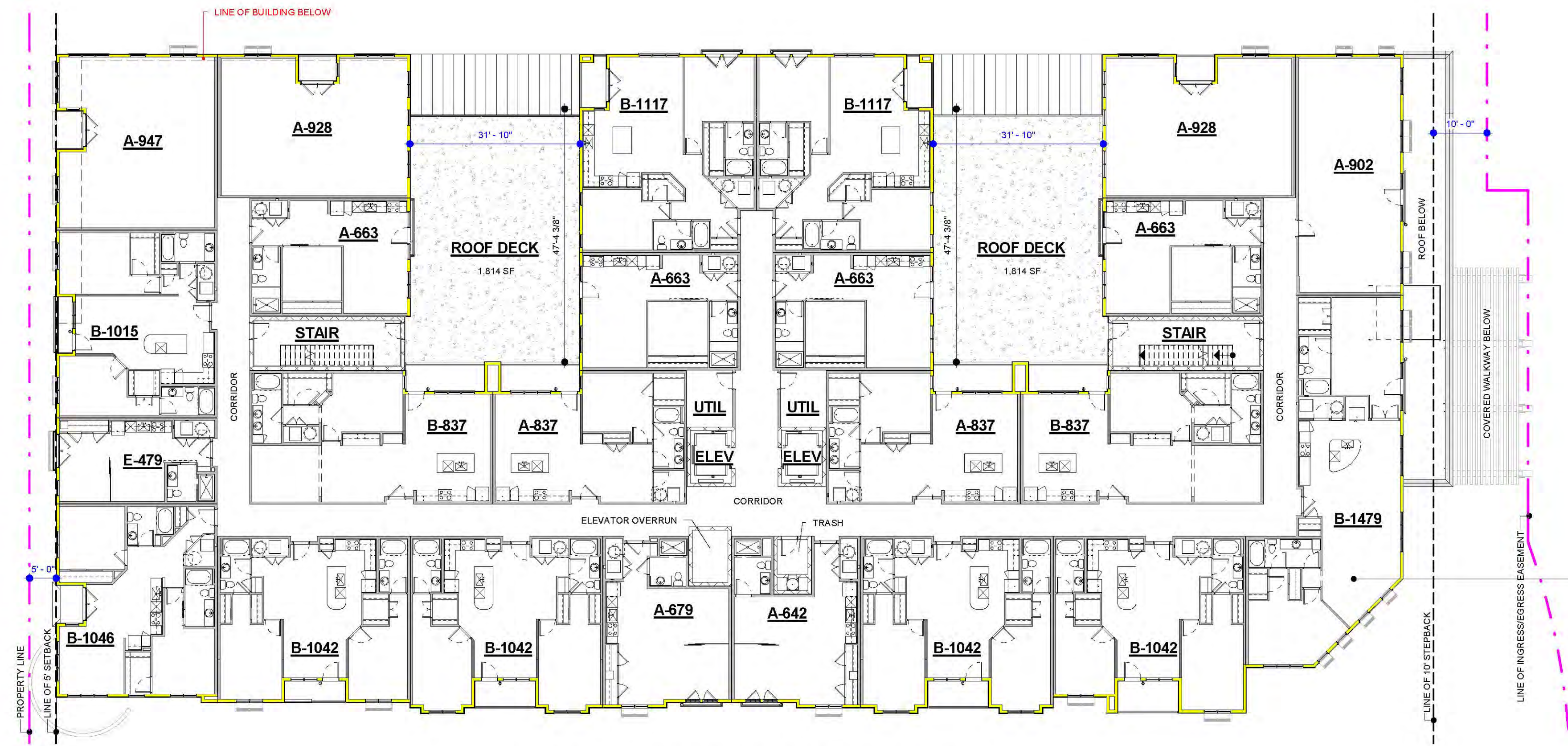




- RESPONSE TO 2.12.14 STAFF COMMENTS**
- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE.
 - ADJUSTED EASEMENT LINE ON WEST SIDE OF N.E. 7TH AVE
 - FLOOR PLANS REFLECT RESIDENTIAL UNIT COUNTS.

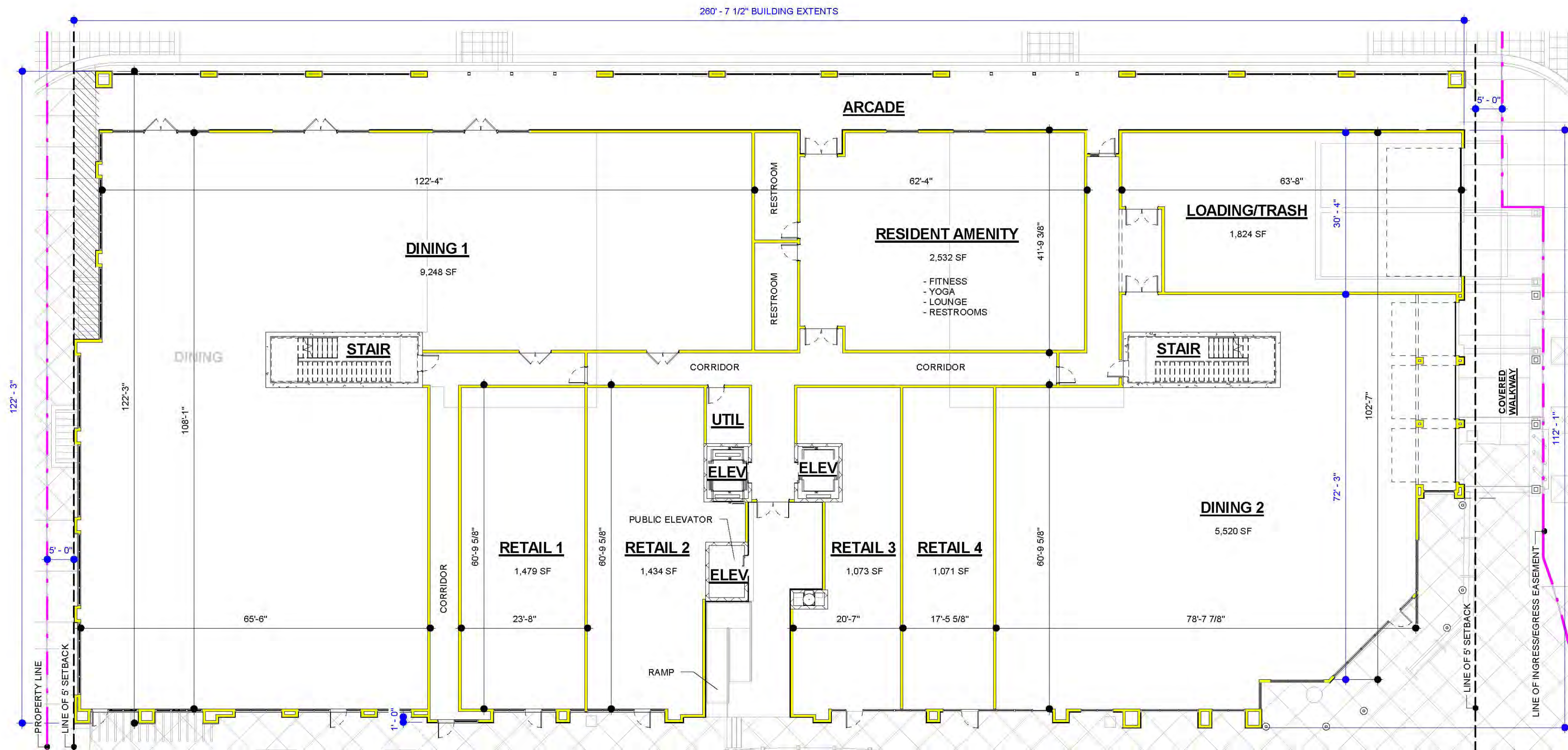
- RESPONSE TO 2.6.15 STAFF COMMENTS**
- REFORMATTED UNIT MATRIX

SETTLEMENT MODIFICATION 4.21.2017

- ADD ARCADE TO THE NORTH AND REDUCED SQUARE FOOTAGES ACCORDINGLY
- DELETED CANTILEVER ON NORTH AT SECOND FLOOR

BUILDING III - SECOND FLOOR UNIT MIX	
STUDIO	1
1-BEDROOM	12
2-BEDROOM	11
3-BEDROOM	0
TOTAL - 2ND FLOOR III	24

BLDG III - SECOND FLOOR PLAN



BUILDING III - NON UNIT RETAIL AREA	
BUILDING III - 1ST FLR - DINING I	9,248 SF
BUILDING III - 1ST FLR - DINING II	5,519 SF
BUILDING III - 1ST FLR - RESIDENT AMEND	2,532 SF
BUILDING III - 1ST FLR - RETAIL NO. 1	1,479 SF
BUILDING III - 1ST FLR - RETAIL NO. 2	1,434 SF
BUILDING III - 1ST FLR - RETAIL NO. 3	1,073 SF
BUILDING III - 1ST FLR - RETAIL NO. 4	1,071 SF
BUILDING III - 1ST FLR - TRASH	1,824 SF
BUILDING III - 1ST FLR - UTIL	99 SF
BUILDING III - 1ST FLR - CORRIDOR	2,494 SF
Grand total	26,775 SF

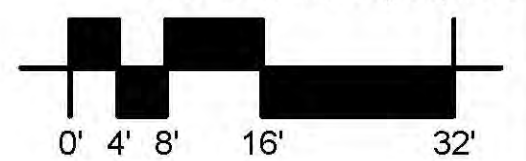
UNIT NAME	UNIT TYPE	UNIT LEASABLE AREA	QTY	GROSS LEASABLE AREA	MIX %
A-642 E.1	1 Bed/1 Bath	677 SF	3	2,031 SF	3%
A-642 E.2	1 Bed/1 Bath	664 SF	1	664 SF	1%
A-663 E.1	1 Bed/1 Bath	663 SF	12	7,956 SF	13%
A-679	1 Bed/1 Bath	679 SF	1	679 SF	1%
A-702	1 Bed/1 Bath	702 SF	2	1,404 SF	2%
A-717 E.1	1 Bed/1 Bath	754 SF	2	1,508 SF	2%
A-717 E.2	1 Bed/1 Bath	741 SF	1	741 SF	1%
A-837 E.1	1 Bed/1 Bath	837 SF	8	6,696 SF	9%
A-837 E.3	1 Bed/1 Bath	1,066 SF	8	8,528 SF	9%
B-863 E.1	2 Bed/2 Bath	963 SF	4	3,852 SF	4%
B-1015 E.1	2 Bed/2 Bath	1,015 SF	2	2,030 SF	2%
B-1042 E.1	2 Bed/2 Bath	1,042 SF	4	4,168 SF	4%
B-1042 E.2	2 Bed/2 Bath	1,082 SF	2	2,164 SF	2%
B-1042 E.3	2 Bed/2 Bath	1,042 SF	2	2,084 SF	2%
B-1042 E.4	2 Bed/2 Bath	1,110 SF	4	4,440 SF	4%
B-1042 E.5	2 Bed/2 Bath	1,060 SF	4	4,242 SF	4%
B-1046 E.1	2 Bed/2 Bath	1,046 SF	12	12,552 SF	13%
B-1117 E.2	2 Bed/2 Bath	1,150 SF	6	6,900 SF	7%
B-1117 E.4	2 Bed/2 Bath	1,136 SF	2	2,272 SF	2%
B-1479	2 Bed/2 Bath	1,479 SF	3	4,437 SF	3%
E-479 E.1	Efficiency	479 SF	2	958 SF	2%
E-663 E.1	Efficiency	663 SF	4	2,652 SF	4%
Grand total	89		89	82,992 SF	100%

BLDG III - FIRST FLOOR PLAN

Note: Per Florida Fire Prevention Code 2010 - Florida Specific NFPA 1, Fire Code, 2009 Edition and Florida Specific NFPA 101, Life Safety Code, 2009 Edition.

BLDG III FIRST & SECOND FLOOR PLAN

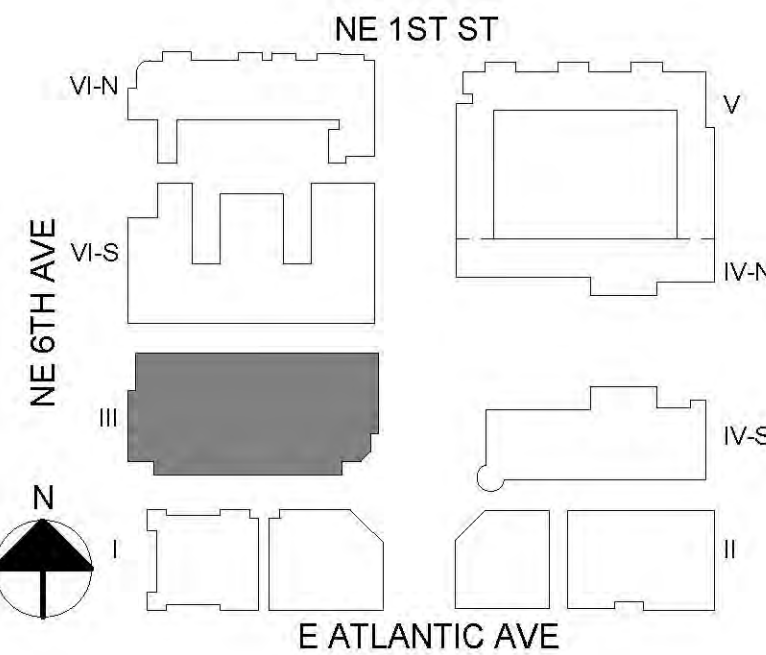
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SCALE: 1/16" = 1'-0"

SHEET NUMBER

A3.1



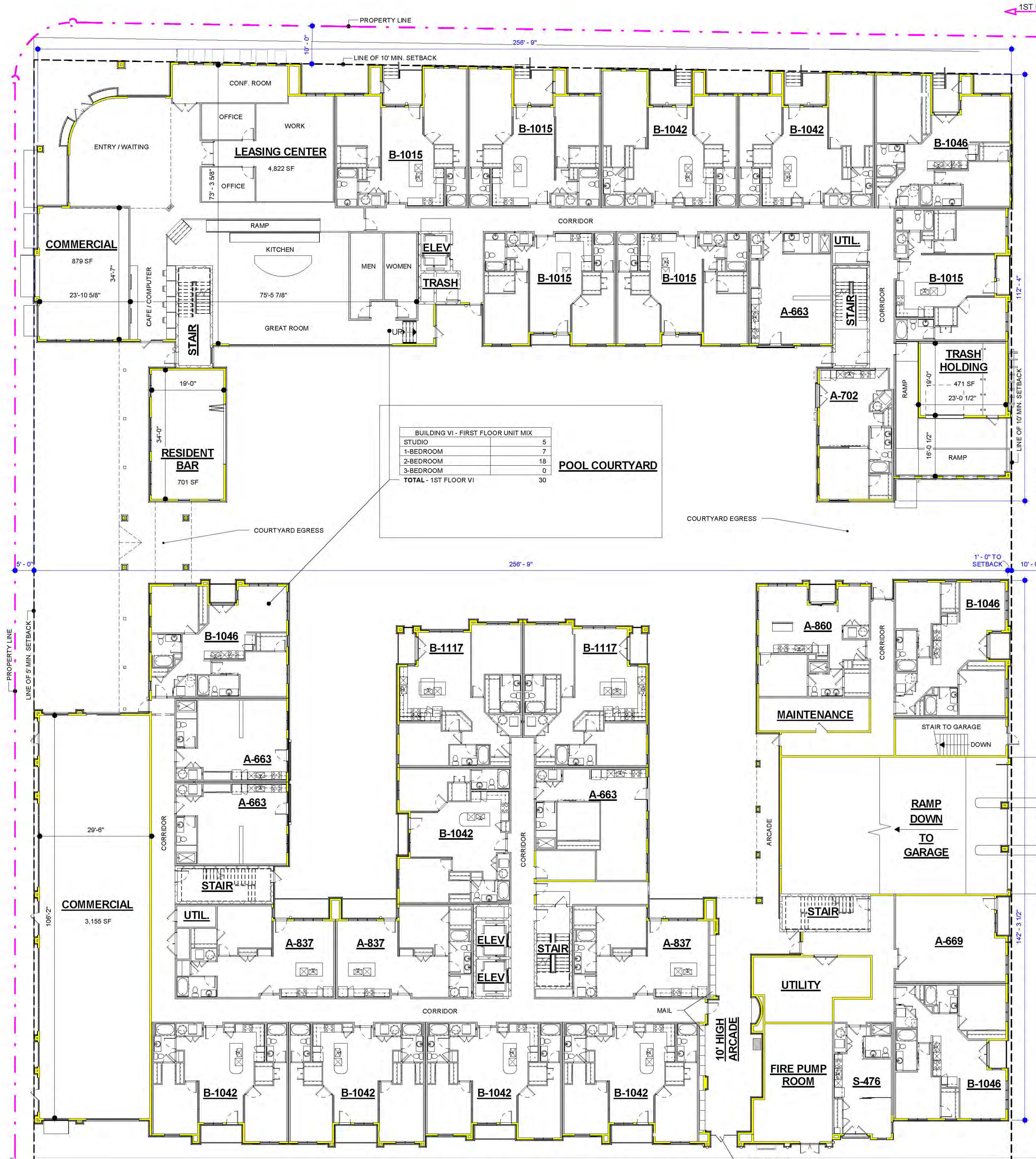
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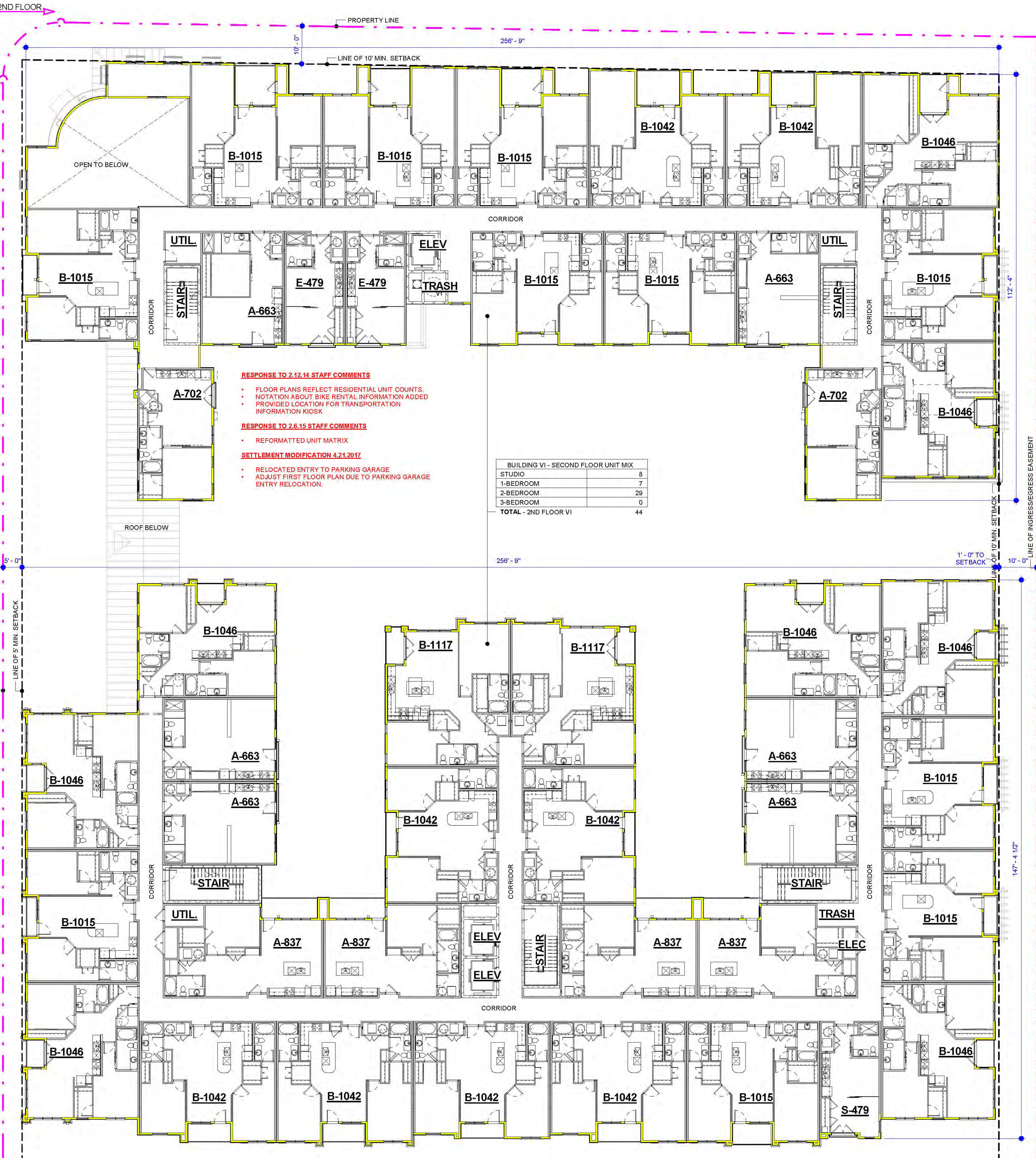
Atlantic Crossing

