



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Tzikas Medical Center (2019-035)

Project Location: 518/526 SE 5th Avenue

Request: Class III Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: October 23, 2019

Board Action:

Approval (5-1 vote; Roger Cope absent; Carol Perez dissent) of the III Site Plan Modification for site plan modifications, landscape plan, architectural elevations changes, Internal Adjustment from LDR Section 4.6.9(D)(2)(b), and a Parking Reduction Request, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations, with the condition that a landscape buffer be added on the west end of the generators and air conditioner units located adjacent to the alley.

Project Description:

The subject property consists of 0.43 acres (Lots 2, 3, 4, Block 3, Osceola Park) within the General Commercial (GC) zoning district and has a Future Land Use Map (FLUM) Designation of GC. The property is located on the southwest corner of SE 5th Avenue and SE 6th Street. At its meeting of April, 14, 2010, the Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification to convert a vacant, 5,336 square feet office building into the Tzikas Medical Center (located at 526 SE 5th Avenue).

The current request is to expand the existing facility and add additional parking spaces. The lot to the south (Lot 5 Block 3) of the existing office has been incorporated into the development and increases the site size from 0.43 to 0.57 acres. The project consists of a two-story 5,464 square foot addition resulting in a total of 10,783 square feet dedicated for the use of a medical office. Associated site improvements include a total of 32 parking spaces; 28 parking spaces on-site and 4 on-street parallel parking spaces. An Internal Adjustment from LDR Section 4.6.9(D)(2)(b) provisions of ingress and egress when parking is adjacent to an alley, was submitted as 7 parking spaces adjacent to the alley provide a combined total depth of 40 ft. (parking space and alley depth) where 42 ft. is required. The proposal also includes a parking reduction request to the minimum number of required parking spaces, per LDR Section 4.6.9(F)(1). The proposal is required to provide 27 additional parking spaces for a 5,464 sf. building expansion and 14 new spaces are proposed (a total deficiency of 13 spaces to the minimum number of required spaces for medical offices).

Board Comments:

The Board expressed concerns regarding potential use conversions of the structure in the future, asked questions regarding the GC zoning district requirements versus Central Business District requirements, and discussed the landscape plan.

Public Comments:

A member of the public representing the residential neighborhood to the west (Osceola Park) spoke in favor of the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 23, 2019

File No.: 2019-035-SPM-SPR-CL3

Application Type: Class III Site Plan
Modification for Tzikas Medical Center

General Data:

Agent: Albert Wadsworth

Applicant: T&G 5th Avenue

Location: Southwest corner of SE 5th Avenue and SE 6th Street

Address: 518/ 526 SE 5th Avenue

PCN: 12-43-46-21-01-003-0020

Property Size: 0.57 Acre (24,976 sf)

FLUM: General Commercial (GC)

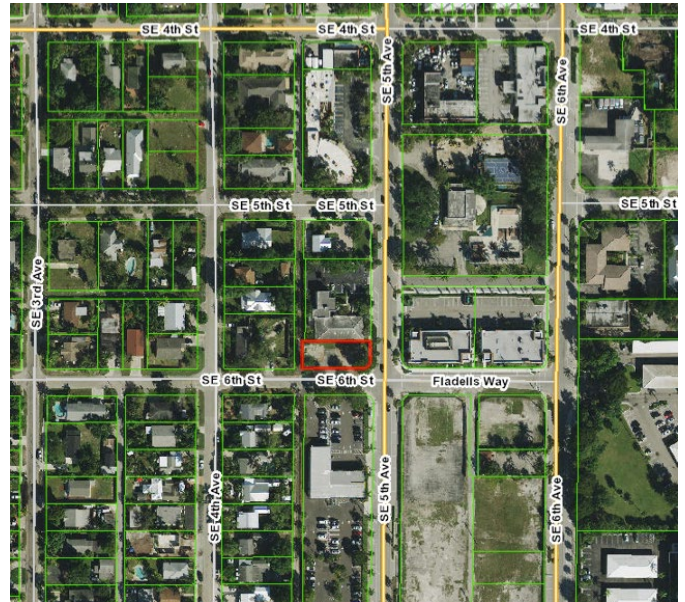
Zoning: General Commercial (GC)

Adjacent Zoning:

- North: GC
- South: GC
- East: GC
- West: Single Family Residential (R-1-A)

Existing Land Use: Vacant/ Medical Office

Proposed Land Use: Medical Office



Item before the Board:

Consideration of a Class III Site Plan Modification to accommodate a two-story, 5,464 sf. expansion of the existing medical office, pursuant to Land Development Regulations (LDR) Section 2.4.5 (G)(1)(c). The item includes the following:

- Site Plan Modifications
- Landscape Plan
- Architectural Elevations Changes
- Internal Adjustment from LDR Section 4.6.9(D)(2)(b) provisions of ingress and egress when parking is adjacent to an alley.
- Parking reduction request to the minimum number of required parking spaces per LDR Section 4.6.9(F)(1).

Optional Board Motions for Action Item:

1. Move to continue with direction.
2. Move approval of the Class III Site Plan Modification (2019-035) for site plan modifications, landscape plan, architectural elevation changes, internal adjustment from LDR Section 4.6.9(D)(2)(b), and parking reduction, for **Tzikas Medical Center**, by finding that the request is consistent with the Comprehensive Plan and Land Development Regulations, (as amended, if applicable).
3. Move denial of the Class III Site Plan Modification (2019-035)) for site plan modifications, landscape plan, architectural elevation changes, internal adjustment from LDR Section 4.6.9(D)(2)(b), and parking reduction, **Tzikas Medical Center**, by finding that the request is inconsistent with the Comprehensive Plan and does not meet the Land Development Regulations.

Project Planner:

Debora Slaski, Planner
SlaskiD@mydelraybeach.com,
561-243-7348

Review Dates:

SPRAB Board: October 23, 2019

Attachments:

1. Site Plan and Survey
2. Architectural Elevations
3. Landscape Plan
4. Engineering Plans
5. Special Parking Reduction Narrative



***Notes:**

- A revised survey showing the existing property lines prior to the proposed dedication shall be provided prior to certification of the plans.
- A Declaration of Unity of Title is required to be recorded prior to certification of the plans.
- The proposed right-of-way dedication (alley and corner radius) shall be accepted by the City Commission and recorded prior to certification of the plans.
- A detail of the proposed refuse enclosure, identifying compliance with LDR Section 4.6.6(C)(1), is required to be provided or added to the plans prior to certification of the plans.
- The planting area separating the parking spaces adjacent to the alley and the maneuvering area located within the dead-end parking lot shall be revised to provide a planting strip of no less than five feet in width. The proposal shall be revised to comply with this requirement prior to certification of the plans.
- A letter from the Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County is required prior to certification.

**If the request is approved, the items listed under the Notes section must be addressed as applicable.*

Background:

The subject property consists of 0.43 acres (Lots 2, 3, 4, Block 3, Osceola Park) within the General Commercial (GC) zoning district. At its meeting of April, 14, 2010, The Site Plan Review and Appearance Board (SPRAB) approved a Class III Site Plan Modification (File No. 2010-094-SPM-SRB-CL3) to convert a vacant, 5,336 square feet office building into the Tzikas Medical Center (located at 526 SE 5th Avenue). As part of the site plan modification approval, the development received an adjustment in the required number of parking spaces from 27 spaces to 18, based on a special documentation submitted which identified the function of the office and its parking demand.

At its meeting of February 27, 2017, the Planning and Zoning Board reviewed, and recommended approval of a Conditional Use request to expand the existing facility and add a continuing care use (conditional use). The applicant withdrew the request prior to final consideration by the City Commission. The submitted "Description of Proposed Use" indicated that the first floor would provide a new waiting area, storage, and offices. The second floor would contain operating rooms. The third floor would contain four continuing care suites that allow patients to recuperate on site under medical supervision. The medical office uses would provide services from 7:30am to 5:00pm, with the continuing care rooms providing services up to 24 hours, every day of the week.

Project Description:

The current request is to expand the existing facility and add additional parking spaces. The lot to the south (Lot 5 Block 3) of the existing office has been incorporated into the development and increases the site size from 0.43 to 0.57 acres. The project consists of a two-story 5,464 square foot addition resulting in a total of 10,783 square feet dedicated for the use of a medical office. Associated site improvements include a total of 32 parking spaces; 28 parking spaces on-site and 4 on-street parallel parking spaces. The existing parking lot to the north will be redesigned as a dead-end parking lot with 14 spaces. A total of 14 additional spaces are proposed adjacent to the alley. An Internal Adjustment from LDR Section 4.6.9(D)(2)(b) provisions of ingress and egress when parking is adjacent to an alley, was submitted as 7 parking spaces adjacent to the alley provide a combined total depth of 40 ft. (parking space and alley depth) where 42 ft. is required. The proposal also includes a parking reduction request to the minimum number of required parking spaces, per LDR Section 4.6.9(F)(1). The proposal is required to provide 27 additional parking spaces for a 5,464 sf. building expansion and 14 new spaces are proposed (a total deficiency of 13 spaces to the minimum number of required spaces for medical offices).

The building addition is a contemporary style design and is proposed to match the existing one-story building. The elevations design consists of white smooth stucco walls, white aluminum windows and doors, flat roofs with parapets, and stacked stone wall accents in selected areas. Landscaping is proposed to meet the LDR requirements and to improve the site open space and surrounding areas.

**Site Plan Analysis:**

The following items identified in the Land Development Regulations shall specifically be addressed by the Site Plan Review and Appearance Board (SPRAB) for final action on the site and development applications/requests, as presented.

LDR Section 4.3.4(K) Development Standards Matrix

The following table demonstrates compliance with LDR Section 4.3.4(K) and Section 4.4.9 as it pertains to the GC Zoning District:

	Required	Provided
Minimum Lot Size	0	0.57 acres
Minimum Lot Width	0'	178.51'
Minimum Lot Depth	0'	123.50'
Minimum Lot Frontage	0'	178.51'
Setbacks*:		
Front (SE 5 th Avenue)	10'	10'-6"
Side Street (SE 6 th Street)	10'	10'
Side Interior (North)	10'	59'-5"
Rear (West)	10'	11'-7"
Maximum Building Height	48'	37.02'
Open Space (Min)	25%	29%
FAR (Max)	3.0	0.43

Parking Requirements: Pursuant to LDR Section 4.6.9(C)(4)(c) Number of Spaces Required for Office Uses, the minimum number of required parking spaces for Medical Offices is 5 per 1,000 sf. of gross floor area. The existing 5,336 square feet of medical office is approved with 18 spaces per the original Class III Site Plan Modification approval which includes the grant of a parking reduction request (file no. 2010-094). The proposed 5,464 sf. addition is required to provide a minimum of 27 additional parking spaces ($5,464 \text{ sf} \times 5 / 1,000 = 27 \text{ spaces}$). Thus, a total of 45 parking spaces is required ($18 + 27 = 45$). The applicant has submitted a parking reduction request to comply with the requirement as a total of 32 parking spaces are provided; 28 parking spaces on-site and 4 on-street parallel parking spaces (a total deficiency of 13 spaces to the minimum number of required spaces for medical offices).

Per LDR Section 4.6.9(F)(1), Special Provisions; Reduction Allowed, upon receipt and acceptance of special documentation, it is conclusively demonstrated that a reduced number of parking spaces will accommodate a specific use, the body which acts on the attendant site plan may reduce the parking requirements accordingly. The following was obtained from the special documentation provided by the applicant (the entire document is included as an attachment):

"The total number of staff members for the existing and proposed 2-story addition to the Tzikas Medical Center has been determined to be 12 staff members. However, please note that not all 12 staff members will be working on the same days.

The peak demand for staff members on site occurs on Mondays and Wednesdays where the demand is 8 staff members. This demand is compared to a slightly lower demand of 6 or fewer staff members on Tuesdays and Thursdays.

Based on patient load data from 2018, the anticipated maximum patient load occurring on Mondays and Wednesdays has been determined to be 19 patients on site at any one time. Also based on patient load data from 2018, the anticipated maximum patient load occurring on Tuesdays and Thursdays has been determined to be 13 patients on site at any one time.

Therefore, the anticipated maximum parking demand for the existing and proposed 2-story addition to the Tzikas Medical Center based on staffing needs and patient load data provided above:

Total of 27 spaces required (8 staff members & 19 patients on peak days of Mondays and Wednesdays) with 32 spaces provided. This parking space demand leaves a surplus of 5 spaces during peak demand on Mondays & Wednesdays and a surplus of 13 spaces during low demand on Tuesdays and Thursdays. See sheet SP-1 for



parking layout reflecting 32 parking spaces.”

Approval of the proposal would include acceptance by the Site Plan Review and Appearance Board that the justification provided by the applicant demonstrated that the reduced number of parking spaces from 45 spaces required to 32 spaces provided will accommodate the parking needs of the proposed 5,464 sf. addition.

Parking Design Standards:

Pursuant to LDR Section 4.6.9(D)(2) Provisions for ingress and egress, parking adjacent to an alley is allowed when the parking space and alley have a combined minimum depth of 42 feet and a minimum width of 10 feet and the location of parked vehicles does not impair sight distance of pedestrians or vehicles utilizing the alley. The proposal includes 14 parking spaces adjacent to the alley. A total of 7 spaces meet this requirement by providing a total width of 42 feet and a parking space depth of 10 ft. However, due to the location of the existing building, the 7 remaining spaces were designed as compact parking spaces (9 ft wide x 16 ft deep) and provide a total width of 40 ft. measured from the front of the parking space to the west side of the 20 ft. alley, where 42 ft. is required.

An internal adjustment to this requirement was provided by the applicant, in accordance with LDR Section 2.4.7(C). The procedures of an internal adjustment state that, a request for adjustment shall be considered concurrently with the development application with which it is associated. If a request is made after review by an advisory body has been completed, the request must first be reviewed by that body prior to action by the approving body. Conditions are not appropriate to the granting of an adjustment because the basis for granting the adjustment is that it provides a superior product than if the project were to comply with the letter of the regulations. The following was obtained from the request provided by the applicant (the entire document is included as an attachment):

As depicted on sheet SP-1, the alley and alley compact space combined depth is 40'-0". This condition applies to (7), alley compact spaces that are shown at 9'-0"x 16'-0". The applicant has specifically selected this area for the 2'-0" depth reduction as it is centrally located and does not impair sight distances of pedestrians and/ or vehicles. Granting this request will not diminish the practical application of LDR Section 4.6.9(D)(2)(b) and will result in a superior development for the surrounding community.

Approval of the proposal would include acceptance by the Site Plan Review and Appearance Board that the internal adjustment relief requested by the applicant is constitutes a superior product than if the project were to comply with the letter of the regulations.

Compact Parking Spaces:

Per LDR Section 4.6.9(C)(1) and (D)(7)(c), up to 30% of the required parking for any use may be designated for compact cars. Compact car parking areas shall have "compact car only" painted on the required wheel stops. The proposal consists of a total of 8 compact parking spaces or 25% of the proposed 32 spaces. Thus, this requirement is met.

Maneuvering Area:

Per LDR Section 4.6.9(D)(4)(c), dead-end parking bays are discouraged, but when site conditions dictate that there be dead-end parking bays, they shall be designed so that there is a 24 ft. wide by six feet deep maneuvering area at the end of the bay. This maneuvering area shall not encroach upon required landscape areas. The proposed two-way parking lot on the north side of the proposed was redesigned as a dead-end parking lot. A maneuvering area of 24 ft wide by 6 ft. deep is proposed. Thus, this requirement is met.

Location of Parking Spaces/ On-Street Parking:

Per LDR Section 4.6.9(E)(2), where adequate right-of-way exists, construction of additional on-street parking spaces directly and wholly abutting the lot, or parcel, may be counted towards the off-street parking requirement of the lot or parcel it is intended to serve, provided that it complies with subsection (a) through (c). One parking space credit shall be given for each additional full space constructed abutting a lot or parcel. The proposal includes four 22 ft wide by 9 ft. deep on-street parallel parking spaces adjacent to SE 6th Street. The proposed adjacent right-of-way has not been previously utilized for parking. The proposed designed of the parallel spaces is in accordance with the City's standards (a minimum of 22 ft. wide by 8 ft. deep is required) and, the spaces are proposed to be constructed by the applicant for access to the general public without restrictions. Thus, the proposal is allowed to include the proposed four on-street parking spaces as part of the overall parking requirement for the proposed development.

Bicycle Parking

LDR Section 4.6.9(C)(1)(c) and Transportation Element Policy D-2.2 of the Comprehensive Plan recommend that a bicycle parking



facility be provided. One bike rack accommodating up to three bikes is proposed to the west of the office main entrance and a second bike rack for up to three bikes is proposed adjacent to the secondary entrance door facing NE 6th Street.

Refuse Enclosure

Pursuant to LDR Section 4.6.6(C)(1), dumpsters, recycling containers and similar service areas must be enclosed on three (3) sides with vision obscuring gates on the fourth side, unless such areas are not visible from any adjacent public right-of-way. The dumpster enclosure is located in the rear of the building, with pick up access from the alley. A 6 ft. 8 in. screen fence is proposed to enclose the refuse area. A gate is proposed on the fourth side to enclose the refuse area. A detail of the proposed enclosure identifying compliance with this requirement is required to be provided or added to the plans prior to certification of the plans. This requirement is listed in the notes section of this report.

Lighting

Pursuant to LDR Section 4.6.8, on-site lighting must be provided and be consistent with the minimum and maximum foot candle illumination level requirements. The details provided indicate that wall mounted light fixtures and 20 ft. high light poles will be installed. The proposed fixtures shall be sharp cutoff luminaires, shall confine the light to the site only. The chart below demonstrates compliance with the minimum acceptable standards for lighting of building entrance parking lot, and accent pathway pursuant to LDR Section 4.6.8(B)(3)(c):

Photometric Plan	Requirements		Proposed	
	Minimum (fc)	Maximum (fc)	Minimum (fc)	Maximum (fc)
Building Entrances	1.0	10.0	1.1	2.4
Parking Lot	1.0	12	1.1	12

Dedication:

Per LDR Section 5.3.1(D)(2), the required right-of-way width for alleys is 20'. The subject development abuts an alley to the west. An alley dedication of 4 ft. is required for Lot 5 as the subject lot right-of-way width abutting the alley is 16 ft. This outstanding requirement is listed under the notes section of this report to be addressed prior to certification of the plans. In addition, the survey provided needs to be adjusted to depict the existing lot lines prior to the required dedication.

Infrastructure and Public Property:

Per LDR Section 6.1.2(C)(2)(e), property lines adjacent to local streets shall include 25 ft. radii. The subject property is required to provide a right-of-way dedication on the southeast corner to comply with this requirement as SE 6th Street is designated as a local street and the existing radius on the corner is 15 ft. This outstanding requirement is listed under the notes section of this report to be addressed prior to certification of the plans.

Landscape Analysis:

Pursuant to LDR section 4.6.16(C)(1)(a), prior to the issuance of a building permit for a structure or a paving permit, compliance with the requirements of Section 4.6.16 shall be assured through the review and approval of a landscape plan submitted pursuant to Section 2.4.3(C). The subject proposal is required to comply with the landscape standards. A proposed landscape plan has been submitted and evaluated by the Senior Landscape Planner and found to be in compliance.

The proposed plan provides perimeter and building foundation landscaping. The proposed landscaping consists of a variety of trees, shrubs, and ground covers including but not limited to: Gumbo Limbo trees, Silver Buttonwood trees, Slash Pine, Paradise tree, Southern Live Oak trees, Christmas Palm, Cabbage Palm, Triple Thatch Palm, Triple Montgomery Palm, Alexander Palm, Sabal Palm, Cocoplum, Clusia, Flax Lily, Super Fireball, Maki.

Mitigation Plan:

The following existing trees are proposed to be relocated on site: 6 Sabal Palm trees, 4 Gumbo Limbo trees, 2 Live Oak trees, 1 Montgomery Palm 'Triple' and 2 Slash Pine trees. These trees are proposed to be installed throughout the property to supplement the existing trees on site and the new ones. The report with further information on tree conditions and action is included on Landscape Plan sheet L-2.

**Landscape Barrier Between Vehicular Use:**

LDR Section 4.6.16(H)(3)(d) a landscaped barrier shall be provided between the off-street parking area or other vehicular use area and abutting properties. The landscape barrier may be two feet at the time of planting and achieve and be maintained at not less than three nor greater than six feet in height to form a continuous screen between the off-street parking area or vehicular use area and such abutting property. This landscape barrier shall be located between the common lot line and the off-street parking area or other vehicular use area in a planting strip of not less than five feet in width that is free of any vehicular encroachment, including car overhang. The planting area separating the parking spaces adjacent to the alley and the maneuvering area located within the dead-end parking lot measures 5ft from the face of the curb; per this requirement, the planting strip shall be no less than five feet in width. The proposal shall be revised to comply with this requirement prior to certification of the plans; if additional width is needed, the proposal allows for the conversion of one additional standard parking space to compact(8, or 25%, of a total of 32 spaces are currently proposed as compact and a maximum of 9 ,or 30%, compact spaces are allowed).

Architectural Elevation Analysis:

LDR Section 4.6.18(E) – Criteria for Board Action: The following criteria shall be considered, by the Site Plan Review and Appearance Board (SPRAB), in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste; good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

The building addition is a contemporary style design and is proposed to match the existing one-story building. The elevations design consists of white color, smooth stucco finish walls, white aluminum windows and doors, flat roofs with parapets, and stacked stone wall accents in selected areas. The blank wall facing the east elevation (visible from SE 5th Avenue) is where the wall sign is anticipated to be located. Please note, a separate application is required for the approval of signs.

Required Findings:

Pursuant to LDR Section 2.4.5(G)(1)(c), Class III Site Plan Modification, a modification to a site plan which represents either a change in intensity of use, or which affects the spatial relationship among improvements on the land, requires partial review of Performance Standards found in LDR Sections 3.1.1, and 3.2.3, as well as required findings of LDR Section 2.4.5(G)(5).

Pursuant to LDR Section 2.4.5(G)(5), a finding that the proposed changes do not significantly affect the originally approved plan must be made concurrent with approval of a Class III modification.

The development proposal involves the expansion of an existing 5,319 sf. medical facility. The expansion includes a two-story 5,464 sf. building increase, which is approximately a 52% increase in the existing square footage. The proposed addition is located on the adjacent property to the south. Improvements to the existing development include redesign of the parking lot on the west side to accommodate the parking spaces adjacent to the alley. A special documentation requesting the grant of a reduction was granted in the original building use conversion approval and is being requested once again with the same intent and analysis justification.

Pursuant to LDR Section 3.1.1 (Required Findings), prior to the approval of development applications, certain findings must be made in a form which is part of the official record. This may be achieved through information on the application, written materials submitted by the applicant, the staff report, or minutes. Findings shall be made by the body which has the authority to approve or deny the development application. These findings relate to the following areas:

Section 3.1.1 (B) - FUTURE LAND USE MAP: The use or structures must be allowed in the zoning district and the zoning district must be consistent with the land use designation).

The subject property has a Future Land Use Map (FLUM) designation of General Commercial (GC) and a zoning designation of



General Commercial (GC). The GC zoning district is consistent with the FLUM designation of GC. The current FLUM designation and zoning are supported in the Osceola Park Redevelopment Plan. Medical offices are allowed by right in the GC zoning district.

Section 3.1.1(B) - CONCURRENCY: Facilities which are provided by, or through, the City shall be provided to new development concurrent with issuance of a Certificate of Occupancy. These facilities shall be provided pursuant to levels of service established within the Comprehensive Plan.

Refer to Appendix A, as it relates to water, sewer, streets and traffic, parks and recreation, and solid waste.

Section 3.1.1(C) - CONSISTENCY: Compliance with performance standards set forth in Chapter 3 and required findings in Section 2.4.5(F)(5) for the request shall be the basis upon which a finding of overall consistency is to be made. Other objectives and policies found in the adopted Comprehensive Plan may be used in making a finding of overall consistency. A review of the objectives and policies of the adopted Comprehensive Plan was conducted, and the following applicable objective was found."

Comprehensive Plan Policies: A review of the objectives and policies of the adopted Comprehensive Plan was conducted and the following objective is noted.

Future Land Use Element - Objective A-1: Property shall be developed or redeveloped in a manner so that the future use and intensity is appropriate and complies in terms of soil, topographic, and other applicable physical considerations, is complimentary to adjacent land uses, and fulfills remaining land use needs.

There are no unique conditions in terms of soil, topography or physical considerations to the land that would be negatively impacted by its development. The proposed development of the subject property consists of an addition to an existing, structure and site improvements. The proposed use is compatible with the surrounding office sites to the north and east and the vehicle sales/commercial use to the south. The subject office site is separated from the adjacent residential uses to the west by an alley, which serves as a physical buffer between the residential properties and commercial site.

Transportation Element Policy D-2.2: Bicycle parking facilities shall be required on all new development and redevelopment.

The proposed project has provided racks to accommodate six bicycle parking spaces for the medical center.

Section 3.1.1(D) - COMPLIANCE WITH THE LAND DEVELOPMENT REGULATIONS (LDRs): Items identified in the Land Development Regulations shall specifically be addressed by the body taking final action on the site and development application/request.

Refer to the Analysis sections of this report, regarding compliance with the LDRs.

Review by Others:

The development proposal is not require review by the Community Redevelopment Agency (CRA), and is not located within the Downtown Development Authority (DDA), Pineapple Grove Main Street (PGMS), or West Atlantic Redevelopment Coalition (WARC) areas.

Courtesy Notices:

Courtesy notices have been provided as there is not a provided to the following homeowner's associations and/or civic group:

- Osceola Park
- Barton Apartments

Any correspondence received prior to the meeting date will be presented to the Board.



APPENDIX "A" - STANDARDS FOR SITE PLAN ACTIONS Sec. 3.2.3 (A) through (J):

- A. Building design, landscaping and lighting (glare) shall be such that they do not create unwarranted distractions or blockage of visibility as it pertains to traffic circulation.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- B. Separation of different forms of transportation shall be encouraged. This includes pedestrians, bicyclists and vehicles in a manner consistent with policies found under Objectives D-1 and D-2 of the Transportation Element.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- C. Open space enhancements as described in Policies found under Objective B-1 of the Open Space and Recreation Element are appropriately addressed.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- D. The City shall evaluate the effect that any street widening or traffic circulation modification may have upon an existing neighborhood. If it is determined that the widening or modification will be detrimental and result in a degradation of the neighborhood, the project shall not be permitted.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- E. Development of vacant land which is zoned for residential purposes shall be planned in a manner which is consistent with adjacent development regardless of zoning designations.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- F. Property shall be developed or redeveloped in a manner so that the future use and intensity are appropriate in terms of soil, topographic, and other applicable physical considerations; complementary to adjacent land uses; and fulfills remaining land use needs.
- ☐ Not applicable
☒ Meets intent of standard
☐ Does not meet intent
- G. Redevelopment and the development of new land shall result in the provision of a variety of housing types which shall continue to accommodate the diverse makeup of the City's demographic profile and meet the housing needs identified in the Housing Element. This shall be accomplished through the implementation of policies under Objective B-2 of the Housing Element.
- ☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent
- H. The City shall consider the effect that the proposal will have on the stability of nearby neighborhoods. Factors such as noise, odors, dust, traffic volumes and circulation patterns shall be reviewed in terms of their potential to negatively impact the safety, habitability and stability of residential areas. If it is determined that a proposed development will result in a degradation of any neighborhood, the project shall be modified accordingly or denied.
- ☐ Not applicable
☒ Meets intent of standard



☐ Does not meet intent

- I. Development shall not be approved if traffic associated with such development would create a new high accident location, or exacerbate an existing situation causing it to become a high accident location, without such development taking actions to remedy the accident situation.

☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent

- J. Tot lots and recreational areas, serving children from toddler to teens, shall be a feature of all new housing developments as part of the design to accommodate households having a range of ages. This requirement may be waived or modified for residential developments located in the downtown area, and for infill projects having fewer than 25 units.

☒ Not applicable
☐ Meets intent of standard
☐ Does not meet intent

Appendix "B" Concurrency:

Pursuant to LDR Section 3.1.1(B), Concurrency, as defined pursuant to Objective B-2 of the Land Use Element of the Comprehensive Plan, must be met and a determination made that the public facility needs of the requested land use and/or development application will not exceed the ability of the City to fund and provide, or to require the provision of, needed capital improvements for the following areas:

Water and Sewer:

- Water services are being provided via a connection to the existing services within the existing building.
- Sewer services are provided via a connection to an existing 8" sewer main located within the alley.

Pursuant to the Comprehensive Plan, treatment capacity is available at the City's Water Treatment Plant for the City at build-out. Pursuant to the Comprehensive plan, treatment capacity is also available at the South Central County Regional Waste Water Treatment Plant for the City at Build-out.

Streets and Traffic:

A traffic study has been submitted that indicates that the proposed 10,783 sq. ft. medical office will generate 202 new net daily trips, 13 new net AM peak hour trips and 13 new net PM peak hour trips. A letter from the Palm Beach County Traffic Division indicating that the project meets the Traffic Performance Standards of Palm Beach County is required prior to certification.

Parks and Recreation Facilities:

Park dedication requirements do not apply for non-residential uses. Thus, the proposed development will not have any impact with respect to this standard.

