

COREY ISLE

BEING A RE-PLAT OF LOTS 26, 27, 28, 29 AND 30, BLOCK 8, SUBDIVISION OF BLOCK 8 TOWN OF DELRAY (FORMERLY LINTON)
ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 14, PAGE 58 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
LYING WITHIN SECTION 17, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.
SHEET 1 OF 2

DEDICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

KNOW ALL MEN BY THESE PRESENTS THAT DELRAY BEACH COMMUNITY REDEVELOPMENT AGENCY (CRA), A FLORIDA PUBLIC BODY CORPORATE AND POLITIC, CREATED PURSUANT TO CHAPTER 163.356, FLORIDA STATUTES, LICENSED TO DO BUSINESS IN THE STATE OF FLORIDA, OWNER OF THE LAND SHOWN HEREON, BEING IN SECTION 17, TOWNSHIP 45 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, SHOWN HEREON AS COREY ISLE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A RE-PLAT OF LOTS 26, 27, 28, 29 AND 30, BLOCK 8, SUBDIVISION OF BLOCK 8 TOWN OF DELRAY (FORMERLY LINTON) ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 14, PAGE 58 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

CONTAINING 13,509 SQUARE FEET MORE OR LESS.

HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS COREY ISLE PLAT AND FURTHER DEDICATE AS FOLLOWS:

LOTS 1 AND 2 ARE HEREBY PLATTED FOR PRIVATE PURPOSES AS ALLOWED PURSUANT TO THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF DELRAY BEACH, FLORIDA.

TRACTS R-1 AND R-2 AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF DELRAY BEACH AS PUBLIC RIGHT-OF-WAY FOR STREET AND UTILITY PURPOSES.

THE 10.00' GENERAL UTILITY EASEMENT (G.U.E.) IS HEREBY DEDICATED TO ANY PUBLIC OR PRIVATE UTILITY, SUCH AS BUT NOT LIMITED TO STORM DRAINAGE, ELECTRIC POWER, GAS SERVICE, TELEPHONE LINES, AND CABLE TELEVISION; PROVIDED HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITY AND SERVICES OF ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC FACILITY.

IN WITNESS WHEREOF, OF THE ABOVE NAMED ENTITY HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS CHAIRPERSON AND ATTESTED BY ITS SECRETARY AND ITS CORPORATE SEAL TO BE AFFIXED HERETO AND WITH THE AUTHORITY OF ITS BOARD OF COMMISSIONERS, THIS ____ DAY OF _____, 2019.

ATTEST: _____
SHELLY PETROLIA
CRA CHAIR

PRINT NAME: _____

WITNESS: _____

PRINT NAME: _____

WITNESS: _____

PRINT NAME: _____

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME PERSONALLY APPEARED _____ WHO IS PERSONALLY KNOWN TO ME, OR HAS PRODUCED AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AS CHAIRPERSON OF THE DELRAY BEACH COMMUNITY REDEVELOPMENT AGENCY AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT HE EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IS WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____, 2019.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC STATE OF _____
PRINT NOTARY NAME