Project Number: 212006

DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Response to 2.12.14 Staff Comments
02.10.2015	Per Certification Comments
04.21.2017	Settlement Modification

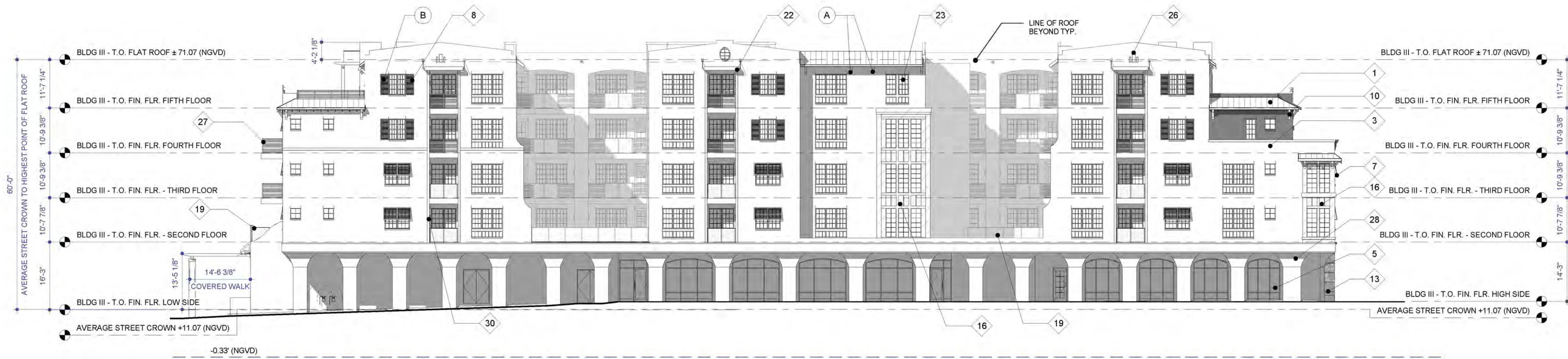


BUILDING VI - FIRST FLOOR PLAN



BUILDING VI - SECOND FLOOR PLAN

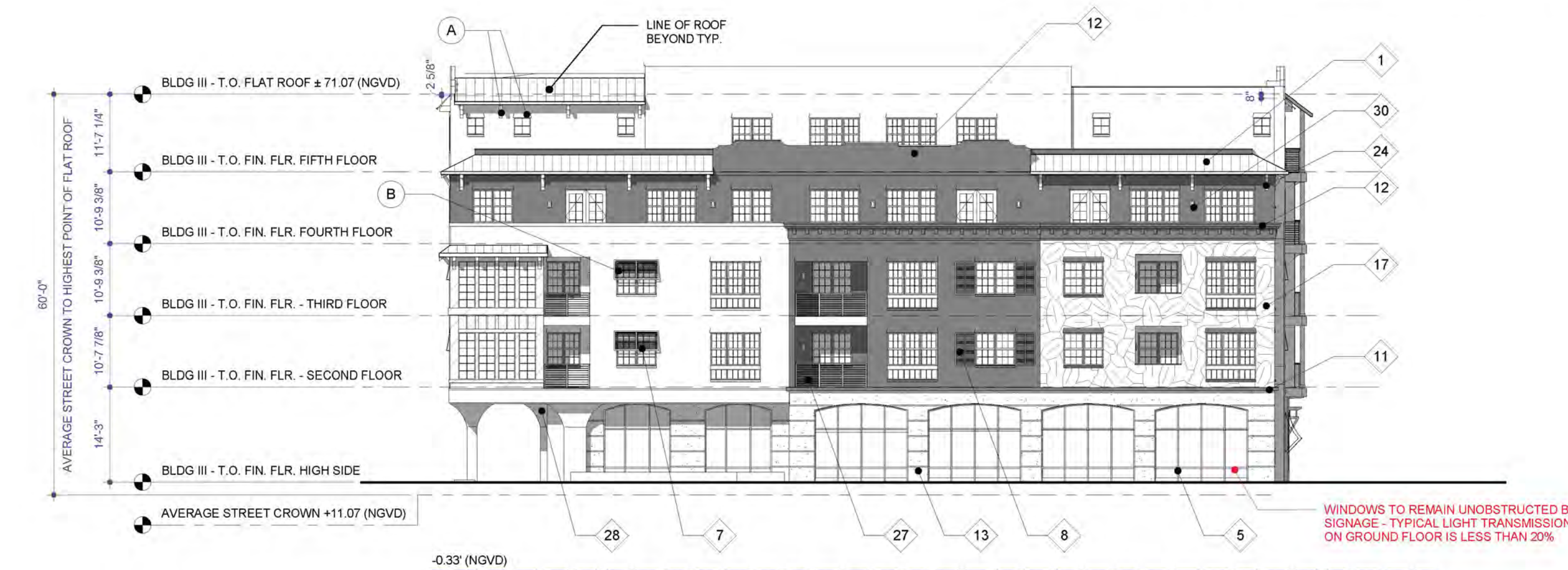
DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Response to 2.12.14 Staff Comments
02.10.2015	Per Certification Comments
04.21.2017	Settlement Modification



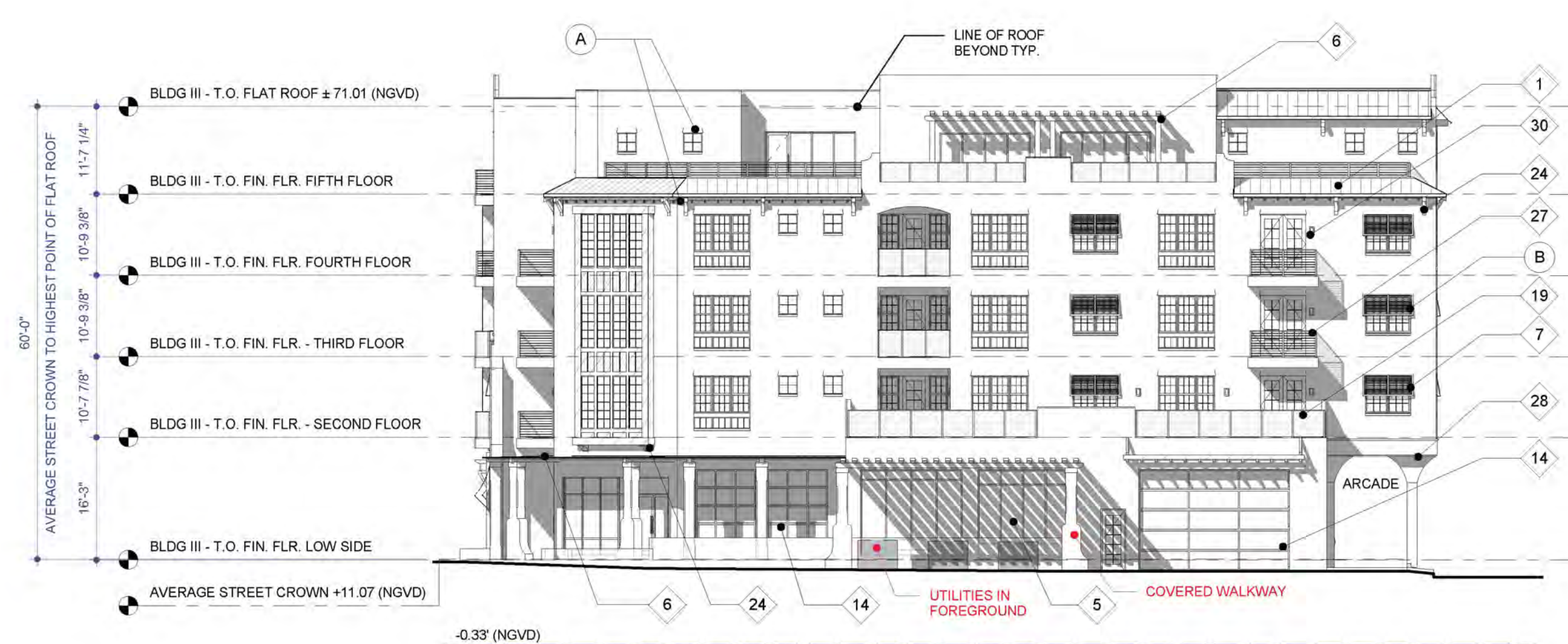
BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

BUILDING III MATERIAL LEGEND

	STUCCO - CLOUD WHITE	BM-967
	STUCCO - STONINGTON GRAY	BM-HC-170
	WOOD - KENDALL CHARCOAL	BM-HC-166
	LIVING WALL	
	STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD	
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166

RESPONSE TO 2.12.14 STAFF COMMENTS
• BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
• GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENCRATCH INTO SETBACK ALONG FEDERAL HIGHWAY
• ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

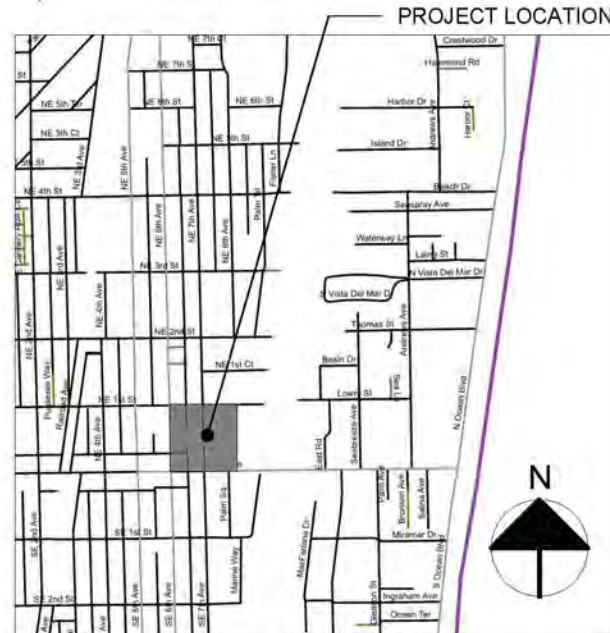
SETTLEMENT MODIFICATION 4.21.2017
• ADD ARCADE ALONG THE NORTH ELEVATION
• ADJUST POSITION OF LOADING AREA
• ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE.

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:
• SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING
• RE-SCALE WINDOWS AT CORNERS
• WOOD DETAILING AS ACCENT AT VERTICAL FORMS
• ENTRANCE DETAIL AT BUILDING CAP
• RE-DETAIL ARCADE AND LOW ROOF FORMS

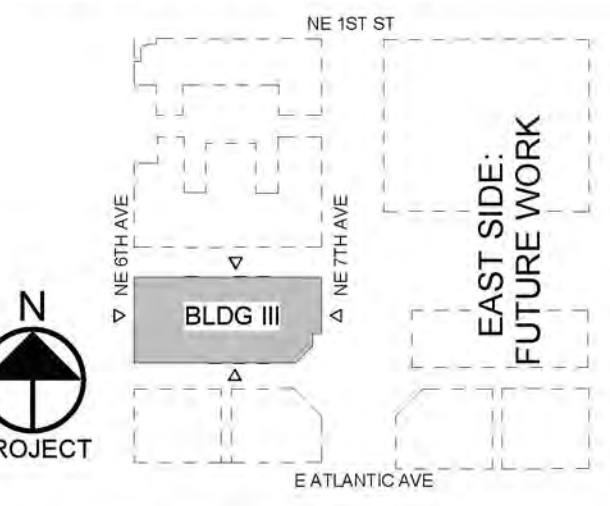
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof; galvalume
- 2 Ornamental iron railing; powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters; fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0 high max. from top of roof deck)
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched lower panel; powder coated
- 16 Wood boxed out detail
- 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- 18 Perforated metal panel railing
- 19 Wood panel railing
- 20 Paneled wood accent
- 21 Louvered panels; powder coated
- 22 Steel Trellis
- 23 Vinyl windows
- 24 Decorative wood brackets
- 25 2" Reveal
- 26 Decorative stucco inset
- 27 Steel Cable Railing
- 28 Fluted column cap; stucco
- 29 Ornamental iron gates and screen; powder coated
- 30 Exterior light fixtures



VICINITY MAP

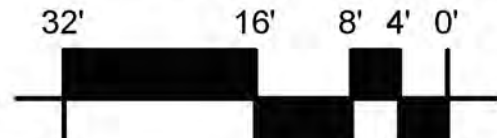


KEY PLAN

DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Resp. 2.12.14 Staff Comments
2.10.15	Per Certification Comments
04.21.2017	Settlement Modification
07.19.2018	Arch. Elevation Revisions
10.10.2018	Submitted for Certification

BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



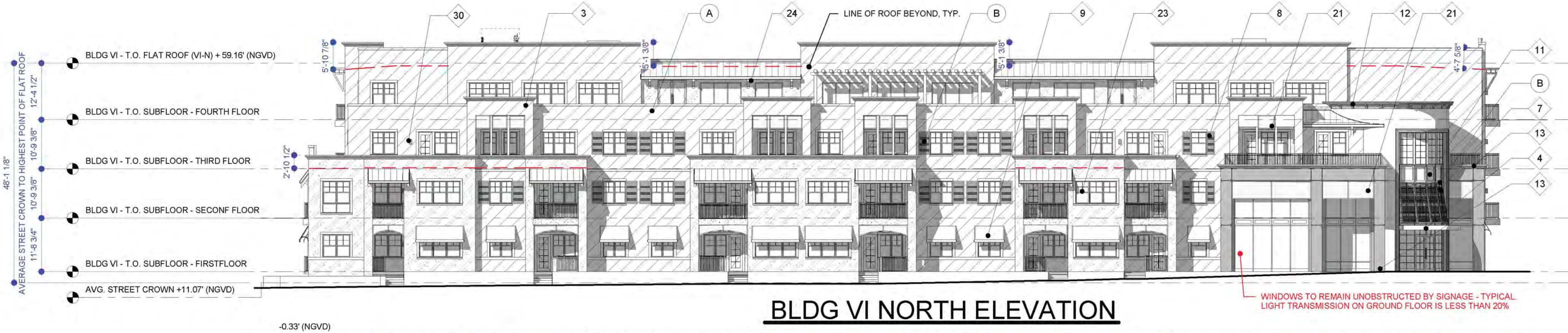
As indicated

SHEET NUMBER

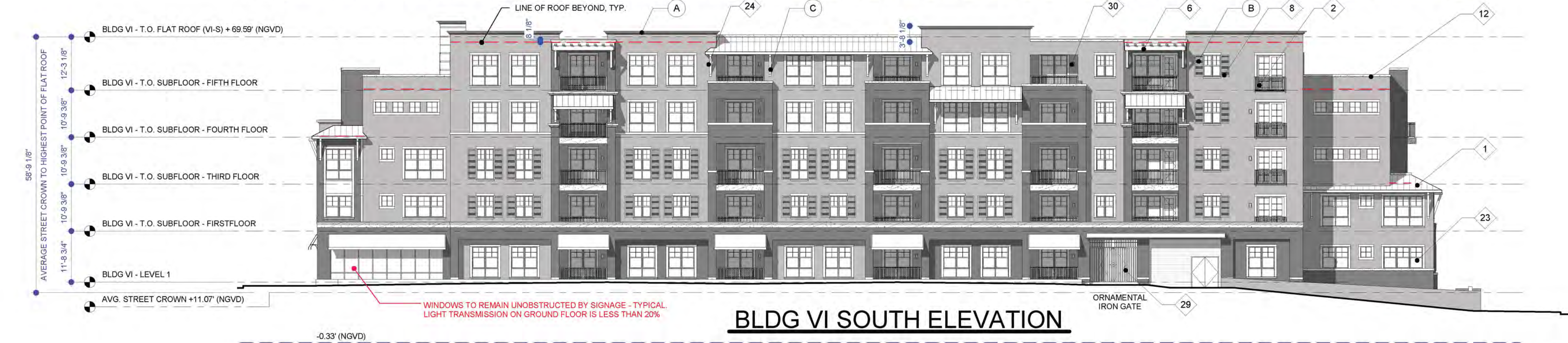
A3.4

VOLUME 2

DATE: 06.27.2018



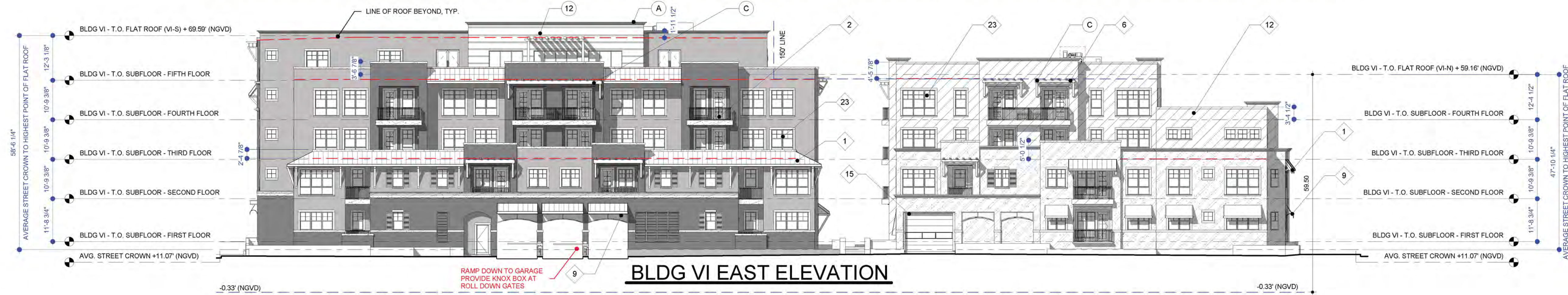
BLDG VI NORTH ELEVATION



BLDG VI SOUTH ELEVATION



BLDG VI WEST ELEVATION



BLDG VI EAST ELEVATION

BUILDING VI MATERIALS LEGEND

	STUCCO - VALE MIST	BM-HC-1494
	STUCCO - MORNING DEW	BM-HC-1493
	STUCCO - HAWTHORNE YELLOW	BM-HC-4
	STUCCO - MANCHESTER TAN	BM-HC-81
	STUCCO - CLOUD WHITE W/ 2\"/>	BM-967
	SIMULATED STONE - FLORIDA CORAL (KEYSTONE)	BEIGE
	SIDING - FAIRVIEW TAUPE	BM-HC-85
	TILE WALL	ANN SACKS TIEMPO \"LA SPIEZA #6\"
	STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD	
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166
	BRACKETS AND PERGOLAS - CLOUD WHITE	BM-967

RESPONSE TO 2.12.14 STAFF COMMENTS
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
• ADJUSTED METAL AWNINGS AND ADDED MORE SHUTTERS

SETTLEMENT MODIFICATION 4.21.2017
• RELOCATED ENTRY TO PARKING GARAGE
• ADJUST EAST AND SOUTH DUE TO PARKING GARAGE ENTRY RELOCATION

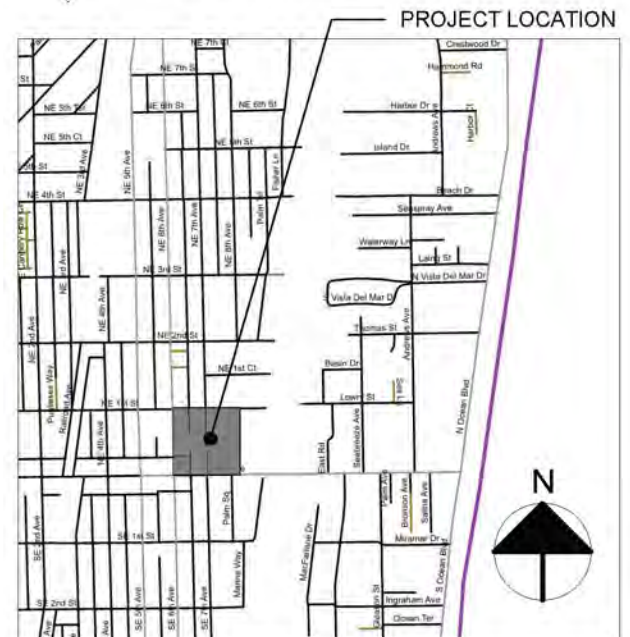
ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:

- STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTH-WEST CORNER)
- ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS
- ENHANCE DETAILING AT BUILDING CORNERS

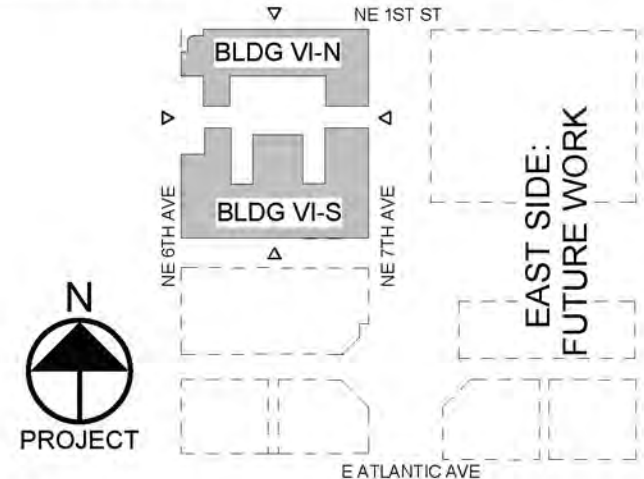
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- 1 Standing seam metal roof, galvalume
- 2 Ornamental iron railing, powder coated
- 3 Built-up parapet cap; stucco
- 4 Embossed wood texture storefront system
- 5 Storefront system
- 6 Wood pergola & trellis
- 7 Painted composite Bermuda shutters
- 8 Painted composite shutters, fixed
- 9 Fabric awning system
- 10 Decorative corbel
- 11 Built-up stucco sill
- 12 Stucco parapet (6'-0\"/>
- 13 Stucco with simulated stone texture base
- 14 Overhead garage door - Glass
- 15 Decorative arched louver panel, powder coated
- 16 Wood boxed out detail
- 17 \"Living wall\" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- 18 Perforated metal panel railing
- 19 Wood panel railing
- 20 Paneled wood accent
- 21 Louvered panels, powder coated
- 22 Steel Trellis
- 23 Vinyl windows
- 24 Decorative wood brackets
- 25 2\"/>
- 26 Decorative stucco inset
- 27 Steel Cable Railing
- 28 Fluted column cap; stucco
- 29 Ornamental iron gates and screen; powder coated
- 30 Exterior light fixtures



VICINITY MAP



KEY PLAN

10/12/2018 12:02:29 PM C:\Users\jag\OneDrive\217093_BLDG VI.dwg L:\jag\44



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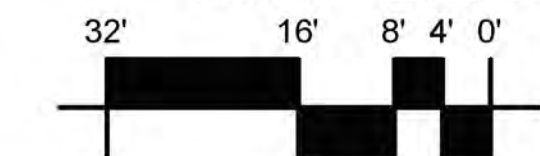
ATLANTIC CROSSING

Project Number: 217093

DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
09.17.2013	Response to Staff Comments
10.29.2013	10/18 Staff Response
11.14.2014	Response 2.12.14 Comments
04.21.2017	Settlement Modification
07.19.2018	Arch. Elevation Revisions
10.10.2018	Submitted for Certification

BLDG VI ELEVATIONS

DRAWN BY: CS, BB, KK



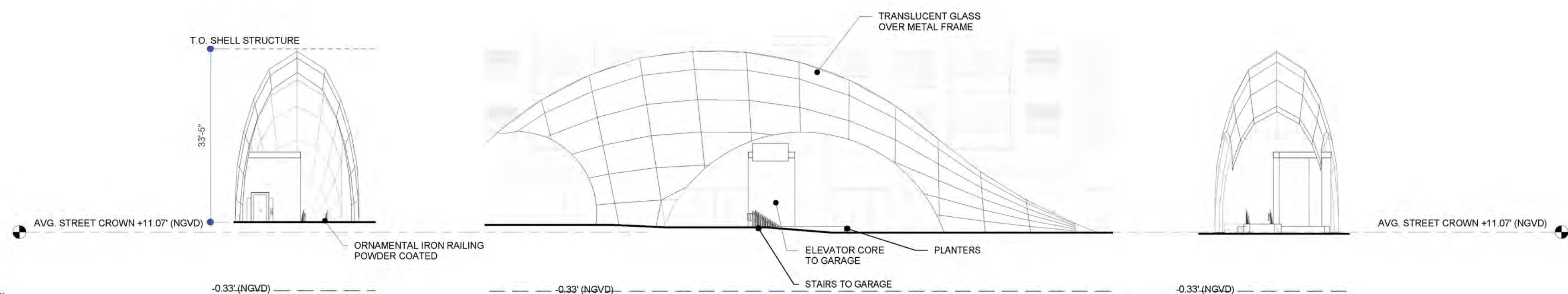
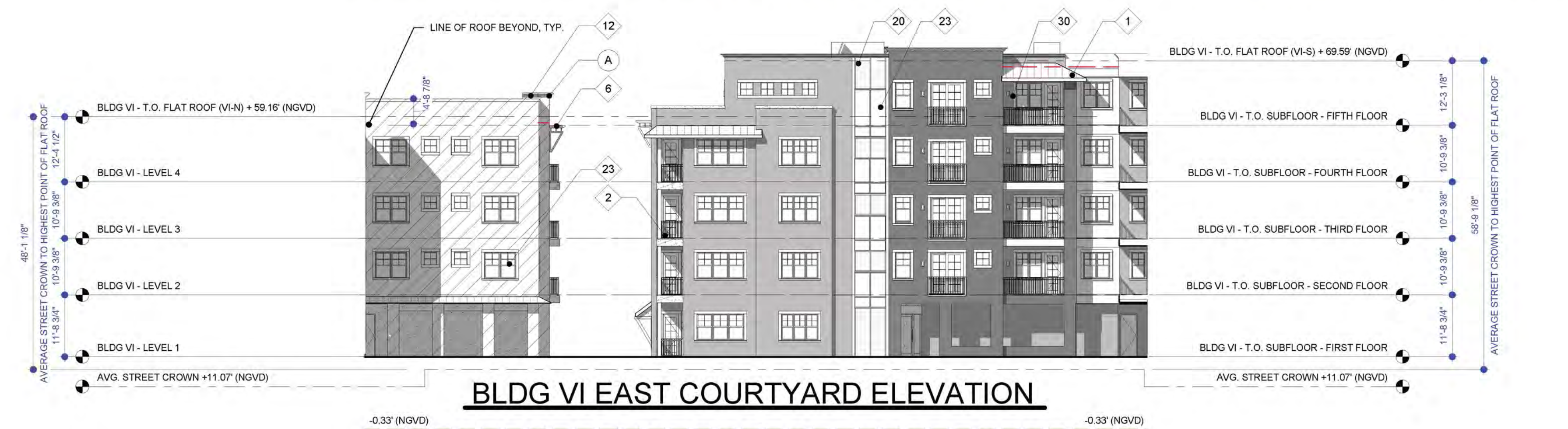
As indicated

SHEET NUMBER

VOLUME 2

A6.4

DATE: 06.27.2018



BUILDING VI MATERIALS LEGEND		
	STUCCO - VALE MIST	BM-HC-1494
	STUCCO - MORNING DEW	BM-HC-1493
	STUCCO - HAWTHORNE YELLOW	BM-HC-4
	STUCCO - MANCHESTER TAN	BM-HC-81
	STUCCO - CLOUD WHITE W/ 2" REVEAL PER ELEV.	BM-967
	SIMULATED STONE - FLORIDA CORAL (KEYSTONE)	BEIGE
	SIDING - FAIRVIEW TAUPE	BM-HC-85
	TILE WALL	ANN SACKS TIEMPO "LA SPIEZA #6"
	STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD	
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166
	BRACKETS AND PERGOLAS - CLOUD WHITE	BM-967

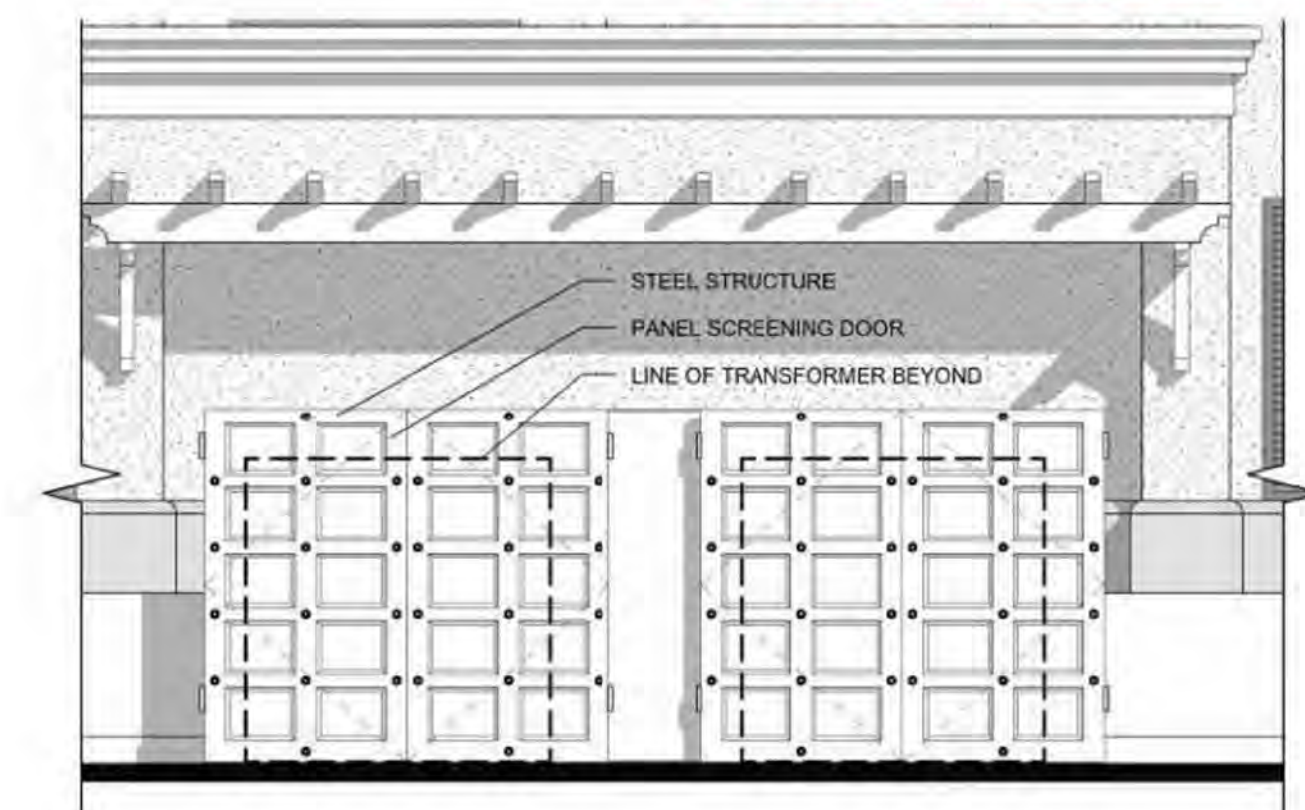
RESPONSE TO 2 12 14 STAFF COMMENTS

- LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
- PROVIDED ELEVATIONS OF THE SCREENING DOORS AT TRANSFORMER ENCLOSURES

