectivity for commissioning. test switch. Reflector mounted test switch Integral sensor option for occupancy sensing equires above ceiling access. (PRI) and/or daylight harvesting available for additional energy savings. Patented install Mounting frame: · Pre-installed mounting bars for fast and tool-Optional integral emergency controller and less installs into T-grid & hat channel ceilings. battery pack provides 600lm nominal output Close-cut aperture design eliminates - Test switch and indicator light mounted on side possibility of gap between ceiling opening and reflector flange. of chassis on one end. Emergency battery has a 3 month pre-installed Separate wiring compartment for wiring frame shelf life, and must be stored and installed in environments of 20C to 30C (-4F to 86F) to building allows inspection prior to light engine install. ambient, and 45-85% relative humidity. Simple plug-and-play connection between

· For more information on Interact Office Wired frame and light engine from below ceiling visit: www.interact-lighting.com/office.or www.usa.lighting.philips.com/systems/ systemareas/offices. Interact Office Wired (PoE),

- Lutron Hi-lume EcoSystem H Series 1% dimming · A wireless IoT connected lighting solution for - EldoLED ECOdrive Dali 1% dimming large enterprises that span across multiple - EldoLED SOLOdrive 0-10V 0 1% dimming floors, buildings and require multiple gateways. - EldoLED DMX POWERdrive · View all your projects under one dashboard and easily compare insights from multiple projects Compatible Zigbee Green Power wall dimmer Powered via Lightolier PoE lighting controller:

and wireless Occupancy or Daylight & Occupancy sensors available. (Class A) for EMI / RFI (conducted & radiated). PoE occupancy analytics. True 50" physical cutoff and 45" reflected cutoff

control and data exchange.

· Use Interact Office software and insights to wide integration and optimize space through · Supports advanced IoT Apps on wayfinding. Requires compatible Interact Office Gateway and internet connectivity for commissioning. For more information on Interact Office Wireless, visit: www.interact-lighting.com/

- CCEA (frames with "LC suffix) - IP65 rated with vandal proof accessory

Interact Pro brings the power of connected

without the complexity usually associated

broad portfolio of wireless Luminaires, lamps

and retrofit kits all working on the same system

lighting to small and medium businesses

Commissioning via Interact Pro App

· Compatible with UID8451/10 ZigBee

Greenpower wireless dimmer switch

Compatible with wireless Occ sensor

· For more information on Interact Pro visit:

· For more information on Interact Ready

for use with flangless plaster installations.

Vandal Proof: Use C6RVPWH for an IP65

rated vandal proof matte white accessory. Must be ordered with flangeless trim and

adapters (see SCA spec sheet).

ENERGY STAR' exceptions

- Champagne Bronze & Black finishes

- 347V & Emergency voltage/options

- Champagne Brorue & Black finishes

- Dali, EldoLED Solo & PoE drivers

- 90 CRI configurations

Title 24 exceptions

- 1000im configurations

Labels and Listings

- ENERGY STAR' certified

- CEC Title 24 JAB certified

Sloped ceilings: Compatible with sloped ceiling

www.interact-lighting.com/pro-

Occ sensor (OCC MULTI SENSOR IA CM WH 10/1)

(Android or iPhone)

Pro portal.

