



Development Services Department

BOARD ACTION REPORT – APPEALABLE ITEM

Project Name: Delray Commons

Project Location: 5024 W Atlantic Avenue

Request: Class I Site Plan Modification

Board: Site Plan Review and Appearance Board

Meeting Date: October 23, 2019

Board Action:

At its meeting of October 23, 2019, the Site Plan Review and Appearance Board (SPRAB) considered and approved action on the Class I Site Plan Modification for Delray Commons.

The Board voted to approve (6-0, Roger Cope absent) the Class I Site Plan Modification associated with the architectural elevation changes.

Project Description:

The subject 8.37 acre property is located at the south west corner of the intersection of Atlantic Avenue and Military Trail within the Four Corners overlay area. The subject site is zoned Planned Commercial (PC) with a Future Land Use designation of General Commercial (GC).

The Class I modification consists of minor façade changes. Columns are to be introduced wrapped in “Walnut Ridge.” Some parapets are going to be replaced. The existing finishes will be cleaned, repaired and stucco’ d to match the proposed elements. The **north elevation**, left of Lucky’s Market, is to feature “Irresistible” as a base and trim color, and “Olive Wood” for the parapet and small columns. The **north elevation**, right of Lucky’s Market, is to feature “Irresistible” as a base and trim color, “Tainted Gold” for the parapet and “Outback” for the small columns. The **north elevation** showcasing the edge of the building on the right side is to be finished in “Irresistible” paint. On the left side of the **east elevation**, “Irresistible” is the proposed base and trim color, “Blue By You” for the parapet and “Outback” for the small columns. On the right side of the **east elevation**, “Irresistible” is the proposed base and trim color, “Tainted Gold” for the parapet and “Olive Wood” for the small columns. And, the metal roofing and trims are to be painted in “Coronation.”

Board Comments:

The Board comments were supportive.

Public Comments:

No members of the public spoke for or against the project.

Associated Actions:

No associated actions.

Next Action:

The SPRAB action is final unless appealed by the City Commission.



SITE PLAN REVIEW AND APPEARANCE BOARD STAFF REPORT

DEVELOPMENT SERVICES DEPARTMENT

100 NW 1ST AVENUE, DELRAY BEACH, FLORIDA 33444

PLANNING & ZONING DIVISION: (561) 243-7040 • BUILDING DIVISION: (561) 243-7200

SITE PLAN REVIEW AND APPEARANCE BOARD

Meeting: October 23, 2019

File No.: 2019-298-SPI-SPR-CL1

Application Type: Class I Site Plan Modification associated with Architectural Elevation changes – Delray Commons

General Data

Agent: Seth Dorman

Owner: Topvalco Inc.

Location: 5024 W Atlantic Ave

PCN: 12-42-46-14-24-001-0000

Property Size: 8.37 Acres

FLUM: General Commercial (GC)

Zoning: Planned Commercial (PC)

Adjacent Zoning:

- North: PC
- South: Multiple Family Residential (RM-8)
- East: PC
- West: PC

Existing Land Use: Retail

Proposed Land Use: Retail



Item before the Board:

The action before the Board is the consideration of a Class I Site Plan Modification application for **Delray Commons** located at **5024 W Atlantic Avenue** pursuant to LDR Section 2.4.5 (G), including the architectural elevations.

Optional Board Motions for Action Item:

1. **Move to continue** with direction.
2. **Move approval** of the request for a Class I Site Plan Modification for architectural elevation changes for **Delray Commons** (File no. 2019-298) finding that the request is consistent with the Comprehensive Plan and meets criteria set forth in the Land Development Regulations.
3. **Move denial** of the request for a Class I Site Plan Modification for architectural elevation changes for **Delray Commons** (File no. 2019-298), finding that the request is inconsistent with the Comprehensive Plan and does not meet criteria set forth in the Land Development Regulations.