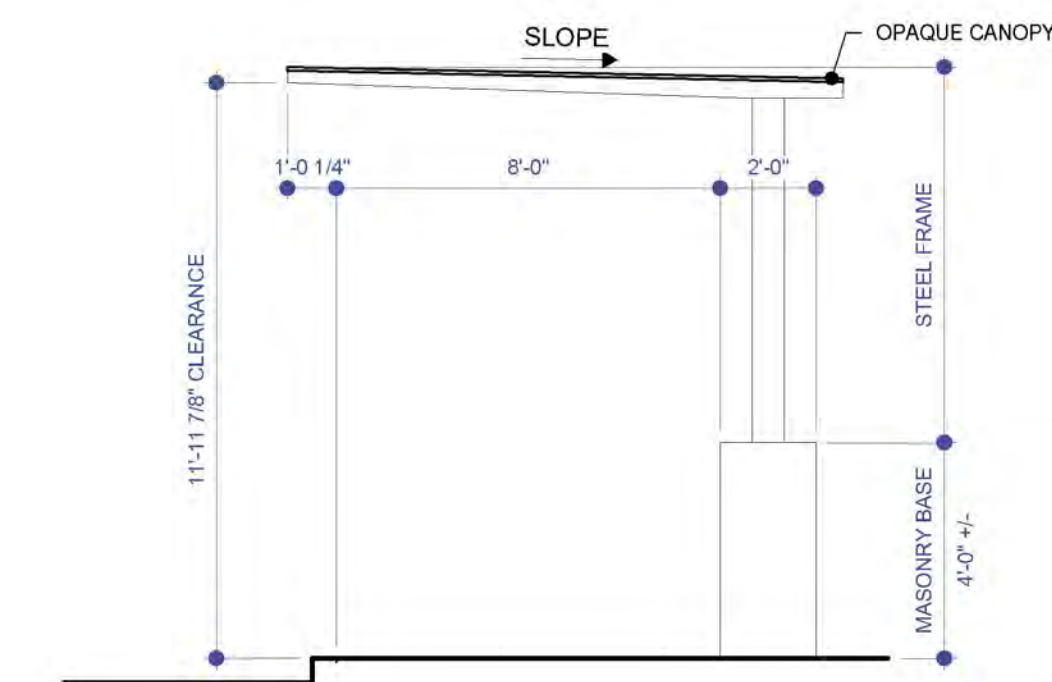
ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:

- STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTHWEST CORNER)
- ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS
- ENHANCE DETAILING AT BUILDING CAP
- ENHANCE DETAILING AT BUILDING CORNERS

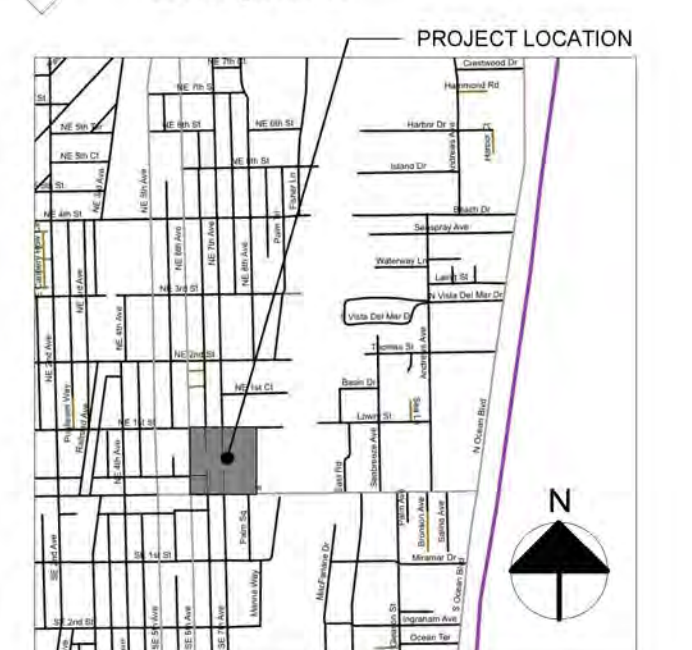
ELEVATION NOTES	
NOTE: All wall cladding shall be stucco unless otherwise noted.	
1	Standing seam metal roof, galvalume
2	Ornamental iron railing, powder coated
3	Built-up parapet cap; stucco
4	Embossed wood texture storefront system
5	Storefront system
6	Wood pergola & trellis
7	Painted composite Bermuda shutters
8	Painted composite shutters, fixed
9	Fabric awning system
10	Decorative corbel
11	Built-up stucco sill
12	Stucco parapet (6'-0" high max. from top of roof deck)
13	Stucco with simulated stone texture base
14	Overhead garage door - Glass
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19	Wood panel railing
20	Paneled wood accent
21	Louvered panels; powder coated
22	Steel Trellis
23	Vinyl windows
24	Decorative wood brackets
25	2" Reveal
26	Decorative stucco inset
27	Steel Cable Railing
28	Fluted column cap; stucco
29	Ornamental iron gates and screen; powder coated
30	Exterior light fixtures



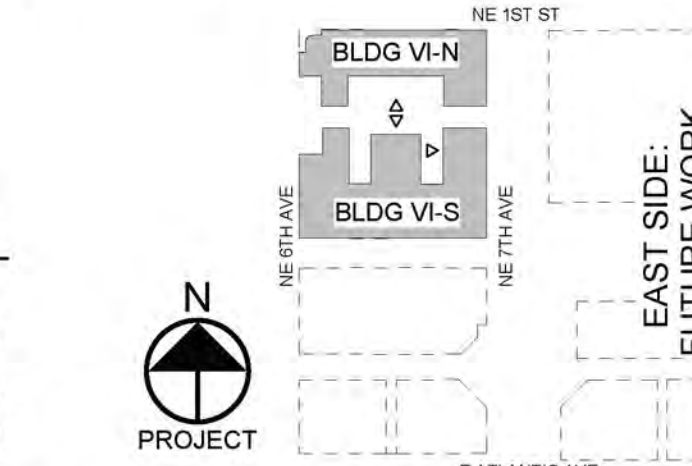
UTILITY SCREENING DOORS
N.T.S.



COVERED WALKWAY AT VALET



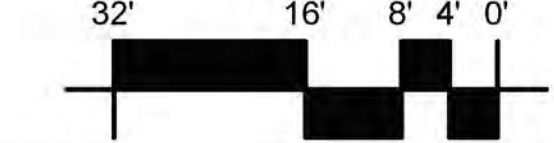
VICINITY MAP



KEY PLAN

BLDG VI COURTYARD ELEVATIONS

DRAWN BY: CS, BB, KK



As indicated

SHEET NUMBER

VOLUME 2

A6.5

DATE: 06.27.2018

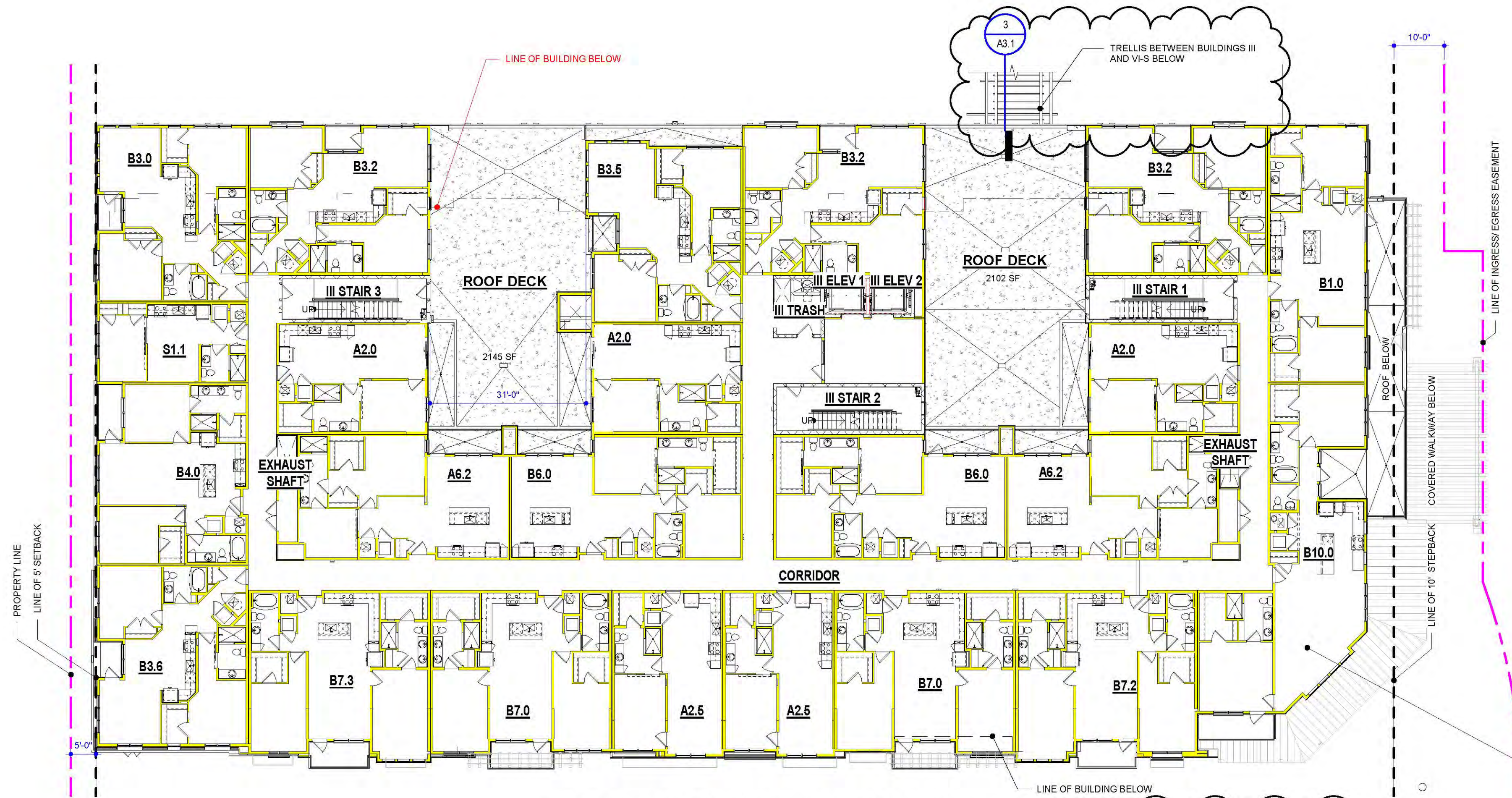
ATLANTIC CROSSING

Project Number: 217093

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DATE:	ISSUE / REVISIONS:
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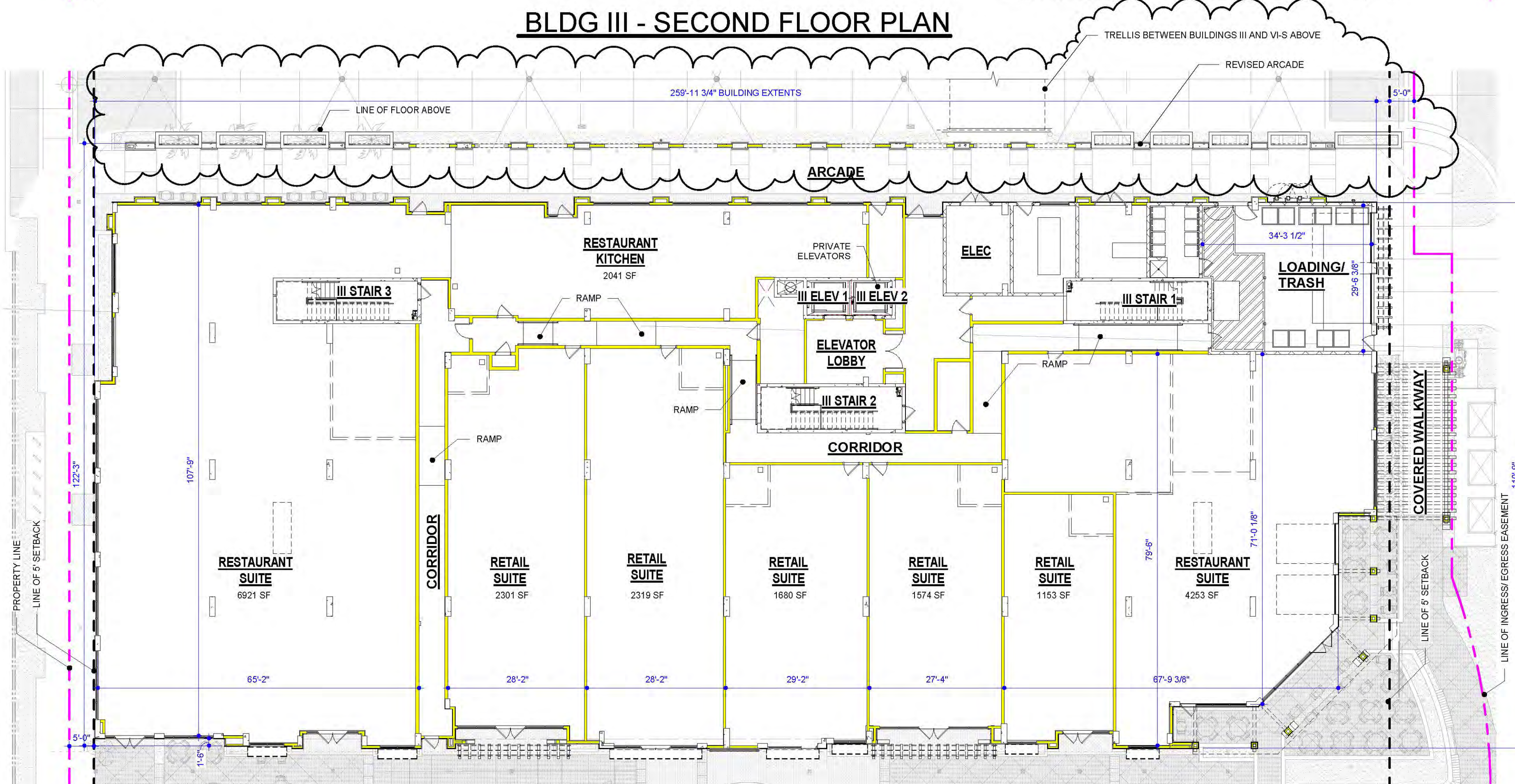
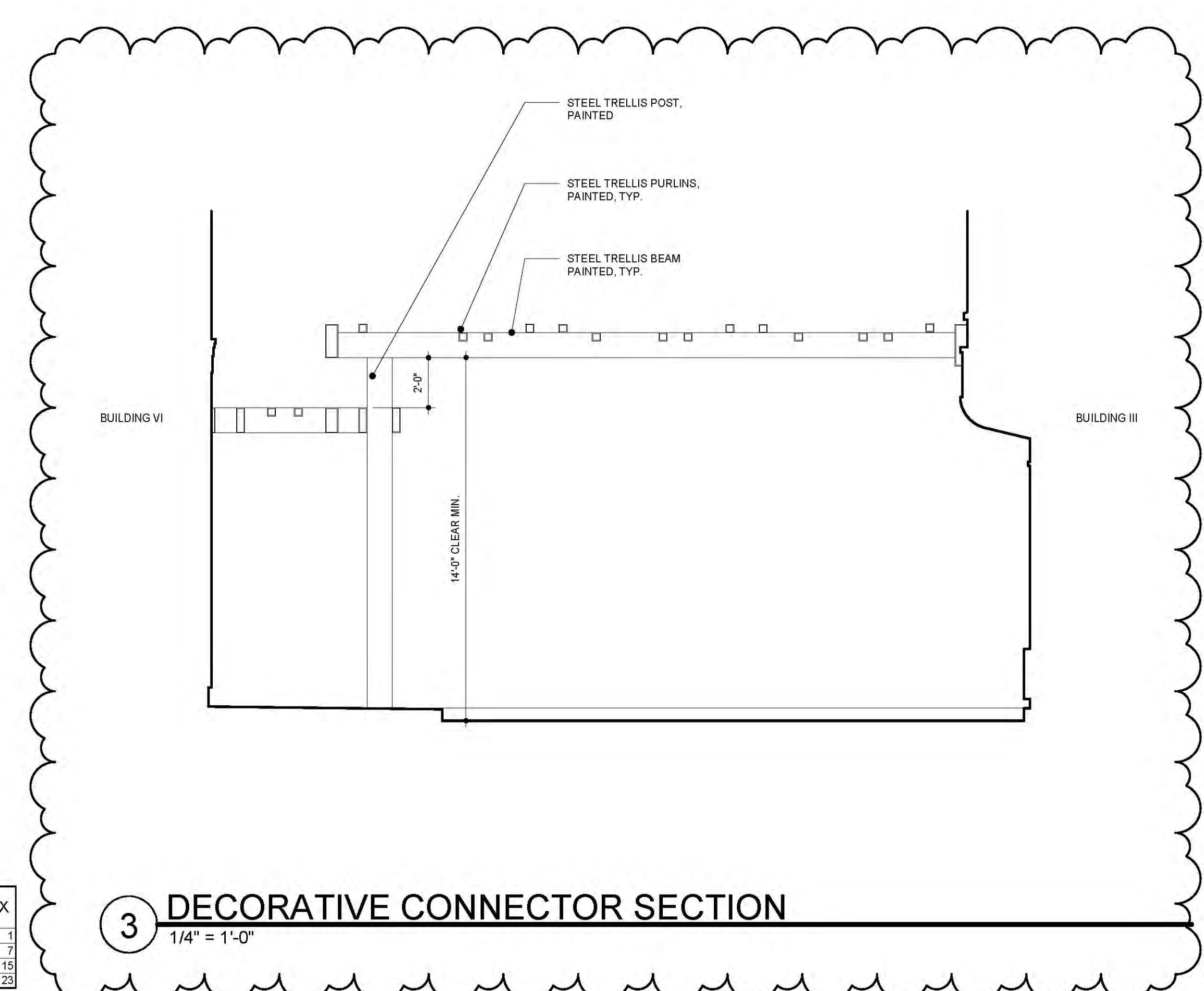