Solid Waste:

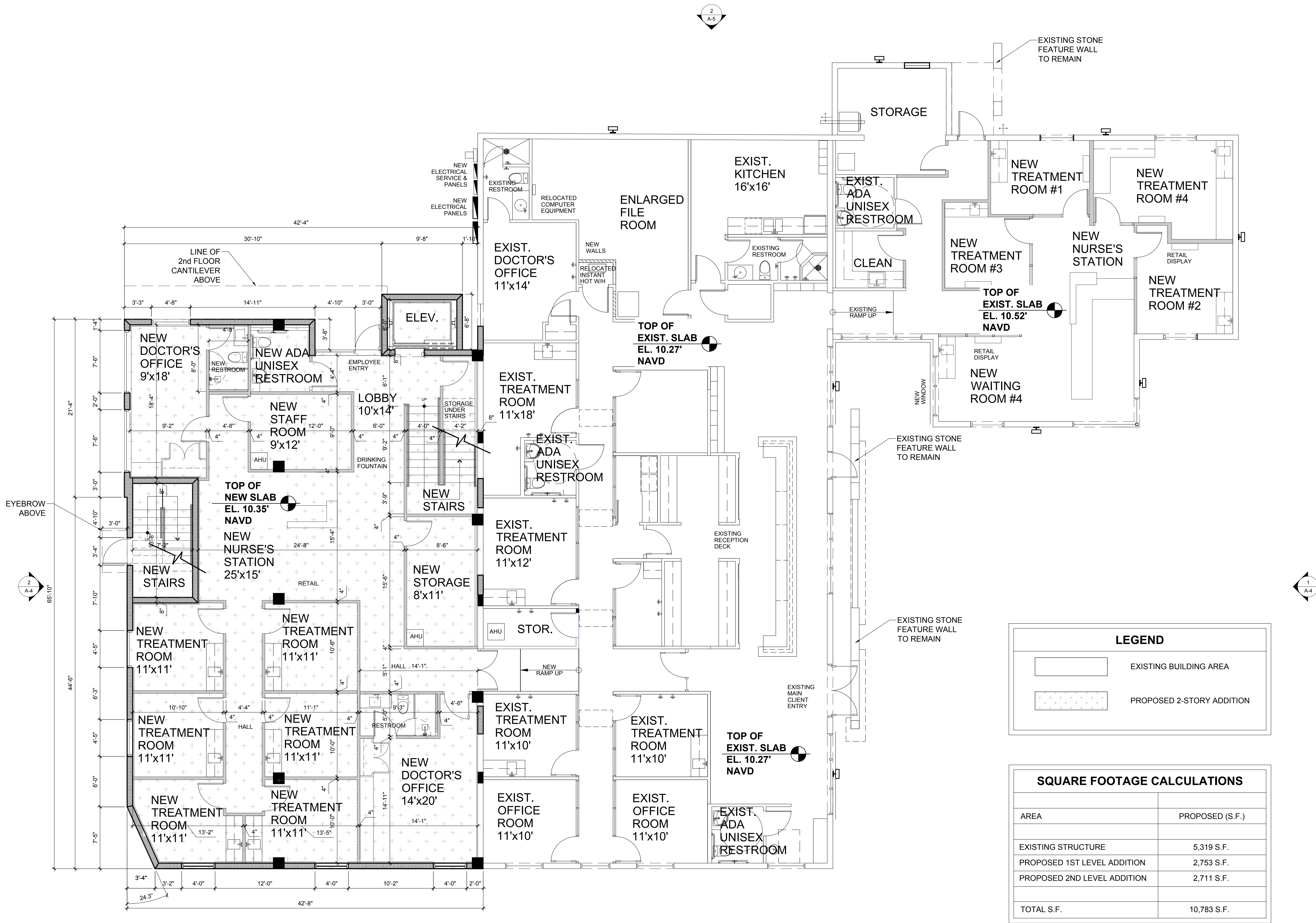
Existing Medical Office: 5,319 sq. ft. x 4.6 lbs. = 24,467 lbs. /2,000 = 12.23 tons per year

Proposed Expansion: 10,783 sq. ft. (5,319 + 5,464) sq. ft. total x 4.6 lbs. = 49,601 lbs. /2,000 = 24.80 tons per year

The proposed development will generate an increase of 12.57 tons of solid waste per year. The Solid Waste Authority has indicated that its facilities have sufficient capacity to accommodate all development proposals until 2047.

Drainage:

Drainage will be accommodated on site via an existing retention area and new and existing exfiltration trenches.



LEGEND

EXISTING BUILDING AREA

PROPOSED 2-STORY ADDITION

SQUARE FOOTAGE CALCULATIONS	
AREA	PROPOSED (S.F.)
EXISTING STRUCTURE	5,319 S.F.
PROPOSED 1ST LEVEL ADDITION	2,753 S.F.
PROPOSED 2ND LEVEL ADDITION	2,711 S.F.
TOTAL S.F.	10,783 S.F.

1 PROPOSED 1st FLOOR PLAN
3/16"=1'-0"

REVISIONS	BY	DATE
1	REVISED FOR REVIEW	02.12.18
2	REVISED AS PER 12.5.18 REVIEW	
3	REVISED AS PER 5.5.18 REVIEW	
4	REVISED AS PER 7.16.19 REVIEW	09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

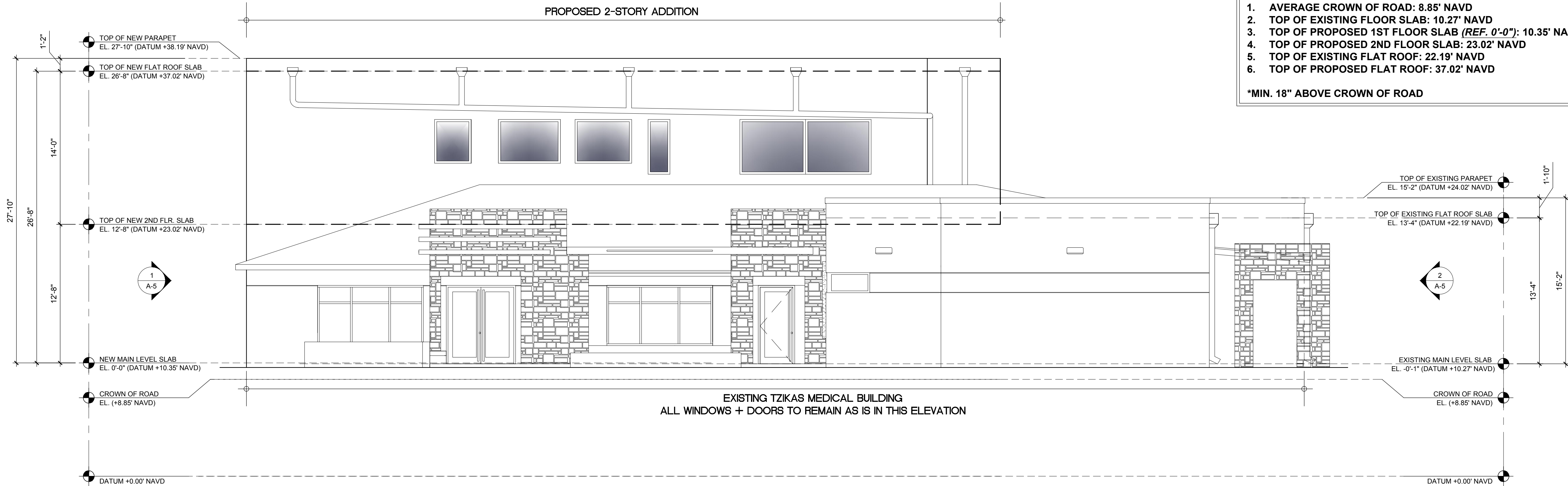
FL-0011005 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY A. RANDALL STOFFT ARCHITECTS, P.A. AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A. FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. IF THIS OFFICE MUST BE NOTIFIED OF ANY OMISSIONS FROM THESE DRAWINGS, SHOP DETAILS, OR OTHERS, BEFORE PROCEEDING WITH FABRICATION, ON TIME SO NOTED. © 2019. ALL RIGHTS RESERVED. RANDALL STOFFT ARCHITECTS P.A.

A-1

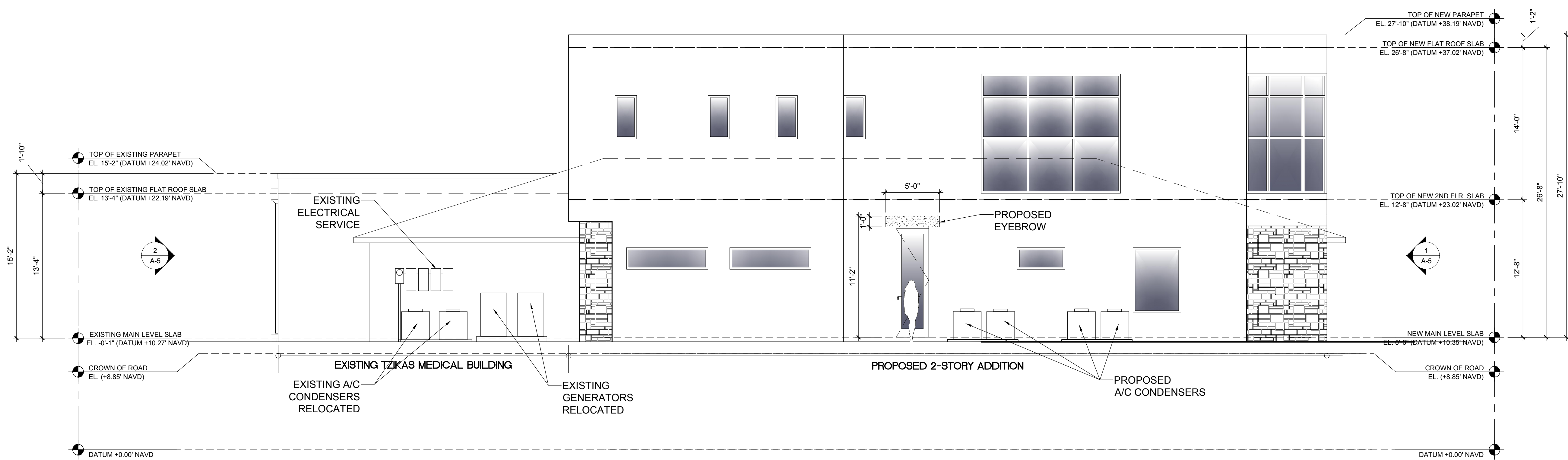


(1)



- ELEVATION HEIGHT NOTES:**
1. AVERAGE CROWN OF ROAD: 8.85' NAVD
 2. TOP OF EXISTING FLOOR SLAB: 10.27' NAVD
 3. TOP OF PROPOSED 1ST FLOOR SLAB (REF. 0'-0"): 10.35' NAVD*
 4. TOP OF PROPOSED 2ND FLOOR SLAB: 23.02' NAVD
 5. TOP OF EXISTING FLAT ROOF: 22.19' NAVD
 6. TOP OF PROPOSED FLAT ROOF: 37.02' NAVD
- *MIN. 18" ABOVE CROWN OF ROAD

1 PROPOSED NORTH ELEVATION
3/16"=1'-0"



2 PROPOSED SOUTH ELEVATION
3/16"=1'-0"

REVISIONS	BY	DATE
REVISD FOR REVIEW		02.12.18
REVISD AS PER 12.5.18 REVIEW		
REVISD AS PER 5.5.18 REVIEW		
REVISD AS PER 7.16.19 REVIEW	DWD	09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

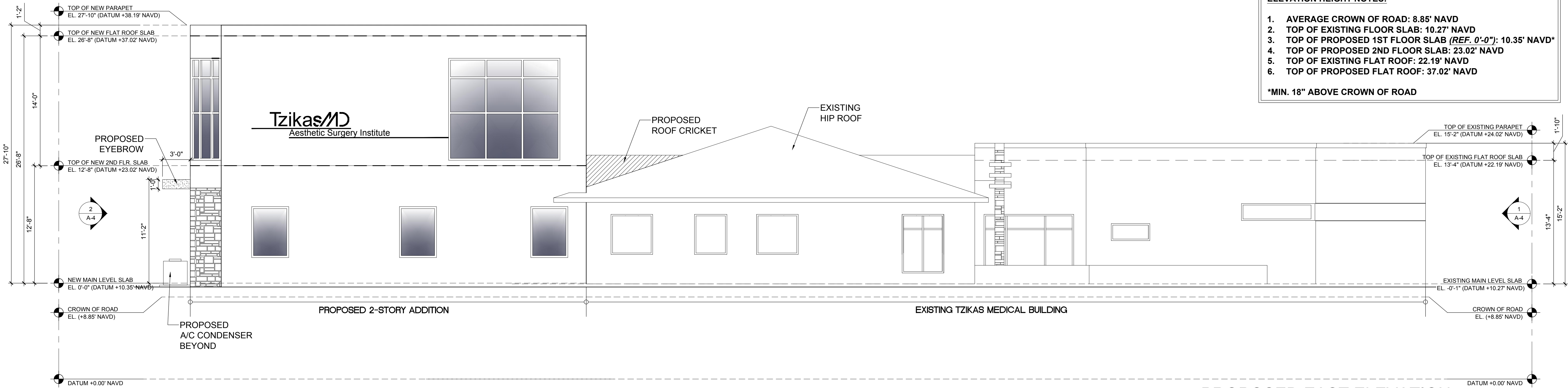
RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

FL-0011105 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF THIS OFFICE & ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. & THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. ON-TIME SO NOTED. ©2019 ALL RIGHTS RESERVED. RANDALL STOFFT ARCHITECTS P.A.

A-4

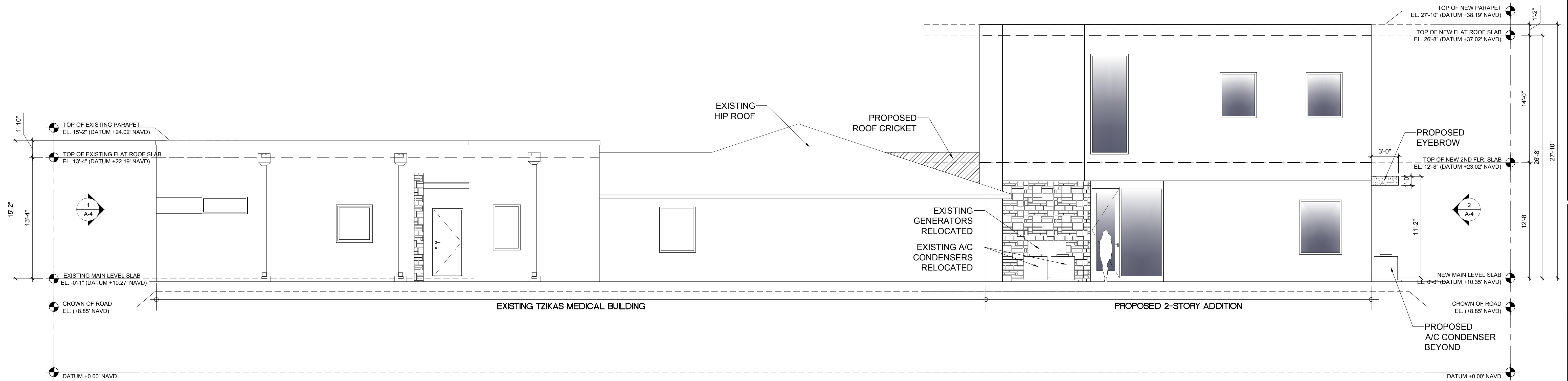


ELEVATION HEIGHT NOTES:

1. AVERAGE CROWN OF ROAD: 8.85' NAVD
2. TOP OF EXISTING FLOOR SLAB: 10.27' NAVD
3. TOP OF PROPOSED 1ST FLOOR SLAB (REF. 0'-0"): 10.35' NAVD*
4. TOP OF PROPOSED 2ND FLOOR SLAB: 23.02' NAVD
5. TOP OF EXISTING FLAT ROOF: 22.19' NAVD
6. TOP OF PROPOSED FLAT ROOF: 37.02' NAVD

*MIN. 18" ABOVE CROWN OF ROAD

1 PROPOSED EAST ELEVATION
3/16"=1'-0"



2 PROPOSED WEST ELEVATION
3/16"=1'-0"

REVISIONS	BY	DATE
△	REVISED FOR REVIEW	02.12.18
△	REVISED AS PER 12.5.18 REVIEW	
△	REVISED AS PER 6.5.18 REVIEW	
△	REVISED AS PER 7.16.18 REVIEW	DWD 09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

FL-0011005 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY A. RANDALL STOFFT ARCHITECTS, P.A. AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A. THE PROPERTY OF THIS OFFICE & ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A. FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. IF THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCY, IT MUST BE NOTIFIED IMMEDIATELY. FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION OR ITEMS SO NOTED. © 2019. ALL RIGHTS RESERVED. RANDALL STOFFT ARCHITECTS P.A.

A-5

	REVISIONS	BY	DATE
A	REVISED FOR PER REVIEW		02.12.18
B	REVISED AS PER 12.5.18 REVIEW		
C	REVISED AS PER 8.5.18 REVIEW		
D	REVISED AS PER 7.16.19 REVIEW	DWD	09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

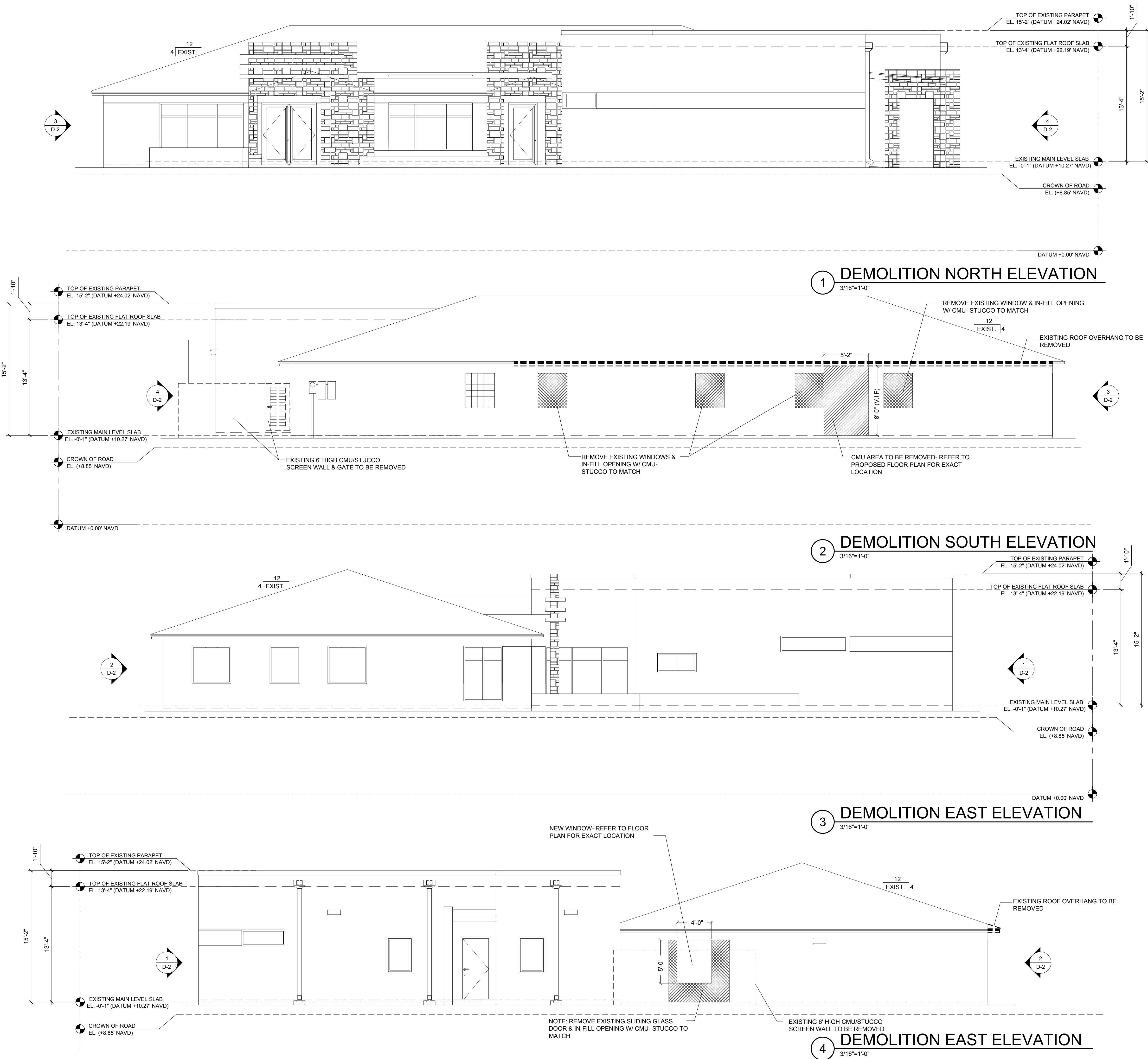
RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

FL-0011105 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF THIS OFFICE, AND WERE CREATED, DEVELOPED, AND EVOLVED, AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION WITHOUT THE WRITTEN PERMISSION OF RANDALL E. STOFF, ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED IMMEDIATELY IN WRITING OF ANY DISCREPANCIES OR CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED. © 2016. ALL RIGHTS RESERVED

D-2



NOTES

Contractor shall adjust sprinkler locations to insure proper coverage in common areas between new and existing landscaping.
Irrigation contractor to provide 100 percent and be built drawings.
Irrigation plan is for bid and permit purposes and shall not be utilized as a construction document.
Irrigation contractor will provide shop drawings and product specifications (not sheets) and installation documents, to the Landscape Architect for review, comment and approval.
PIPING
Pipe shall be installed in accordance with local codes and pipe manufacturer's recommendations.
Pipe routed under pavement and patio shall be sleeved in SCH 40 PVC. Contractor shall provide existing sheets.
Main line shall be schedule 40 PVC.
All pipe shall be Type 1120 PVC. Laterals sized 1" and larger shall be SDR 26, Class 150. Laterals sized 3/4" shall be SDR 21, Class 200.
Pipe shall be installed no backfill depth are maintained at 18 inches for the main line and all laterals routed under pavement, and at 12 inches for all other laterals.
Backfill shall be of suitable material free of rocks, stones, or other debris that would damage irrigation system components.
Toro 250 Series Valves 24V valves shall be installed on the main line at strategic locations for action location. Each valve shall be afforded access in the field via a valve box.
Toro 530 Series Valves 24V valves shall be installed on the main line at strategic locations for action location. Each valve shall be afforded access in the field via a valve box.

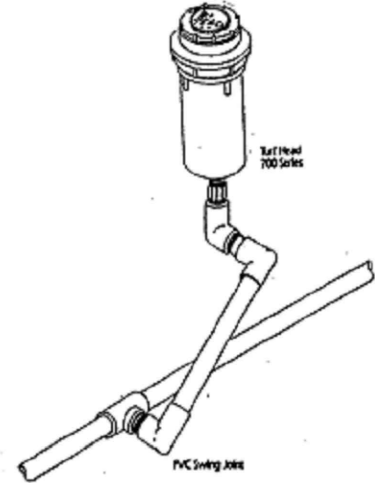
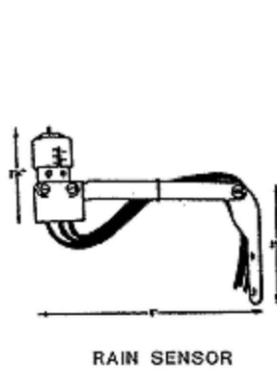
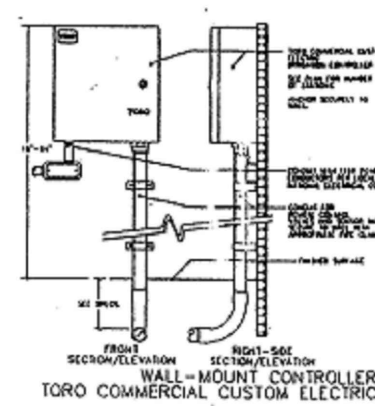
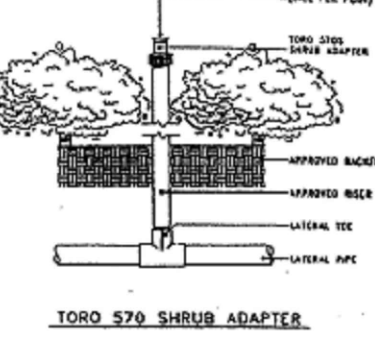
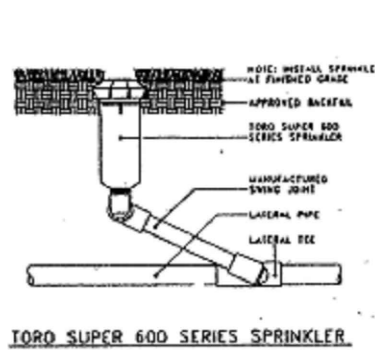
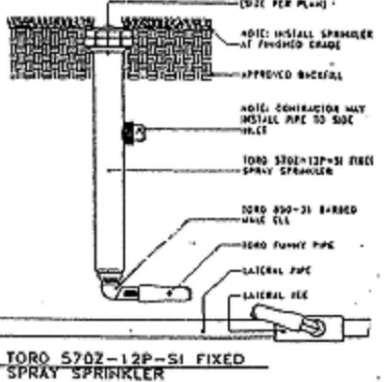
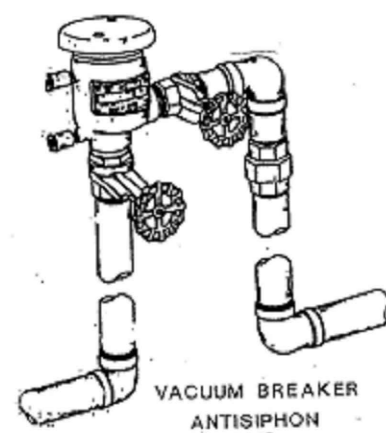
SPRINKLERS

Sprinkler locations shall be adjusted for wind, landscaping and mounding to insure proper coverage with minimal undervalue overlap.
Pop-up rotary and rotary installed with Toro 530 series heads. Stub type rotary heads shall be installed on 3/4" SCH 40 PVC riser which shall be installed to match.
Stub heads shall be installed a uniform height of 6 inches above plant material and shall be located to be concealed from view and inaccessible to traffic.
Bubbles shall be installed on SCH 40 risers to the low height for the most effective irrigation of the plants to be watered. Bubbles are optional for zone 6 plants.
All SCH 40 PVC risers shall be painted green to blend in with plant material.
All sprinklers located adjacent to pavement, walkways, patios, etc., shall be installed in from the edge to minimize the chance of damage by vehicles, pedestrians and lawn maintenance personnel. Pop-up heads shall be installed 1/2" and stub type heads shall be installed 1/2".
Adjustment features of sprinklers specified shall be utilized to insure proper coverage while minimizing overwatering.