- RoHS certified

C6RDL Calculite LED 6" gen 3

Round Downlight

Narrow									Medium/V	Vide							
Light engine	Input volts	Input	Input	Drive current	Input	LED	THD	Power factor	Light engine	input velts	Input	Input	Drive current	Input	LED	THD	Powe
	1200	DA MINIO	0.08	220.00	9W	8W	45%	+0.95		1200	DAMBON.	0.08	202 8	9W	8W	45%	10.9
CELIO_MZ10U	277V	50/60Hz	0.04	230mA	244	ew	-20%	+0.95	C6L10_MZ10U	277V	50/60Hz	0:04	210 mA	2W	SW	-20%	10.9
	120V	FOR MANUAL	-011			THE	10%	+0.95		1200	ra was.	0.11			IW	-10%	+0.9
CGLIS_MZ10U	277V	50/6090	0.05	340 mA	1588	100	-15%	>0.95	CGLIS_MZ10U	277V	50/60Hz	0.05	320mA	15W	III	45%	10.9
C6L20_NZ10U	1200	50/60Hz	0.16	460 mA	22W	16W	10%	+0.95	CGL20_MZ10U	1200	50/60Hz	0.15	430mA	19W	15W	10%	+0.9
COLZO_M2100	277V	SYACAS	0.08	econs.	ZZW	1510	45%	+0.95	C6120_M2100	277V	SOLEONS.	0.07	althusa	tyw	low	45%	+0.9
	1204	EA HOLL	0.20		25W	27W	110%	>0.95	CO 35 M 2000	1200	EQ. HOLL	0.19	sen-1	23W	19W	+10%	H0.9
CGL25_MZ10U	277V	50/60Hz	0.10	550 mA	12W	anv	-15%	+0.95	COL25_MZ10U	277V	50/60Hz	0.09	550mA	2311	1344	-15%	+0.9
CGL15_NZ10U	120V	50/6042	0.30	900mA	36W	30W	10%	+0.95	CGL15_MZ10U	120V	50/6045	0.25	570mA	30W	25W	10%	+0.9
COLIS_ME100	277V	30/6092	0.14	900ma	NW	JUW	-15%	H0.95	COLIS_ME100	277V	SULFORE	0.11	STUTTER	Ne	zəm	45%	10.9
C6L48_NZ10U	1204	DA MANN	0.42	ncowi	Star	44W	110%	+0.95	C6L48_MZ10U	1204	DO MONTO	0.36	512-1	40W	34W	190%	109
COLAS_MEIGO	277V	50/60Hz	0.19	USOWA	2111	4411	15%	-0.95	COLEO_M2100	277V	50/60Hz	0.16	Ampts.	4000	3411	45%	+0.9
CGLGO_NZ1OU	1204	50/60Hz	0.48	1400 mA	57W	sow	110%	+0.95	CELEO MITTO	1200	50/60Hz	0.50	1130 mA	57W	50W	110%	10.9
COLOU_NZIOU	277V	30/0092	0.21	ALCO EX	2/10	2011	-15%	+0.95	C6L60_MZ10U	277V	SUFFERE	0.22	130104	2/W	SOW	-45%	10.9

Narrow (P	ower	over E	ther	met)		Medium (P	owe	rover	Ethe	rnet)		Wide (Pow	er o	ver Eth	eme	H)	
			Input						Input						Input		
Light engine	Welts'	Voltage ²	Freq	Current	Power	Light engine	Velts'	Woltage ¹	Freq	Current	Power	Light engine	Veits'	Veltage ¹	Freq	Carrest	Pw
CGL10NPE	5TV	51-54V	DC	160 mA	89W	CELIOMPE	57V	\$1-54V	00	160 mA	5.4 W	CGL10WPE	53V	51-54V	DC	160 mA	8.4
CGLISMPE	53V	51-54V	DC	250 mA	13.7 W	CELISMPE	53V	SI-54V	00	230 mA	12.5 W	C6L15WPE	53V	51-54V	0C	230 mA	12.5
C6L20NPE	53V	51-54V	DC	330 mA	127W	C6L20MPE	58V	SI-54V	000	310 mA	16.7 W	C6L20WPE	53V	51-54V	DC:	300 mA	16.7
CGL2SMPE	57V	51-54V	DC	400 mA	22.8W	CGL25MPE	57V	51-54V	000	390 mA	21.4 W	C6L25WPE	53V	51-54V	DC	390 mA	21.4

* Lutron 3500im with Medium/Wide beam is LBS @ 60.000hrs.

Marked spacing	applicati	ons	Lifetime (TM-21) data					
Light engine	4800lm	60001m	Lumens	Narrow beam	Medium/Wide beam'			
C6L_Z10U series	X	X	1000lm					
C6L_LU series	-	-	1500tm					
C6L_DU series	-	_	2000lm 2500lm	L90 @ 60,000hrs	L90 @ 60,000hrs.			
Modules marked with an - Center-to-center of s	djecent kiminali	res: 24" (E10mm)	3500tm* 4800tm					
- Luminaire center to sic	de building mem	ber: 12" (305mm)	6000tm	L90 @ 60,000hrs	L80 @ 60,000hrs.			