Assessment:

The proposed Class I Site Plan Modification for Delray Commons is associated with the architectural elevation changes to the existing

Project Planner:

Anne Clerisse Gaisha Volcy, Planner in Training;
volcya@mydelraybeach.com

Review Dates:

SPRAB: October 23, 2019

Attachments:

1. Elevations



building within the plaza. The proposed changes are to enhance the storefronts through the application of several harmonious paints to the parapets and walls, as well as stone-detail wraps to existing columns.

Project Description:

Now before the Board is a Class I Site Plan Modification associated with architectural elevation changes to the existing building, on the north and east sides of the property. The proposal consists of the following minor façade changes:

- The **north elevation**, left of Lucky's Market, is to feature "Irresistible" as a base and trim color, and "Olive Wood" for the parapet and small columns
- The **north elevation**, right of Lucky's Market, is to feature "Irresistible" as a base and trim color, "Tainted Gold" for the parapet and "Outback" for the small columns
- The **north elevation** showcasing the edge of the building on the right side is to be finished in "Irresistible" paint
- The left side of the **east elevation**, features "Irresistible" as a base and trim color, "Blue By You" for the parapet and "Outback" for the small columns
- The right side of the **east elevation**, features "Irresistible" as a base and trim color, "Tainted Gold" for the parapet and "Olive Wood" for the small columns
- New wrap titled "Walnut Ridge" is to be introduced to the large columns
- Some parapets are to be replaced
- The metal roofing and trims are to be painted in "Coronation"
- Existing finishes will be cleaned, repaired and stucco'd to match the proposed elements.

Background:

The subject 8.37 acre property is located in the Planned Commercial zoning district. It is located on the south west corner of the intersection of Atlantic Avenue and Military Trail within the Four Corners overlay area. Delray Commons is an 8.37-acre shopping center that consists of Tract 1 which is 7.19 acres and Tract 2 which is 1.18 acres. Property owners of both tracts were granted reciprocal cross ingress, egress, and parking and drainage easements, as recorded on June 1, 1999 in ORB 11169, Page 1360. An additional reciprocal agreement, ORB 6436, Page 1360 was recorded for the adjacent service station, which is not included in the Master Development Plan of Delray Commons. Tract 1 consists of approximately 71,748 sf of retail and restaurant uses as well as associated parking and Tract 2 consists of a vacant 3,000 sf bank with drive-thru area and associated parking which was superseded by the following:

On September 17, 2018, the Planning and Zoning Board Approved a Master Development Plan Modification (MDPM) for Delray Commons, as well as a waiver request for the minimum structure size required for a proposed Taco Bell restaurant. The Master Development Plan consists of the current Tract 1 site layout within the shopping center and the proposed Taco Bell site plan for Tract 2.

On January 9, 2019, Tract 2 was approved to construct a 2,053 sf, one-story restaurant with drive-thru service and associated parking.

On April 10, 2019, the subject property was approved for minor façade changes, which includes the vestibule removal and the addition of outdoor seating, the addition of two cart corrals, introduction of new lighting in the rear and front of the building, ramp and railing system and the addition of a bike rack.

Now before the board is a request for the approval of a Class I Site Plan Modification for the architectural elevation changes to the existing building within the plaza.