WATER SOURCE

CONTROL SYSTEM

Toro
Electric outdoor controller with manual
Toro 530 Series Valves 24V valves shall be installed on the main line at strategic locations for action location. Each valve shall be afforded access in the field via a valve box.
Toro 530 Series Valves 24V valves shall be installed on the main line at strategic locations for action location. Each valve shall be afforded access in the field via a valve box.
Automatic underground irrigation system with a rain sensing soil device shall be designed and installed.
The system shall provide a minimum coverage of 100% with 50% overlap.
Irrigation water shall be not less than



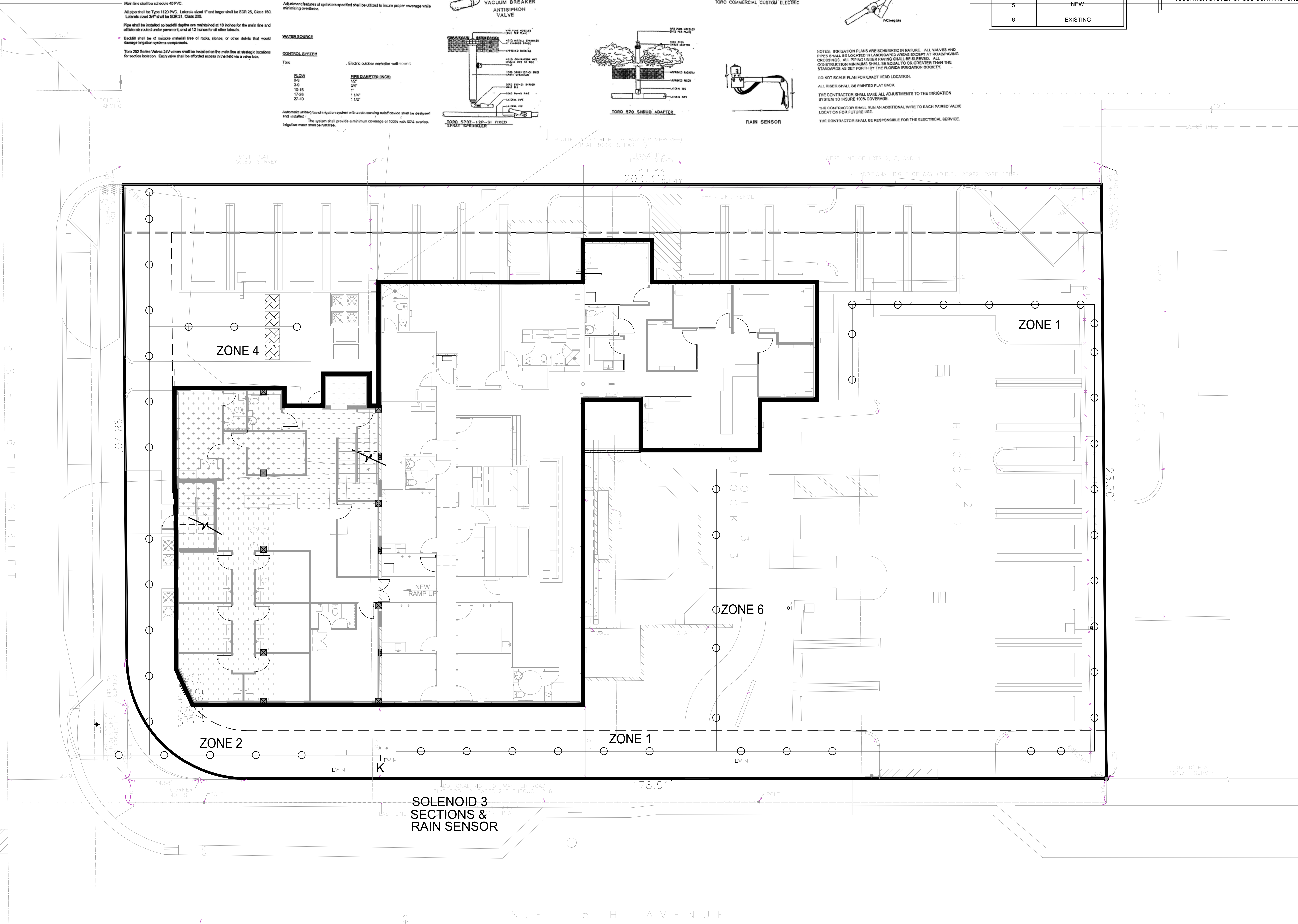
IRRIGATION ZONES

ZONE	EXISTING / NEW
1	EXISTING
2	NEW
3	NEW
4	NEW
5	NEW
6	EXISTING

IRRIGATION NOTES

1. WATER SERVICE FOR IRRIGATION SYSTEM SHALL BE OFF WELL WATER, 1-1/2" LINE WITH VALVE & SOLENOID THREE SECTION (40 GALLONS PER MINUTE) PROVIDE RUST INHIBITOR
2. ALL PERMITS AND LICENSES SUCH AS NOT LIMITING TO SOUTH FLORIDA WATER MANAGEMENT WILL BE OBTAINED PRIOR TO THE ISSUANCE OF PERMIT FOR IRRIGATION SYSTEM OF SUB CONTRACTORS

NOTES: IRRIGATION PLANS ARE SCHEMATIC IN NATURE. ALL VALVES AND PIPES SHALL BE LOCATED IN LANDSCAPED AREAS EXCEPT AT ROADPAVING CROSSINGS. ALL PIPING UNDER PAVING SHALL BE SLEEVED. ALL CONSTRUCTION MINIMUMS SHALL BE EQUAL TO OR GREATER THAN THE STANDARDS AS SET FORTH BY THE FLORIDA IRRIGATION SOCIETY.
DO NOT SCALE PLAN FOR EXACT HEAD LOCATION.
ALL RISERS SHALL BE PAINTED PLANT BACK.
THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO INSURE 100% COVERAGE.
THE CONTRACTOR SHALL RUN AN ADDITIONAL WIRE TO EACH PAIRED VALVE LOCATION FOR FUTURE USE.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL SERVICE.



BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

FL-001105 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY A. RANDALL STOFFT ARCHITECTS, P.A. AND ARE THE PROPERTY OF THE OFFICE. ANY REUSE, REPRODUCTION, OR DEVELOPMENT FOR USE ON A PROJECT OTHER THAN THE SPECIFIED PROJECT, WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A., IS PROHIBITED. ANY REUSE, REPRODUCTION, OR DEVELOPMENT FOR USE ON A PROJECT OTHER THAN THE SPECIFIED PROJECT, WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A., IS PROHIBITED. ANY REUSE, REPRODUCTION, OR DEVELOPMENT FOR USE ON A PROJECT OTHER THAN THE SPECIFIED PROJECT, WITHOUT THE WRITTEN PERMISSION OF RANDALL STOFFT ARCHITECTS, P.A., IS PROHIBITED.

IR-1

REVISIONS	BY	DATE
△	REVISED FOR REVIEW	02.12.18
△	REVISED AS PER 12.5.18 REVIEW	
△	REVISED AS PER 8.5.18 REVIEW	
△	REVISED AS PER 7.16.18 REVIEW	DWD 09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL

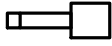
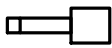



RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

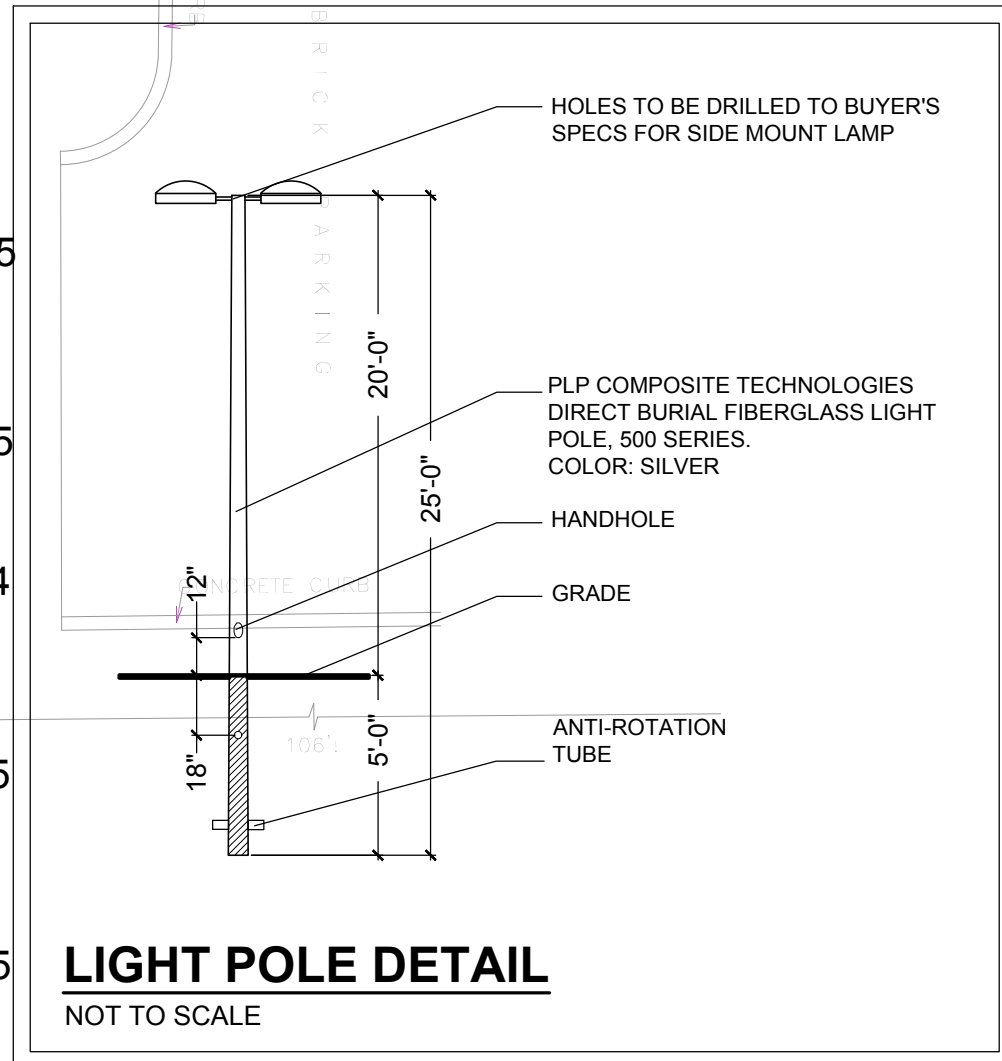
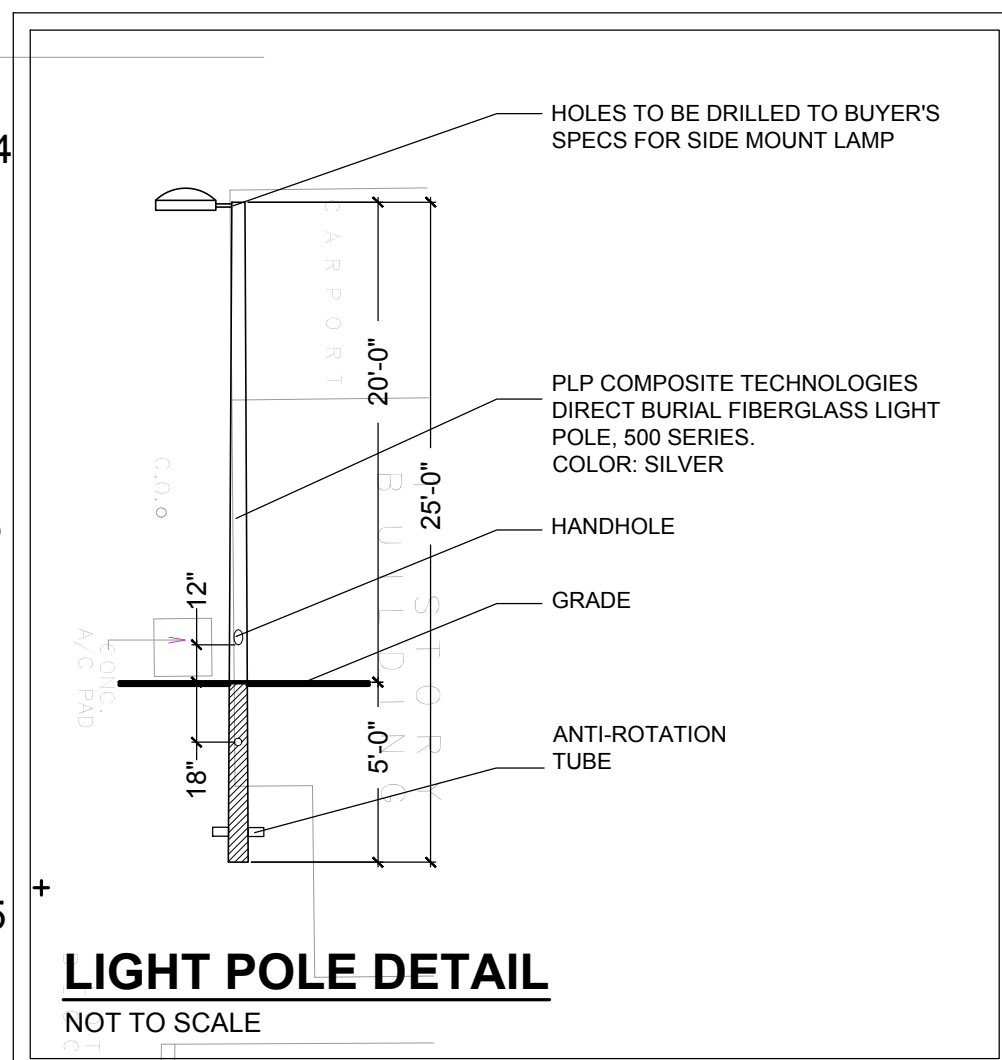
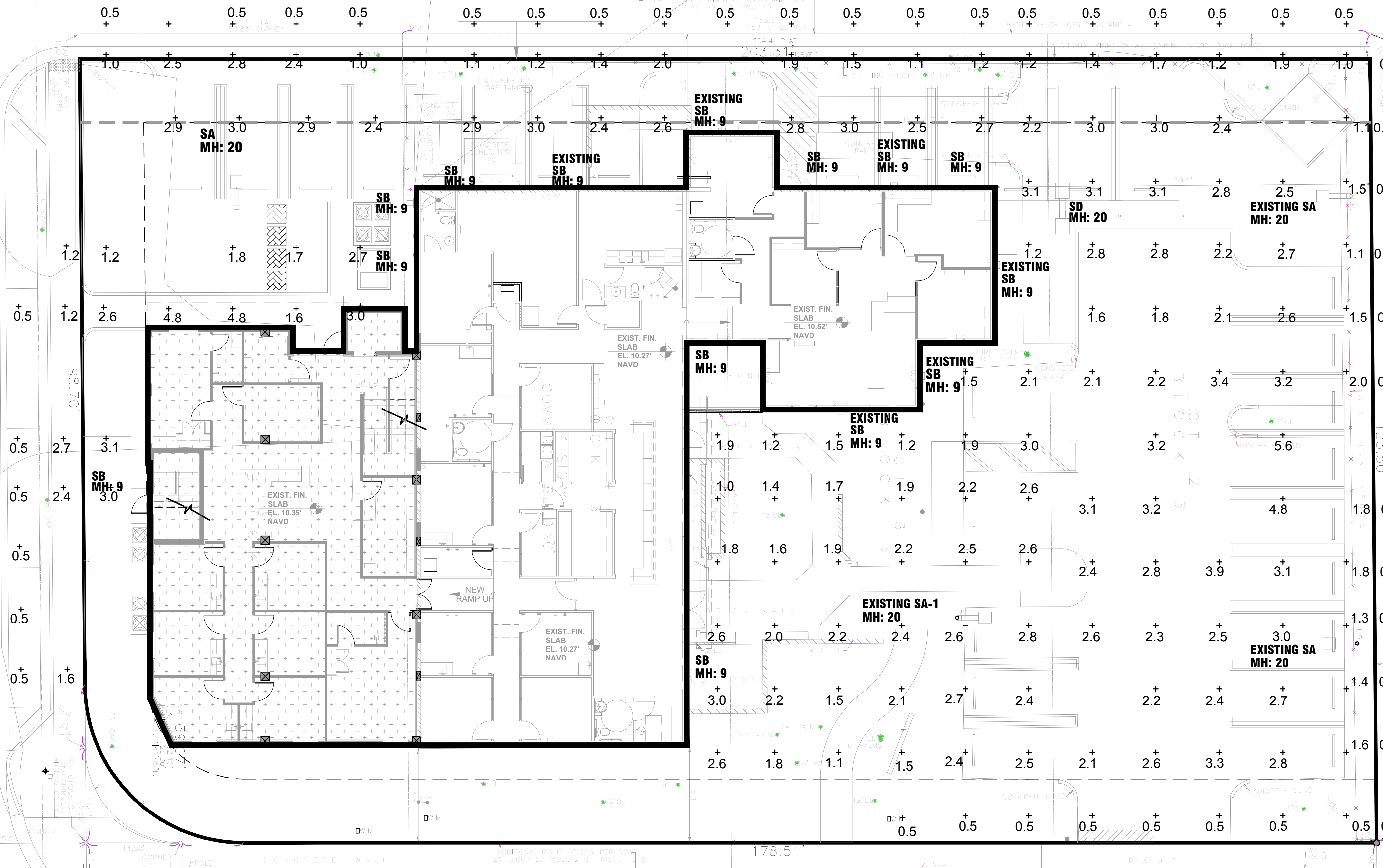
FL-0011005 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY A MEMBER OF THE STOFFT ARCHITECTS FIRM. THE PROPERTY OF THE STOFFT ARCHITECTS FIRM IS HEREBY RESERVED. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. IF THIS OFFICE MUST BE NOTIFIED OF ANY DISCREPANCIES, SUCH DETAILS, OR CONDITIONS SHOWN BY THESE DRAWINGS, SUCH DETAILS, OR CONDITIONS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. ON-TIME SO NOTED. ©2019 ALL RIGHTS RESERVED. RANDALL STOFFT ARCHITECTS P.A.

PH-1

Luminaire Schedule			Project: TZIKAS MEDICAL CENTER													
Symbol	Qty	Label	Arrang.	Lumens	Description	LDD	LLD	LLF	Total Watts	No. Lamps	Total Lumens	MANUFACTURER	LUMINAIRE CATALOG #	LAMP & BALLAST		
	1	SA	SINGLE	17500	CAR-1-HT1-T4-175PS-LTE-BOA10/20' AFG Fiber Pole	0.9	0.8	0.720	199	1	17500	VISIONAIRE LIGHTING, LLC	CAR-1-HT1-T4-175PS-LTE-BOA10, COLOR- GREY	175w VERTICAL POSITION ED17 PULSE START VENTURE LAMP MS 175wBUIMEDI/PS/740 with VENTURE BALLAST V90D7211		
	0	SA1	SINGLE	17500	CAR-1-HT1 T3-175PS-VLFG-SEG FLAT LENS-BOA10/20' AFG Fiber Pole	0.9	0.8	0.720	199	1	17500	VISIONAIRE LIGHTING, LLC	CAR-1-HT1 T3-175PS-VLFG-SEG FLAT LENS-BOA10, COLOR- GREY	175w VERTICAL POSITION ED17 PULSE START VENTURE LAMP MS 175wBUIMEDI/PS/740 with VENTURE BALLAST V90D7211		
	8	SB	SINGLE	3100	MHC-1 T3-50MH DL/Wall Mt	0.9	0.8	0.720	68	1	3100	VISIONAIRE LIGHTING, LLC	MHC-1 T3-50PS DL, COLOR- GREY	50 w HORZ POSITION ED17 PULSE START VENTURE LAMP MH 50w/U/PS with VENTURE BALLAST V90D5731		
	6	SC	SINGLE	2700	RA8LNC-630K-12D2			0.90	45	1	2700	CONTECH LIGHTING	RA8LNC-630K-12D2	45 w LED DOWNLIGHT / 1050mA DRIVER		
	1	SD	DOUBLE	35000	(2) CAR-1-HT1-T4-175PS-LTE-BOA10/20' AFG Fiber Pole	0.9	0.8	0.720	398	2	35000	VISIONAIRE LIGHTING, LLC	CAR-1-HT1-T4-175PS-LTE-BOA10, COLOR- GREY	175w VERTICAL POSITION ED17 PULSE START VENTURE LAMP MS 175wBUIMEDI/PS/740 with VENTURE BALLAST V90D7211		

CALCULATION SUMMARY:							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	2.78	12.0	1.1	2.53	12:1
SIDEWALK	Illuminance	Fc	3.42	2.4	1.1	1.63	NA





NORTHWEST VIEW



SOUTHWEST VIEW




SOUTHEAST VIEW



NORTH VIEW

REVISIONS	BY	DATE
△ REVISED FOR REVIEW		02.12.18
△ REVISED AS PER 12.5.18 REVIEW		
△ REVISED AS PER 3.5.18 REVIEW		
△ REVISED AS PER 7.16.19 REVIEW	DWD	09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL



RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

Job No. 1909047

FL-001105 FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & DEVELOPED FOR USE ON, & IN CONNECTION WITH THE SPECIFIC PROJECT. THE PROPERTY OF THIS OFFICE & ARE NOT TO BE REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. & THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH FABRICATION. ON ITEMS SO NOTED. © 2019. ALL RIGHTS RESERVED. RANDALL STOFFT ARCHITECTS P.A.

R-1

REVISIONS

BY

DATE

REVISED FOR REVIEW

02.12.18

REVISED AS PER 12.18 REVIEW

REVISED AS PER 12.18 REVIEW

REVISED AS PER 12.18 REVIEW

REVISED AS PER 7.16.18 REVIEW

DWD

09.23.19

BUILDING ADDITION

THOMAS L. TZIKAS

526 S.E. 5th AVENUE

DELRAY BEACH, FL

RANDALL STOFFT

ARCHITECTS

distinctive. inspirational. architecture.

Job No. 1909047

FL-0011005

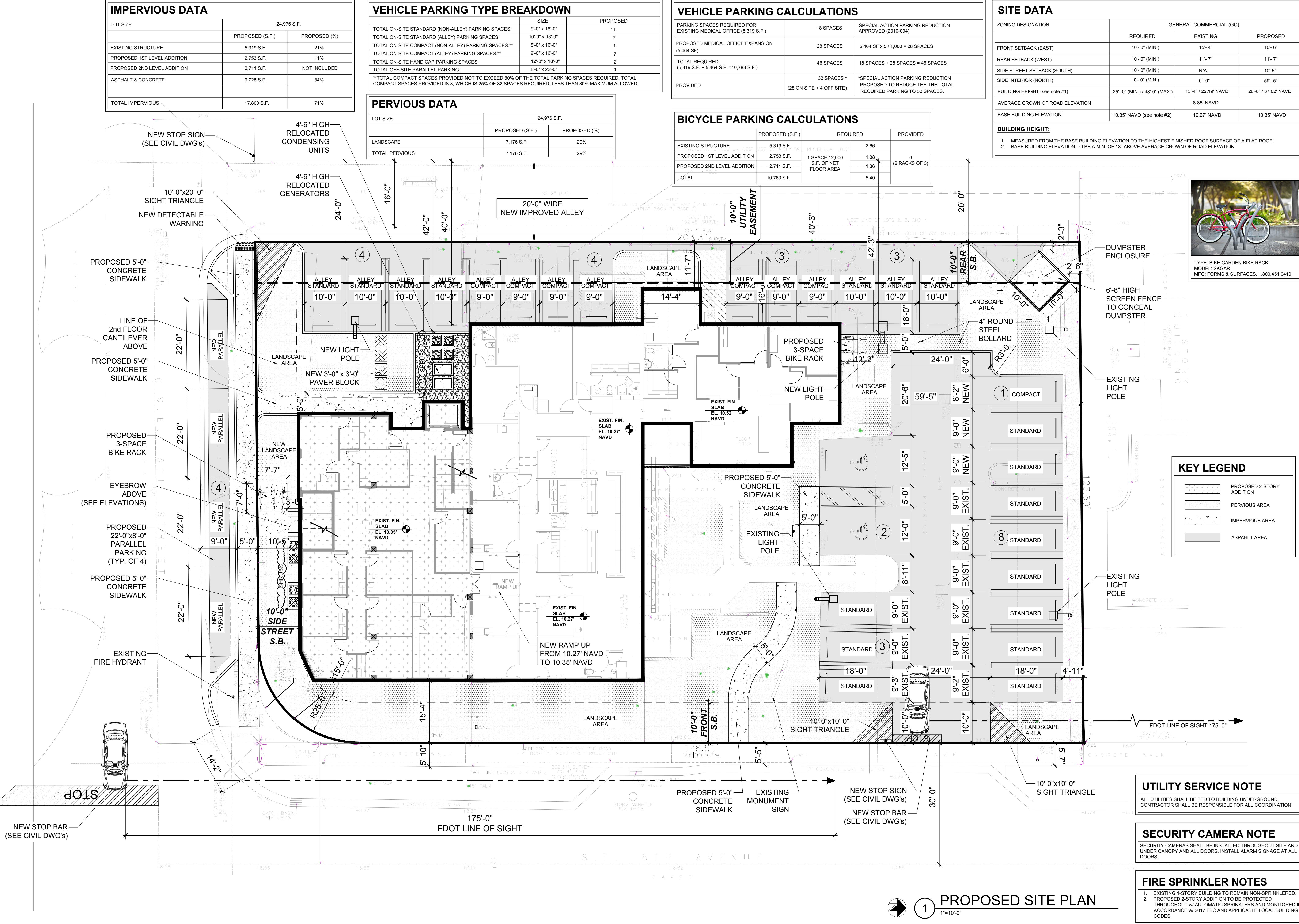
FIRM-AA003379

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY A MEMBER OF THE FIRM. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. SHALL BE OBTAINED BEFORE ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A. FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL L. STOFFT ARCHITECTS, P.A.

SP-1

42 N SWINTON AVE, DELRAY BEACH, FL 33444 (561) 245-0799 • NAPLES, FL (239) 262-7677 • WWW.STOFFT.COM

Y:\Delray\Projects\COMMERCIAL\1909047-TZIKAS MEDICAL OFFICE ADDITION\Sheet Files\SP-1-Site Plan.dwg, 9/23/2019 12:59:39 PM



IMPERVIOUS DATA		
LOT SIZE	24,976 S.F.	
	PROPOSED (S.F.)	PROPOSED (%)
EXISTING STRUCTURE	5,319 S.F.	21%
PROPOSED 1ST LEVEL ADDITION	2,753 S.F.	11%
PROPOSED 2ND LEVEL ADDITION	2,711 S.F.	NOT INCLUDED
ASPHALT & CONCRETE	9,728 S.F.	34%
TOTAL IMPERVIOUS	17,800 S.F.	71%

VEHICLE PARKING TYPE BREAKDOWN		
	SIZE	PROPOSED
TOTAL ON-SITE STANDARD (NON-ALLEY) PARKING SPACES:	9'-0" x 18'-0"	11
TOTAL ON-SITE STANDARD (ALLEY) PARKING SPACES:	10'-0" x 18'-0"	7
TOTAL ON-SITE COMPACT (NON-ALLEY) PARKING SPACES:**	8'-0" x 16'-0"	1
TOTAL ON-SITE COMPACT (ALLEY) PARKING SPACES:**	9'-0" x 16'-0"	7
TOTAL ON-SITE HANDICAP PARKING SPACES:	12'-0" x 18'-0"	2
TOTAL OFF-SITE PARALLEL PARKING:	8'-0" x 22'-0"	4
**TOTAL COMPACT SPACES PROVIDED NOT TO EXCEED 30% OF THE TOTAL PARKING SPACES REQUIRED. TOTAL COMPACT SPACES PROVIDED IS 8, WHICH IS 25% OF 32 SPACES REQUIRED, LESS THAN 30% MAXIMUM ALLOWED.		

PERVIOUS DATA		
LOT SIZE	24,976 S.F.	
	PROPOSED (S.F.)	PROPOSED (%)
LANDSCAPE	7,176 S.F.	29%
TOTAL PERVIOUS	7,176 S.F.	29%

VEHICLE PARKING CALCULATIONS		
PARKING SPACES REQUIRED FOR EXISTING MEDICAL OFFICE (5,319 S.F.)	18 SPACES	SPECIAL ACTION PARKING REDUCTION APPROVED (2010-094)
PROPOSED MEDICAL OFFICE EXPANSION (5,464 SF)	28 SPACES	5,464 SF x 5 / 1,000 = 28 SPACES
TOTAL REQUIRED (5,319 S.F. + 5,464 S.F. = 10,783 S.F.)	46 SPACES	18 SPACES + 28 SPACES = 46 SPACES
PROVIDED	32 SPACES * (28 ON SITE + 4 OFF SITE)	*SPECIAL ACTION PARKING REDUCTION PROPOSED TO REDUCE THE TOTAL REQUIRED PARKING TO 32 SPACES.

BICYCLE PARKING CALCULATIONS			
	PROPOSED (S.F.)	REQUIRED	PROVIDED
EXISTING STRUCTURE	5,319 S.F.	2.66	
PROPOSED 1ST LEVEL ADDITION	2,753 S.F.	1.38	
PROPOSED 2ND LEVEL ADDITION	2,711 S.F.	1.38	
TOTAL	10,783 S.F.	5.40	6 (2 RACKS OF 3)

SITE DATA			
ZONING DESIGNATION	GENERAL COMMERCIAL (GC)		
	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK (EAST)	10'-0" (MIN.)	15'-4"	10'-6"
REAR SETBACK (WEST)	10'-0" (MIN.)	11'-7"	11'-7"
SIDE STREET SETBACK (SOUTH)	10'-0" (MIN.)	N/A	10'-5"
SIDE INTERIOR (NORTH)	0'-0" (MIN.)	0'-0"	59'-5"
BUILDING HEIGHT (see note #1)	25'-0" (MIN.) / 48'-0" (MAX.)	13'-4" / 22.19' NAVD	26'-8" / 37.02' NAVD
AVERAGE CROWN OF ROAD ELEVATION	8.85' NAVD		
BASE BUILDING ELEVATION	10.35' NAVD (see note #2)	10.27' NAVD	10.35' NAVD
BUILDING HEIGHT: 1. MEASURED FROM THE BASE BUILDING ELEVATION TO THE HIGHEST FINISHED ROOF SURFACE OF A FLAT ROOF. 2. BASE BUILDING ELEVATION TO BE A MIN. OF 18" ABOVE AVERAGE CROWN OF ROAD ELEVATION.			



TYPE: BIKE GARDEN BIKE RACK
MODEL: SKGAR
MFG: FORMS & SURFACES, 1.800.451.0410



KEY LEGEND	
	PROPOSED 2-STORY ADDITION
	PERVIOUS AREA
	IMPERVIOUS AREA
	ASPHALT AREA

UTILITY SERVICE NOTE
ALL UTILITIES SHALL BE FED TO BUILDING UNDERGROUND. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION

SECURITY CAMERA NOTE
SECURITY CAMERAS SHALL BE INSTALLED THROUGHOUT SITE AND UNDER CANOPY AND ALL DOORS. INSTALL ALARM SIGNAGE AT ALL DOORS.