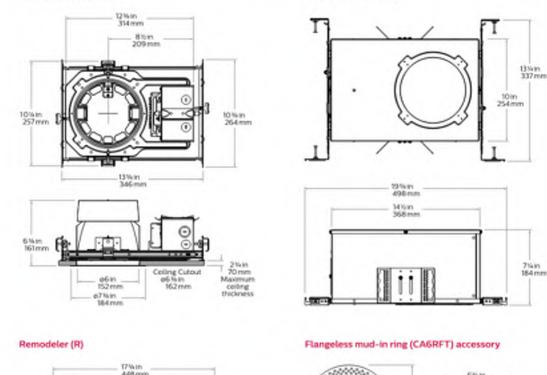
In accordance with CAN ICES-005-A/ NEB-005-A and FCC Part 15-A.

CalculteLEDgen3_6in_Downlight_OSRDL OS/19 page 3 of 7

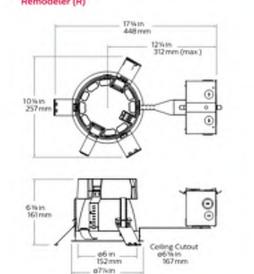
C6RDL Calculite LED 6" gen 3

Round Downlight

New Construction (N)

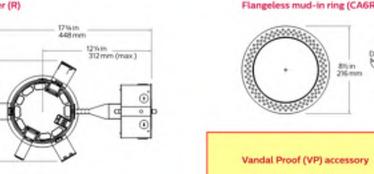


Chicago Plenum (LC)



CalculteLEDgen3_6in_Downlight_CERDL 06/19 page 4 of 7

TYPE OA



__ e5%in ___ 149mm

C6RDL Calculite LED 6" gen 3 Round Downlight







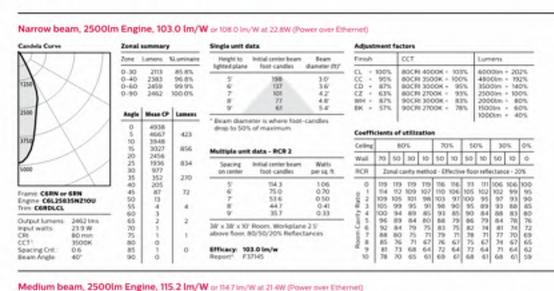
Mud-in ring (FT): Low profile, machined aluminum mud-in-ring provides a raised rib to plaster up to and a 3/16' flange thickness. The ring is attached to the ceiling material as opposed to the fisane-in-likit to avoid conduction of heat and inbration which can cause yellowing or cracking of the plaster.

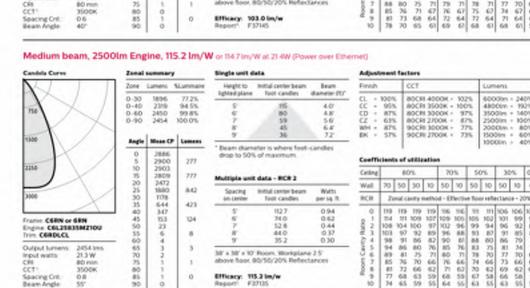
CalculteLEOgen3_6in_Downlight_OSRDL 06/19 page 5 of 7

C6RDL Calculite LED 6" gen 3

3. Non-conductive flush mount lens with pre-installed gaslet (matte white non-conductive flange with diffuse lens that is flush with the flange)