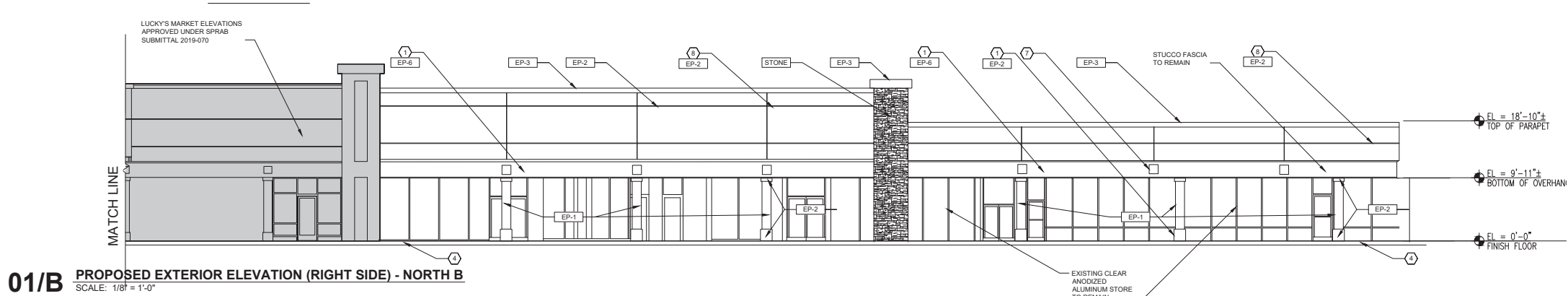
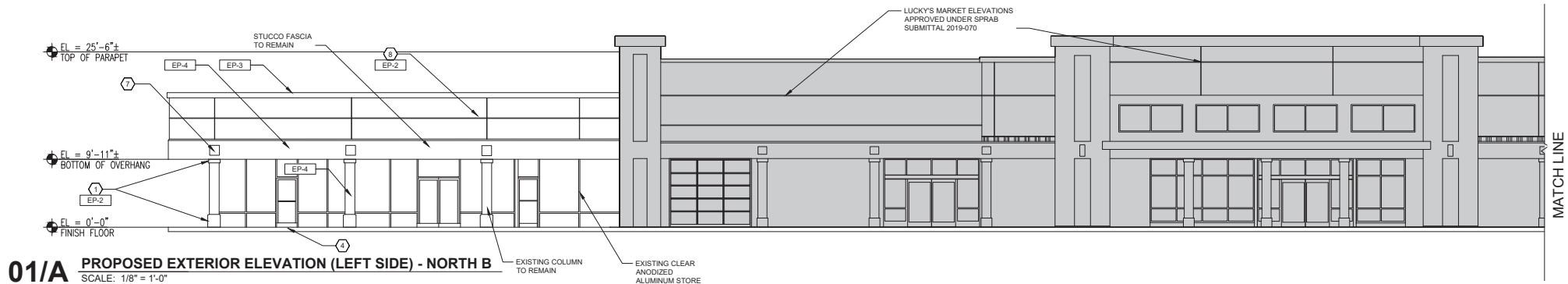


Architectural Elevations Analysis:

Pursuant to LDR Section 4.6.18(E), Criteria for Board Action, the following criteria shall be considered by the Site Plan Review and Appearance Board (SPRAB) in the review of plans for building permits. If the following criteria are not met, the application shall be disapproved:

1. The plan or the proposed structure is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.
2. The proposed structure, or project, is in its exterior design and appearance of quality such as not to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
3. The proposed structure, or project, is in harmony with the proposed developments in the general area, with the Comprehensive Plan, and with the supplemental criteria which may be set forth for the Board from time to time.

No conflicting colors are proposed, thus, making the proposed modification one of good taste. The color palette has a range of neutral and harmonious colors that can contribute to the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality. New façades to the existing building will add a fresh look to the dated buildings which can aid in preventing the nature of the local environment to materially depreciate in appearance and value. The front elevation is introducing new wraps to the large columns which will accentuate the appearance of the building's quality and give it more character. The proposal consists of the storefront enhancement through the application of various colors and a stone wrap introduced to the large columns. The architectural elevation changes could increase its compatibility to its surroundings and enhance the overall area, as there are several newly updated centers in the vicinity of Delray Commons. The existing finishes will be cleaned, repaired and stucco'd to match the proposed elements. The proposed colors of the building are Irresistible, Tainted Gold, Outback, Blue By You, and Olive Wood which are mostly neutral colors that will naturally blend in.