FIRE SPRINKLER NOTES
1. EXISTING 1-STORY BUILDING TO REMAIN NON-SPRINKLERED.
2. PROPOSED 2-STORY ADDITION TO BE PROTECTED THROUGHOUT w/ AUTOMATIC SPRINKLERS AND MONITORED IN ACCORDANCE w/ 2017 FBC AND APPLICABLE LOCAL BUILDING CODES.

1 PROPOSED SITE PLAN
1"=10'-0"




RANDALL STOFFT
ARCHITECTS
distinctive. inspirational. architecture.

--	--

SP-2

FIRE SPRINKLER NOTES

1. EXISTING 1-STORY BUILDING TO REMAIN NON-SPRINKLERED.
2. PROPOSED 2-STORY ADDITION TO BE PROTECTED THROUGHOUT w/ AUTOMATIC SPRINKLERS AND MONITORED IN ACCORDANCE w/ 2017 FBC AND APPLICABLE LOCAL BUILDING CODES.

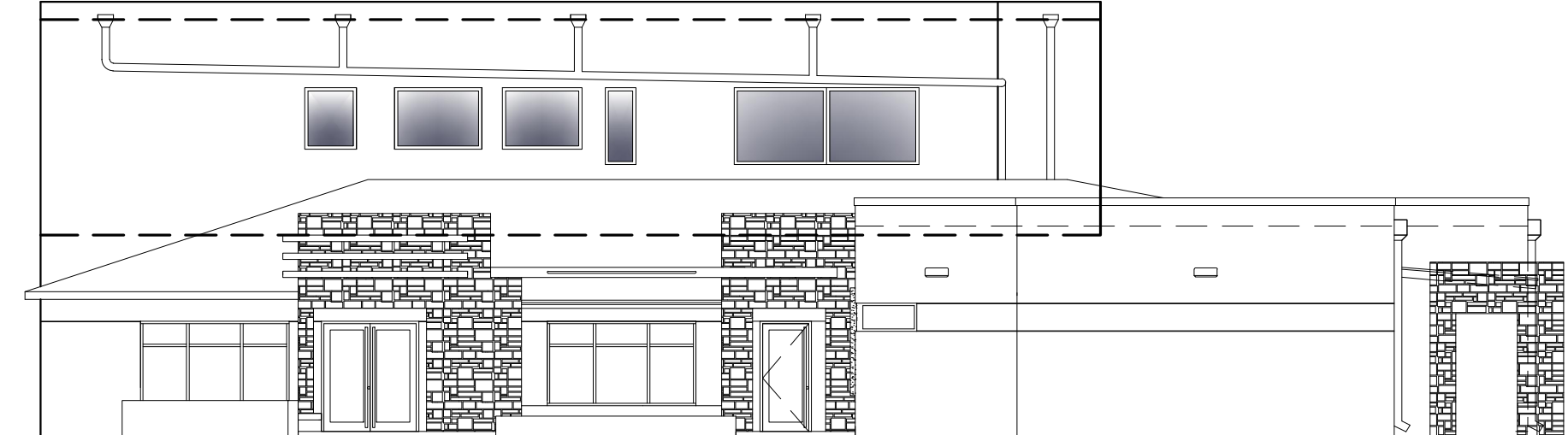
 **1** **PROPOSED 2nd FLOOR SITE PLAN**
1"=10'-0"

BUILDING ADDITION

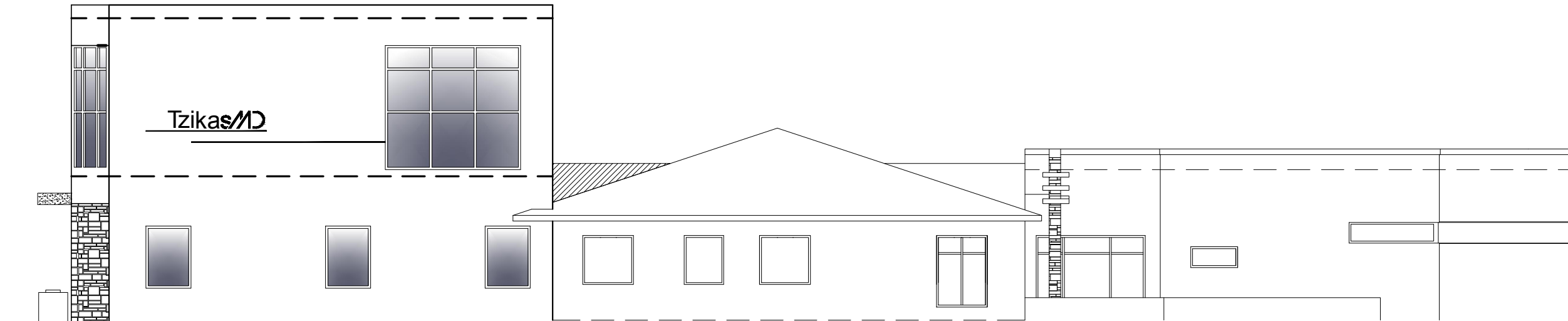
THOMAS TZIKAS, M.D.

526 S.E. 5th AVENUE

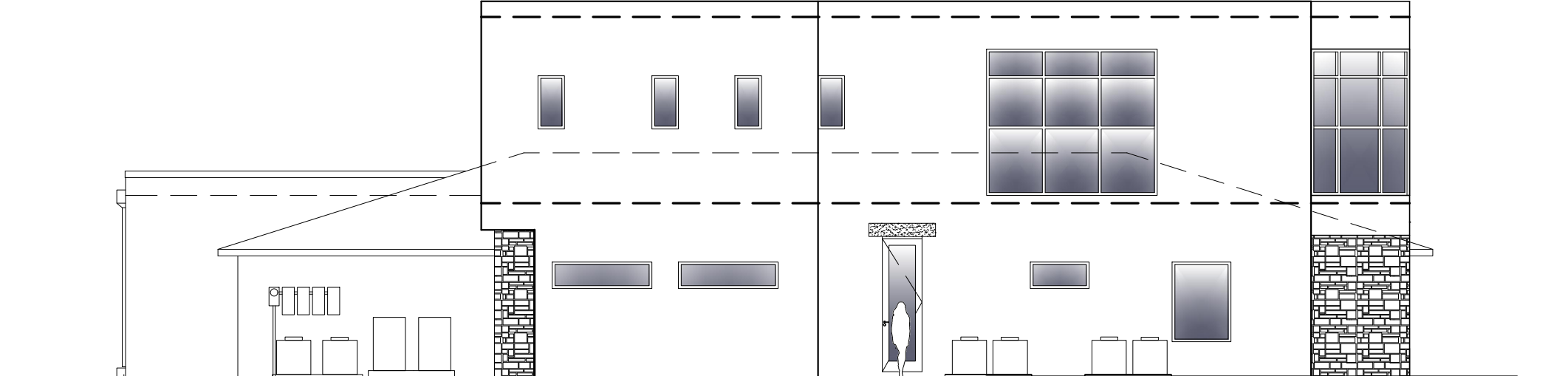
DELRAY BEACH, FLORIDA



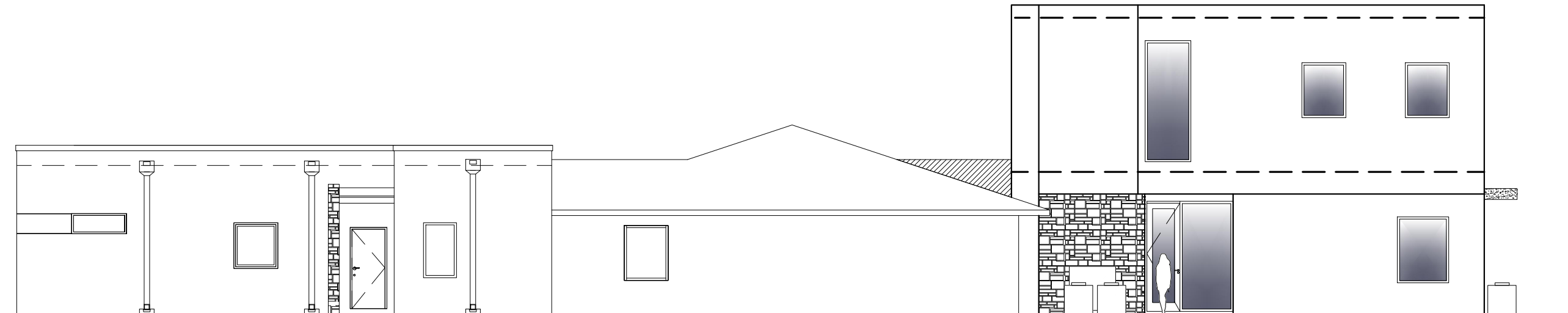
PROPOSED NORTH ELEVATION

$$3/32'' = 1'-0''$$


PROPOSED EAST ELEVATION

$$3/32'' = 1'-0$$


PROPOSED SOUTH ELEVATION

$$3/32'' = 1' - 0$$


PROPOSED WEST ELEVATION

$$3/32'' = 1' - 0$$

SHEET INDEX:

T-1	TITLE SHEET
R-1	RENDERINGS
SHEET 1 OF 1	SURVEY
SHEET 1 OF 6	ENGINEERING PLAN
SHEET 2 OF 6	DETAILS
SHEET 3 OF 6	DETAILS
SHEET 4 OF 6	DETAILS
SHEET 5 OF 6	DETAILS
SHEET 6 OF 6	DETAILS
D-1	DEMOLITION PLAN
D-2	DEMOLITION ELEVATIONS
SP-1	PROPOSED SITE PLAN
SP-2	PROPOSED 2nd FLOOR SITE PLAN
A-1	PROPOSED 1st FLOOR PLAN
A-2	PROPOSED 2nd FLOOR PLAN
A-3	ROOF PLAN
A-4	PROPOSED NORTH & SOUTH ELEVATIONS
A-5	PROPOSED EAST & WEST ELEVATIONS
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	PLANTING NOTES AND DETAILS
IR-1	IRRIGATION PLANS
PH-1	PHOTOMETRIC PLAN
CP-1	CRIME PREVENTION PLAN

	REVISIONS	BY	DATE
A	REVISED FOR REVIEW		02.12.18
B	REVISED AS PER 12.A.18 REVIEW		
C	REVISED AS PER 8.5.18 REVIEW		
D	REVISED AS PER 7.16.19 REVIEW	DWD	09.23.19

BUILDING ADDITION
THOMAS L. TZIKAS
526 S.E. 5th AVENUE
DELRAY BEACH, FL



RANDALL STOEFFT
ARCHITECTS

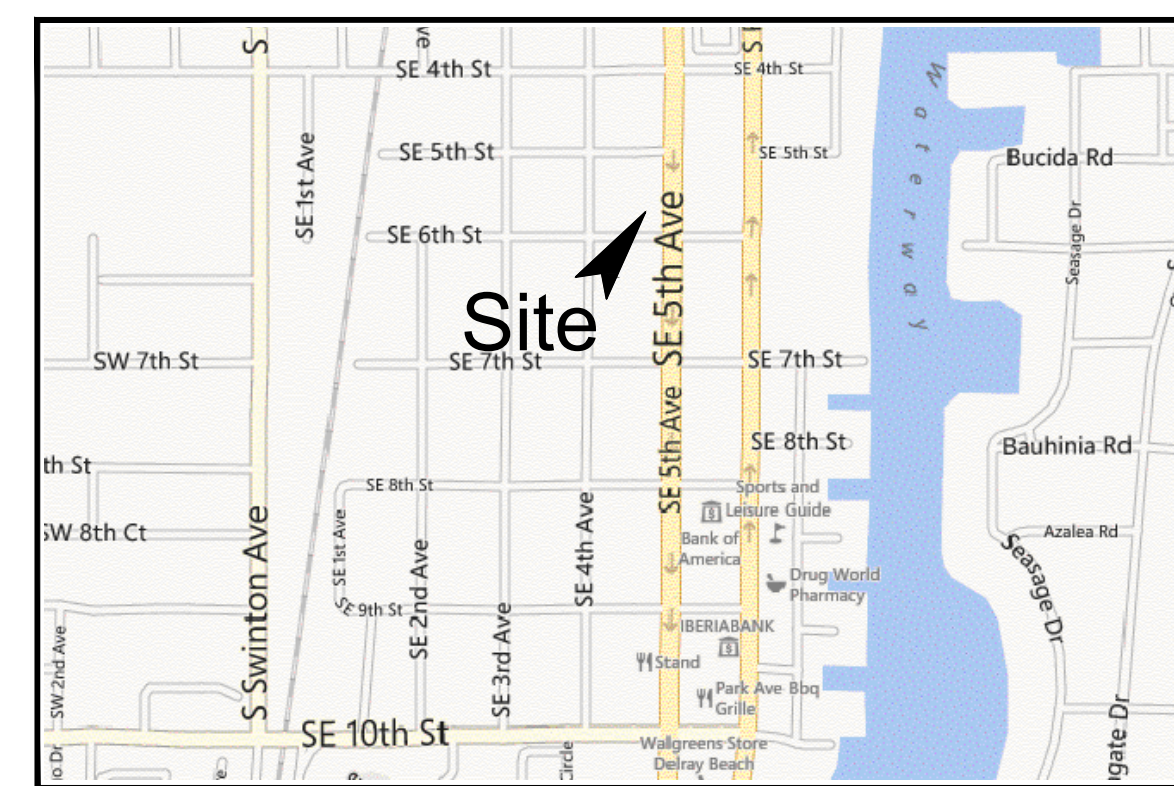
distinctive. inspirational. architecture.

Job No. 1909047

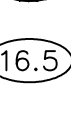












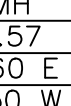
FL-0011105 FIRM-AA00337

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF THIS OFFICE, & WERE CREATED, EVOLVED, & DEVELOPED FOR USE ON, & IN CONNECTION WITH THE PROJECTED WORK OF THIS OFFICE. NO DESIGN, ARRANGEMENT, OR PLANS SHALL BE USED, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE, WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF RANDALL E. STOFF, ARCHITECTS, P.A. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS SHOWN ON THESE DRAWINGS. ANY NOTIFICATION OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON ITEMS SO NOTED. © 2019. ALL RIGHTS RESERVED

T-1



LEGEND:

- | PROPERTY LINE | | | | |
|--|---|------|------|--|
|  | SECTION IDENTIFIER | | | |
| PLAN PAGE | DETAIL PAGE | | | |
|  | PROPOSED ELEVATION | | | |
|  | DIRECTION OF FLOW | | | |
|  | EXISTING ELEVATION | | | |
|  | DENOTES AREA OF PROPOSED ASPHALT PAVING | | | |
|  | DENOTES AREA OF EXIST PAVEMENT TO REMAIN | | | |
|  | DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL | | | |
|  | PROPOSED CATCH BASIN | | | |
|  | DENOTES 12" PERF HDPE PIPE IN 3' WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL= 4.50) | | | |
| <table border="1" data-bbox="2456 1130 2487 1173"> <tr><td>NYLO-1</td></tr> <tr><td>6.00</td></tr> <tr><td>3.50</td></tr> </table> | NYLO-1 | 6.00 | 3.50 | STRUCTURE TYPE—NUMBER
RIM ELEVATION
INVERT ELEVATION |
| NYLO-1 | | | | |
| 6.00 | | | | |
| 3.50 | | | | |
| NYLO | NYLOPLAST YARD DRAIN OR APPROVED EQUAL | | | |
| IL | INLINE YARD DRAIN | | | |
| HDPE | HIGH-DENSITY POLYETHYLENE PIPE | | | |
|  | PROPOSED WATER METER WITH BACKFLOW PREVENTER | | | |
|  | EXISTING GATE VALVE | | | |
|  | EXISTING MANHOLE | | | |
| C.O. | SANITARY SEWER CLEANOUT | | | |
|  | SINGLE SANITARY SERVICE WITH CLEANOUT | | | |
|  | EXISTING MANHOLE
RIM ELEVATION
INV EL & DIRECTION
INV EL & DIRECTION | | | |

NOTE: SEE LANDSCAPE
PLANS FOR BRICK PAVER
PATTERNS

NOTE: CONTRACTOR TO FIELD
VERIFY EXACT LOCATION, SIZE, AND
ELEVATION OF ALL IMPROVEMENTS
AT TIME OF CONSTRUCTION AND
REPORT ANY DISCREPANCIES TO
ENVIRODESIGN ASSOCIATES, INC.



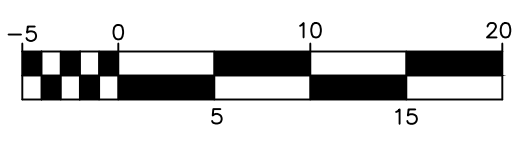
Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 10'



© COPYRIGHT 2019 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY,
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

CIVIL SITE IMPROVEMENTS PLAN FOR:

TZIKAS MEDICAL

DELRAY BEACH, FLORIDA

EnviroDesign
Associates Inc.

ENGINEERS • ENVIRONMENTAL CONSULTANTS
www.envdesign.com
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN
B.A.B.CHECK
J.A.P.

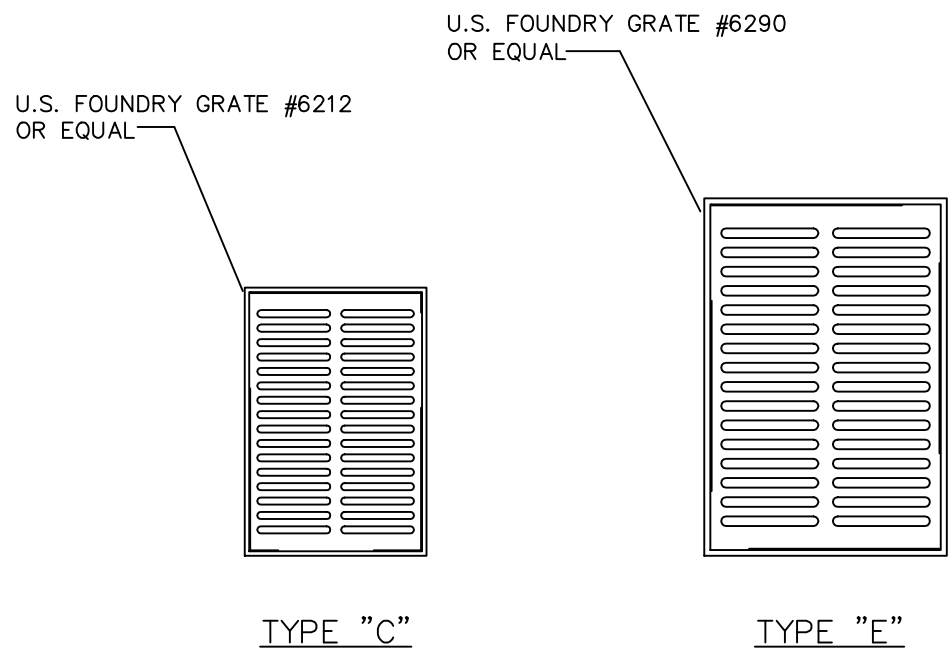
DATE:
09/23/19

JOB NO.
19098-ENG

19698	ENG
SHEET NO.	

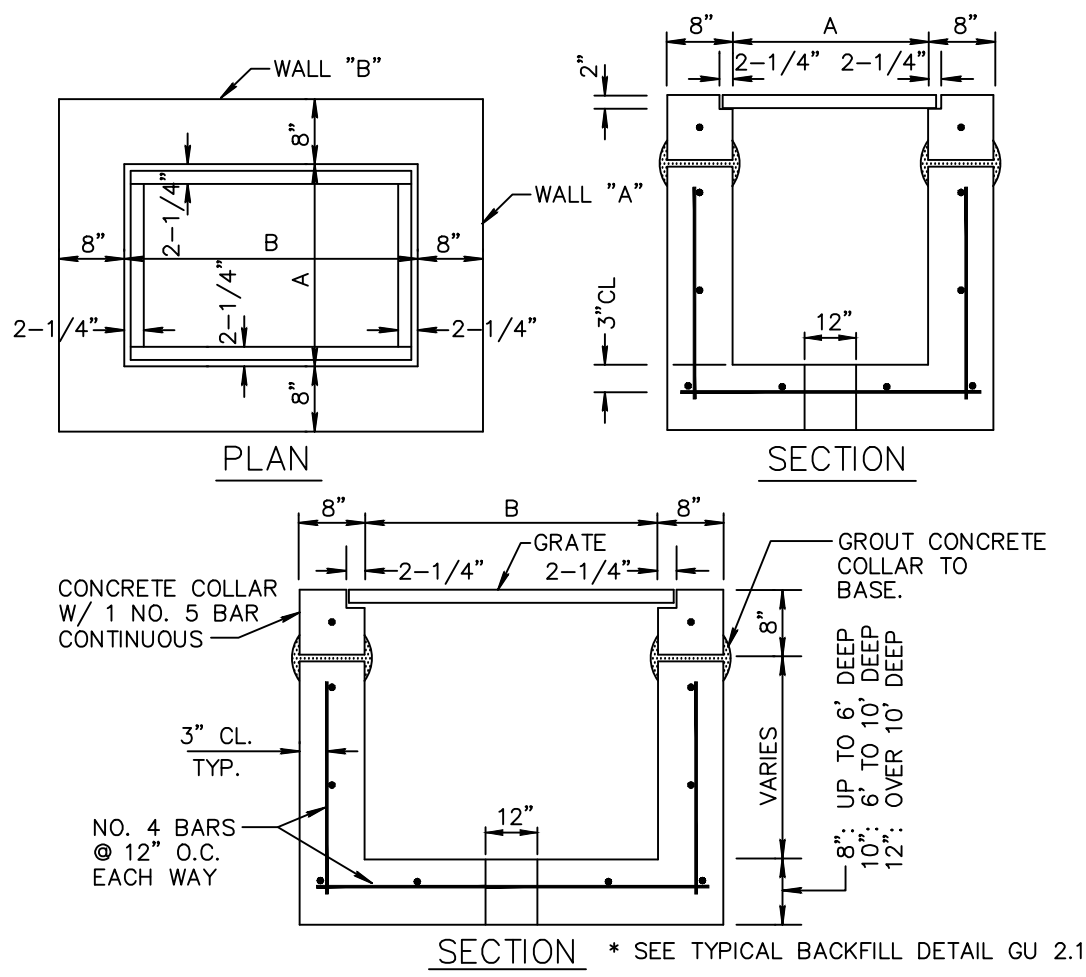
1 OF 6

INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'-0"	3'-1"	U.S. FOUNDRY No. 6212	15" R.C.P.	24" R.C.P.
'E'	3'-0"	4'-5"	U.S. FOUNDRY No. 6290	24" R.C.P.	36" R.C.P.



- NOTES:
- ALL GRATES SHALL BE SUITABLE FOR H-20 LOADING (HIGHWAY TRAFFIC LOADS)
 - WHEN INSTALLED IN PAVEMENT OR WITHIN 6' OF PAVEMENT USE U.S.F. 4160-6210

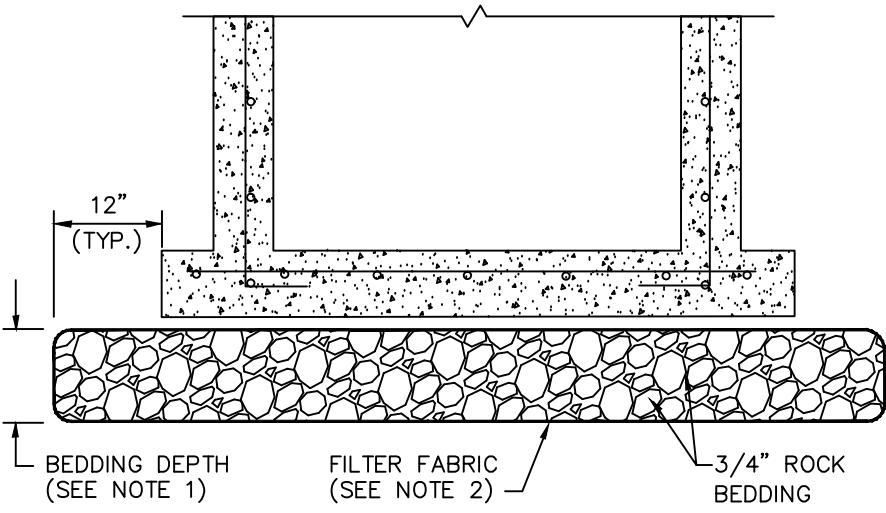
TYPE C & E INLET GRATE DETAIL D 6.1



INLET TYPE	DIMENSIONS		GRATE TYPE	MAX. PIPE SIZE	
	A	B		WALL A	WALL B
'C'	2'0"	3'1"	U.S. FOUNDRY NO. 6212	15" R.C.P.	24" R.C.P.
'E'	3'0"	4'6"	U.S. FOUNDRY NO. 6290	24" R.C.P.	36" R.C.P.

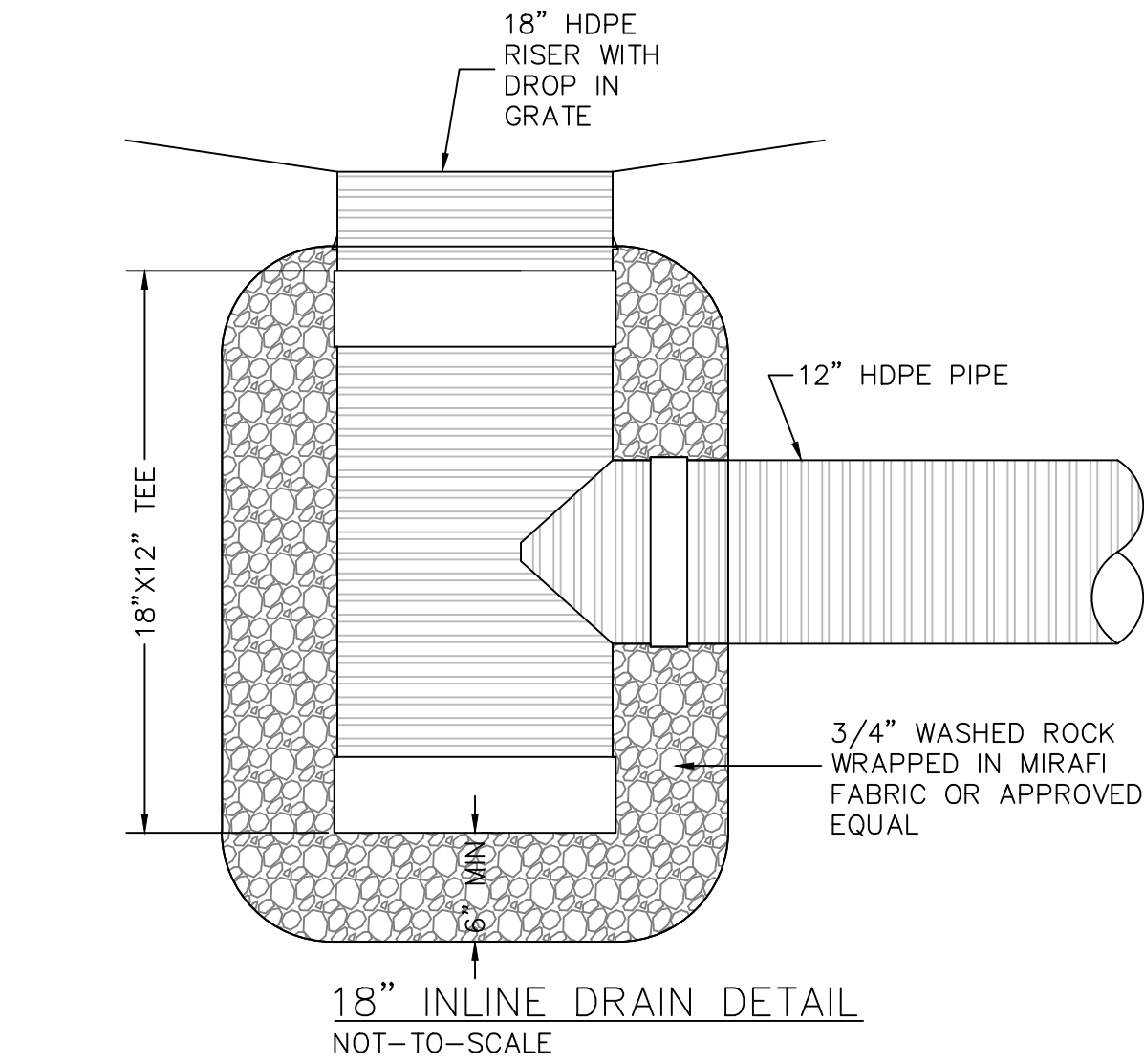
- NOTES:
- INLET TO BE PRECAST WITH CLASS 'A' 4000 P.S.I. CONCRETE.
 - ALL EXPOSED CORNERS AND EDGES TO BE CHAMFERED 3/4".
 - 12" DIA. WEEP HOLE REQUIRED ON ALL STRUCTURES WHICH HAVE A BOTTOM ELEVATION ABOVE THE WATER TABLE EXCEPT IN WELLFIELDS.
 - 18" SUMP REQUIRED IN ALL DRAINAGE STRUCTURES.
 - SEE BEDDING DETAIL D 3.1
 - ALL STRUCTURES TO BE 4 SIDED ANGLE SHOULDERS.