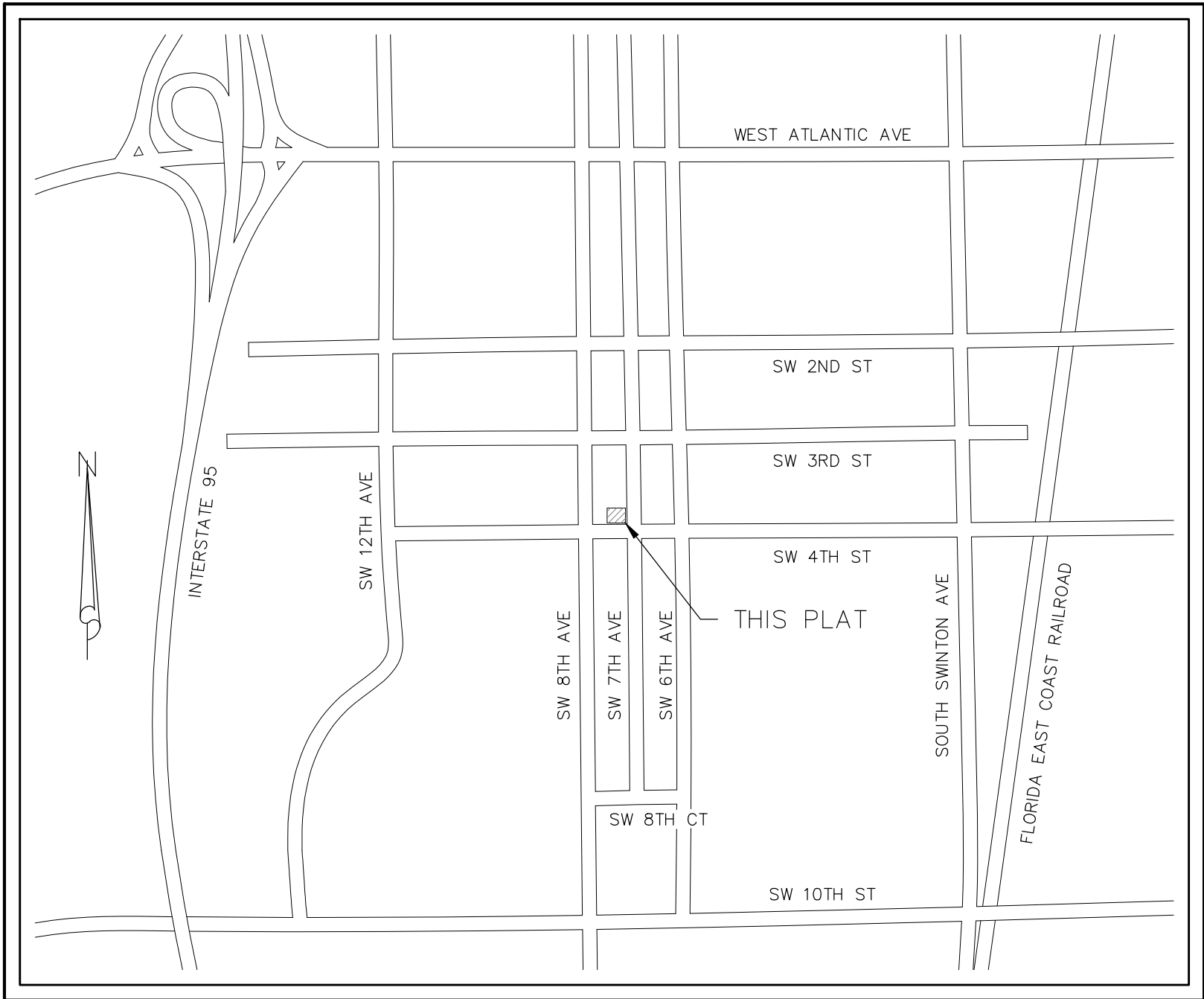
SURVEYOR’S CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.S"), ACCORDING TO SEC. 177.091 (9), F.S., HAVE BEEN PLACED AS REQUIRED BY LAW; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF THE CITY OF DELRAY BEACH, FLORIDA.

DATED: _____

DAVID A. BOWER, P.S.M.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 5888

DENNIS J. LEAVY AND ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NUMBER: LB6599
460 BUSINESS PARK WAY, SUITE B
ROYAL PALM BEACH, FLORIDA 33411
PHONE: (561) 753 – 0650
FAX: (561) 753 – 0290



LOCATION MAP
NOT TO SCALE

REVIEWING SURVEYOR

THIS IS TO CERTIFY THAT THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR UNDER CONTRACT WITH THE CITY OF DELRAY BEACH, FLORIDA HAS REVIEWED THE PLAT OF "COREY ISLE" AS REQUIRED BY CHAPTER 177.081(1), FLORIDA STATUTES AND FIND THAT IT COMPLIES WITH ALL OF CHAPTER 177 PART 1, FLORIDA STATUTES.

DATED: _____
DAVID P. LINDLEY, P.L.S.
REG. LAND SURVEYOR #5005
STATE OF FLORIDA

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF PALM BEACH

I _____ (A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA), DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE TO THE PROPERTY IS VESTED IN DELRAY BEACH COMMUNITY REDEVELOPMENT AGENCY (CRA), A FLORIDA PUBLIC BODY CORPORATE AND POLITIC, CREATED PURSUANT TO CHAPTER 163.356, FLORIDA STATUTES, LICENSED TO DO BUSINESS IN THE STATE OF FLORIDA; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT THERE ARE NO MORTGAGES OF RECORD; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: _____ BY: _____
DAVID N. TOLCES