STUCCO - PAINT PPG PAINTS PPG1056-7 "BRICK DUST"	STUCCO - PAINT PPG PAINTS PPG1088-5 "OUTBACK"	METAL ROOF & TRIM PPG PAINTS PPG1248-1 "CORONATION"	STUCCO - PAINT PPG PAINTS PPG1035-3 "BLUE BY YOU"
METAL ROOF & TRIM PPG PAINTS PPG1131-6 "SUCCULENT LEAVES"	STUCCO - PAINT PPG PAINTS PPG1094-1 "IRRESISTIBLE"	ACCENT DETAILS PPG PAINTS PPG1097-7 "OLIVE WOOD"	STUCCO - PAINT PPG PAINTS PPG11-02 "TAINTED GOLD"
		ACCENT DETAILS ELDORADO STONE "WALNUT RIDGE"	

GENERAL NOTES

- GC TO DEMO EXISTING SPACE AS REQUIRED TO ACCOMMODATE ALL NEW CONSTRUCTION.
- IT IS GC'S RESPONSIBILITY TO INSPECT THE ENTIRE PROJECT SPACE PRIOR TO BID TO BECOME AWARE OF ALL THE TYPES OF MATERIALS AND QUANTITIES OF SUCH THAT WILL HAVE TO BE REMOVED.
- GC TO PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING ELEMENTS.
- GC IS RESPONSIBLE FOR THE HANDLING AND DUMPING COSTS FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL, TRASH AND REFUSE ACCUMULATED ON THE JOB SITE BY ALL SUB-CONTRACTORS PER LOCAL REQUIREMENTS. GC IS RESPONSIBLE TO ENSURE THAT ALL MATERIALS ARE DISPOSED OF IN A SAFE AND LEGAL MANNER.
- GC IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING LIGHTING, HVAC EQUIPMENT, SPEAKERS, ELECTRICAL SYSTEMS, SECURITY SYSTEMS AND ALL OTHER EQUIPMENTS. GC TO RELOCATE IF IN CONFLICT WITH NEW CONSTRUCTION.
- GC IS TO CONTACT THE CONSTRUCTION MANAGER FOR THE RESOLUTION OF ANY CONFLICTS OF INFORMATION ON DRAWINGS DURING DEMOLITION OR CONSTRUCTION DUE TO UNFORESEEN ELEMENTS.
- GC IS RESPONSIBLE FOR PATCHING REQUIRED INSIDE AND OUTSIDE OF THE CONSTRUCTION AREA, WHERE AFFECTED BY DEMOLITION.
- COORDINATION OF THE LOCATION OF DUMPSTER USED FOR REMOVAL OF DEMOLISHED MATERIAL WITH BUILDING MANAGEMENT IS THE RESPONSIBILITY OF GC.

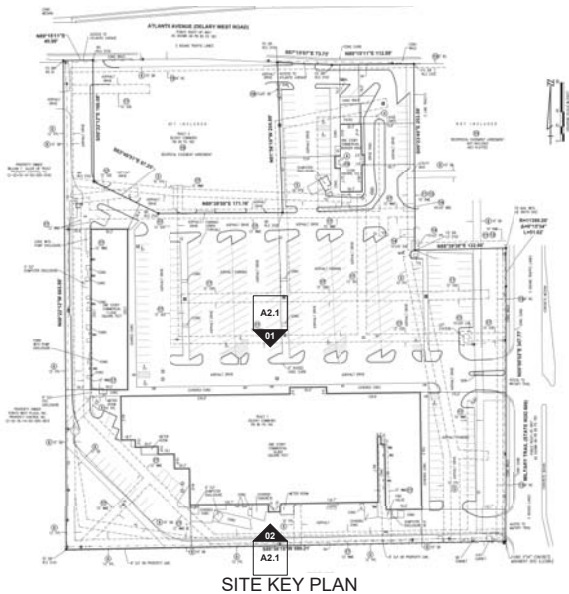
KEYED NOTES

- G.C. TO TAKE EXTRA CARE TO NOT DAMAGE ANY EXISTING FINISHES TO REMAIN IN PLACE.
- EXISTING EXTERIOR MASONRY WALL TO REMAIN.
- EXISTING DOOR TO REMAIN.
- EXISTING SIDEWALK/GRADE TO REMAIN.
- EXISTING GUTTER AND DOWNSPOUTS TO REMAIN.
- EXISTING BOLLARD TO REMAIN.
- EXISTING WALL CONCRETE PLAQUE DETAIL TO REMAIN.
- NEW STUCCO PARAPET TO MATCH EXISTING.