TYPE C & E INLET DETAIL D 7.1

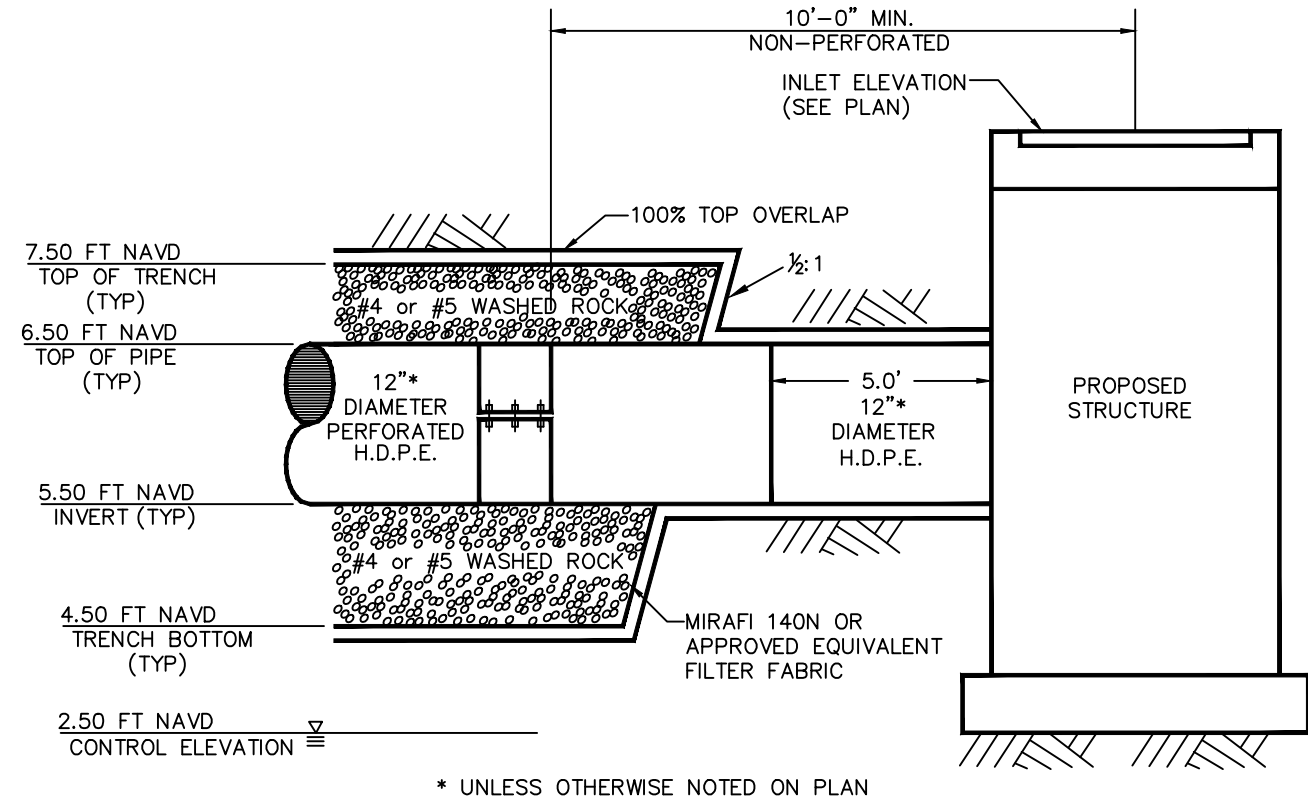


- NOTES:
- BEDDING DEPTH SHALL BE 10" UNDER DRAINAGE STRUCTURES AND 18" UNDER SANITARY STRUCTURES.
 - ROCK SHALL BE WRAPPED IN FILTER FABRIC THAT MEETS THE REQUIREMENTS OF F.D.O.T. SPECIFICATION SECTION 985.

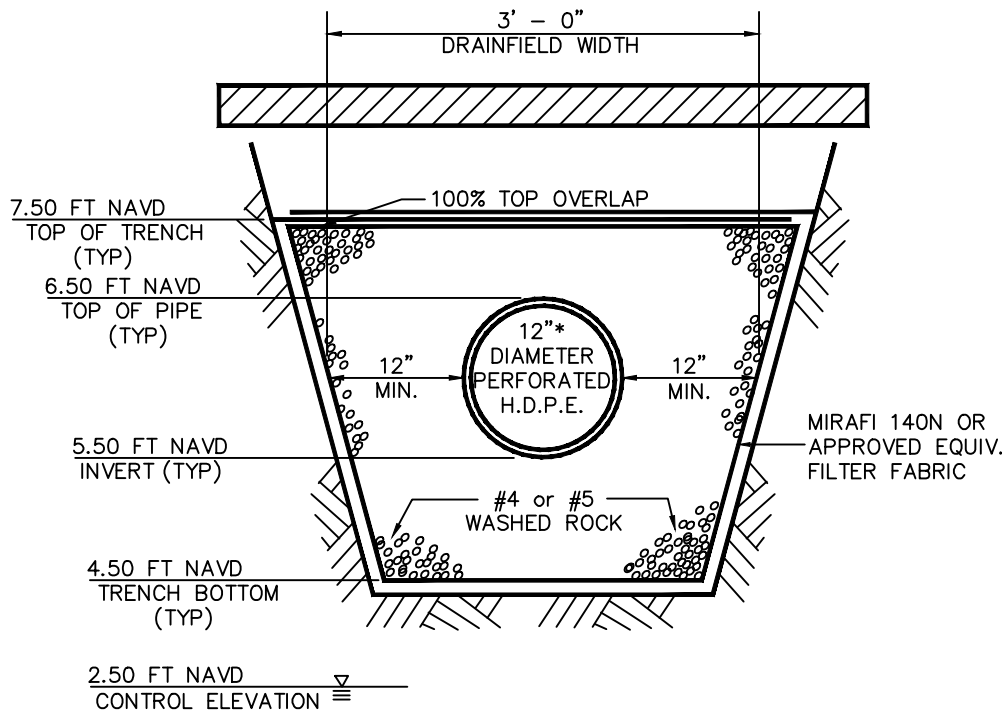
STANDARD BEDDING D 3.1



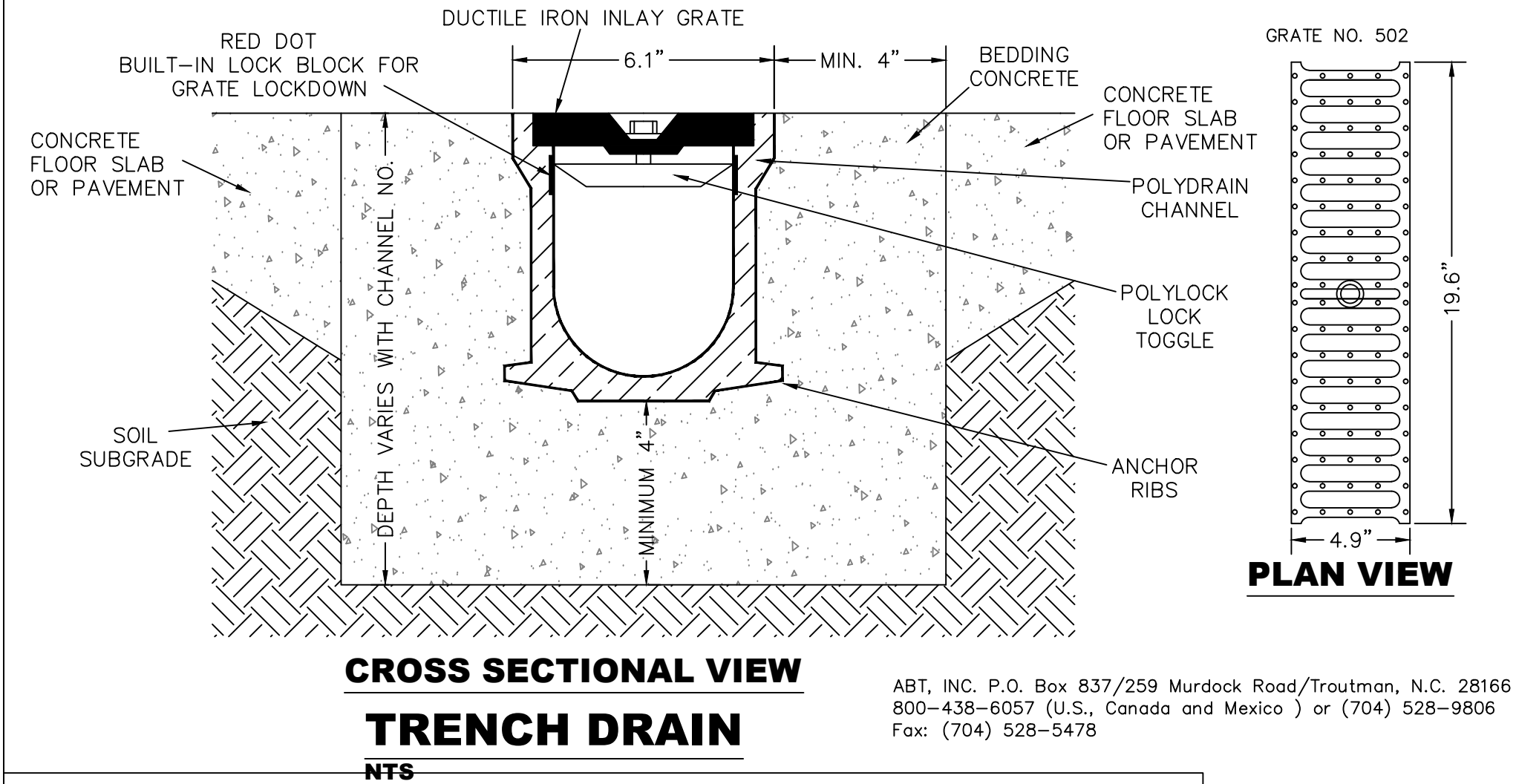
"NOT FOR CONSTRUCTION"



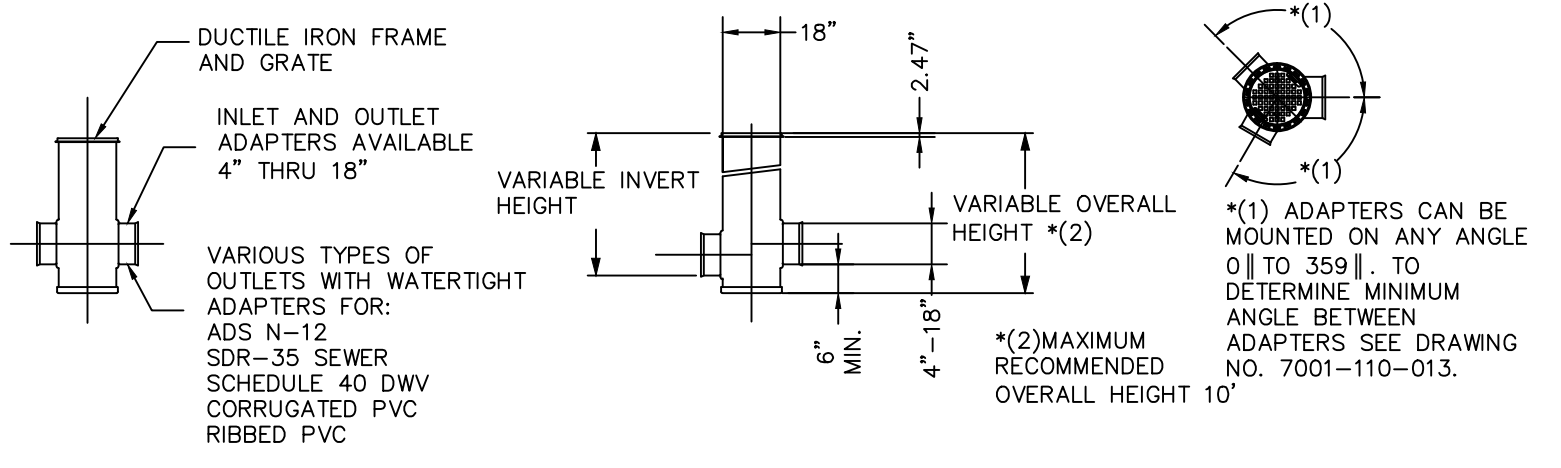
PERFORATED PIPE TRENCH
N.T.S.



PERFORATED PIPE TRENCH
N.T.S.

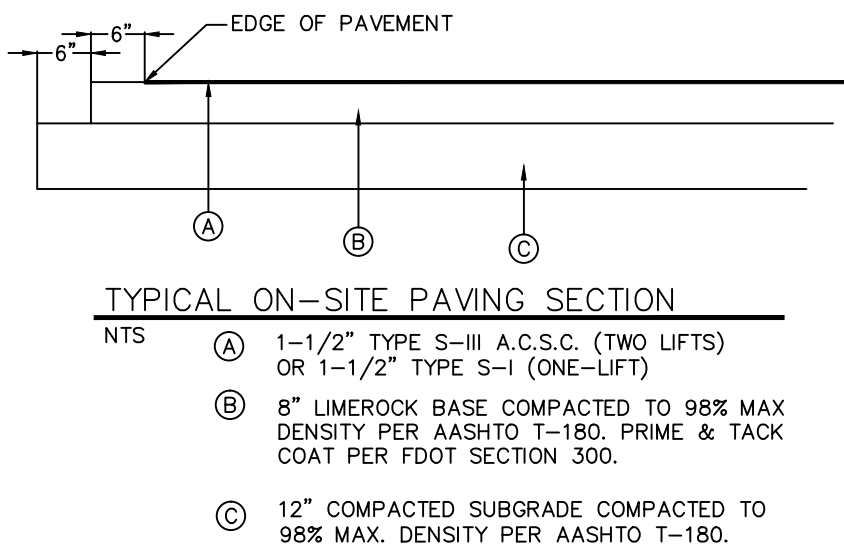


18" DRAIN BASIN



18" DRAIN BASIN

N.T.S.



Know what's below.
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2019 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

PAVING & DRAINAGE DETAILS FOR:

TZIKAS MEDICAL

526 SE 5TH AVE
DELRAY BEACH, FLORIDA



ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.

CHECKED:
J.A.P.

DATE:
09/20/19

JOB NO.
19098-DTL

SHEET NO.
3 OF 6

NO.	DATE	REVISIONS:	BY:
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

NOT VALID WITHOUT
ENGINEER'S SEAL

JOSEPH A. PIKE, P.E.
FL REG # 42696

PAVING, GRADING AND DRAINAGE NOTES	
<p>1. ALL PAVING AND DRAINAGE WORK IN THE PALM BEACH COUNTY (PBC) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE PBC LATEST STANDARDS. ALL PAVING AND DRAINAGE WORK IN THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAY SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FDOT LATEST STANDARDS.</p> <p>2. COMPACTED SUBGRADE SHALL BE COMPACTED AND MEET THE DENSITY REQUIREMENTS AS DETERMINED BY THE AASHTO T-180 SPECIFICATIONS. SUBGRADE SHALL EXTEND 12 INCHES BEYOND THE PROPOSED EDGE OF PAVEMENT AND/OR 6" BEYOND VALLEY GUTTER, TYPE "F" CURB & GUTTER, OR TYPE "D" CURB. SUBGRADE SHALL BE 12 INCHES THICK COMPACTED TO 98% ACCORDING TO AASHTO T-180. ALL MUCK, STUMPS, ROOTS OR OTHER DELETERIOUS MATTER ENCOUNTERED IN THE PREPARATION OF THE SUBGRADE SHALL BE REMOVED COMPLETELY FROM THE CENTERLINE OF THE ROADWAY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT. IF SUBGRADE IS REQUIRED TO BE STABILIZED, THE REQUIRED BEARING VALUE DETERMINATIONS SHALL BE MADE BY THE FLORIDA BEARING TEST, TEST METHOD "C" OF AASHTO T-180 SPECIFICATIONS.</p> <p>3. SHELLROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 250 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE SHELLROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE SHELLROCK SHALL HAVE A MINIMUM OF 40% CARBONATES OF CALCIUM AND MAGNESIUM IN THE MATERIAL.</p> <p>4. LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE THICKNESS OF THE LIMEROCK BASE SHALL BE AS SHOWN ON THE DETAIL DRAWINGS AND SHALL BE COMPACTED TO A DENSITY OF 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.</p> <p>5. MUCK AND PEAT – IF MUCK AND/OR PEAT ARE ENCOUNTERED IN THE ROAD OR PARKING AREA, THEY WILL BE REMOVED COMPLETELY TO A WIDTH OF TEN FEET BEYOND THE EDGE OF PAVEMENT AND SHALL BE BACKFILLED WITH GRANULAR MATERIAL. IF HARDPAN IS ENCOUNTERED IN THE SWALE AREA, IT WILL BE REMOVED TO A WIDTH OF TWO FEET AT THE SWALE INVERT AND REPLACED WITH GRANULAR MATERIAL.</p> <p>6. WHERE SOD IS DESIRED, LOWER THE GRADE 2 INCHES BELOW THE FINISHED GRADE TO ALLOW FOR THE THICKNESS OF THE SOD.</p> <p>7. CLEARING AND GRUBBING – WITHIN THE LIMITS OF CONSTRUCTION ALL VEGETATION AND ROOT MATERIAL SHALL BE REMOVED.</p> <p>8. GUMBO – WHERE GUMBO OR OTHER PLASTIC CLAYS ARE ENCOUNTERED, THEY SHALL BE REMOVED WITHIN THE ROADWAY AND PARKING AREAS ONE FOOT BELOW THE SUBGRADE EXTENDING HORIZONTALLY TO THE OUTSIDE EDGE OF THE SHOULDER AREA.</p> <p>9. PRIME COAT SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. PRIME COAT SHALL BE RC-70 OR ASPHALT EMULSION PRIME (AEP). PRIME COAT SHALL BE APPLIED AT A RATE OF APPLICATION NOT LESS THAN 0.10 GALLONS PER SQUARE YARD FOR LIMEROCK BASES AND NOT LESS THAN 0.15 GALLONS PER SQUARE YARD FOR SHELL ROCK OR COQUINA SHELL BASES.</p> <p>10. TACK COAT – BITUMINOUS TACK COAT SHALL CONFORM WITH THE REQUIREMENTS OF THE FDOT SPECIFICATIONS, LATEST EDITION AND SHALL BE APPLIED AT THE RATE</p>	<p>OF 0.08 GALLONS PER SQUARE YARD, UNLESS A VARIATION IS APPROVED BY THE ENGINEER.</p> <p>11. ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 334 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADDITION. THE THICKNESS OF THE SURFACE COURSE SHALL BE AS SHOWN ON THE DETAILED DRAWINGS.</p> <p>12. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS. COMPRESSIVE STRENGTH.</p> <p>13. PAVEMENT TRAFFIC STRIPES AND MARKINGS SHALL BE IN ACCORDANCE WITH CITY OF DELRAY BEACH CURRENT STANDARDS AND/OR MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND/OR PALM BEACH COUNTY TRAFFIC DEPARTMENT TYPICAL T-P-17, WHERE APPLICABLE.</p> <p>14. SEQUENCE OF CONSTRUCTION – THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND THAT ARE BENEATH THE PAVEMENT, SHALL BE IN PLACE AND HAVE PROPER DENSITY <u>PRIOR TO THE CONSTRUCTION AND COMPACT OF THE SUBGRADE.</u></p> <p>15. INLETS AND MANHOLES – ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FDOT SPECIFICATIONS, LATEST EDITION, AND ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, AND PBC STANDARDS LATEST EDITION, WHERE APPLICABLE.</p> <p>16. GRATE ELEVATIONS REFER TO THE FLOWLINE OF THE GRATE.</p> <p>17. GRADES SHOWN ARE FINISHED GRADES.</p> <p>18. MINIMUM ROAD CROWN ELEVATION SHALL BE EL. N/A N.A.V.D.</p> <p>19. REINFORCED CONCRETE PIPE – THE PIPE SHALL CONFORM WITH THE REQUIREMENTS OF CLASS III OF ASTM C-76 AND WITH THE FDOT SPECIFICATIONS, LATEST EDITION. THE FIRST JOINT OF PIPE ENTERING OR LEAVING A MANHOLE OR INLET SHALL BE WRAPPED WITH FILTER FABRIC PER FDOT SPECIFICATIONS.</p> <p>20. CORRUGATED ALUMINUM PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M196 AND SECTIONS 125, 430 AND 943 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.</p> <p>21. MEASUREMENT OF THE LENGTH OF PIPE SHALL BE FROM THE CENTER OF THE STRUCTURE TO THE CENTER OF THE STRUCTURE.</p> <p>22. PIPE BACKFILL – REQUIREMENTS FOR PIPE BACKFILL CROSSING ROADS OR PARKING AREAS SHALL BE DEFINED IN THE FDOT SPECIFICATIONS, LATEST EDITION. PIPELINE BACKFILL SHALL BE PLACED IN SIX INCH LIFTS AND COMPACTED TO 100% OF THE STANDARD PROCTOR (AASHTO) T-99 SPECIFICATIONS.</p> <p>23. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THREE (3) CERTIFIED COPIES OF A CHEMICAL AND SIEVE ANALYSIS OF THE SHELL ROCK BY A STATE OF FLORIDA CERTIFIED LAB WHEN CONSTRUCTING A SHELL ROCK BASE FOR ROADWAY.</p> <p>24. PRIOR TO CERTIFICATION OF THE DRAINAGE SYSTEM, THE CONTRACTOR MUST PUMP DOWN AND LAMP THE DRAINAGE SYSTEM FOR INSPECTION BY THE ENGINEER AFTER FINISHED ROCK FOR THE ROADWAYS HAS BEEN INSTALLED.</p>

GENERAL NOTES	
1. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.	AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.	11. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	12. ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COAST TO THE OWNER.	13. ALL MATERIALS AND WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LOCAL UTILITY STANDARDS AND SPECIFICATIONS.
5. ALL ELEVATIONS REFER TO N.A.V.D. 1988. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION TBD' (WHICH IS ABOVE THE 100-YEAR FREQUENCY STORM).	14. THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.	15. CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. 8.24.E.5.I
7. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.	16. ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.	17. ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TOT THE LANDSCAPING OF THE SITE.
9. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.	18. THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED PERMITS.
10. ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED	19. ALL MATERIALS AND CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM (LATEST ED.).
	20. LANE CLOSURES WITHIN THE FDOT RIGHT-OF-WAY SHALL BE LIMITED TO THE HOURS OF 9AM-3PM, MONDAY-FRIDAY EXCLUDING GOVERNMENTAL HOLIDAYS. MAINTENANCE OF TRAFFIC SHALL BE PROVIDED IN ACCORDANCE WITH INDEX 613 OF THE FDOT DESIGN STANDARDS (LATEST ED.)

CITY OF DELRAY BEACH GENERAL NOTES	
<p>DEFINITIONS</p> <ol style="list-style-type: none"> 1. CITY – THE CITY OF DELRAY BEACH 2. CONTRACTOR – UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS 3. ENGINEER – ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION <p>PROCEDURE</p> <ol style="list-style-type: none"> 1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE CITY, CONTRACTOR, SUBCONTRACTORS, ENGINEER AND OTHER INTERESTED PARTIES. 2. ANY REVISIONS TO THE APPROVED PLANS MUST BE APPROVED BY THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING. 3. A MINIMUM OF THREE (3) COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING. ALL PIPE MANUFACTURERS SHALL SUBMIT THREE (3) COPIES OF AN AFFIDAVIT THAT THE PIPE AND COATINGS WERE MANUFACTURED IN ACCORDANCE WITH AWWA C151/A21.51-91. 4. ALL APPLICABLE PERMITS MUST BE OBTAINED WITH COPIES PROVIDED TO THE CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION. 5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES. 6. ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE CITY PRIOR TO DELIVERY. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO CONSTRUCTION OF THESE MATERIALS TO THE JOB SITE. 7. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED. 8. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES. 10. THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE. 11. CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL. 12. FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY. 13. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS. 14. PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND PALM BEACH COUNTY TYPICAL T-1-P-17 (LATEST REVISION) UNLESS SHOWN OTHERWISE. 15. AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY. 16. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES. 17. CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION. 18. GRADES SHOWN ON PLANS ARE FINISHED GRADES. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST EXISTING SANITARY SEWER MANHOLE TOPS AND VALVE BOX COVERS TO FINISHED GRADE. 19. CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO 	<ol style="list-style-type: none"> 20. EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE. 21. ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE. 22. CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS. 23. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED. 24. ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING. 25. EMBANKMENT (FILL) AND EXCESS MATERIAL REQUIRED FOR ROADWAY RECONSTRUCTION AND UTILITY INSTALLATIONS SHALL BE SUPPLIED AND/OR DISPOSED OF BY THE CONTRACTOR. ALL COSTS ASSOCIATED WITH EARTHWORK REQUIREMENTS TO COMPLETE THE ROADWAY RECONSTRUCTION AND UTILITY IMPROVEMENTS SHALL BE INCLUDED IN THE COSTS OF OTHER APPROPRIATE PAY ITEMS. 26. CONTINUITY OF WATER AND SEWER SERVICE TO CITY UTILITY CUSTOMERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. IF A BREAK IN SERVICE IS UNAVOIDABLE TO ACCOMMODATE CONNECTION OF NEW FACILITIES, IT SHALL BE SCHEDULED FOR OFF PEAK HOURS WITH THE CITY. DETERMINATION OF SERVICE BREAK REQUIREMENT WILL BE MADE BY THE CITY. 27. SITE INFORMATION BASED ON A SURVEY PREPARED BY: O'BRIEN, SUITER, & O'BRIEN, INC. 28. THE EXTENT OF ROAD CONSTRUCTION WORK TO BE COMPLETED BY THE CONTRACTOR, WITHIN THE ROADWAY RIGHT-OF-WAY SHALL BE DETERMINED BY THE CITY AND COORDINATED WITH THE FLORIDA EAST COAST RAILWAY COMPANY AT THE TIME OF CONSTRUCTION. 29. RELOCATION OF UTILITY POLES AND GAS PIPE LINES SHALL BE COORDINATED BY THE CONTRACTOR WITH FLORIDA POWER AND LIGHT, AND FLORIDA PUBLIC UTILITIES, RESPECTIVELY. EACH UTILITY HAS BEEN NOTIFIED THAT THEY WILL BE REQUIRED TO RELOCATE THEIR UTILITIES. 30. ALL CITY OF DELRAY BEACH STANDARD DETAILS INCLUDED IN THE CIVIL PLANS PREPARED BY ENVIRODESIGN ASSOCIATES, INC. HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT. 31. CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC. 32. NO PROPOSED IMPROVEMENTS, BUILDINGS OR ANY KIND OF CONSTRUCTION CAN BE PLACED ON OR WITHIN ANY WATER, SEWER OR DRAINAGE EASEMENTS, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 33. NO PROPOSED STRUCTURES SHALL BE INSTALLED WITHIN A HORIZONTAL DISTANCE OF 10- FEET FROM ANY EXISTING OR PROPOSED WATER, SEWER OR DRAINAGE FACILITIES, UNLESS APPROVED BY THE CITY OF DELRAY BEACH CITY ENGINEER. 34. NOTE: ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS, THEY SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS; LD 1.1 & LD 1.2 35. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH ADA REQUIREMENTS. ALL SIDEWALKS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:20 RUNNING SLOPES. ALL RAMPS NOT TO EXCEED 1:48 CROSS-SLOPE AND 1:12 RUNNING SLOPES WITH MAXIMUM RISE AND RUNS PER ADA REQUIREMENTS WITH RAILINGS WHERE NEEDED. LANDINGS WITH 1:48 CROSS- AND RUNNING-SLOPES ARE TO BE PROVIDED AT TOPS AND BOTTOMS OF ALL RAMPS. 36. CITY OF DELRAY BEACH UTILITY DIVISION MUST BE CONTACTED AT LEAST 48 HOURS PRIOR TO ANY SHUTDOWN AND/OR REMOVAL OF EXISTING WATER MAIN OR SANITARY SEWER LINES AT 561-243-7312. 37. THE EXISTING SANITARY SEWER LINE MUST BE TELEVIEWED PRIOR TO AND AFTER ANY SANITARY SEWER SERVICE CONNECTION, REMOVAL AND/OR ABANDONMENT. 38. UPON APPROVAL AND RECEIPT OF PERMIT, THE CONTRACTOR SHALL CONTACT THE CITY OF DELRAY BEACH DEPUTY DIRECTOR OF CONSTRUCTION AT 561-243-7320 TO SCHEDULE A PRECONSTRUCTION MEETING PRIOR TO STARTING ANY SITE WORK. 39. ALL WATER METER SIZES TO BE DETERMINED BY PLUMBING ENGINEERING OF RECORD AND SHALL BE CHECKED AND AUTHORIZED BY CITY OF DELRAY BEACH UTILITIES DIVISION. 40. ALL CITY OF DELRAY BEACH 2016 STANDARD DETAILS INCLUDED IN THIS SET OF PLANS AND DETAILS HAVE NOT BEEN MODIFIED FROM THEIR ORIGINAL CONTENT.