PREPARING LAND SURVEYOR	CITY OF DELRAY BEACH	CITY OF DELRAY BEACH CRA	REVIEWING LAND SURVEYOR
SEAL	SEAL	SEAL	SEAL

SURVEYOR’S NOTES

1. BEARINGS DEPICTED HEREON ARE RELATIVE TO THE SOUTH LINE OF BLOCK 8, SUBDIVISION OF BLOCK 8 TOWN OF DELRAY (FORMERLY LINTON) ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 14, PAGE 58 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. SAID LINE HAVING A GRID BEARING OF SOUTH 89°31'47" WEST BASED UPON THE NORTH AMERICAN DATUM OF 1983, ON THE 1990 ADJUSTMENT FOR THE FLORIDA TRANSVERSE MERCATOR – EAST ZONE.
2. NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
3. IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY USE RIGHTS GRANTED.
4. NO BUILDINGS OR ANY KIND OF CONSTRUCTION OR TREES OR SHRUBS SHALL BE PLACED ON ANY EASEMENT WITHOUT PRIOR WRITTEN APPROVAL OF ALL EASEMENT BENEFICIARIES AND ALL APPLICABLE CITY APPROVALS OR PERMITS AS REQUIRED FOR SUCH ENCROACHMENTS.
5. ALL DISTANCES SHOWN HEREON REFER TO THE HORIZONTAL PLANE.
6. THE CITY OF DELRAY BEACH IS HEREBY GRANTED THE RIGHT OF ACCESS FOR EMERGENCY AND MAINTENANCE PURPOSES.

CITY OF DELRAY BEACH APPROVAL

THIS PLAT OF "COREY ISLE" AS APPROVED ON THE ____ DAY OF _____ A.D., 2019 BY THE CITY COMMISSION OF THE CITY OF DELRAY BEACH, FLORIDA.

MAYOR: _____ ATTEST: _____
CITY CLERK

AND REVIEWED, ACCEPTED AND CERTIFIED BY:

DEVELOPMENT SERVICES DIRECTOR CHAIRPERSON, PLANNING AND ZONING
CITY ENGINEER FIRE MARSHALL

THIS INSTRUMENT WAS PREPARED BY:
DAVID A. BOWER, P.S.M. LS #5888
IN THE OFFICES OF DENNIS J. LEAVY AND ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NUMBER: LB #6599
460 BUSINESS PARK WAY, SUITE B
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PHONE: (561) 753 – 0650
E-MAIL: SURVEY@DJLASURVEY.NET

DENNIS J. LEAVY & ASSOCIATES, INC.
LAND SURVEYORS AND MAPPERS

460 BUSINESS PARK WAY * SUITE B * ROYAL PALM BEACH, FL * 33411
PHONE: (561) 753-0650 E-MAIL: SURVEY@DJLASURVEY.NET

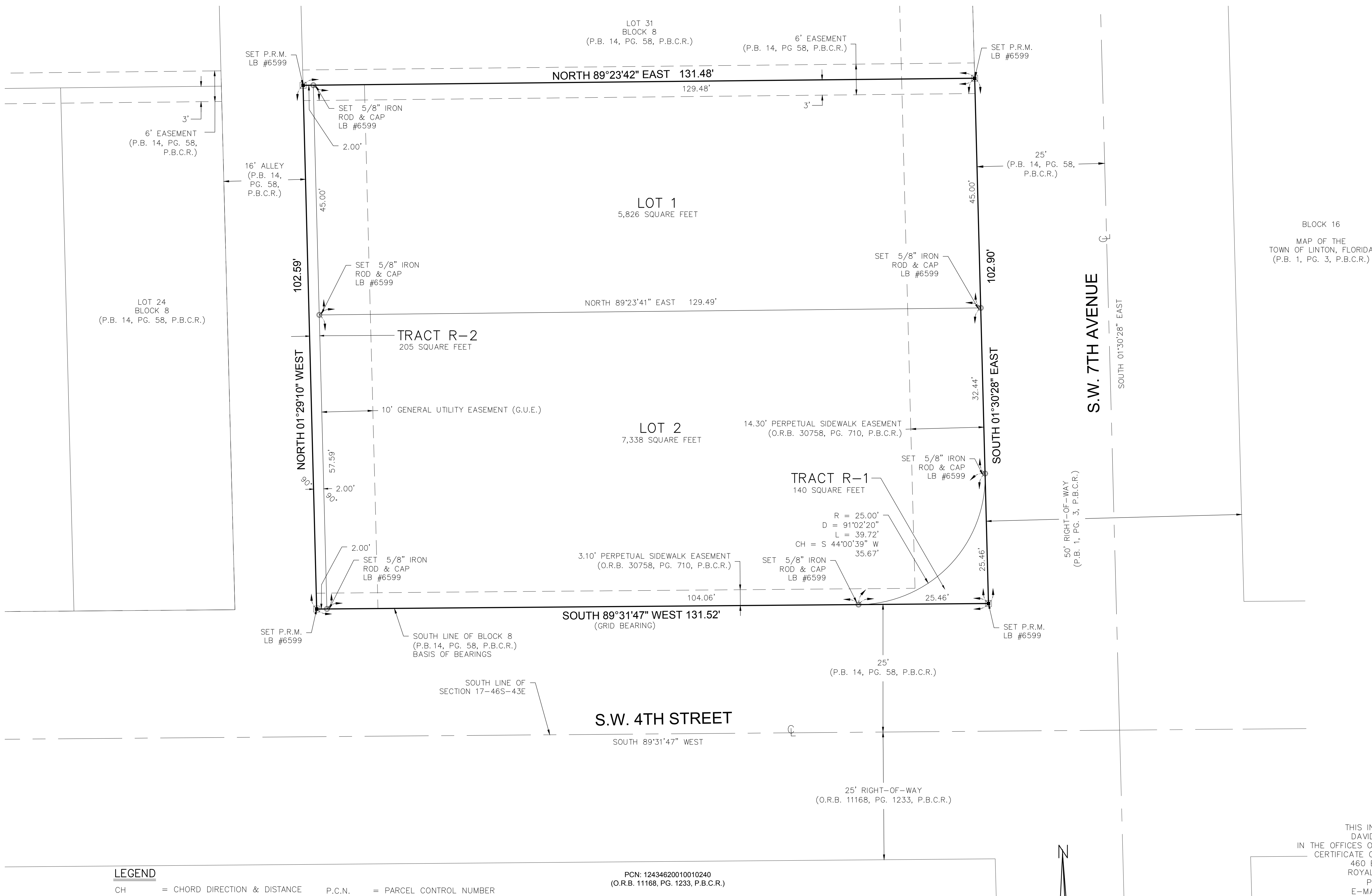
SCALE: AS SHOWN CHECKED BY: DAB DATE: 06/12/19
DRAWN BY: AV/MT JOB NO.: 19-014-003