Round Downlight

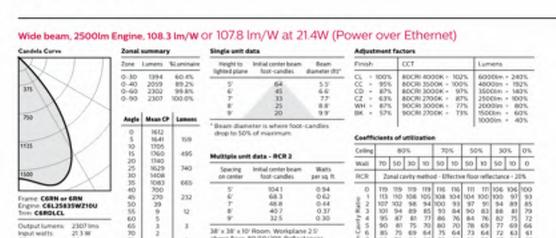




CalculteLEDgen3_6in_Downlight_OSRDL OS/19 page 6 of 7

C6RDL Calculite LED 6" gen 3

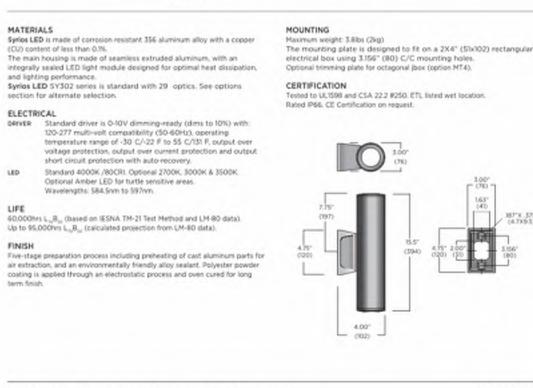
Round Downlight



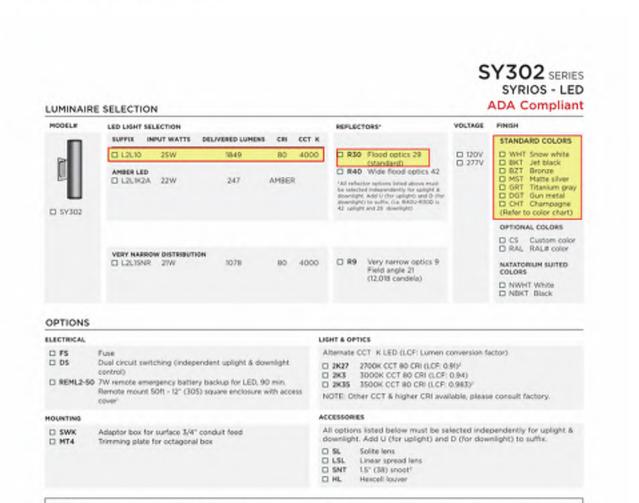


(S) ignify







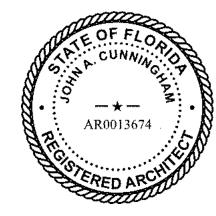




LUMINIS | Toll free: 866:586:4647 Fax: 514:683.8872 Email: info@iuminis.com 260 Labrosse, Pointe-Claire (QC) Canada: H9R 5L5

Luminaires may be altered for design improvement or discontinued without prior notice.

The remote enclosure must be interior. Battery powers downlight module, unless otherwise requested (only one module is powered by the