PAVING & DRAINAGE DETAILS FOR:

TZIKAS MEDICAL

526 SE 5TH AVE

DELRAY BEACH, FLORIDA

[illegible]

JOSEPH A. PIKE, P.E.
E1 REC # 12696



ENGINEERS • ENVIRONMENTAL CONSULTANTS

FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444

298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

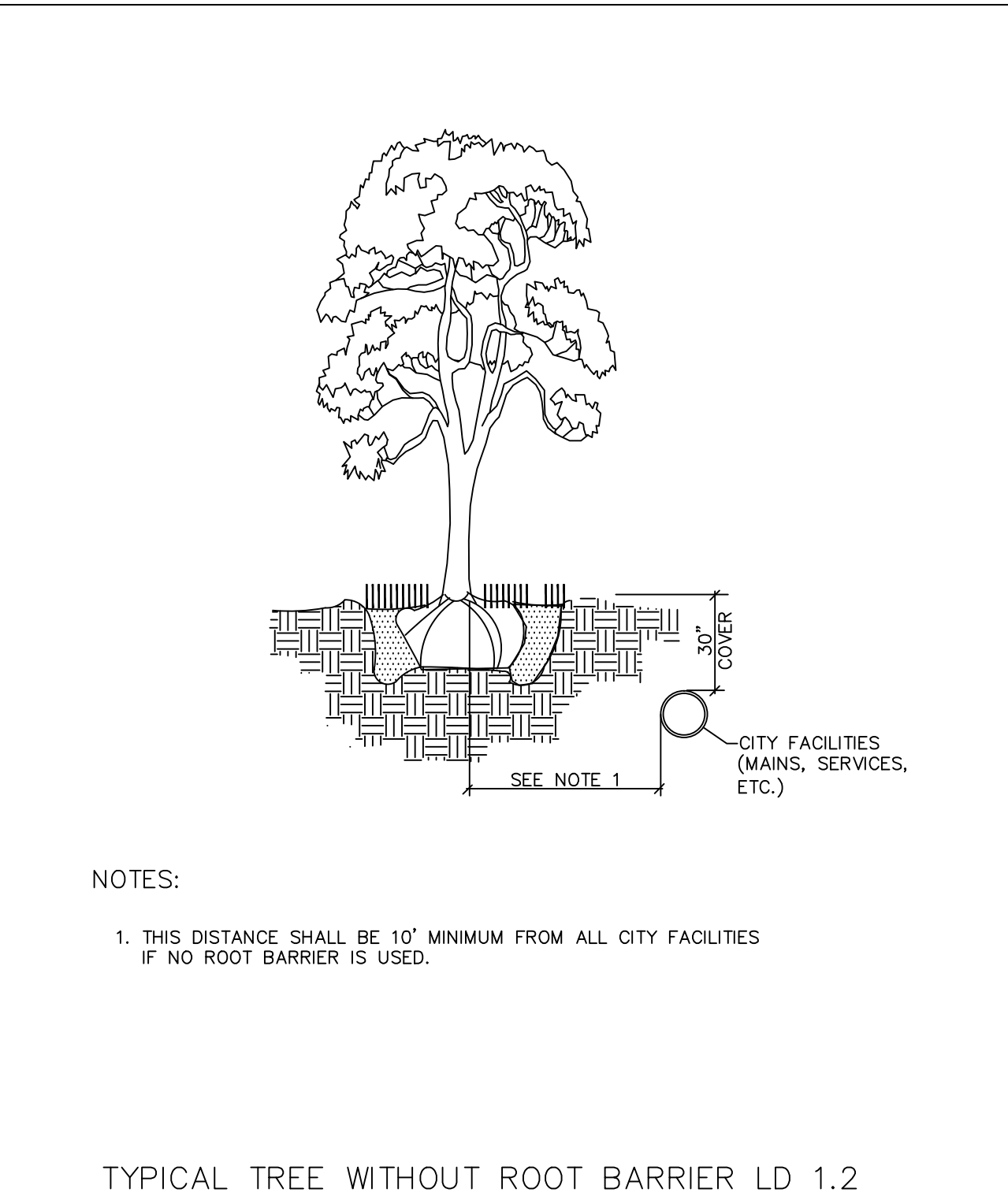
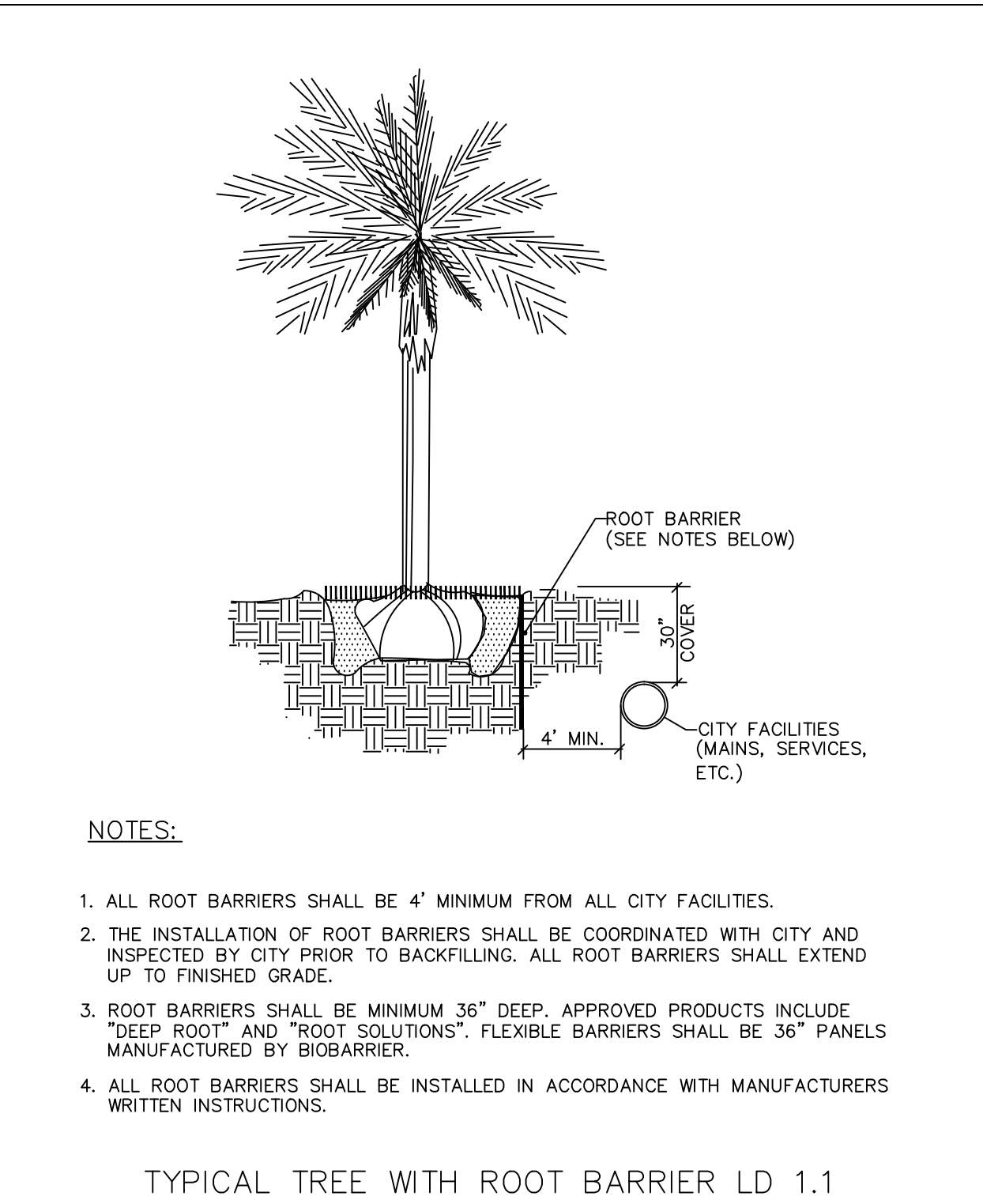
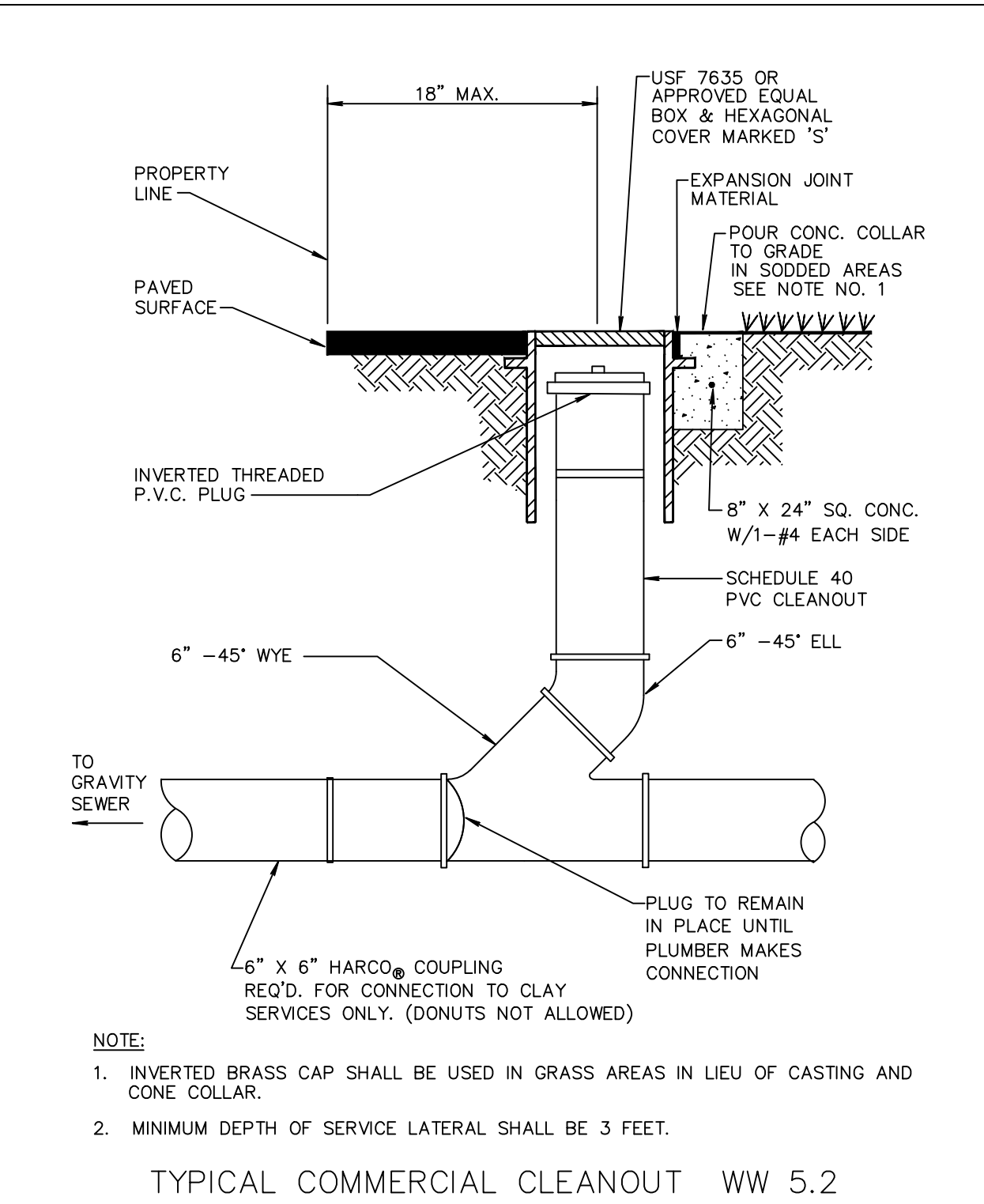
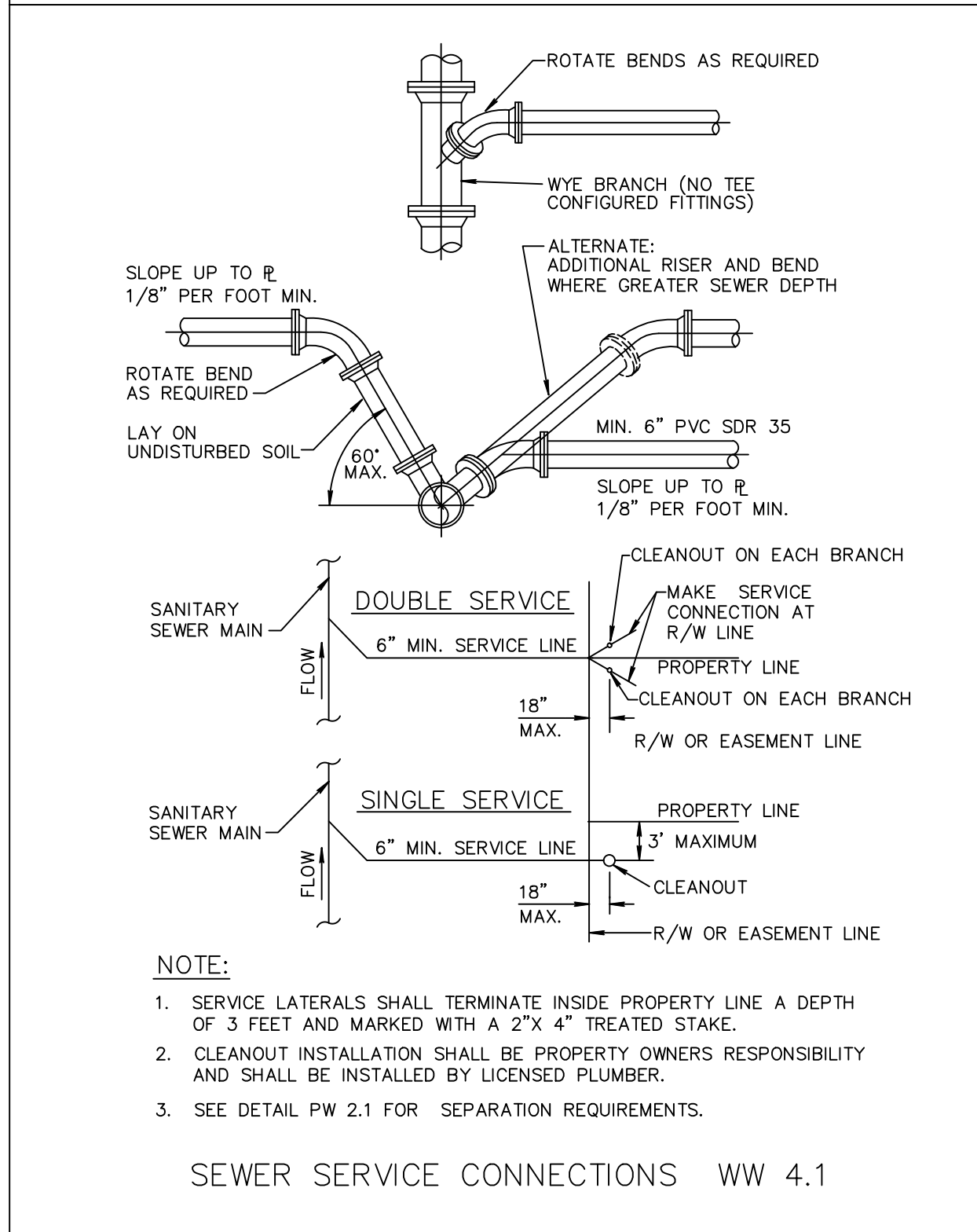
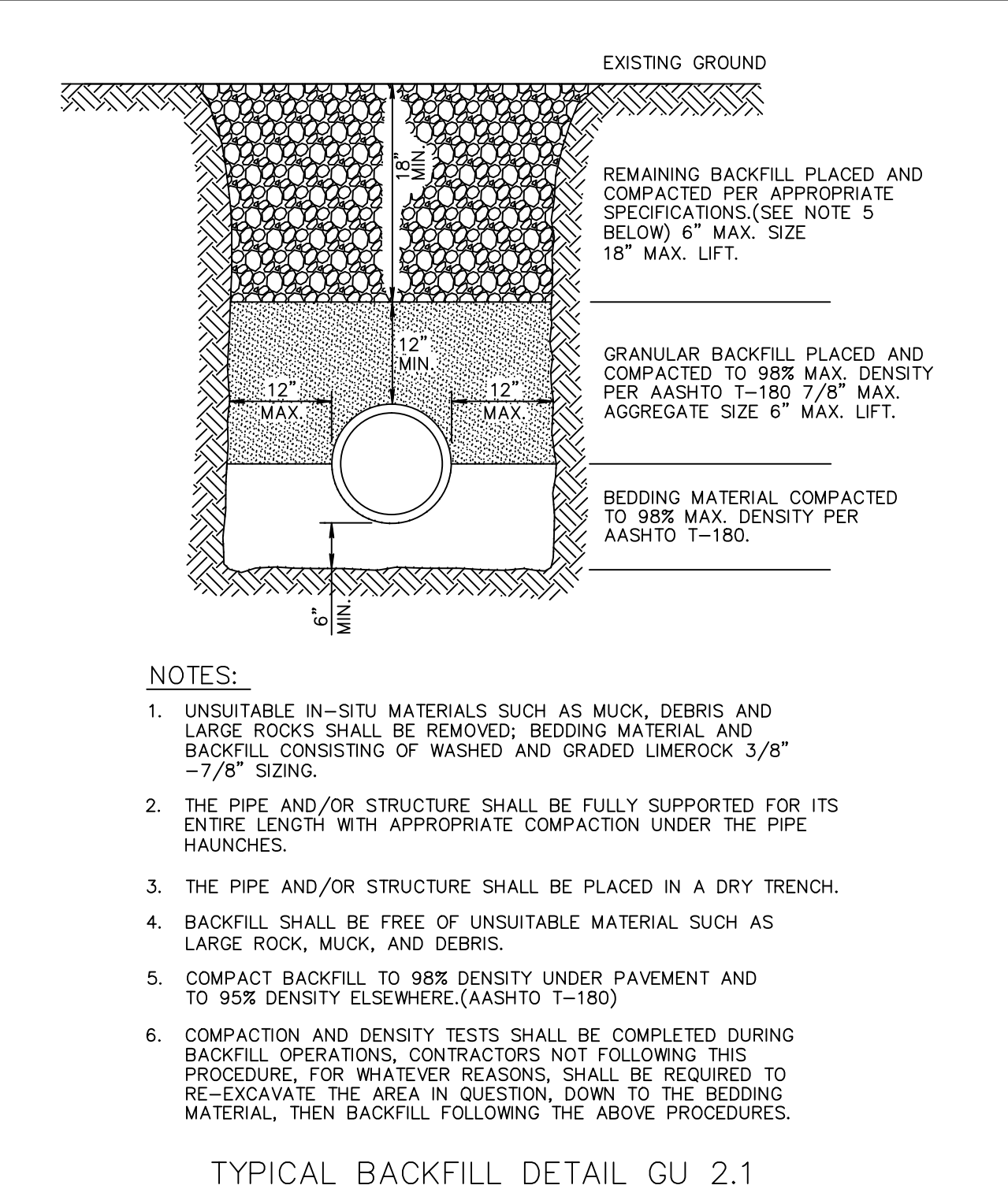
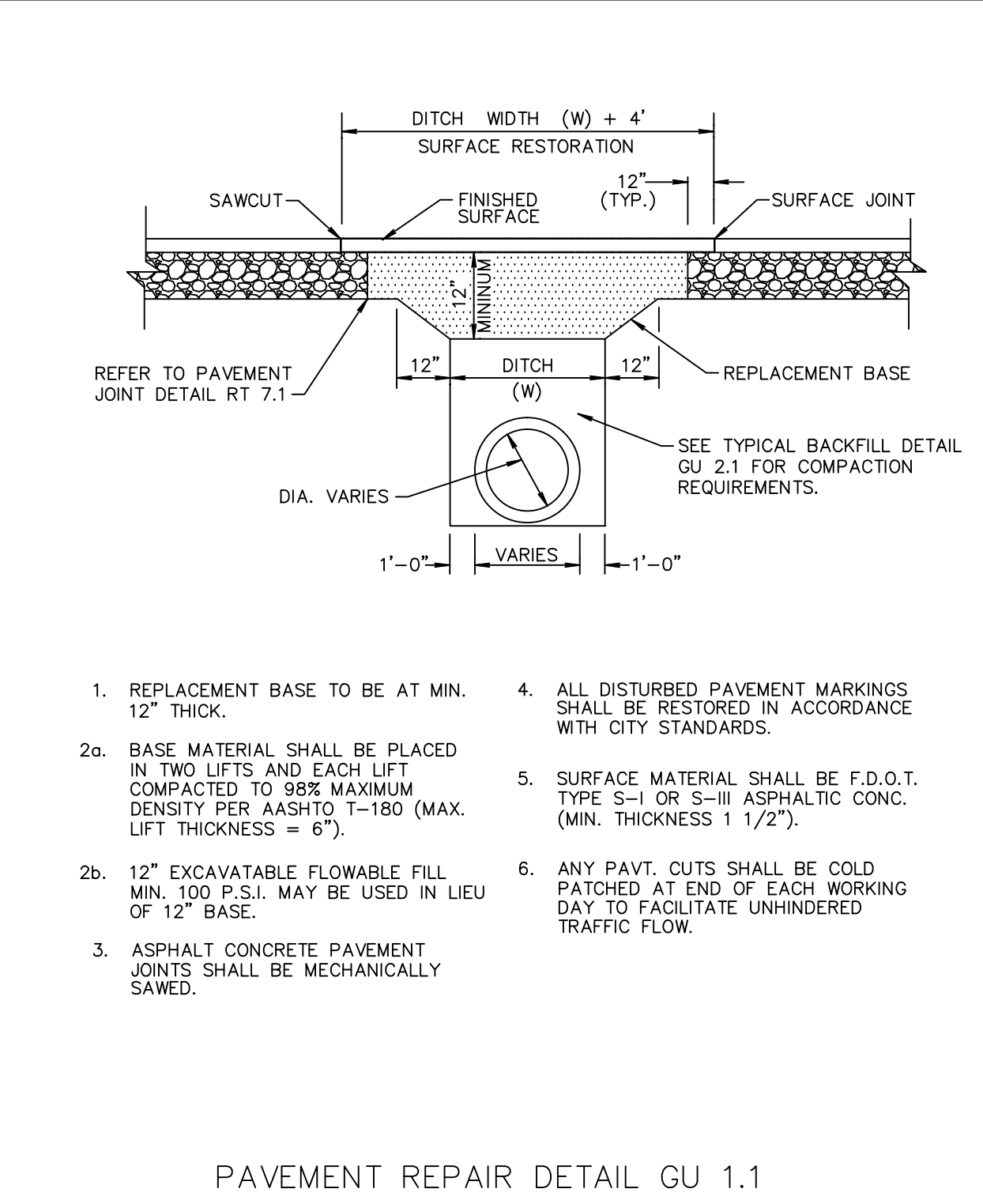
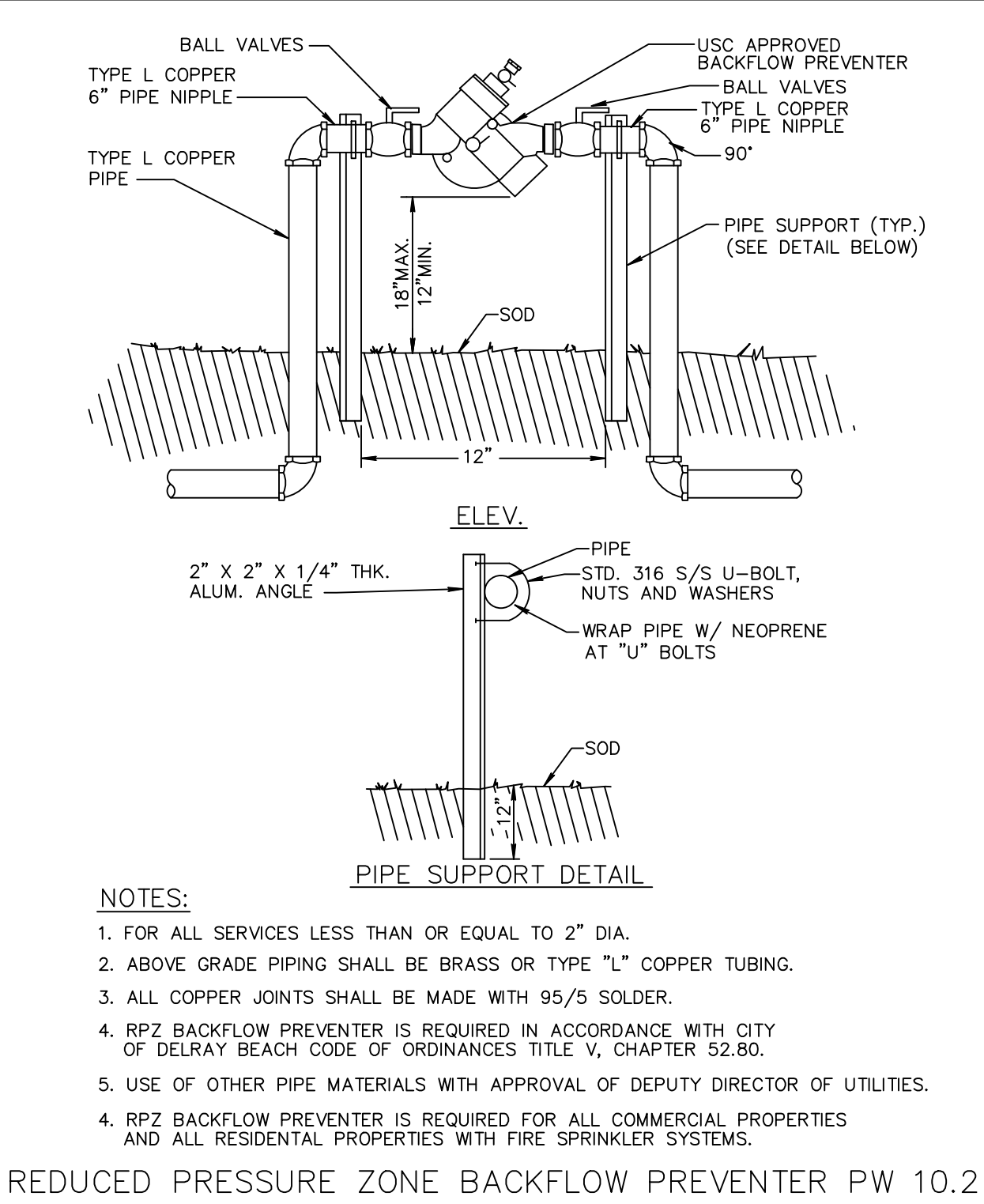
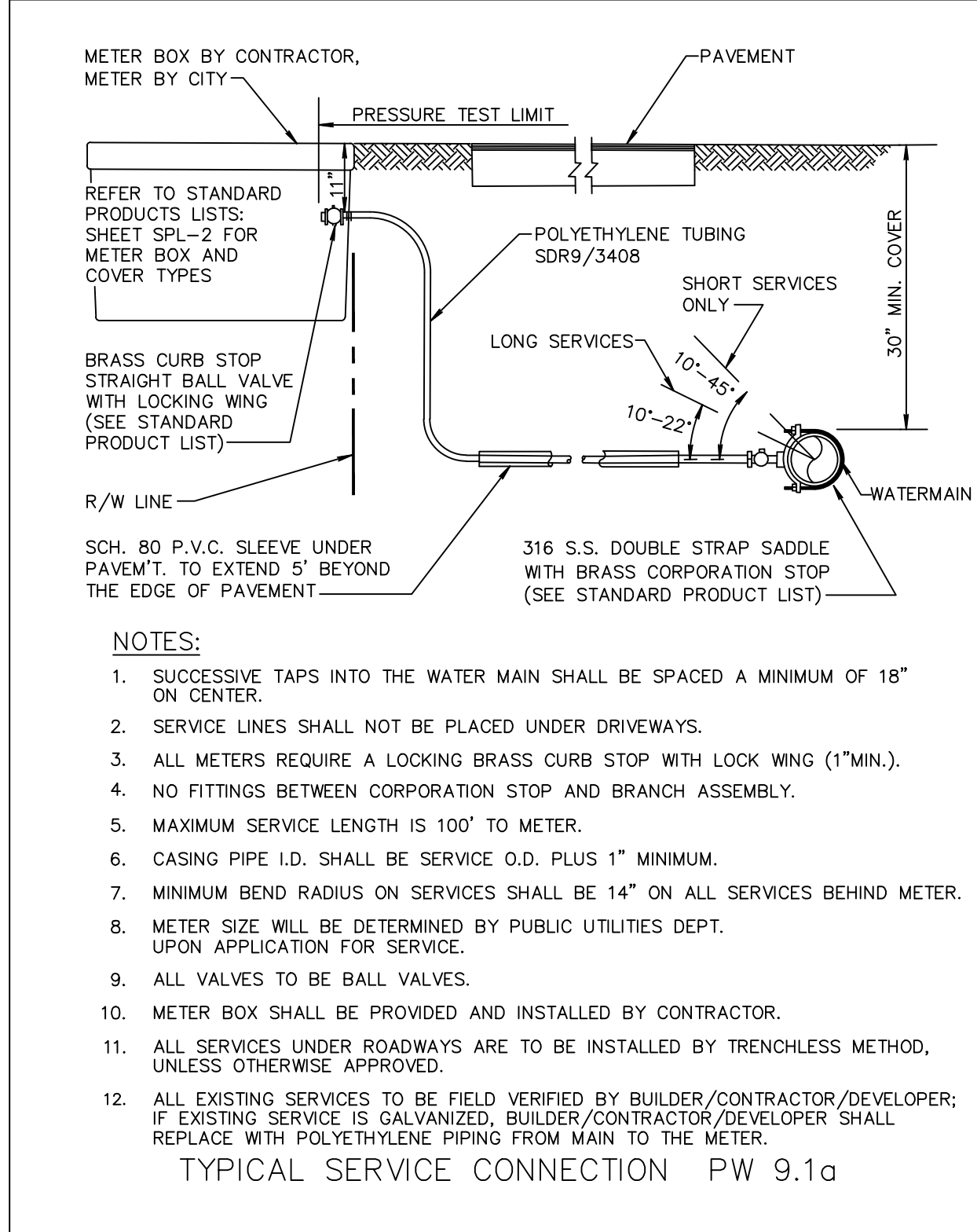
SHEET NO.