COREY ISLE

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ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 14, PAGE 58 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
LYING WITHIN SECTION 17, TOWNSHIP 46 SOUTH, RANGE 43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA.
SHEET 1 OF 2

STATE OF FLORIDA)
COUNTY OF PALM BEACH) S.S.

THIS INSTRUMENT WAS FILED FOR
RECORD AT _____ M.
THIS _____
DAY OF _____, 20_____
AND DULY RECORDED IN:
PLAT BOOK _____
ON PAGE _____
SHARON R. BOCK
CLERK & COMPTROLLER
PALM BEACH COUNTY
BY: _____
DEPUTY CLERK

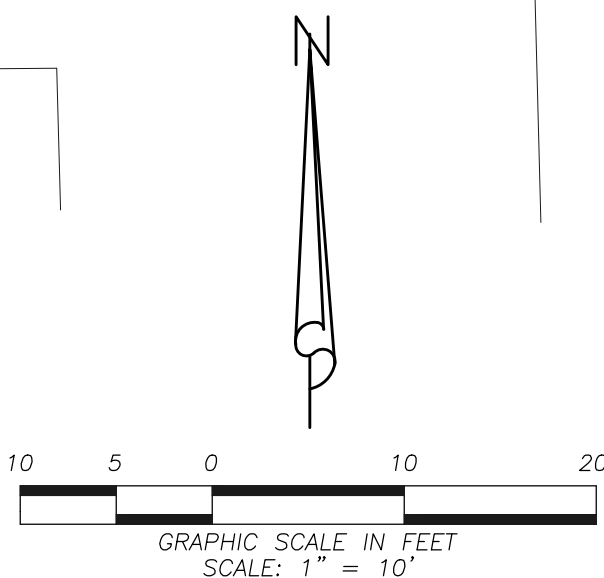


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LEGEND

CH = CHORD DIRECTION & DISTANCE
D = CENTRAL ANGLE
G.U.E. = GENERAL UTILITY EASEMENT
L = ARC LENGTH
LB = LICENSED BUSINESS
O.R.B. = OFFICIAL RECORD BOOK
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.B.C.R. = PALM BEACH COUNTY RECORDS
CL = CENTERLINE

P.C.N. = PARCEL CONTROL NUMBER
PG. = PAGE(S)
P.R.M. = PERMANENT REFERENCE MONUMENT
R = RADIUS
S.L.S.E. = SEWER LIFT STATION EASEMENT
U.E. = UTILITY EASEMENT
■ = PERMANENT REFERENCE MONUMENT (P.R.M.)
4" DIAMETER CONCRETE MONUMENT WITH P.K.
NAIL IN BRASS DISC STAMPED "PRM LB 6599"
○ = SET 5/8"x18" IRON ROD WITH CAP
STAMPED LB # 6599



DENNIS J. LEAVY & ASSOCIATES, INC. LAND SURVEYORS AND MAPPERS

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