BLDG III - SECOND FLOOR PLAN

BLDG III SECOND FLOOR UNIT MIX	
STUDIO	1
1 BED	7
2 BED	23

3 DECORATIVE CONNECTOR SECTION

1/4" = 1'-0"



BLDG III - FIRST FLOOR PLAN

BUILDING III- NON UNIT RETAIL AREA	
ELEC	274.12 SF
CORRIDOR	126.16 SF
SERVICE CORRIDOR	1,643.28 SF
SUITE 100	3,303.88 SF
SUITE 200	6,947.11 SF
SUITE 203	2,270.43 SF
SUITE 205	2,320.16 SF
SUITE 207	1,680.43 SF
SUITE 209	1,569.02 SF
SUITE 211 & 211B	5,372.17 SF
SUITE 213	0 SF
TRASH LOADING	1,736.75 SF
	29,243.53 SF

PROJECT BREAKDOWN - UNIT INFO - PLANNING				
UNIT NAME	UNIT TYPE	UNIT LEASABLE AREA	QTY	GROSS LEASABLE AREA
S1.1	STUDIO/1 BATH	483 SF	2	966 SF
A2.0	1 BED/1 BATH	663 SF	12	7,956 SF
A2.4	1 BED/1 BATH	707 SF	2	1,414 SF
A2.5	1 BED/1 BATH	718 SF	3	2,154 SF
A2.6	1 BED/1 BATH	718 SF	3	2,154 SF
A4.0	1 BED/1 BATH	722 SF	1	722 SF
A4.2	1 BED/1 BATH	722 SF	1	722 SF
A6.2	1 BED/1 BATH	978 SF	8	7,824 SF
B1.0	2 BED/2 BATH	1,008 SF	3	3,024 SF
B1.1	2 BED/2 BATH	1,025 SF	1	1,025 SF
B3.0	2 BED/2 BATH	1,016 SF	2	2,032 SF
B3.1	2 BED/2 BATH	1,016 SF	1	1,016 SF
B3.2	2 BED/2 BATH	1,034 SF	6	6,204 SF
B3.3	2 BED/2 BATH	1,034 SF	2	2,068 SF
B3.4	2 BED/2 BATH	1,034 SF	4	4,136 SF
B3.5	2 BED/2 BATH	1,047 SF	3	3,141 SF
B3.6	2 BED/2 BATH	1,047 SF	2	2,094 SF
B4.0	2 BED/2 BATH	1,020 SF	2	2,040 SF
B6.0	2 BED/2 BATH	1,087 SF	8	8,696 SF
B7.0	2 BED/2 BATH	1,131 SF	8	9,048 SF
B7.1	2 BED/2 BATH	1,137 SF	1	1,137 SF
B7.2	2 BED/2 BATH	1,153 SF	3	3,459 SF
B7.3	2 BED/2 BATH	1,153 SF	3	3,459 SF
B10.0	2 BED/2 BATH	1,416 SF	3	4,248 SF
C1.0	3 BED/NA	1,544 SF	1	1,544 SF
			85	82,293 SF

RESPONSE TO 2.12.14 STAFF COMMENTS

- BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 8TH AVENUE
- ADJUSTED EASEMENT LINE ON WEST SIDE OF N.E. 7TH AVE.
- FLOOR PLANS REFLECT RESIDENTIAL UNIT COUNTS.

RESPONSE TO 2.6.15 STAFF COMMENTS

- REFORMATTED UNIT MATRIX
- SETTLEMENT MODIFICATION 4.21.2017
- ADD ARCADE TO THE NORTH AND REDUCED SQUARE FOOTAGE ACCORDINGLY
- DELETED CANTILEVER ON NORTH AT SECOND FLOOR

CLASS II MODIFICATION 2019 - 8.2.2019

- REVISE DETAIL AT ARCADE
- ADD TRELLIS BETWEEN III & VI-S

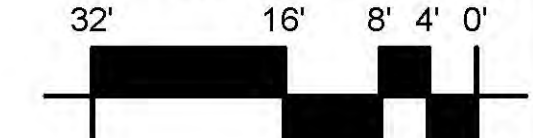
CLASS II MODIFICATION SUPPLEMENT 10.25.2019

- CLARIFY GRAPHICS

Note: Per Florida Fire Prevention Code 2010 - Florida Specific NFPA, Fire Code, 2009 Edition and Florida Specific NFPA 101, Life Safety Code, 2009 Edition.

BLDG III FIRST & SECOND FLOOR PLANS

DRAWN BY: CS, BB, KK



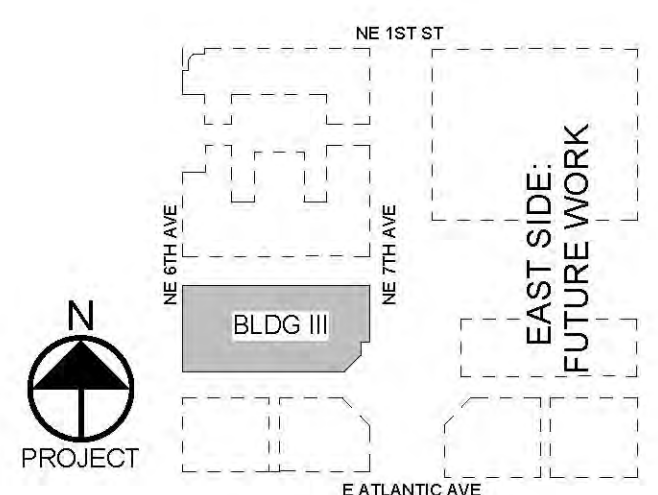
As indicated

SHEET NUMBER

VOLUME 2

A3.1

DATE: 08.06.2019



KEY PLAN

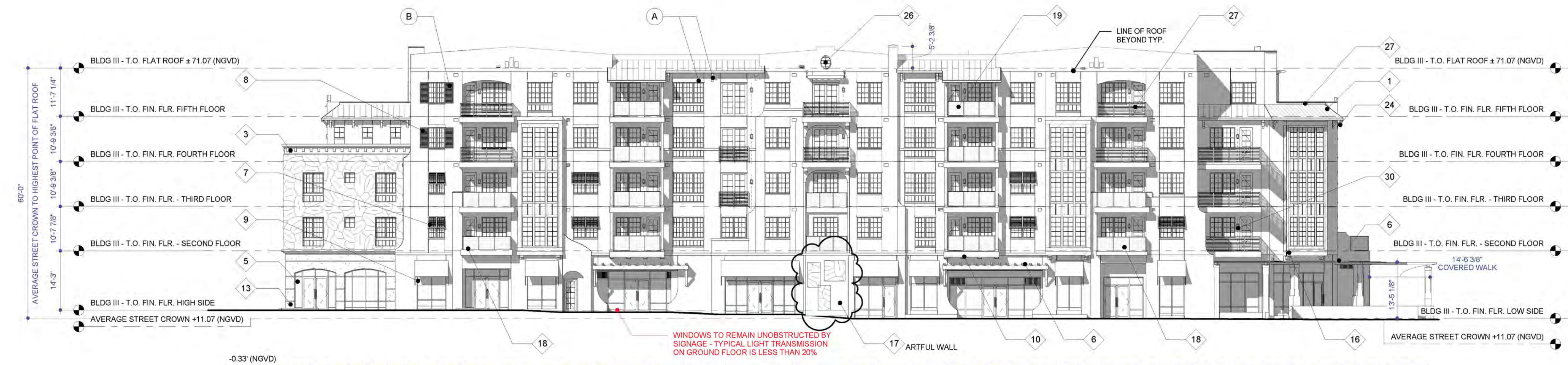
ATLANTIC CROSSING

Project Number: 217093

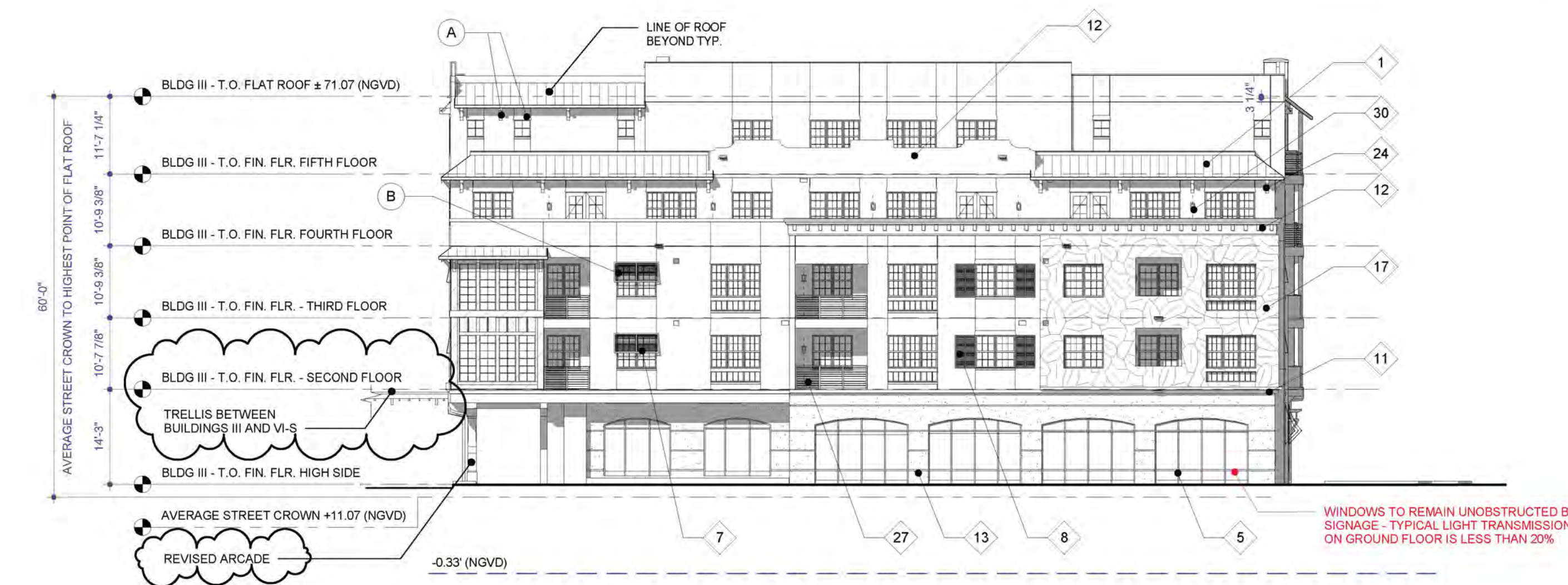
DATE:	ISSUE / REVISIONS:
06.18.2013	Site Plan Submittal
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11.14.2014	Resp. 2.12.14 Staff Comments
2.10.15	Per Certification Comments
04.21.2017	Settlement Modification
08.06.2019	Class II Modification 2019
10.25.2019	Class II Mod. 2019 - Supplement



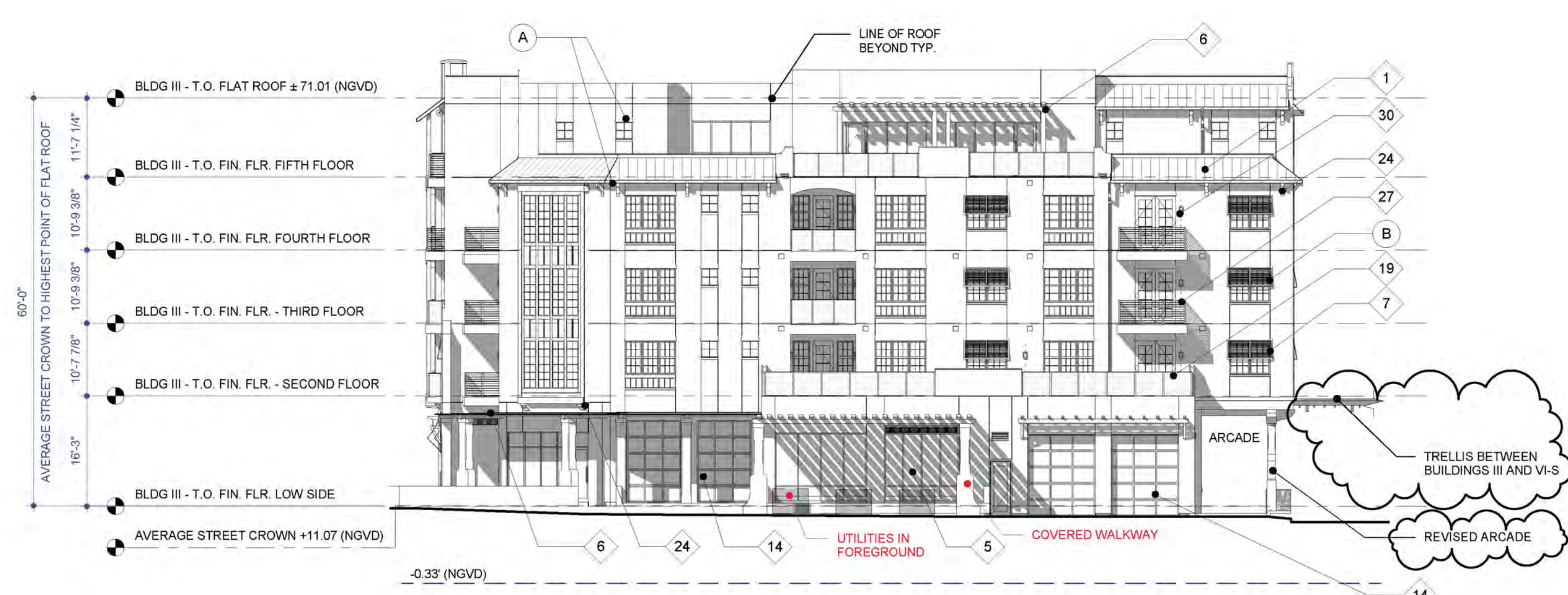
BLDG III - NORTH ELEVATION



BLDG III - SOUTH ELEVATION



BLDG III - WEST ELEVATION



BLDG III - EAST ELEVATION

BUILDING III MATERIAL LEGEND

	STUCCO - CLOUD WHITE	BM-967
	STUCCO - PHILADELPHIA CREAM	BM-HC-30
	WOOD - KENDALL CHARCOAL	BM-HC-166
	LIVING WALL	
	STUCCO TRIMS - VARIES COLORS TO MATCH ADJACENT FIELD	
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166

RESPONSE TO 2.12.14 STAFF COMMENTS
BUILDING III NORTHWEST FOOTPRINT ADJUSTED DUE TO ADDITION OF RAMP AT NE 6TH AVENUE
WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
GREEN WALL IS CONSIDERED A TRELLIS WHICH SHALL BE ALLOWED TO ENDOACH INTO SETBACK ALONG FEDERAL HIGHWAY
ADDED INGRESS/EGRESS RAMP AT NE 6TH AVE

SETTLEMENT MODIFICATION 4.21.2017
ADD ARCADE ALONG THE NORTH ELEVATION
ADJUST POSITION OF LOADING AREA
ADJUST EAST AND WEST ELEVATIONS DUE TO ADDITION OF ARCADE

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH ANGLO CARIBBEAN, INCLUDING:
SCULPTED FORMS AT ARCADE AND AT FEATURE ELEMENTS OF THE BUILDING
RE-SCALE WINDOWS AT CORNERS
WOOD DETAILING AS ACCENT AT VERTICAL FORMS
ENTRANCE DETAIL AT BUILDING CAP
RE-DETAIL ARCADE AND LOW ROOF FORMS

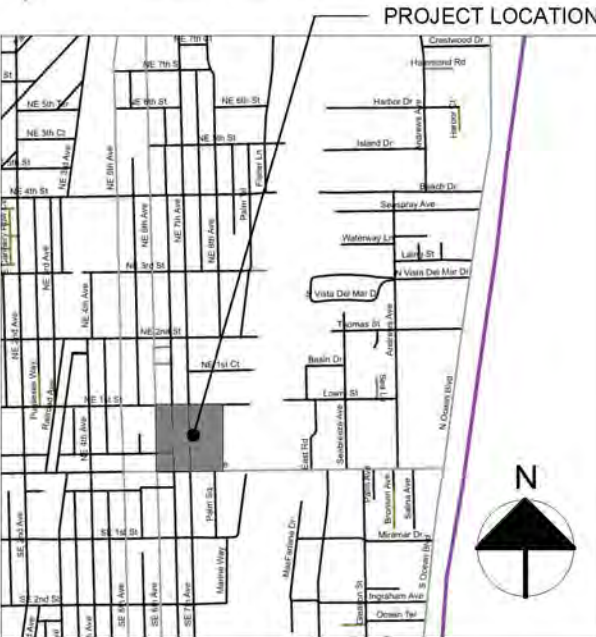
CLASS II MODIFICATION 2019 8.2.2019
REVISE DETAIL AT ARCADE
ADD TRELLIS BETWEEN III & VI-S