4 OF 6



SUNSHINE STATE ONE CALL OF FLORIDA, INC.

© COPYRIGHT 2019 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY,
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.



CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW

1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

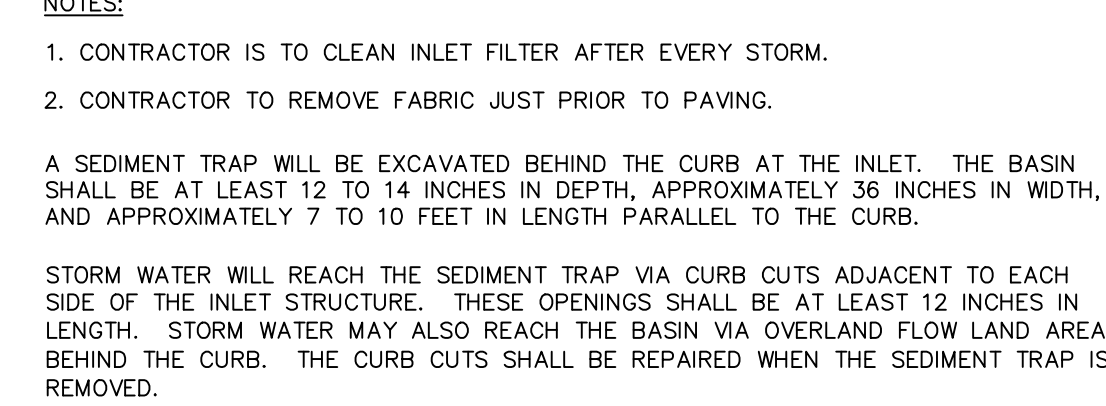
© COPYRIGHT 2019 BY ENVIRODESIGN ASSOCIATES, INC. THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.

"NOT FOR CONSTRUCTION"

WATER & WASTEWATER DETAILS FOR:
TZIKAS MEDICAL
526 SE 5TH AVE
DELRAY BEACH, FLORIDA

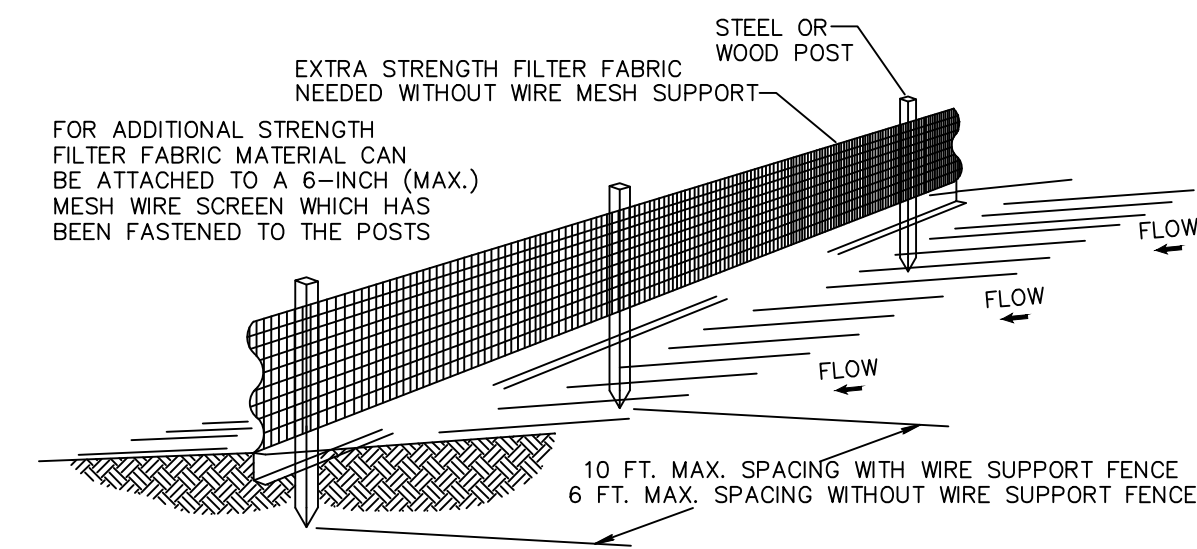
EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
09/20/19
JOB NO.
19098-DTL
SHEET NO.
5 OF 6



1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS RESTRICTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY AGENCY PERSONNEL. REPRESENT SET FORTH ON THE DRAWINGS OF SPECIFICATIONS, BUT BY MEANS OF THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL. THIS SEDIMENTATION RESTRICTION REGULATIONS IN THE REGION.
2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NECESSARY.
4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONGOING INSPECTION.
6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH GRUSSED SHOULDS, WHERE PRACTICAL.
9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE DEPARTMENT OF TRANSPORTATION.
12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

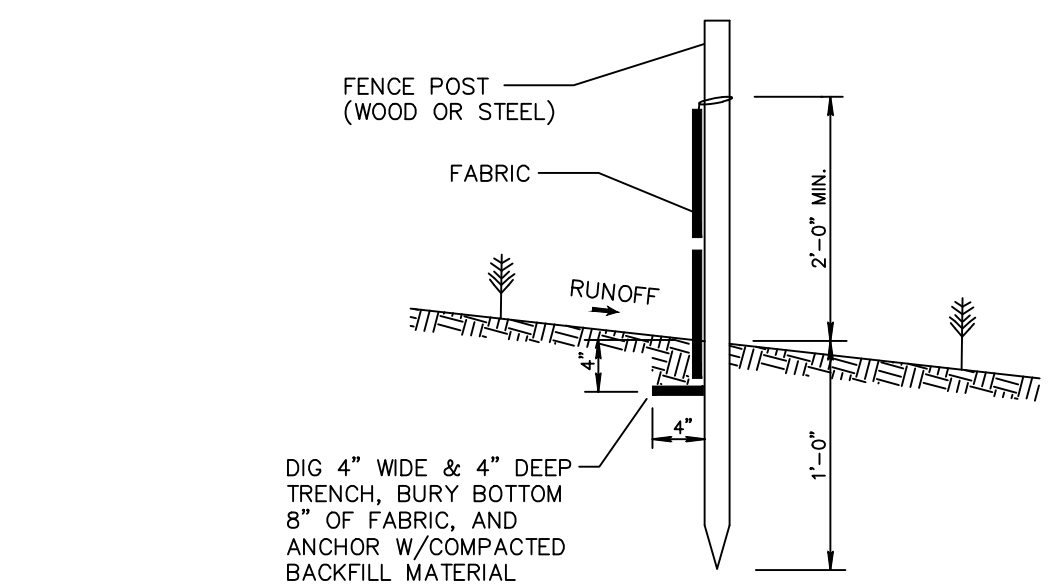
EROSION CONTROL NOTES DETAIL D9.1



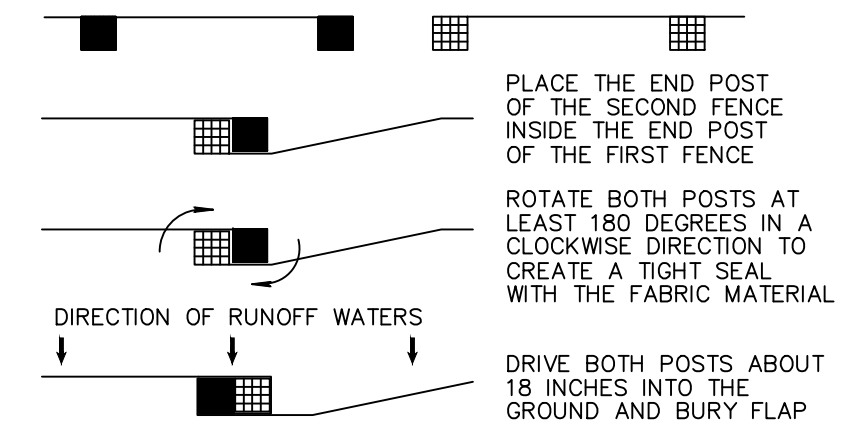
NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM), WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRES, OR HOD RINGS. THE WIRE SHALL EXTEND TO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO DFPD.

SILT FENCE INSTALLATION DETAIL D 9.1a
Sheet 1 of 2

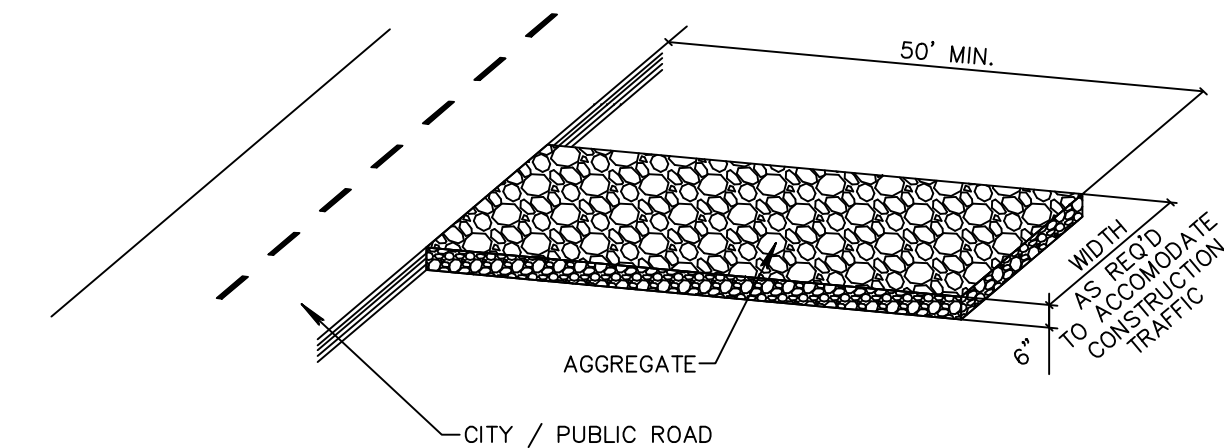


SILT FENCE SECTION
NOT TO SCALE



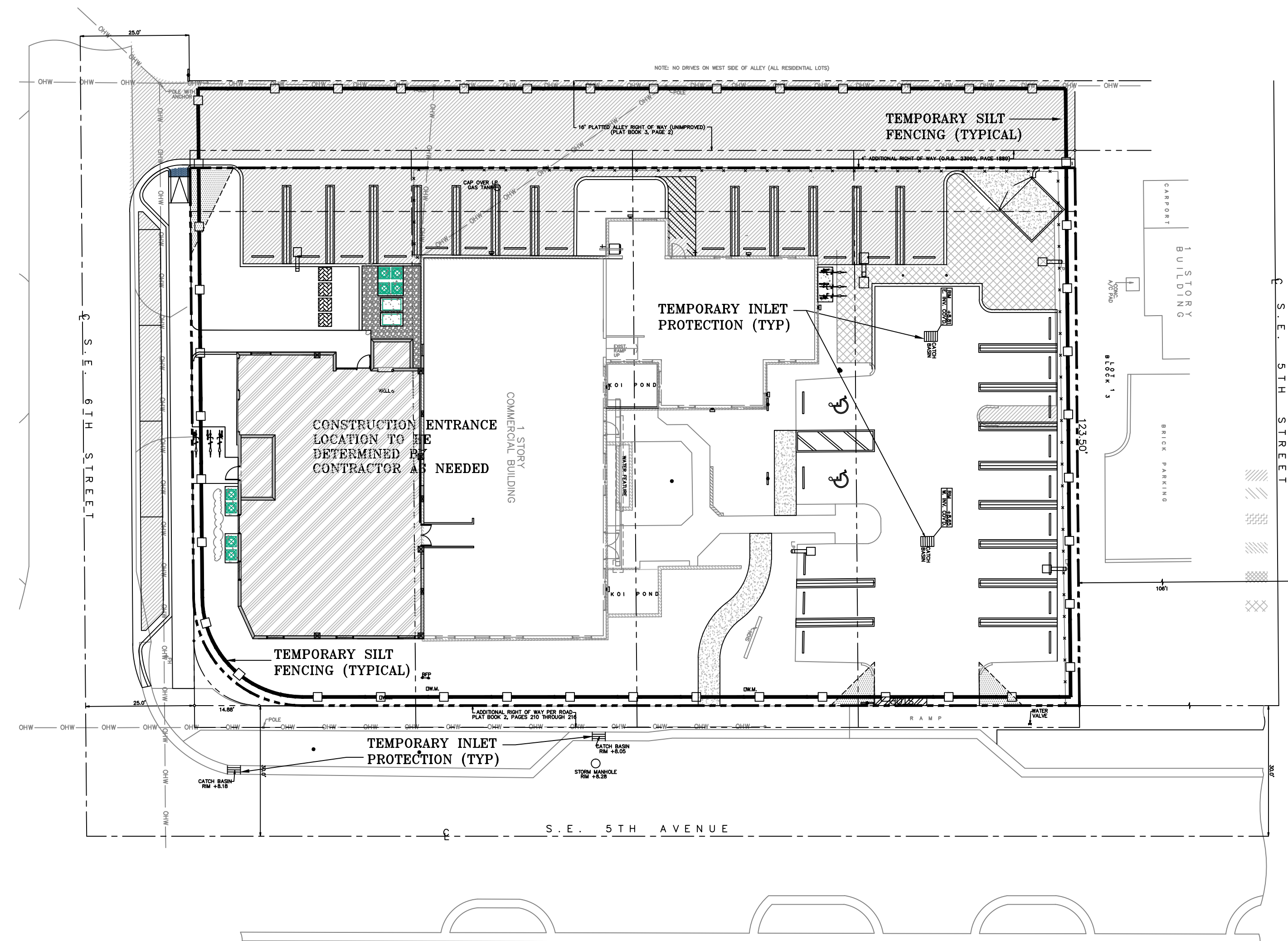
ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL D 9.1b
Sheet 2 of 2



NOTE:
A CONSTRUCTION ENTRANCE SHALL BE
CONSTRUCTED AND CONTAIN AN AGGREGATE
LAYER (FDOT AGGREGATE NO.1), AT LEAST
6-INCHES THICK. IT MUST EXTEND TO THE
WIDTH OF THE VEHICULAR INGRESS AND
EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL D9.1C

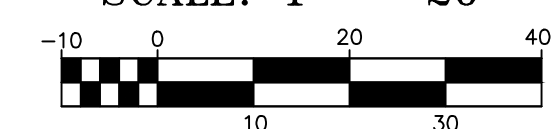


CALL 48 HOURS BEFORE YOU DIG.

IT'S THE LAW
1-800-432-4770

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SCALE: 1" = 20'



© COPYRIGHT 2019 BY ENVIRODESIGN ASSOCIATES, INC.
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY,
UNLESS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL
ENGINEER REPRESENTING ENVIRODESIGN ASSOCIATES, INC.



Know what's **below**.
Call before you dig.

POLLUTION PREVENTION PLAN FOR:

TZIKAS MEDICAL

526 SE 5TH AVE
DELRAY BEACH, FLORIDA



**EnviroDesign
Associates Inc.**
www.envydesign.com

 ENGINEERS • ENVIRONMENTAL CONSULTANTS
www.envirodesign.com
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
PL-10000761-0001 (561) 374-6506 (561) 374-9559

DRAWN:
B.A.B.

CHECKED:
J.A.P.

DATE:
09/23/19

JOB NO.
19098-ENG

SHEET NO.

6 OF 6

NOT VALID WITHOUT
ENGINEER'S SEAL

LANDSCAPE NOTES:

ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.

ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.

ALL NEW REPLACEMENT TREES AND PALMS MUST BE FIELD GROWN / BALLED AND BURLAPPED (FG/BB). CONTAINER GROWN TREES AND PALMS ARE NOT PERMITTED.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND CONSIDERED APPROXIMATE IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF CONSTRUCTION ACTIVITIES.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

ALL SOD SHALL BE STENOTAPHRUM SECONDATUS FLORITAM-PALMETTO (ST. AUGUSTINE SOD).

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD.

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF ½ LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

ALL TREES, PALMS & PLANTING BEDS SHALL BE MULCH WITH 2-3" OF MELALEUCA MULCH. COLORED (RED, GREEN, GOLD, BROWN, ETC.) AND CYPRESS MULCHES ARE NOT PERMITTED.

WATERING GUIDELINES FOR NEWLY PLANTED TREES & PALMS FOR THE FIRST YEAR AFTER PLANTING ARE AS FOLLOWS:

HAND WATERING DAILY FOR AT LEAST THE FIRST 2 WEEKS.

DAILY FOR THE FIRST MONTH. EVERY OTHER DAY FOR THREE MONTHS. WEEKLY UNTIL ESTABLISHED.

AT EACH IRRIGATION APPLY ABOUT 2 TO 3 GALLONS OF WATER PER INCH OF TRUNK DIAMETER OVER THE ROOT BALL.

TREES SHALL HAVE A MULCH RING OF A MINIMUM OF 4' DIAMETER. MULCH SHOULD HAVE A MINIMUM DEPTH OF 2" AND A MAXIMUM DEPTH OF 3".

ALL PLANTING BEDS MUST BE MULCHED. MULCH SHOULD BE KEPT 3" FROM THE BASE OF ALL PLANT MATERIAL. MELALEUCA MULCH TO BE USED.

CYPRESS MULCH, RED, GOLD AND GREEN MULCH IS PROHIBITED.

OTHER CLEAN HARDWOOD SPECIES OR CLEAN RECYCLED MULCH MAY BE USED. ESTABLISH CLEAN PLANTING BED LINES, LEAVE > 1½' ON EITHER SIDE OF THE PLANT MATERIAL FOR MAINTENANCE.

ALL TREES AND PALMS SHALL BE GUYED WITH PROPER HORTICULTURAL AND ARBORICULTURAL TECHNIQUES. DO NOT USE WIRE, BLACK STRAPPING, OR OTHER SYNTHETIC MATERIAL FOR THE STAKING OF TREES.

PLEASE USE BIODEGRADABLE MATERIAL FOR STAKING.

NAILING INTO TREES AND PALMS FOR ANY REASON IS PROHIBITED. ALL STAKING MATERIAL SHALL BE REMOVED ONCE TREES ARE ESTABLISHED.

GROUND COVER AREAS AT THE TIME OF INSTALLATION SHALL BE PLANTED WITH A MINIMUM COVERAGE OF 75% COVERAGE.

THIS SOIL SHALL BE TILLED INTO EXISTING SOIL ON SITE. ALL SOIL SHALL BE FREE OF WEEDS AND OTHER NOXIOUS MATERIALS.

WHERE APPLICABLE, APPROPRIATE TREE PROTECTION BARRIERS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROPERTY.

EXISTING NATIVE SOIL WITHIN ALL LANDSCAPE ISLANDS, INTERIOR LANDSCAPE STRIPS, AND PERIMETER LANDSCAPE STRIPS, ADJACENT TO VEHICULAR USE AREAS, SHALL BE EXCAVATED DOWN TO A DEPTH OF THIRTY (30) INCHES BELOW EXISTING GRADE, EXCEPT FOR A 12" BUFFER FROM THE INSIDE OF CURB OR PAVEMENT. A SUITABLE SOIL MIXTURE OF FIFTY/FIFTY (50/50), SIXTY/FORTY (60/40) (SAND/TOPSOIL) OR AS OTHERWISE INDICATED BY THE REGISTERED LANDSCAPE ARCHITECT, SHALL EITHER BE BACKFILLED IN PLACE OF THE NATIVE SOIL OR EFFICIENTLY MIXED WITH THE NATIVE SOIL TO CREATE AND OPTIMUM ENVIRONMENT FOR SUCCESSFUL ROOT DEVELOPMENT. IF NATIVE SOIL IS TO BE MIXED, IT SHALL FIRST BE SCREENED TO REMOVE ROCKS AND DEBRIS LARGER THAN ONE-HALF (½) INCH IN DIAMETER PRIOR TO MIXING. ALL PROPERTIES UNDER THIS SECTION SHALL BE REQUIRED TO HAVE AN OPEN LANDSCAPE BED INSPECTION PRIOR TO BACKFILLING TO INSURE THE THIRTY (30) INCH DEPTH HAS BEEN MET.

EXISTING TREES AND VEGETATION TO REMAIN SHALL BE STAKED AND BARRICADED PRIOR TO ANY LAND CLEARING. TREES TO BE RELOCATED SHALL BE ROOT PRUNED AND PROTECTED DURING CONSTRUCTION.

EXISTING TREES PRESERVED OR RELOCATED ON SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS OR BY AN ISA CERTIFIED ARBORIST.

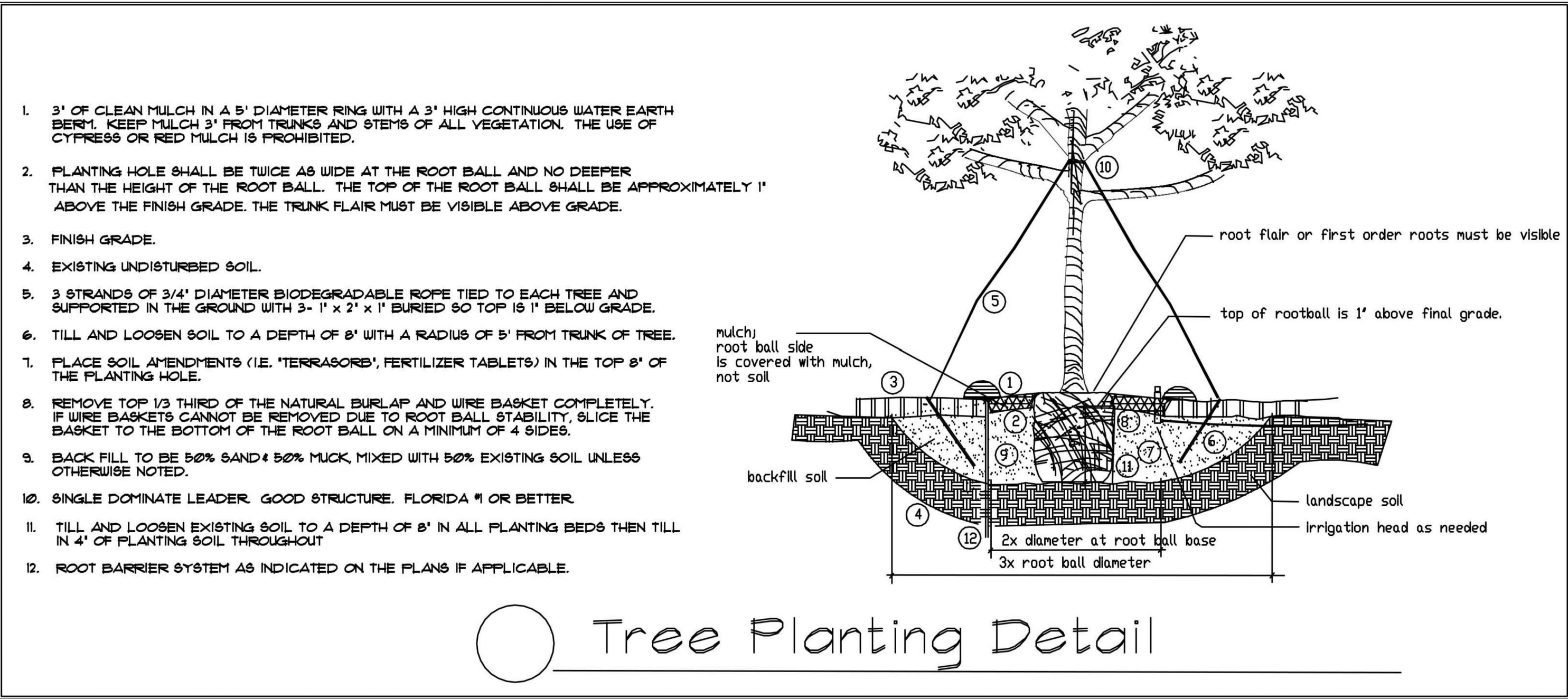
IRRIGATION REQUIREMENTS. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATED SPRINKLER SYSTEM THAT WILL PROVIDE COMPLETE COVERAGE OF ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED. ALL SYSTEMS SHALL BE DESIGNED TO ALLOW FOR HEAD-TO-HEAD COVERAGE (100-PERCENT COVERAGE WITH 100-PERCENT OVERLAP). LOW-VOLUME IRRIGATION SYSTEMS, SUCH AS DRIP OR MICRO-IRRIGATION SYSTEMS, ARE STRONGLY ENCOURAGED.

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

QUALITY. ALL PLANT MATERIALS USED IN CONFORMANCE WITH PROVISIONS OF THIS ORDINANCE SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS" PART I, 1963 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, OR THE MOST CURRENT REVISED EDITION.

INSTALLATION. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND, WORKMANLIKE MANNER AND ACCORDING TO SOUND HORTICULTURAL AND PLANTING PROCEDURES WITH THE QUALITY OF PLANT MATERIALS HEREIN DESCRIBED. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL OTHER APPLICABLE ORDINANCES AND CODE REQUIREMENTS.

ANY TREES OR SHRUBS PLACED WITHIN WATER, SEWER OR DRAINAGE EASEMENTS SHALL CONFORM TO THE CITY OF DELRAY BEACH STANDARD DETAILS LD 1.1 & LD 1.2.