EXTERIOR FINISH SPECS

NOTE: NEW CONSTRUCTION MATERIAL SPECIFICATIONS. IT IS THE INTENT TO MATCH THE EXISTING FINISHES WHERE POSSIBLE. THE GC SHALL FIELD VERIFY MATERIALS AND COLOR PRIOR TO FINAL INSTALLATION.

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MFR	COLOR	NOTES
EP-1	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1088-5 "OUTBACK"	EXISTING FASCIA AND COLUMNS
EP-2	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1094-1 "IRRESISTIBLE"	EXISTING STUCCO FIELD AS NOTED
EP-3	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG 1248-1 "CORONATION"	ACCENT DETAILS AND FIELD AS NOTED
EP-4	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1097-7 "OLIVE WOOD"	EXISTING FASCIA AND FIELD AS NOTED
EP-5	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1035-3 "BLUE BY YOU"	EXISTING FASCIA AND COLUMNS
EP-6	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG11-02 "TAINTED GOLD"	EXISTING FASCIA AND COLUMNS
STONE	MOUNTAIN LEDGE STONE	ELDORADO STONE	WALNUT RIDGE	ACCENT DETAILS



GENERAL NOTES

- G.C. TO DEMO EXISTING SPACE AS REQUIRED TO ACCOMMODATE ALL NEW CONSTRUCTION.
- IT IS GC'S RESPONSIBILITY TO INSPECT THE ENTIRE PROJECT SPACE PRIOR TO BID TO BECOME AWARE OF ALL THE TYPES OF MATERIALS AND QUANTITIES OF SUCH THAT WILL HAVE TO BE REMOVED.
- GC TO PROVIDE ADEQUATE PROTECTION FOR ALL EXISTING ELEMENTS.
- GC IS RESPONSIBLE FOR THE HANDLING AND DUMPING COSTS FOR THE REMOVAL OF ALL DEMOLISHED MATERIAL, TRASH AND REFUSE ACCUMULATED ON THE JOB SITE BY ALL SUB-CONTRACTORS PER LOCAL REQUIREMENTS. GC IS RESPONSIBLE TO ENSURE THAT ALL MATERIALS ARE DISPOSED OF IN A SAFE AND LEGAL MANNER.
- GC IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL EXISTING LIGHTING, HVAC EQUIPMENT, SPEAKERS, ELECTRICAL SYSTEMS, SECURITY SYSTEMS AND ALL OTHER EQUIPMENTS. GC TO RELOCATE IF IN CONFLICT WITH NEW CONSTRUCTION.
- GC IS TO CONTACT THE CONSTRUCTION MANAGER FOR THE RESOLUTION OF ANY CONFLICTS OF INFORMATION ON DRAWINGS DURING DEMOLITION OR CONSTRUCTION DUE TO UNFORESEEN ELEMENTS.
- GC IS RESPONSIBLE FOR PATCHING REQUIRED INSIDE AND OUTSIDE OF THE CONSTRUCTION AREA, WHERE AFFECTED BY DEMOLITION.
- COORDINATION OF THE LOCATION OF DUMPSTER USED FOR REMOVAL OF DEMOLISHED MATERIAL WITH BUILDING MANAGEMENT IS THE RESPONSIBILITY OF GC.