CLASS II MODIFICATION SUPPLEMENT 10.25.2019
CLARIFY GRAPHICS

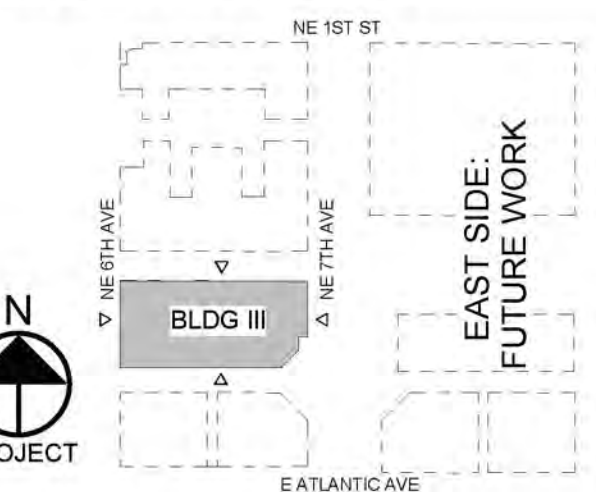
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- Standing seam metal roof; galvalume
- Ornamental iron railing; powder coated
- Built-up parapet cap; stucco
- Embossed wood texture storefront system
- Storefront system
- Wood pergola & trellis
- Painted composite Bermuda shutters
- Painted composite shutters; fixed
- Fabric awning system
- Decorative corbel
- Built-up stucco sill
- Stucco parapet (6'-0 high max. from top of roof deck)
- Stucco with simulated stone texture base
- Overhead garage door - Glass
- Decorative arched lower panel; powder coated
- Wood boxed out detail
- "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
- Perforated metal panel railing
- Wood panel railing
- Paneled wood accent
- Louvered panels; powder coated
- Steel Trellis
- Vinyl windows
- Decorative wood brackets
- 2" Reveal
- Decorative stucco inset
- Steel Cable Railing
- Fluted column cap; stucco
- Ornamental iron gates and screen; powder coated
- Exterior light fixtures



VICINITY MAP

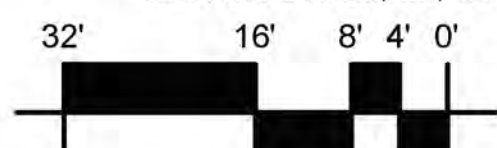


KEY PLAN

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BLDG III ELEVATIONS

DRAWN BY: CS, BB, KK



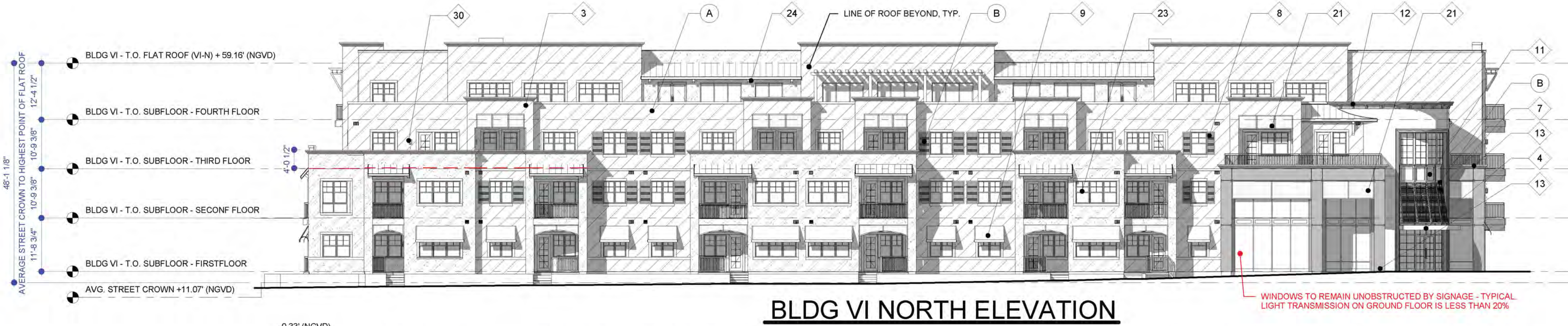
As indicated

SHEET NUMBER

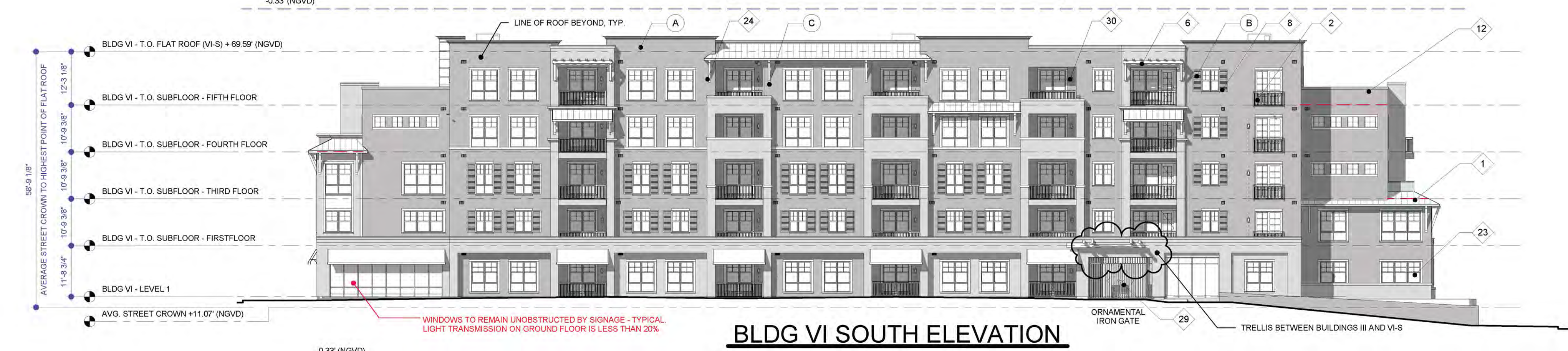
A3.4

VOLUME 2

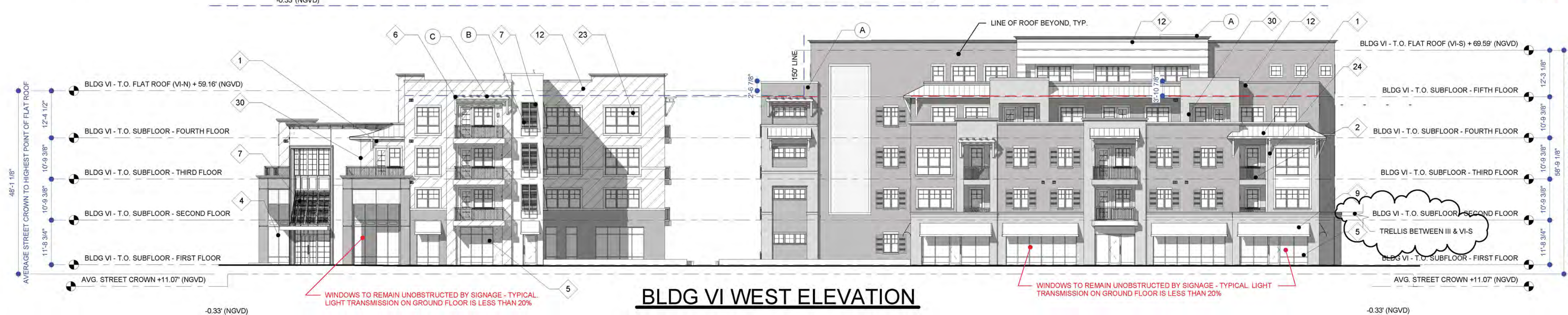
DATE: 08.06.2019



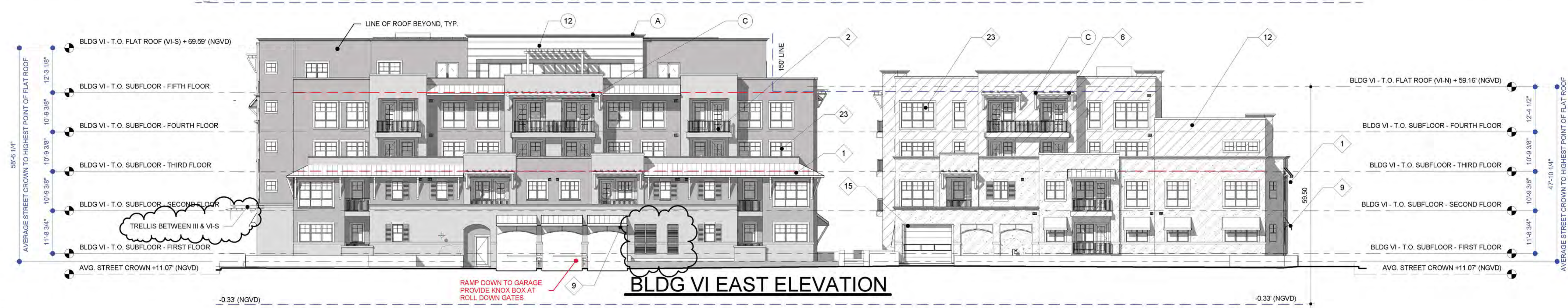
BLDG VI NORTH ELEVATION



BLDG VI SOUTH ELEVATION



BLDG VI WEST ELEVATION



BLDG VI EAST ELEVATION

BUILDING VI MATERIALS LEGEND

	STUCCO - VALE MIST	BM-HC-1494
	STUCCO - MORNING DEW	BM-HC-1493
	STUCCO - HAWTHORNE YELLOW	BM-HC-4
	STUCCO - MANCHESTER TAN	BM-HC-81
	STUCCO - CLOUD WHITE	BM-967
	SIMULATED STONE - FLORIDA CORAL (KEYSTONE)	BEIGE
	SIDING - FAIRVIEW TAUPE	BM-HC-85
	TILE WALL	ANN SACKS TIEMPO "LA SPIEZA #6"
	STUCCO TRIMS - VARIES	COLORS TO MATCH ADJACENT FIELD
	SHUTTERS - KENDALL CHARCOAL	BM-HC-166
	BRACKETS AND PERGOLAS - CLOUD WHITE	BM-967

RESPONSE TO 2.12.14 STAFF COMMENTS
• WINDOWS OF THE BUSINESSES AND OFFICES REMAIN UNOBSTRUCTED BY SIGNAGE
• LIGHT TRANSMISSION FOR GROUND FLOOR GLASS AREA TO BE NO GREATER THAN 20%
• KNOX BOXES TO BE PROVIDED AT ROLL DOWN GATES
• ADJUSTED METAL AWNINGS AND ADDED MORE SHUTTERS

SETTLEMENT MODIFICATION 4.21.2017
• RELOCATED ENTRY TO PARKING GARAGE
• ADJUST EAST AND SOUTH DUE TO PARKING GARAGE ENTRY RELOCATION

ARCHITECTURAL ELEVATION REVISIONS 7.19.2018
GENERALLY REVISE ELEVATIONS TO BE MORE CONSISTENT WITH MASONRY MODERN, INCLUDING:

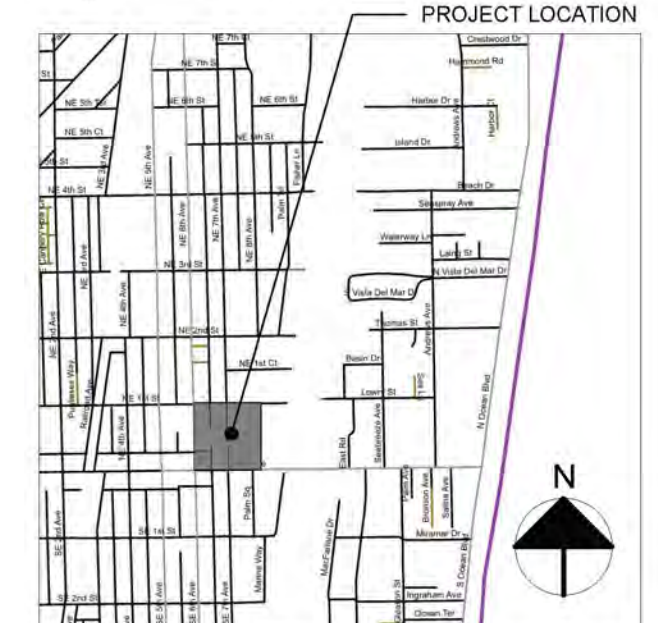
- STRENGTHENING PEDESTRIAN SCALE OF ENTRY TO LEASING (NORTH-WEST CORNER)
- ENHANCED HORIZONTAL DETAILING AT BASE - ADDED ROOF FORMS, CONSOLIDATED COLOR, MINIMIZED TALL SLENDER VERTICAL FORMS
- ENHANCE DETAILING AT BUILDING CAP
- ENHANCE DETAILING AT BUILDING CORNERS

CLASS II MODIFICATION 8.2.2019
• ADD TRELLIS BETWEEN III & VI-S

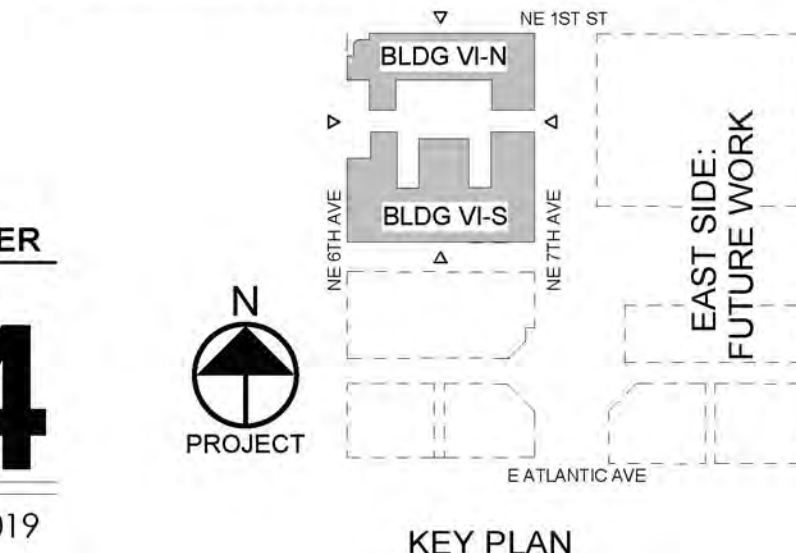
CLASS II MODIFICATION SUPPLEMENT 10.25.2019
• CLARIFY GRAPHICS

ELEVATION NOTES

- NOTE: All wall cladding shall be stucco unless otherwise noted.
- 1 Standing seam metal roof, galvalume
 - 2 Ornamental iron railing, powder coated
 - 3 Built-up parapet cap; stucco
 - 4 Embossed wood texture storefront system
 - 5 Storefront system
 - 6 Wood pergola & trellis
 - 7 Painted composite Bermuda shutters
 - 8 Painted composite shutters, fixed
 - 9 Fabric awning system
 - 10 Decorative corbel
 - 11 Built-up stucco sill
 - 12 Stucco parapet (6'-0" high max. from top of roof deck)
 - 13 Stucco with simulated stone texture base
 - 14 Overhead garage door - Glass
 - 15 Decorative arched louver panel; powder coated
 - 16 Wood boxed out detail
 - 17 "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
 - 18 Perforated metal panel railing
 - 19 Wood panel railing
 - 20 Paneled wood accent
 - 21 Louvered panels; powder coated
 - 22 Steel Trellis
 - 23 Vinyl windows
 - 24 Decorative wood brackets
 - 25 2" Reveal
 - 26 Decorative stucco inset
 - 27 Steel Cable Railing
 - 28 Fluted column cap; stucco
 - 29 Ornamental iron gates and screen; powder coated
 - 30 Exterior light fixtures