PIERRE DELRAY PHASE I - SPRAB SITE PLAN PACKAGE

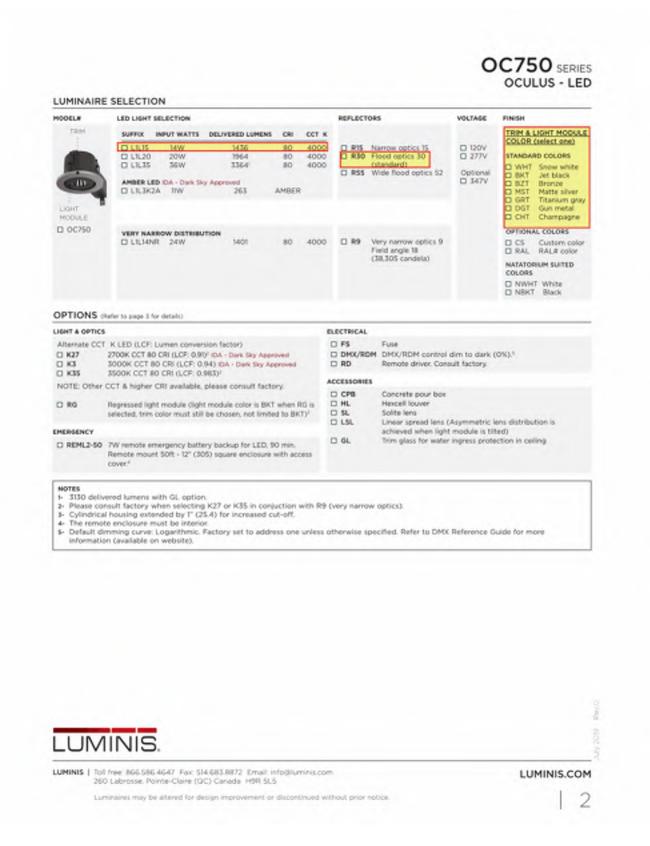
LIGHT FIXTURES

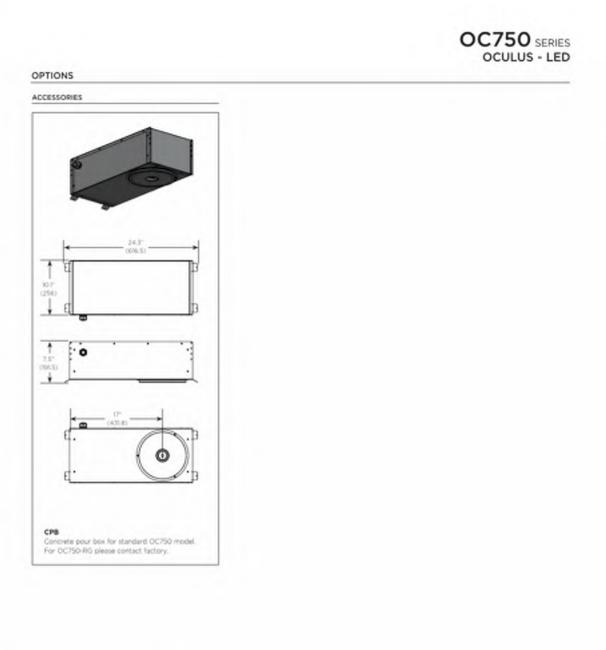
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e info@zyscovich.com



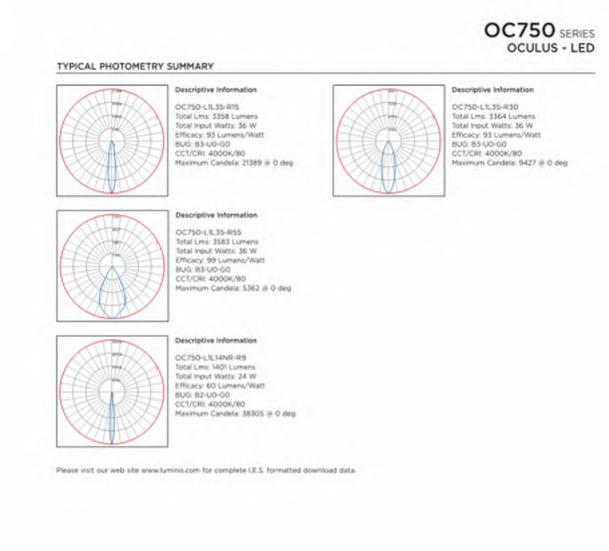


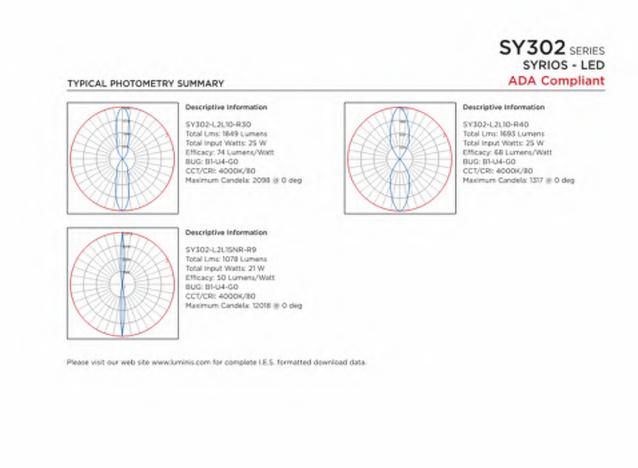


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