Tree Planting Detail

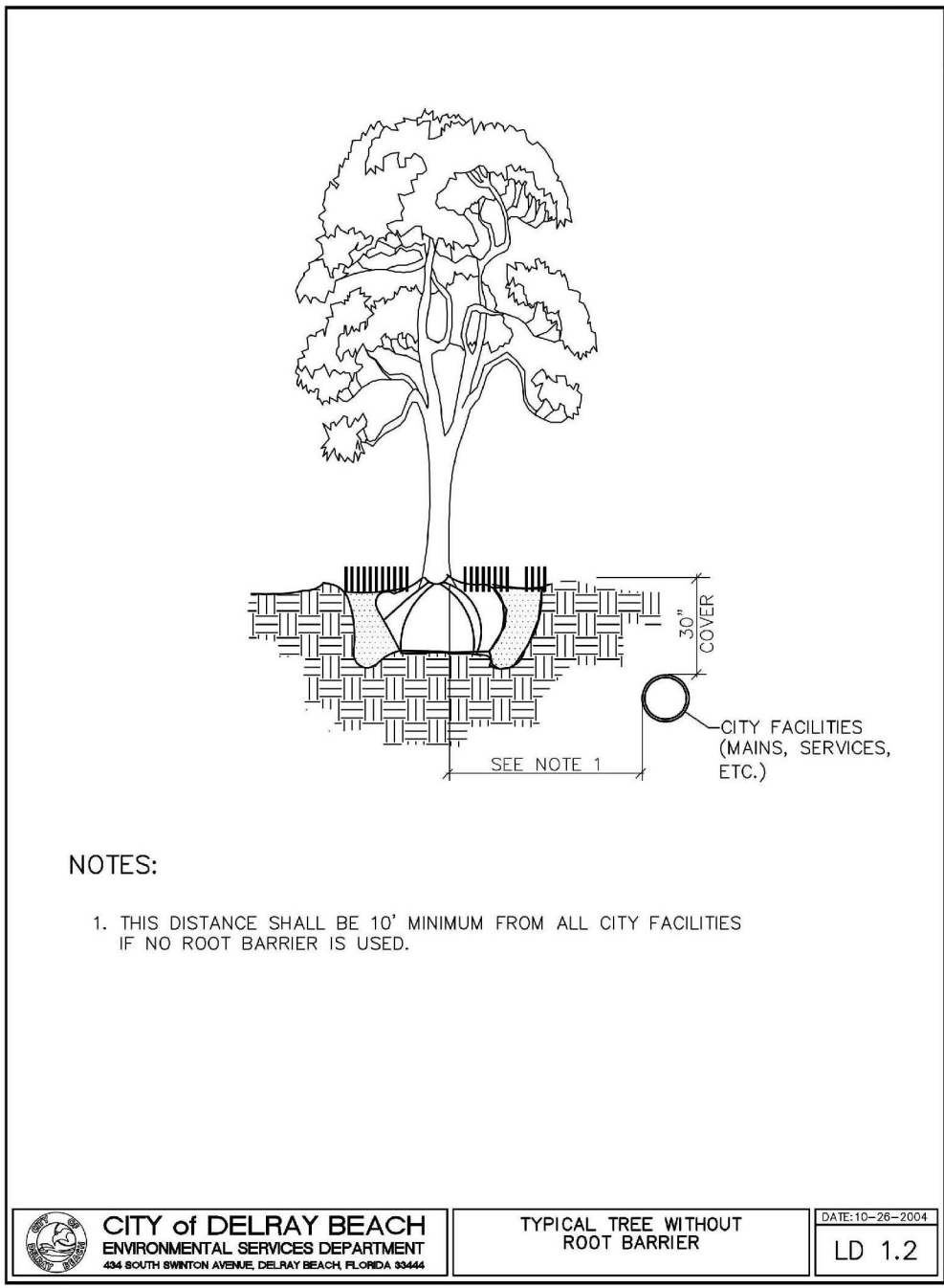
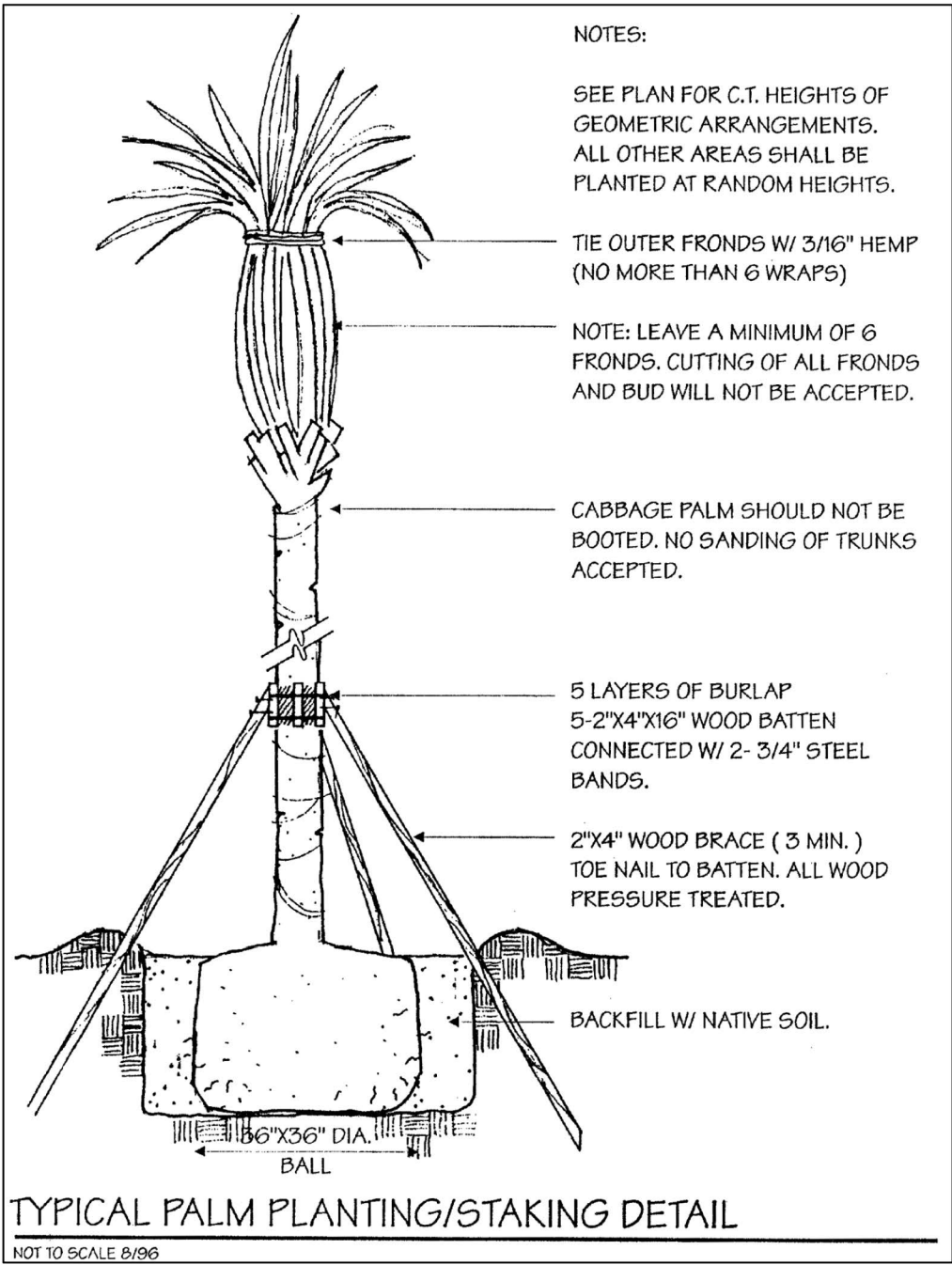
TREE MITIGATION SUMMARY						
Symbol	Botanical Name	Common Name	Size (height x spread)	DBH	Condition Rating (good, poor, dead, etc.)	Disposition (remain, remove, relocate)
CANOPY/ORNAMENTAL TREES						
QV-1	Quercus virginiana	Southern Live Oak	18' x 36'	38"	Good (above 50%)	Relocate
QV-2	Quercus virginiana	Southern Live Oak	16' x 20'	30"	Good (above 50%)	Relocate
TOTAL TREE DBH TO BE REMOVED:				0"		

EXISTING PLANT LIST						
Symbol	Botanical Name	Common Name	Size (height x spread)	DBH	Condition (good, poor, dead, etc.)	Disposition (remain, remove, relocate)
CANOPY/ORNAMENTAL TREES						
BS-1	Busera simaruba	Gumbo Limbo	18' x 12'	36"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
BS-2	Busera simaruba	Gumbo Limbo	16' x 12'	34"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
BS-3	Busera simaruba	Gumbo Limbo	20' x 16'	28"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
BS-4	Busera simaruba	Gumbo Limbo	20' x 20'	46"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
BS-5	Busera simaruba	Gumbo Limbo	18' x 14'	32"	Fair (25-50%)	Remain
BS-7	Busera simaruba	Gumbo Limbo	21' x 22'	46"	Good (above 50%)	Remain
BS-8	Busera simaruba	Gumbo Limbo	14' x 22'	42"	Good (above 50%)	Remain
BS-9	Busera simaruba	Gumbo Limbo	16' x 20'	66"	Good (above 50%)	Remain
CE-1	Conocarpus erectus 'sericeus'	Silver Buttonwood	14' x 10'	20"	Good (above 50%)	Remain
CE-2	Conocarpus erectus 'sericeus'	Silver Buttonwood	14' x 10'	16"	Good (above 50%)	Remain
CE-3	Conocarpus erectus 'sericeus'	Silver Buttonwood	14' x 12'	18"	Good (above 50%)	Remain
PE-1	Pinus Elliottii	Slash Pine	18' x 11'	12"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
PE-2	Pinus Elliottii	Slash Pine	20' x 14'	16"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SG-1	Simaruba glauca	Paradise Tree	28' x 40'	32"	Good (above 50%)	Remain
SG-2	Simaruba glauca	Paradise Tree	32' x 42'	36"	Good (above 50%)	Remain
QV-1	Quercus virginiana	Southern Live Oak	18' x 36'	38"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
QV-2	Quercus virginiana	Southern Live Oak	16' x 20'	30"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
PALMS						
AM-1	Adonidia Merrillii	Christmas Palm	10' x 8'	12"	Good (above 50%)	Remain
SP-1	Sabal Palmetto	Cabbage Palm	16' x 10'	42"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-2	Sabal Palmetto	Cabbage Palm	16' x 10'	44"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-3	Sabal Palmetto	Cabbage Palm	16' x 14'	36"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-4	Sabal Palmetto	Cabbage Palm	14' x 12'	32"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-5	Sabal Palmetto	Cabbage Palm	12' x 10'	33"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-6	Sabal Palmetto	Cabbage Palm	14' x 10'	54"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.
SP-7	Sabal Palmetto	Cabbage Palm	24' x 12'	42"	Good (above 50%)	Remain
SP-8	Sabal Palmetto	Cabbage Palm	30' x 12'	44"	Good (above 50%)	Remain
SP-9	Sabal Palmetto	Cabbage Palm	22' x 12'	34"	Good (above 50%)	Remain
TR3-1	Thrinax radiata	Triple Thatch Palm	8' x 8'	14"	Good (above 50%)	Remain
TR3-2	Thrinax radiata	Triple Thatch Palm	10' x 8'	16"	Good (above 50%)	Remain
VA3-1R	Veitchia arecina	Triple Montgomery Palm	24' x 16'	18"	Good (above 50%)	The tree may be required to be relocated to a suitable location on the site or offsite.

PLANT LIST							
QTY	Symbol	Botanical Name	Common Name	Size (height x spread)	DBH	Spacing	Remarks
PALMS							
1	AP-1	Ptychosperma elegans	Alexander Palm	10' OA	N/A	A.S.	Florida #1
1	AP-2	Ptychosperma elegans	Alexander Palm	14' OA	N/A	A.S.	Florida #1
1	AP-3	Ptychosperma elegans	Alexander Palm	18' OA	N/A	A.S.	Florida #1
1	SP-10*	Sabla palmetto	Sabal Palm	16' OA	44"	A.S.	Florida #1, 8' Clear Trunk
1	SP-11*	Sabla palmetto	Sabal Palm	16' OA	44"	A.S.	Florida #1, 8' Clear Trunk
1	SP-12*	Sabla palmetto	Sabal Palm	16' OA	44"	A.S.	Florida #1, 8' Clear Trunk
2	TR3-2*	Thrinax radiata (triple)	Triple Thatch Palm	6' OA	N/A	A.S.	Florida #1
1	VA3-2	Veitchia arecina (triple)	Triple Montgomery Palm	18' OA	N/A	A.S.	Florida #1
LARGE SHRUBS / ACCENTS							
117	CG	Clusia Guttlifera	Small Leaf Clusia	30' x 12'	N/A	A.S.	Florida #1
MED. SHRUBS/ GROUNDCOVERS/ VINES							
23	CI*	Chrysobalanus icaco 'Red Tip'	Cocoplum 'Red Tip'	30' x 12'	N/A	A.S.	Florida #1
188	CRN	Clusia rosea 'nana'	Clusia 'nana'	18' x 12'	N/A	2.5' O.C.	Florida #1
80	DT	Dianella tasmanica 'variegated'	Flax Lily	30' 12"	N/A	2.5' O.O.	Florida #1
25	EM	Euphorbia milli 'iosy'	Crown of Thorns 'iosy'	12' 12"	N/A	2.5' O.C.	Florida #1
10	HP*	Hamelia patens 'compacta'	Dwarf Firebush	30' x 12"	N/A	2.5' O.C.	Florida #1
16	NB	Neoregelia 'super fireball'	Bromeliad 'super fireball'	8' x 8"	N/A	1.5' O.C.	Florida #1
49	PM-1	Podocarpus macrophyllus 'maki'	Podocarpus 'maki'	16' x 12"	N/A	2.5' O.C.	Florida #1
43	PM-2	Podocarpus macrophyllus 'maki'	Podocarpus 'maki'	30' x 12"	N/A	2.5' O.C.	Florida #1

Note: * Asterisk Indicates Florida Native Plant Material

LANDSCAPE CALCULATIONS			
A	Total lot area	25874	S.F.
B	Structures, parking, walkways, drives, etc.	19013	S.F.
C	Total pervious lot area	6861	S.F.
D	Area of shrubs and groundcovers required	2058	S.F.
E	Area of shrubs and groundcovers provided	3935	S.F.
F	Native vegetation required	515	S.F.
G	Native vegetation provided	747	S.F.
H	Total paved vehicular use area	8394	S.F.
I	Total interior landscape area required	839	S.F.
J	Total interior landscape area provided	6448	S.F.
K	Total interior shade trees required	7	Trees
L	Total interior shade trees provided	10	Trees
M	Total linear feet surrounding parking or vehicular use areas	432	L.F.
N	Total number of perimeter trees required	17	Trees
O	Total number of perimeter trees provided	20	Trees
P	Total number of existing trees to be saved off site	0	Trees
Q	Total number of native trees required	12	Trees
R	Total number of native trees provided	21	Trees
S	Total number of trees on plan provided	31	Trees



Landscape Plan Page 2: Details Page

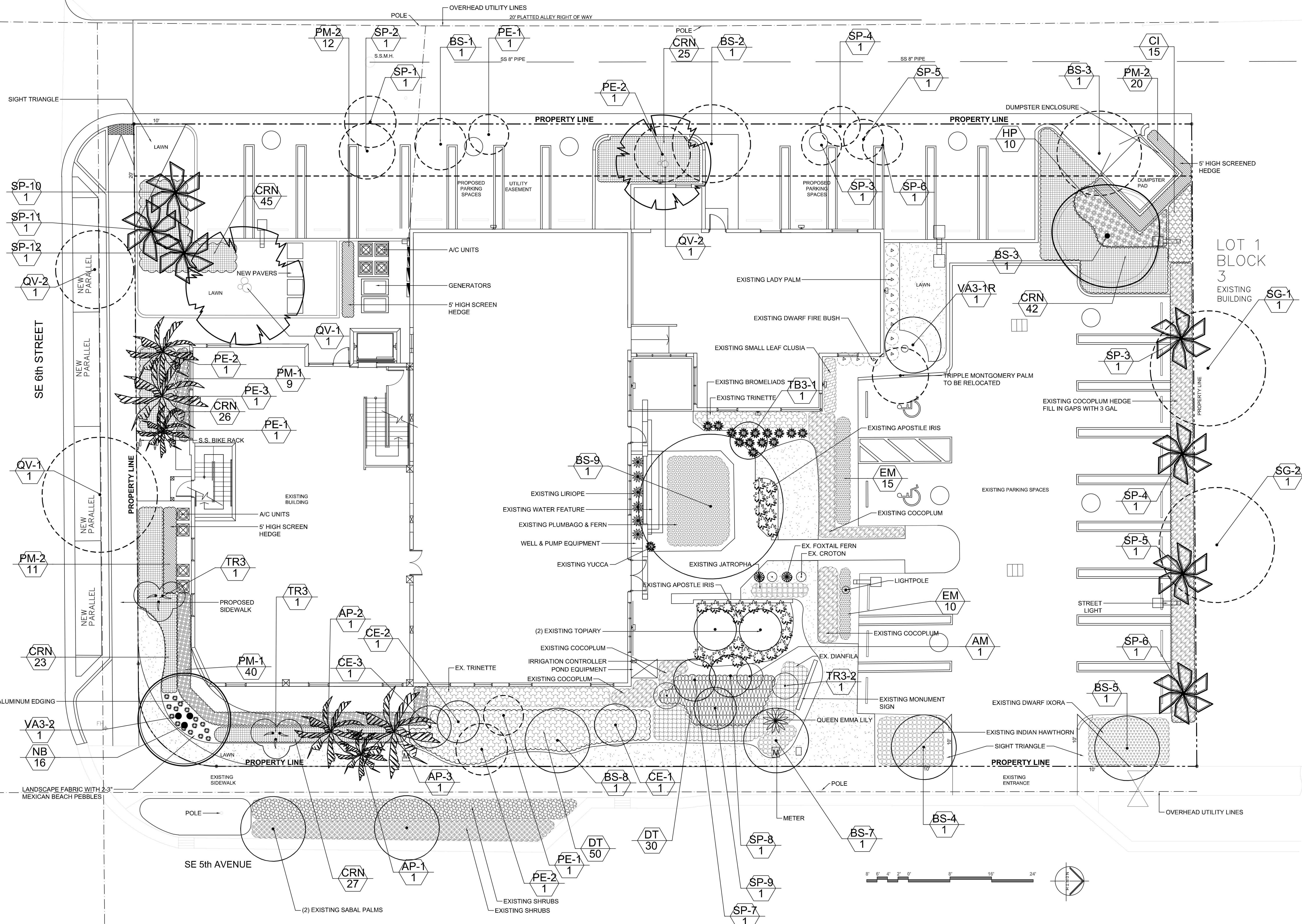
Thomas L. Tzikas MD Offices

526 S.E. 5th Ave, Delray Beach, FL | 09-24-2019 | Scale: N/A (24 x 36in.) | Author: Matt Hudson | Rev: 11 | Issued for client feedback

Copyright is vested in this drawing and no use, reproduction or duplication thereof may occur without the written consent of the author(s). This drawing, the design and related Bill of Materials remain the property of The Author at all time, and in the event that these, or any parts, are reproduced or utilized for any purposes without prior written consent from The Author, we reserve the right to claim reimbursement of cost.

NO	DATE	REVISION
9	06/11/19	Update plant list, add City of Delray standard details
10	06/12/19	Neaten notes
11	09/24/19	Adjust site plan as per STD-09.12.19

M. Hudson
Design
1522 LimeTree Bay Avenue Jupiter, FL 33458
(561) 319-2474



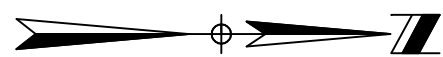
Landscape Development Plan

Thomas L. Tzikas MD Offices

526 S.E. 5th Ave, Delray Beach, FL 33444 | 06-12-2019 | Scale: 1/8" = 1'-0" (24 x 36in.) | Author: Matt Hudson | Rev: 11 | Issued for client feedback

Copyright is vested in this drawing and no use, reproduction or duplication thereof may occur without the written consent of the author(s). This drawing, the design and related Bill of Materials remain the property of the Author at all time, and in the event that these, or any parts, are reproduced or utilized for any purposes without prior written consent from The Author, we reserve the right to claim reimbursement of cost.

NO.	DATE	REVISION
9	06/11/19	Update plant list, add City of Delray standard details
10	06/12/19	Neaten notes
11	09/24/19	Just site plan as per ST01-09.12.19



LEGEND:

- C = CENTERLINE
I.R. = 5/8" IRON ROD WITH CAP #LB 353
L.P. = LIGHT POLE
C.A. = CENTRAL ANGLE
C.B. = CHORD BEARING
COVD. = COVERED
INV. = INVERT
S.S.M.H. = SANTARY SEWER MANHOLE
C.O. = SANTARY SEWER CLEAN OUT
FH = FIRE HYDRANT
BFP = BACKFLOW PREVENTER
W.M. = WATER METER
O.R.B. = OFFICIAL RECORDS BOOK
— = OVERHEAD UTILITY LINES

+8.45 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: L-NET GPS NETWORK

FLOOD ZONE: X
COMMUNITY PANEL NO.125102 0979
SUFFIX F
EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO TITLE WAS REVIEWED OR SEARCH OF THE PUBLIC RECORDS WAS MADE IN REGARD TO EASEMENTS THAT MAY AFFECT SUBJECT PARCEL.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

DESCRIPTION:

LOTS 2, 3, 4 AND 5, BLOCK 3, LESS THE WEST 4.0 FEET THEREOF, OSCEOLA PARK, ACCORDING TO PLAT BOOK 3, PAGE 2, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, LESS THAT PORTION FOR ROAD RIGHT OF WAY AS SHOWN ON ROAD PLAT BOOK 2, PAGES 210 THROUGH 216, INCLUSIVE, AND LESS THAT ADDITIONAL PORTION OF LOT 5 DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 5; THENCE S.89°32'10"W, ALONG THE SOUTH LINE OF SAID LOT 5, A DISTANCE OF 5.00 FEET TO A POINT ON A LINE 5.0 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 5; THENCE CONTINUE S.89° 32'10"W, ALONG SAID SOUTH LINE, A DISTANCE OF 14.88 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.89° 32'10"W, ALONG SAID SOUTH LINE, A DISTANCE OF 9.92 FEET TO A POINT OF CUSP OF A CURVE CONCAVE TO THE NORTHWEST HAVING A CENTRAL ANGLE OF 89°32'10" AND A RADIUS OF 25.00 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, WHOSE CHORD BEARS N.44°46'05"E, A DISTANCE OF 39.07 FEET TO A POINT ON A LINE 5.0 FEET WEST OF AND PARALLEL TO THE EAST LINE OF SAID LOT 5; THENCE S.0° 00'00"W, ALONG SAID PARALLEL LINE, A DISTANCE OF 9.92 FEET TO A POINT ON A CURVE CONCAVE TO THE NORTHWEST HAVING A CENTRAL ANGLE OF 89°32'10" AND A RADIUS OF 15.00 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, WHOSE CHORD BEARS S.44°46'05"W, A DISTANCE OF 23.44 FEET TO THE POINT OF BEGINNING.

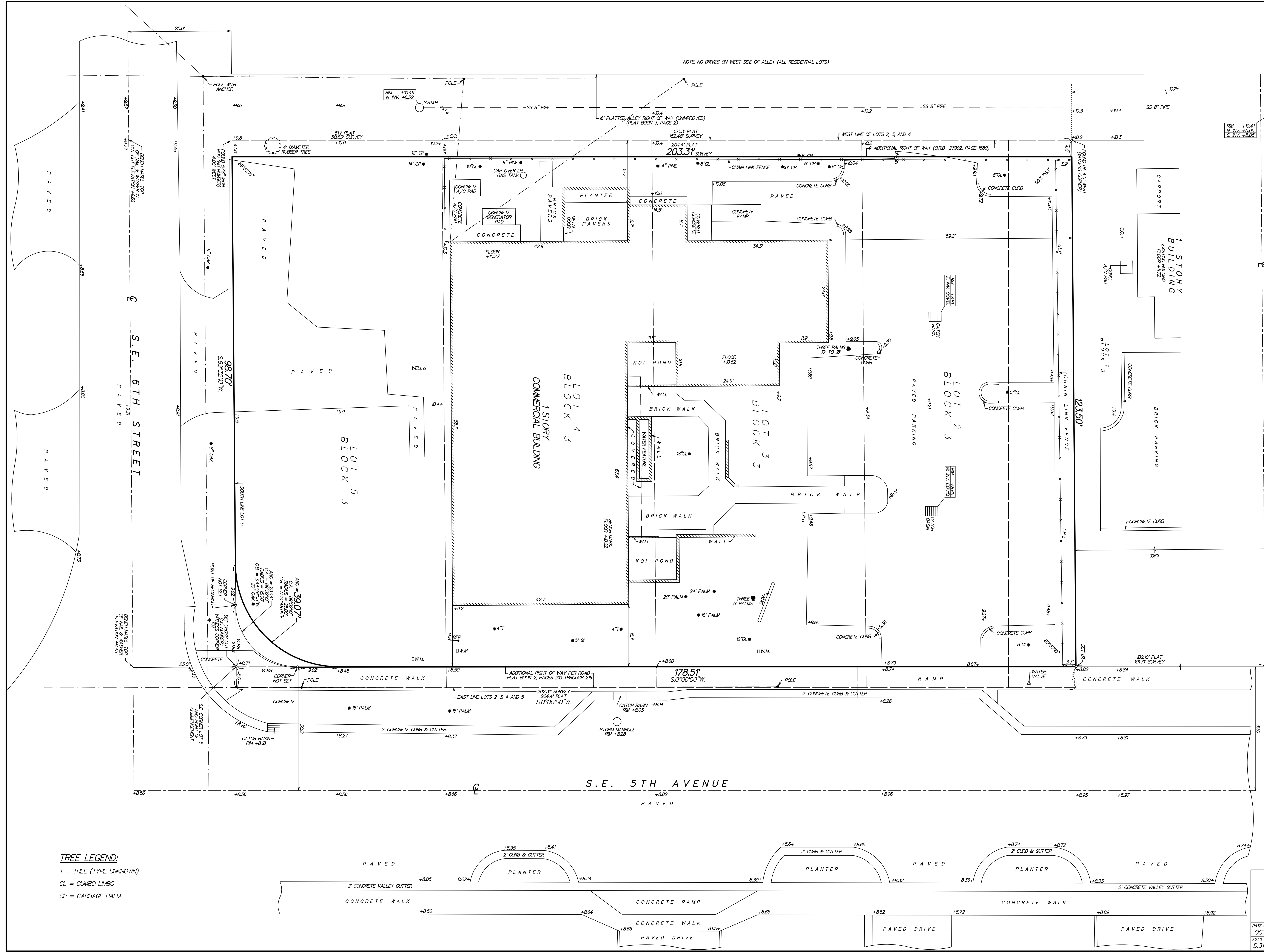
MAP OF BOUNDARY SURVEY
SITE ADDRESS: 518 & 542 S.E. 5TH AVENUE
DELRAY BEACH, FLORIDA 33483

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Paul D. Engle
SURVEYOR & MAPPER #5708

O'BRIEN, SUITER & O'BRIEN, INC.
LAND SURVEYORS
CERTIFICATE OF AUTHORIZATION #LB353
SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE
955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445
(561) 276-4501 732-3279 FAX 276-2390

DATE OF SURVEY: OCT. 16, 2018
FIELD BOOK: D.313
REVISED: 06/14/19 - CHANGED BOUNDARY TO SHOW NEW R/W
PAGE NO: 23
SCALE: 1" = 10'
ORDER NO: 16-32db



TREE LEGEND:

- T = TREE (TYPE UNKNOWN)
QL = GUMBO LIMBO
CP = CABBAGE PALM



September 23, 2019

To: City of Delray Beach, Planning & Zoning

**Re: Tzikas Medical Center
526 SE 5th Avenue
Delray Beach, Florida
#2019-035**

Planning & Zoning Dept:

Pursuant to LDR Section 2.4.7(C), the applicant is requesting an administrative waiver to LDR Section 4.6.9(D)(2)(b) Parking Adjacent to Alley. The request is for alley and parking space combined depth to be reduced from 42'-0" to 40'-0".

As depicted on sheet SP-1, the alley and alley compact space combined depth is 40'-0". This condition applies to (7), alley compact spaces that are shown at 9'-0"x 16'-0". The applicant has specifically selected this area for the 2'-0" depth reduction as it is centrally located and does not impair sight distances of pedestrians and/ or vehicles.

Granting this request will not diminish the practical application of LDR Section 4.6.9(D)(2)(b) and will result in a superior development for the surrounding community.

Please feel free to contact this office with any questions or concerns related to this submittal.

Sincerely,

**Randall E. Stofft, AIA
President
RES. Donald W. Durante**

42 N. SWINTON AVE, SUITE 1
DELRAY BEACH, FLORIDA 33444
561-243-0799 – PHONE
561-243-0299 – FAX

WWW.STOFFT.COM
AA0003379

September 23, 2019

To: City of Delray Beach, Planning & Zoning

Re: Tzikas Medical Center
526 SE 5th Avenue
Delray Beach, Florida
#2019-035

Planning & Zoning Dept:

[Peak Parking Demand Accumulation](#)

To determine the actual use specific peak parking accumulation of the existing (5,319 s.f.) and proposed 2-story addition (5,464 s.f.) to the Tzikas Medical Center totaling 10,783 s.f., data was obtained from the existing facial plastic surgery center operation. Data including staff member and patient information was collected and reviewed for the prior year of 2018.

The total number of staff members for the existing and proposed 2-story addition to the Tzikas Medical Center has been determined to be 12 staff members. However, please note that not all 12 staff members will be working on the same days.

The peak demand for staff members on site occurs on Mondays and Wednesdays where the demand is 8 staff members. This demand is compared to a slightly lower demand of 6 or fewer staff members on Tuesdays and Thursdays.

Based on patient load data from 2018, the anticipated maximum patient load occurring on Mondays and Wednesdays has been determined to be 19 patients on site at any one time. Also based on patient load data from 2018, the anticipated maximum patient load occurring on Tuesdays and Thursdays has been determined to be 13 patients on site at any one time.

Therefore, the anticipated maximum parking demand for the existing and proposed 2-story addition to the Tzikas Medical Center based on staffing needs and patient load data provided above:

- Total of 27 spaces required (8 staff members & 19 patients on peak days of Mondays and Wednesdays) with 32 spaces provided. This parking space demand leaves a surplus of 5 spaces during peak demand on Mondays & Wednesdays and a surplus of 13 spaces during low demand on Tuesdays and Thursdays. See sheet SP-1 for parking layout reflecting 32 parking spaces.

[Technical Reduction in Parking Spaces Provided](#)

The applicant proposes a technical reduction with regard to the number of required parking spaces based on the code requirement of 46 spaces to a use specific of 27 spaces.

42 N. SWINTON AVE, SUITE 1
DELRAY BEACH, FLORIDA 33444
561-243-0799 – PHONE
561-243-0299 – FAX

WWW.STOFFT.COM
AA0003379

There are 32 parking spaces proposed that will sufficiently meet the long-term peak parking accumulation plus 10 percent to allow for an orderly turnover of parking spaces. Therefore, the proposed 32 parking spaces provide adequate parking for the existing and proposed 2-story addition during low and peak demand with a minimum buffer of 5 additional parking spaces provided. It should be noted that public parking is also available located north and south.

Conclusion

The existing and proposed 2-story addition to the Tzikas Medical Center development is located on a constrained site. The proposed technical reduction allows for reduction in required parking when the use specific parking demand calculations are utilized. In addition, on-street parking observations indicate that on-street parking will be available directly across the site on a consistent basis if needed.

The proposed site plan maximizes the use of the existing parking areas, while trying to preserve the existing open/green space and meet the parking demands of the proposed use. Therefore, the proposed Tzikas Medical Center's parking demand can be met by the proposed 32 parking spaces provided as shown on sheet SP-1.

If there any questions regarding this analysis, please do not hesitate to call.

Sincerely,

Randall E. Stofft, AIA
President
RES. Donald W. Durante