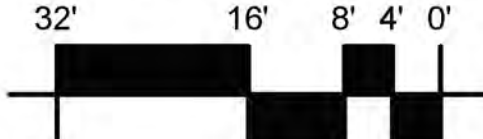
VICINITY MAP



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BLDG VI ELEVATIONS

DRAWN BY: CS, BB, KK



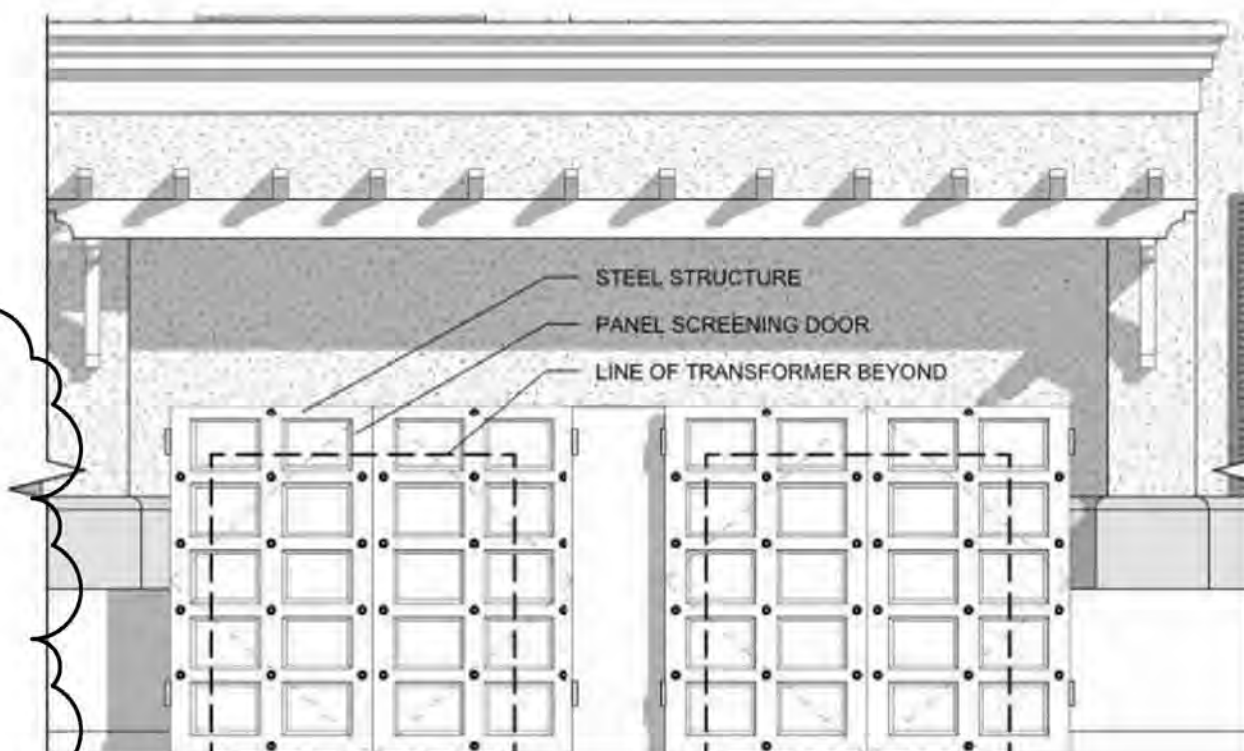
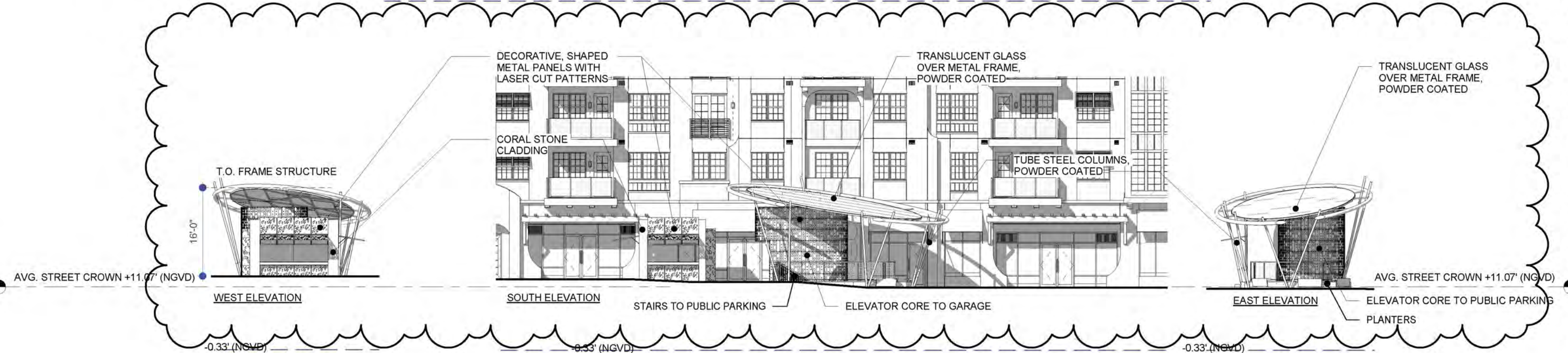
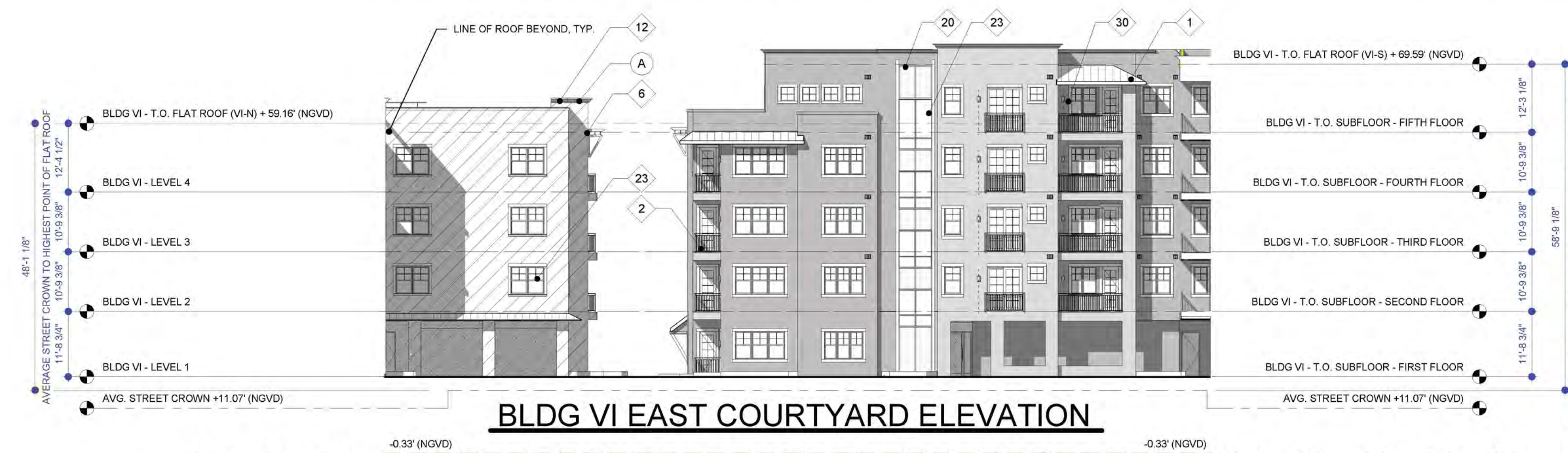
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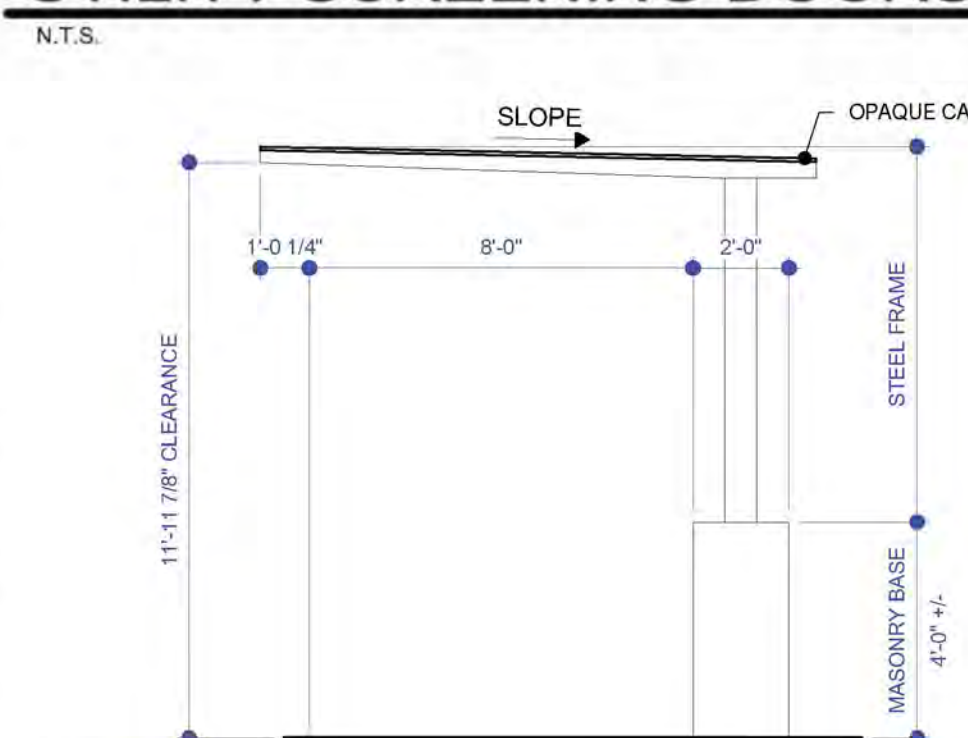
VOLUME 2

A6.4

DATE: 08.06.2019

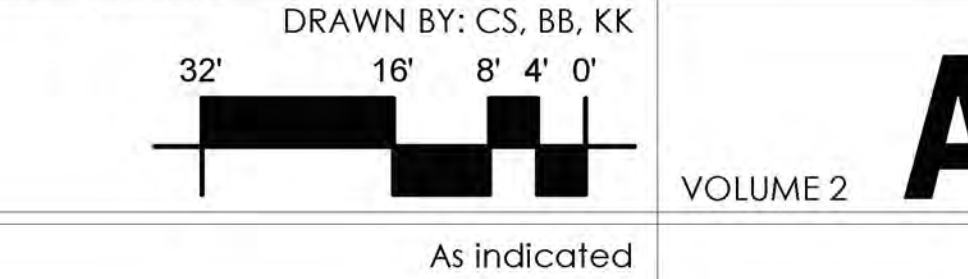


UTILITY SCREENING DOORS



COVERED WALKWAY AT VALET

BLDG VI COURTYARD ELEVATIONS



BUILDING VI MATERIALS LEGEND

	STUCCO - VALE MIST	BM-HC-1494
	STUCCO - MORNING DEW	BM-HC-1493
	STUCCO - HAWTHORNE YELLOW	BM-HC-4
	STUCCO - MANCHESTER TAN	BM-HC-81
	STUCCO - CLOUD WHITE	BM-967
	SIMULATED STONE - FLORIDA CORAL (KEYSTONE)	BEIGE
	SIDING - FAIRVIEW TAUPE	BM-HC-85
	TILE WALL	ANN SACKS TIEMPO "LA SPIEZA #6"
	STUCCO TRIMS - VARIES	COLORS TO MATCH ADJACENT FIELD
	SHUTTERS - KENDALL	CHARCOAL
	BRACKETS AND PERGOLAS	CLOUD WHITE

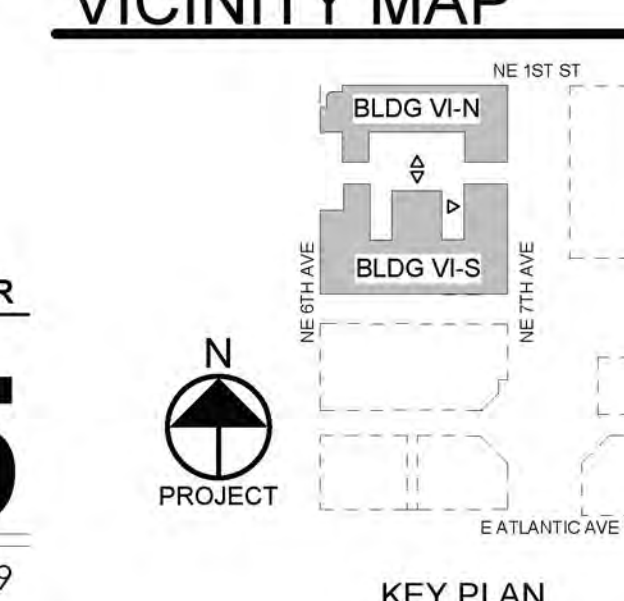
ELEVATION NOTES

NOTE: All wall cladding shall be stucco unless otherwise noted.

- Standing seam metal roof, galvalume
- Ornamental iron railing, powder coated
- Built-up parapet cap; stucco
- Embossed wood texture storefront system
- Storefront system
- Wood pergola & trellis
- Painted composite Bermuda shutters
- Painted composite shutters, fixed
- Fabric awning system
- Decorative corbel
- Built-up stucco sill
- Stucco parapet (6'-0" high max. from top of roof deck)
- Stucco with simulated stone texture base
- Overhead garage door - Glass
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- "Living wall" - Plant material over stainless steel support. Considered a trellis and will be allowed within setback
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- Louvered panels; powder coated
- Steel Trellis
- Vinyl windows
- Decorative wood brackets
- 2" Reveal
- Decorative stucco inset
- Steel Cable Railing
- Fluted column cap; stucco
- Ornamental iron gates and screen; powder coated
- Exterior light fixtures

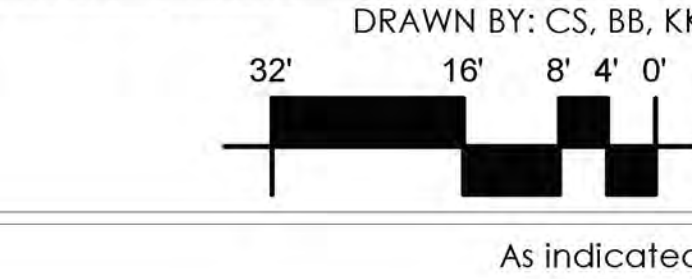


VICINITY MAP

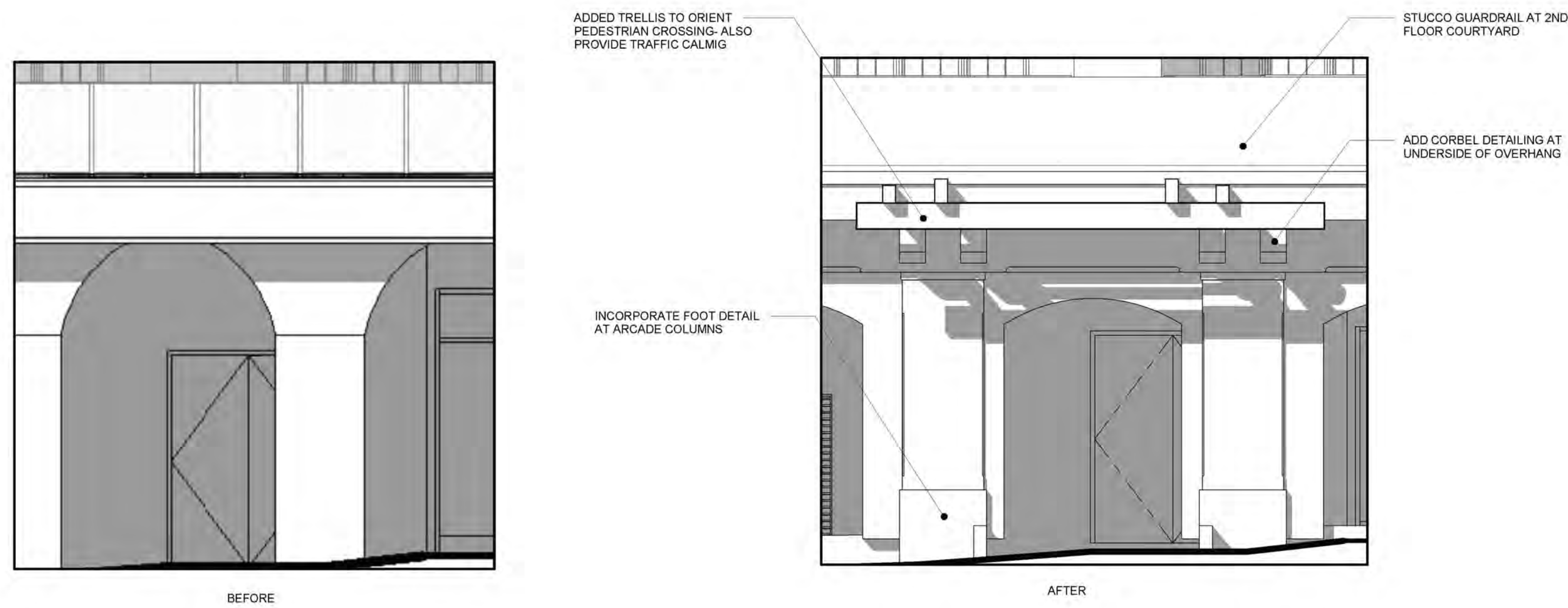


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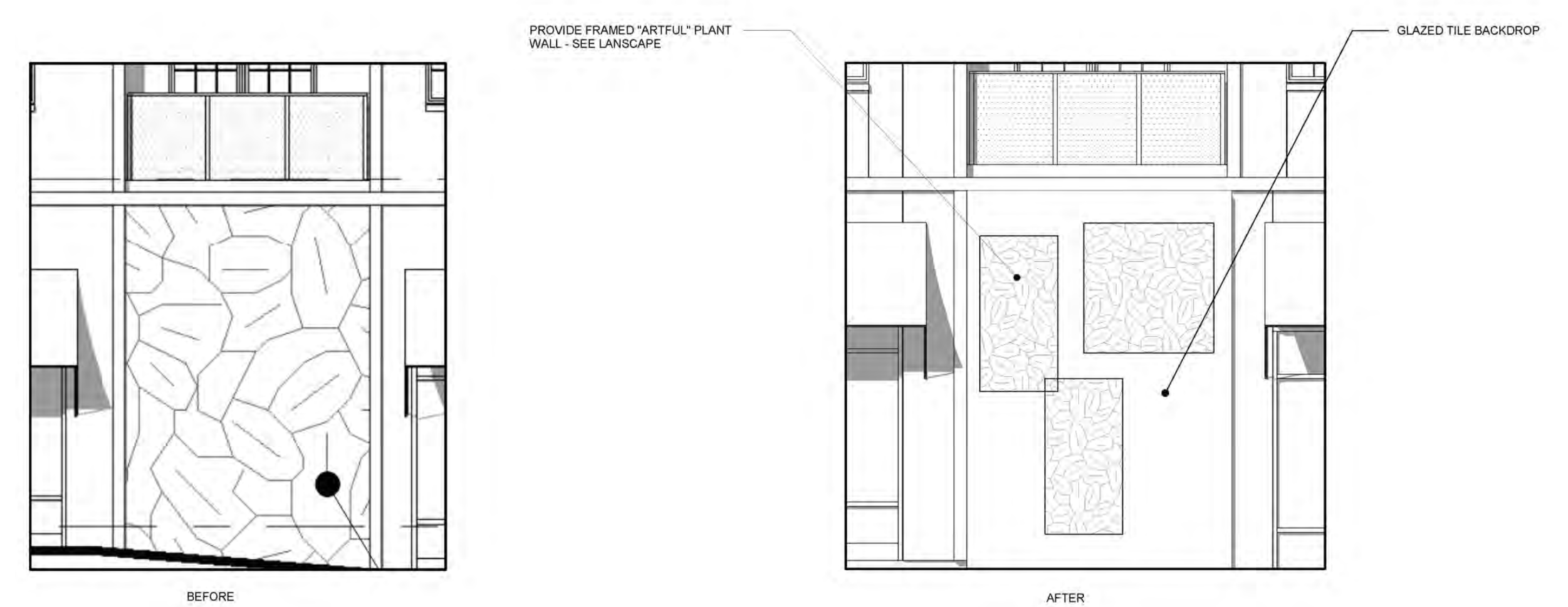
BLDG VI COURTYARD ELEVATIONS