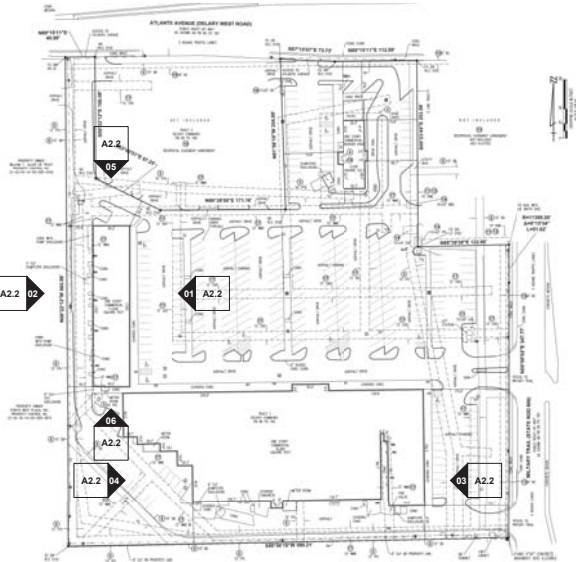
KEYED NOTES

- G.C. TO TAKE EXTRA CARE TO NOT DAMAGE ANY EXISTING FINISHES TO REMAIN IN PLACE.
- EXISTING EXTERIOR MASONRY WALL TO REMAIN.
- EXISTING DOOR TO REMAIN.
- EXISTING SIDEWALK/GRADE TO REMAIN.
- EXISTING GUTTER AND DOWNPOTS TO REMAIN.
- EXISTING BOLLARD TO REMAIN.
- EXISTING WALL CONCRETE PLAQUE DETAIL TO REMAIN.
- NEW STUCCO PARAPET TO MATCH EXISTING.

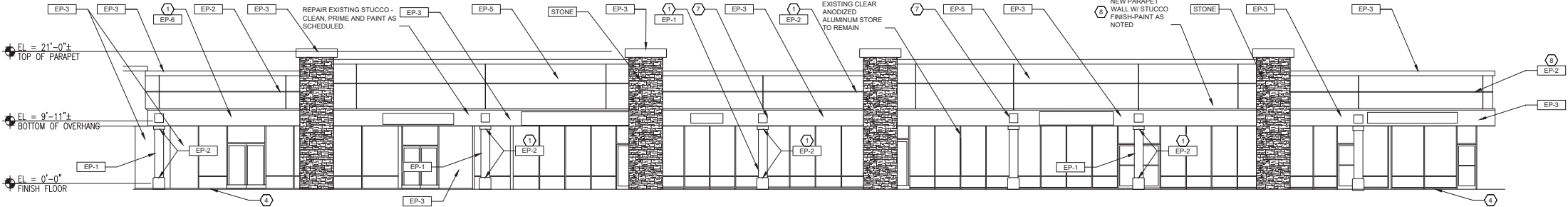
EXTERIOR FINISH SPECS

NOTE: NEW CONSTRUCTION MATERIAL SPECIFICATIONS. IT IS THE INTENT TO MATCH THE EXISTING FINISHES WHERE POSSIBLE. THE GC SHALL FIELD VERIFY MATERIALS AND COLOR PRIOR TO FINAL INSTALLATION.

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MFR	COLOR	NOTES
EP-1	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1088-5 "OUTBACK"	EXISTING FASCIA AND COLUMNS
EP-2	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1094-1 "IRRESISTIBLE"	EXISTING STUCCO FIELD AS NOTED
EP-3	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG 1248-1 "CORONATION"	ACCENT DETAILS AND FIELD AS NOTED
EP-4	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1097-7 "OLIVE WOOD"	EXISTING FASCIA AND FIELD AS NOTED
EP-5	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG1035-3 "BLUE BY YOU"	EXISTING FASCIA AND COLUMNS
EP-6	EXTERIOR STUCCO - PAINT	PPG PAINTS	PPG11-02 "TAINTED GOLD"	EXISTING FASCIA AND COLUMNS
STONE	MOUNTAIN LEDGE STONE	ELDORADO STONE	WALNUT RIDGE	ACCENT DETAILS



SITE KEY PLAN





EXISTING FRONT ELEVATION
(LEFT SIDE) – NORTH B



EXISTING FRONT ELEVATION
(RIGHT SIDE) – NORTH B



EXISTING FRONT ELEVATION
NORTH A



EXISTING FRONT ELEVATION – EAST A



EXISTING FRONT ELEVATION – EAST B