SHEET NUMBER



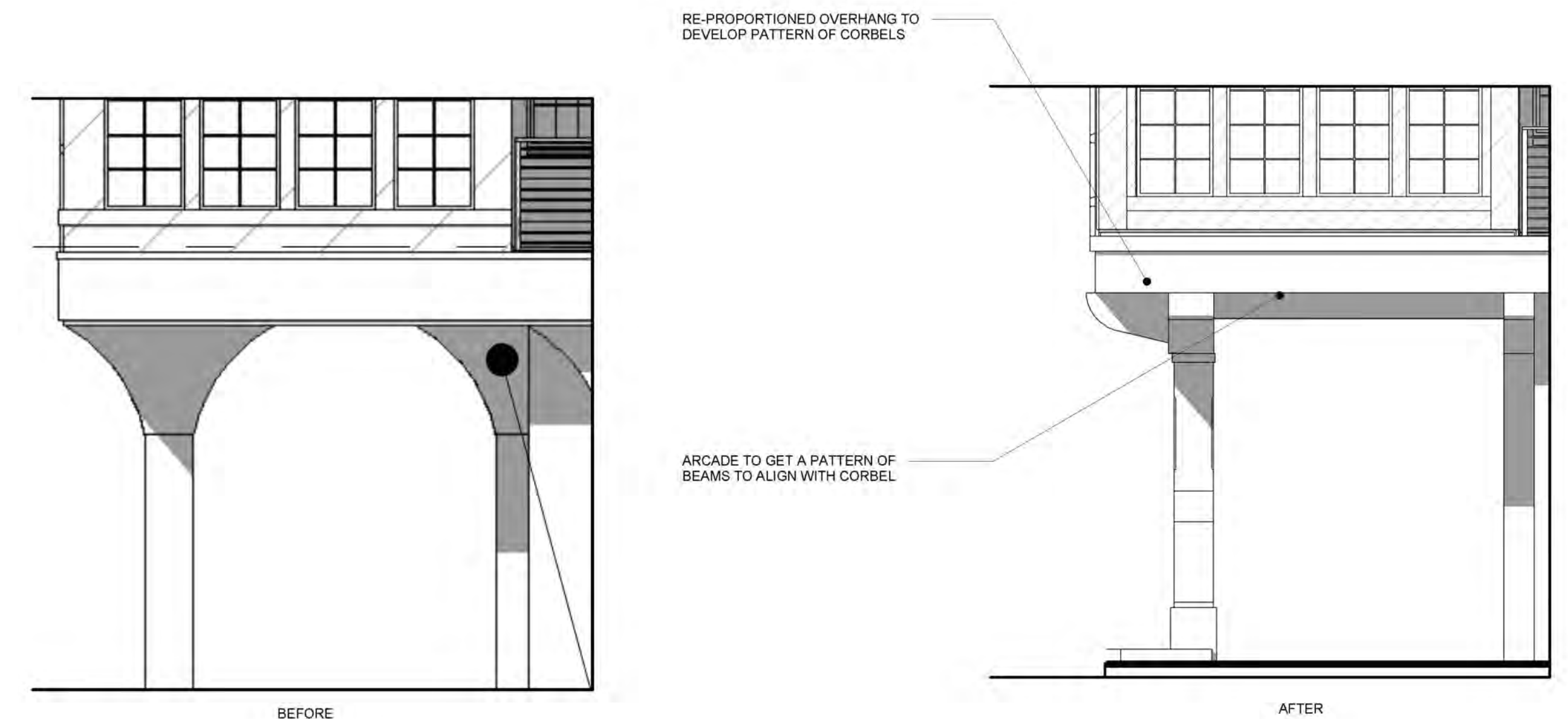
1 BUILDING III TYPICAL ARCADE AT TRELLIS
1/4" = 1'-0"



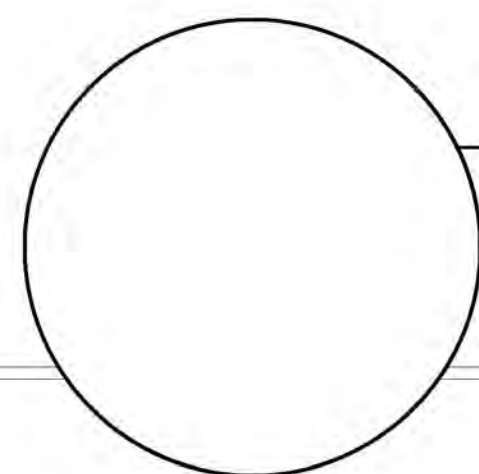
2 BUILDING III GREENWALL AT SOUTH ELEVATION
1/4" = 1'-0"

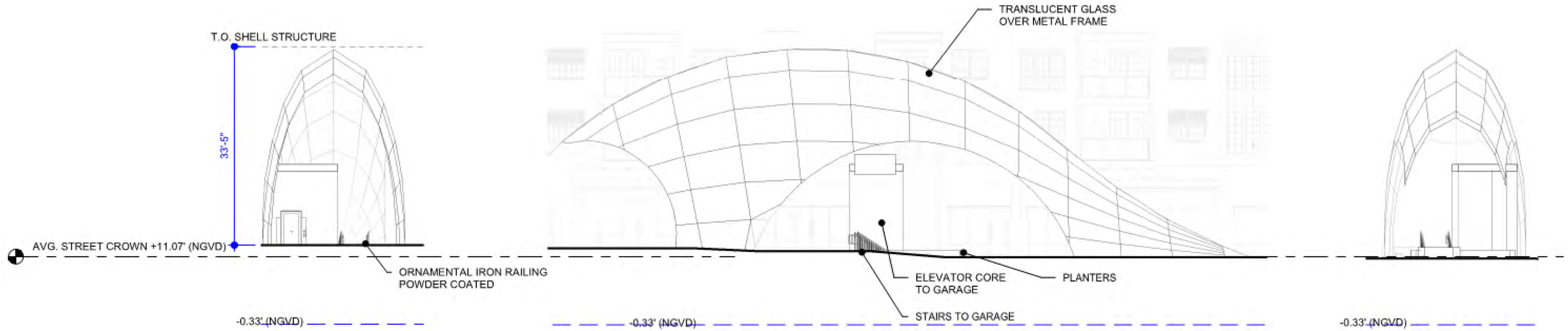


3 BUILDING III ARCADE EDGE AT WEST END
1/4" = 1'-0"

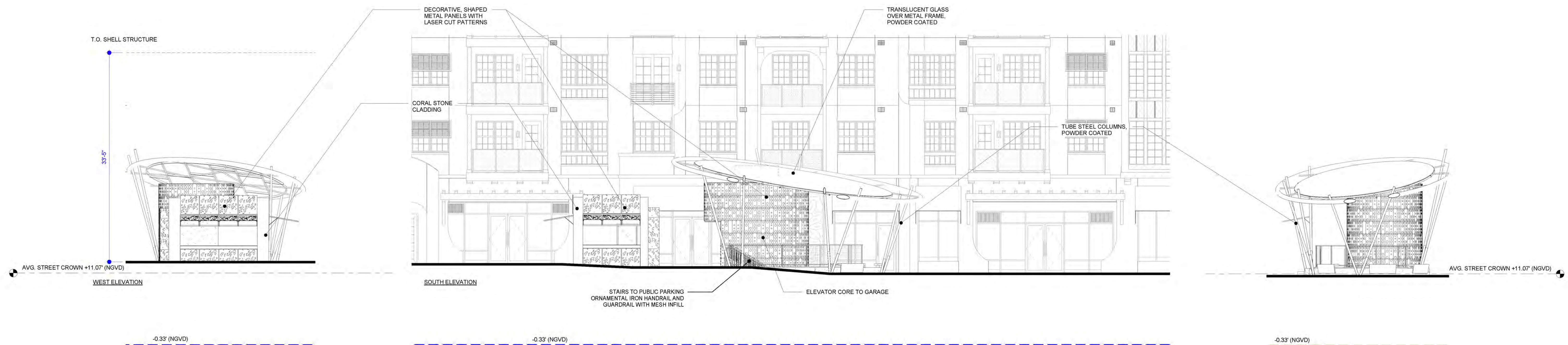


4 BUILDING III ARCADE END DETAIL (WEST END)
1/4" = 1'-0"





2 PLAZA ACCESS TO GARAGE - SHELL CONCEPT BEFORE
1/8" = 1'-0"



1 PLAZA ACCESS TO GARAGE - AFTER
1/8" = 1'-0"

10/25/2019 3:42:34 PM C:\Users\jwheeler\OneDrive\Documents\Atlantic Crossing\Atlantic Crossing.dwg

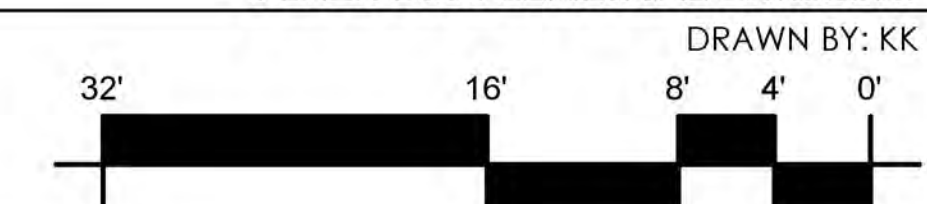


ATLANTIC CROSSING

Project Number: 217093

DATE: 10.25.2019
ISSUE / REVISIONS: CLASS II MOD. 2019 - SUPPLEMENT

PLAZA SUPPLEMENTAL EXHIBITS



DRAWN BY: KK

1/8" = 1'-0"

SHEET NUMBER

X2



BEFORE

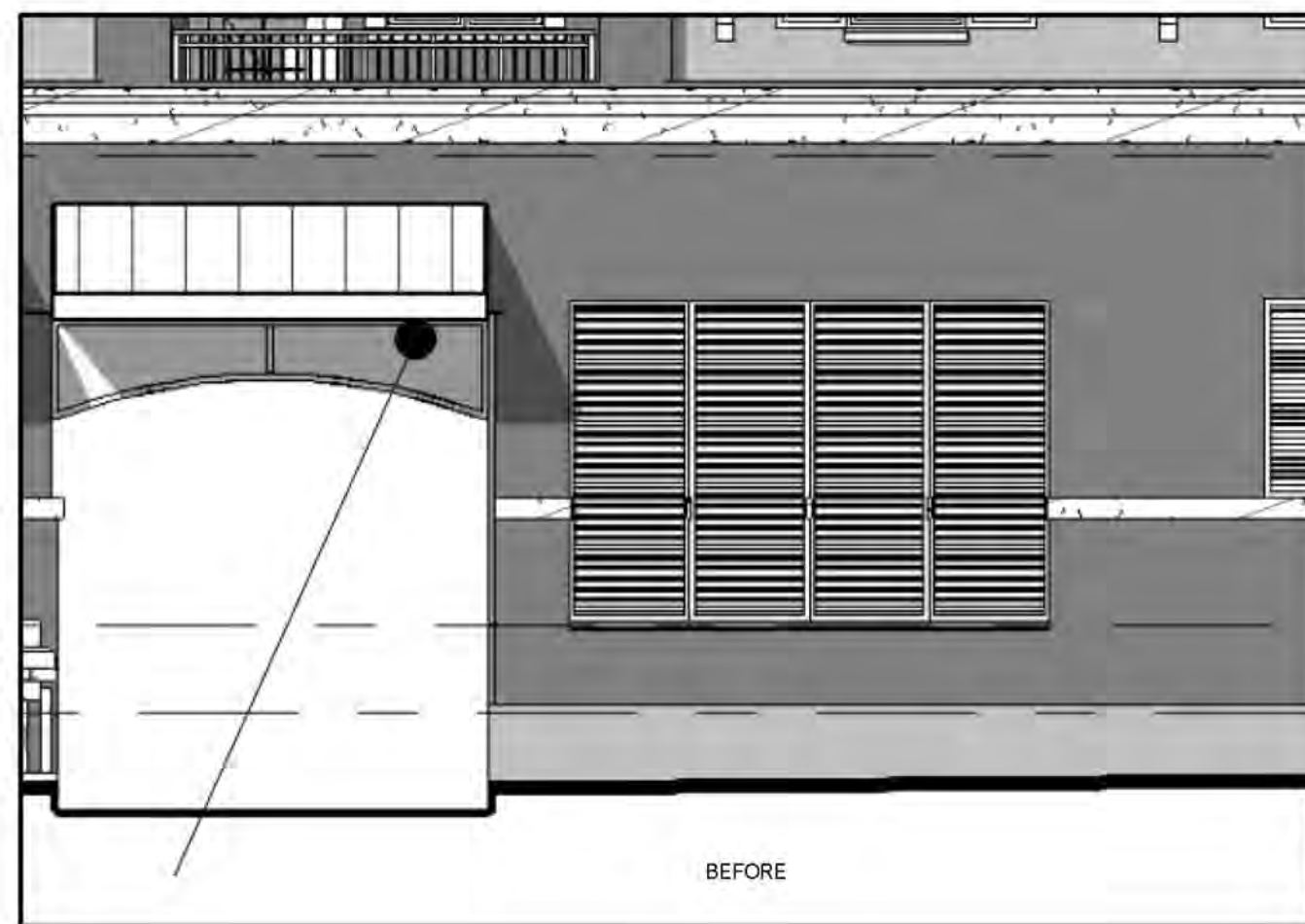
1 BUILDING VI-S MAILROOM ENTRY - BEFORE
1/4" = 1'-0"

ADDED TRELLIS TO ORIENT
PEDESTRIAN CROSSING. ALSO
PROVIDE TRAFFIC CALMING



AFTER

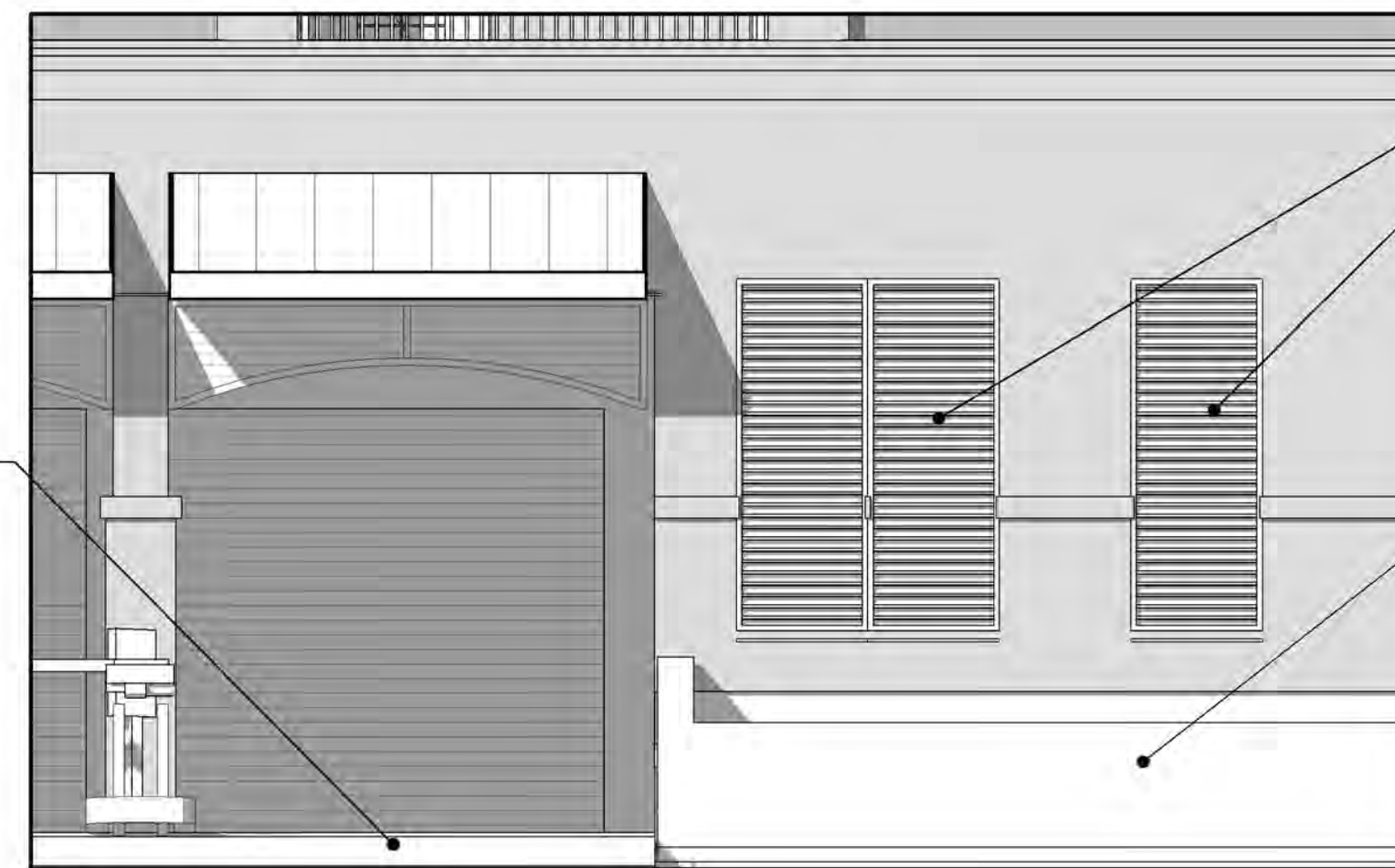
ADDED WINDOWS (RELOCATED
FIRE PUMP ROOM TO BUILDING III)



BEFORE

2 BUILDING VI-S LOUVERS AT WALL ADJACENT TO GARAGE RAMP
1/4" = 1'-0"

CORRECTED LEVEL OF
ENTRY AT GARAGE RAMP



AFTER

MODIFIED COMPOSITION OF LOUVERS

DETAILED TALLER PLANTER WALL

